

VILLAGE OF DOWNERS GROVE
REPORT FOR THE VILLAGE COUNCIL WORKSHOP
JANUARY 9, 2007 AGENDA

SUBJECT:	TYPE:	SUBMITTED BY:
Special Use, Variation, Final Planned Development and Final Plat of Subdivision for 922 Warren Avenue	✓ Resolution ✓ Ordinance Motion Discussion Only	Don Rosenthal Community Development Director

SYNOPSIS

Ordinances have been prepared for a special use with a variation and final planned development for a multi-family residential development. A resolution has also been prepared for a final plat of subdivision. The subject property is former Downers Grove Reporter site at 922 Warren Avenue.

FISCAL IMPACT

N/A.

RECOMMENDATION

Approval on the January 16, 2007 active agenda.

BACKGROUND

The petitioner is proposing to redevelop the former Reporter Building at 922 Warren Avenue with a town home development. The property is zoned DB Downtown Business and is located directly north of the railroad tracks. The property is east of the Tivoli Theater and surrounded by commercial uses on the west and east and single family uses on the north. The building has been vacant since the Reporter relocated its operations. The development is summarized in the table below:

	Required/Max	Proposed	Setbacks	Required	Proposed
Parcel Size	N/A	30,687 s.f	Front (South)	0	0 ft.
Dwelling Units	46	28	Rear (North)	0	0 ft.
Density	60 DU/acre	39.8 DU/acre	Side (East)	0	5.9-6.4 ft.
Building Height	70 ft.	49 ft.	Side (West)	0	7.25-11.5 ft.
Parking	35	56	Open Space	0	3,931 sq. ft. (13%)
Drive Aisles	24 ft.	20 ft.			

The petitioner wishes to demolish the existing building and construct a three-story court yard townhouse building. The petitioner is requesting a planned development, special use, a variation for drive aisle dimensions and a final plat of subdivision to complete the project. The proposed building would occupy the majority of the site and would have the setbacks noted in the above table. There would be two access points from Warren Avenue. The garages would access off of the two drives. The units would front on green space with the inner units fronting off of a thirty (30) foot wide court yard. The overall site would contain thirteen (13) percent green space.

Because the property is located within the DB Downtown Business District, the project is required to have an on-site parking ratio of 1.4 spaces per dwelling unit, thirty-five (35) spaces in this case. The petitioner is proposing fifty-six (56) parking spaces (2 spaces per unit) in individual townhouse garages. The petitioner is proposing to sell the northern lot (on Rogers Street) to the owner of the Tivoli Theater in order to provide more parking for the theater. As part of the land sale, the petitioner would be maintaining the ability to park up to twelve (12) guests for the townhome development in the lot.

The petitioner is requesting a variation to decrease the width of the drive aisles from twenty-four (24) feet to twenty (20) feet. The drives will provide adequate access for emergency operations. No variations to reduce the number of parking spaces or to use any off-site parking areas are proposed.

The Plan Commission considered the project at their and December 4, 2006 meeting and recommended unanimous approval of the special use, variation, final planned development and plat of subdivision. The Commission required the petitioner to submit new drawings for the turn simulation and the north elevation and retaining wall prior to Village Council Review. The petitioner has submitted the revised plans to address the Plan Commission's recommendations; they are included as Exhibit A to the ordinances and resolution. Staff concurs with the Plan Commission recommendation.

ATTACHMENTS

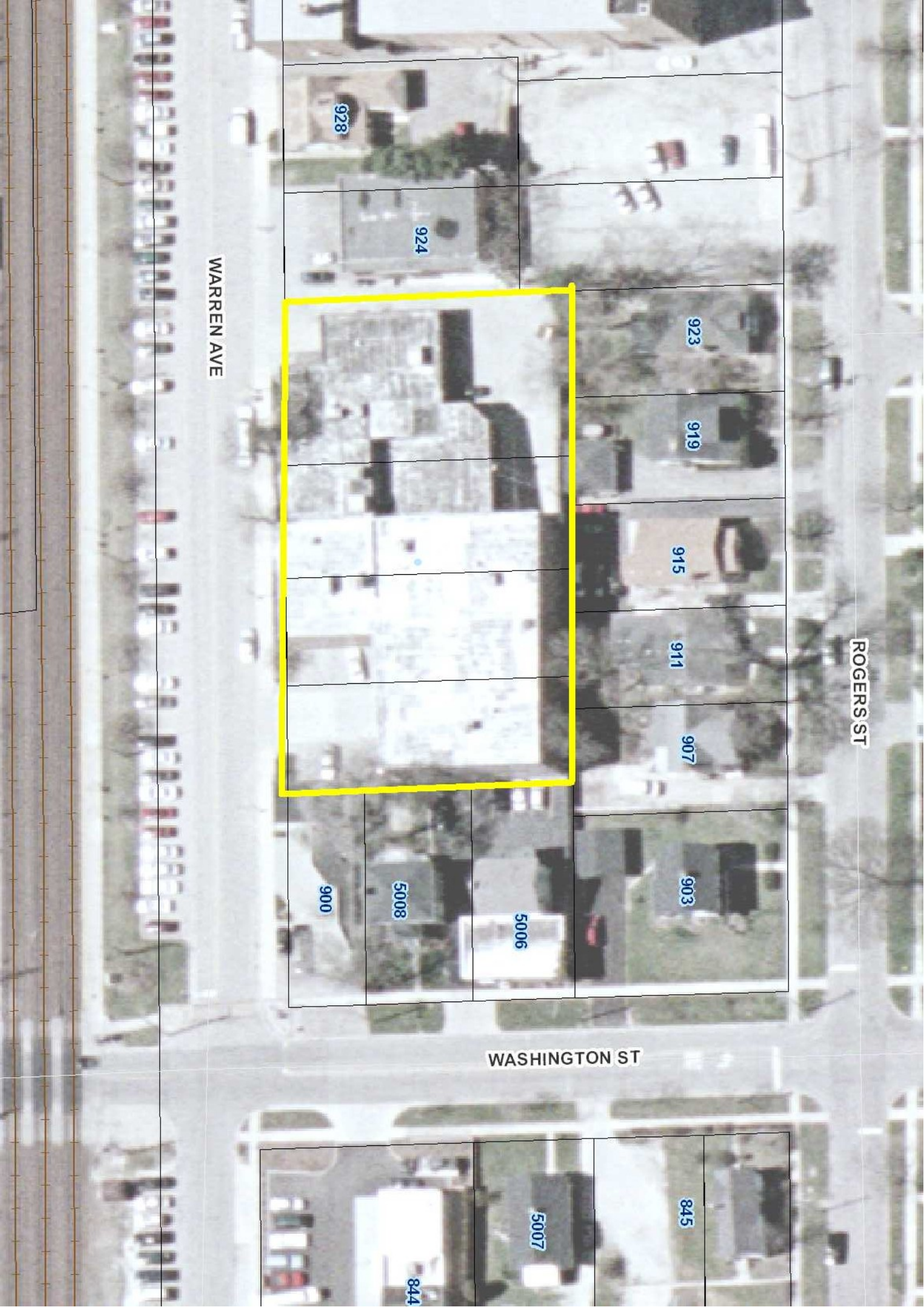
Aerial Map

Ordinance

Resolution

Revised Staff Report with attachments dated December 4, 2006

Draft Minutes of the Plan Commission Hearing dated December 4, 2006



ROGERS ST

WASHINGTON ST

WARREN AVE

928

924

923

919

915

911

907

903

5006

5008

900

845

5007

844

ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING
ORDINANCE OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS
TO DESIGNATE DOWNERS GROVE TOWNHOMES AS
FINAL PLANNED DEVELOPMENT NUMBER 42**

WHEREAS, the Owners of the property at 922 Warren Avenue, Downers Grove, IL (PINs 09-08-124-012, 09-08-124-014, -015, -016); (hereinafter referred to as the "Property" and legally described below) have requested that such real estate be designated as a Planned Development to be known as Downers Grove Townhomes Planned Development Number 42 pursuant to the provisions of the Comprehensive Zoning Ordinance of the Village of Downers Grove, as set forth in Chapter 28 of the Downers Grove Municipal Code (hereinafter referred to as the "Zoning Ordinance"); and

WHEREAS, the Owners have also filed a written petition with the Village conforming to the requirements of the Comprehensive Zoning Ordinance and requesting approval of Downers Grove Townhomes Final Planned Development site plans for construction of a residential development as provided under the Comprehensive Zoning Ordinance; and,

WHEREAS, the Property is zoned "*DB, Downtown Business District*" under the Downers Grove Zoning Ordinance; and,

WHEREAS, the Plan Commission of the Village of Downers Grove has given the required public notice and has conducted a public hearing respecting a final plan for the Downers Grove Townhomes Planned Development Number 42 on the Property in accordance with the laws of the State of Illinois and the ordinances of the Village of Downers Grove and has reported its findings and recommendations to the Village Council of the Village of Downers Grove pursuant to the provisions of the Zoning Ordinance; and,

WHEREAS, the Plan Commission recommended that the Property be designated as a Planned Development, with approval of the Downers Grove Townhomes planned development plans as the documents submitted are consistent with the requirements of the Comprehensive Zoning Ordinance and the character of the planned development; and

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

SECTION 1. That the provisions of the preamble are incorporated into this ordinance.

SECTION 2. The following documents are attached hereto and incorporated herein by reference as a part of this ordinance and are hereafter collectively referred to as the "Downers Grove Townhomes Final Development Plans", all of which are incorporated by reference:

1. The development shall substantially conform to the engineering plans prepared by Terra Engineering dated August 31, 2006, revised November 1, 2006; the architectural plans prepared by John Conrad Schiess dated August 31, 2006, revised November 3, 2006; the landscaping plan prepared by McAdam Landscaping, Inc. dated October 31, 2006 and to the final plat of subdivision prepared by United Survey Service, LLC dated November 21, 2006, attached hereto as Group Exhibit A, except as such plans may be modified to conform to Village Codes and Ordinances and the following conditions:

- a. Prior to commencement of site development activities, the petitioner shall make donations in the following amounts payable to the Village of Downers Grove: \$17,880.24 to School District 58; \$7,538.16 to School District 99 and \$52,275.44 to the Downers Grove Park District – a grand total of \$77,693.84. All donations are subject to verification by the Community Development Department prior to the issuance of building permits.
2. Prior to the commencement of site development activities, the petitioner shall provide the Director of Community Development with a copy of the restrictive covenants for review and approval.
3. Prior to the issuance of construction/site development permits, the following changes shall be made to the plans:
 - a. No exposed smooth concrete masonry units (CMU) shall be used for an exterior building material per Section 7.26 of the Municipal Code.
 - b. The two (2) twenty (20) foot wide drive aisles shall be signed as a dedicated fire lane.
 - c. Balconies shall not be permitted to extend over the drive aisles.
 - d. “No parking” signs shall be posted in all of the drive aisles between the buildings. A traffic signage plan shall be submitted to the Village Engineer and Fire Prevention Chief for review and approval.
 - e. A complete fire detection and suppression system shall be required for all buildings in a manner acceptable to the Village Engineer and Fire Prevention Chief. The utility plan shall be revised to indicate the location and size of fire protection mains and connections.
 - f. The Fire Department connection shall be located in a manner acceptable to the Fire Prevention Chief.
 - g. The fire hydrants on Warren Avenue shall be located further from the driveways in a manner acceptable to the Village Engineer and the Fire Prevention Chief.
 - h. The new water main connections at Warren Avenue shall be made with six (6) inch tees cut into the existing six (6) inch main. The valve shall be eight (8) inches and located in a sixty (60) inch vault.
 - i. The two eight (8) inch valves shall be relocated from the street to the driveway apron.
 - j. The slope of the entry drive off of Rogers Street shall be reduced to five (5) percent. The following recommended slope limits should be incorporated: standard parking stalls 1% to 5%, accessible parking stalls 1% to 2%, turf areas 2% to 10%, sidewalk longitudinal slope 0.5% to 5%, sidewalk cross-slope 1% to 2%, private access driveway slope 1% to 8%, public driveway apron 1% to 5%.
 - k. A detailed grading plan, utility plan with utility structure details and street and sidewalk repair details shall be provided in a manner acceptable to the Community Development Director and Village Engineer prior to the issuance of any construction permits.
 - l. The location of the sanitary mains shall be further from the building foundations. The location of these mains shall be revised in a manner acceptable to the Downers Grove Sanitary District and the Village Engineer.
 - m. A DuPage County-format stormwater submittal shall be submitted to the Village for review and approval. Storm sewer and overland flow calculations shall be provided in the submittal. Please note the calculations should prove the buildings, garage floors and parking areas will not flood in a 100-year storm event.
 - n. Proposed one foot elevation contours and additional spot elevations shall be added to the grading plan.
 - o. The areas adjacent to the buildings shall slope away from the buildings for a minimum of five (5) feet horizontally.
 - p. Stormwater quality best management practices shall be incorporated into the site design.
 - q. All downspouts and footing drain sump discharge lines shall be connected to the on-site storm sewers. These connections shall be indicated on the plans. Staff recommends

- cleanouts for the sewers prior to connection.
 - r. Storm manholes and/or catch basins shall be provided for all on-site storm sewer connections. Wye and tee connections are not permitted by the Village. Details shall be provided to the Village.
 - s. A manhole shall be provided for the storm sewer connection at Warren Avenue. Please note a wye connection is not permitted. Details shall be provided to the Village.
 - t. Prior to the demolition of the existing buildings, all utility disconnections shall be made in a manner acceptable to the Village Engineer.
 - u. All Class 52 DIWM shall be poly wrapped and noted on the utility plan.
4. The petitioner shall provide different pavement markings, textures and/or any other traffic calming measures deemed necessary through the drive aprons and sidewalks at the access points on Warren Avenue. Such improvements shall be presented in manner acceptable to the Village Engineer.

SECTION 3. That the Village Council hereby finds as follows:

1. That Planned Development Number 42 meets the requirements of the Comprehensive Zoning Ordinance as follows:
- a. That the planned development at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
 - b. That the planned development will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.
 - c. That the planned development is specifically listed as a special use in the district in which it is to be located.
 - d. That the location and size of the planned development, the nature and intensity of the operation involved in or conducted in connection with said planned development, the size of the subject property in relation to the intensity of uses proposed, and the location of the site with respect to streets giving access to it, shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located.
 - e. That the planned development will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood.
 - f. That the nature, location, and size of the structures involved with the establishment of the planned development will not impede, substantially hinder, or discourage the development and use of adjacent land and structures in accord with the zoning district in which it is located.
 - g. That adequate utilities, access roads, drainage, and other necessary facilities have been or will be provided for the planned development.

- h. That parking areas shall be of adequate size for that particular planned development, which areas shall be properly located and suitably screened from adjoining residential uses.
 - i. That the planned development shall in all other respects conform to the applicable regulations of the zoning district in which it is located.
- 2. That the proposed Development conforms with the requirements of the Comprehensive Zoning Ordinance.

SECTION 4. The Zoning Ordinance is hereby amended by adding to the Zoning Map the boundaries of the following described real estate and by designating said real estate as a Planned Development under the title and style "Downers Grove Townhomes Planned Development Number 42" to be stated on the face of said map within the boundaries of the real estate hereinafter described, to wit:

Parcel 1: Lot 7 (except the South 14 feet thereof) and West 27 feet of Lot 8 (except South 14 feet thereof) In Gallagher's Subdivision of the South 247.5 feet of Lots 3, 4 and the West Half of Lot 5 of Beardsley's Addition to Downers Grove, a subdivision of part of the Northwest Quarter of Section 8, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat of said Gallagher's Subdivision recorded February 19, 1923 as Document 162910, in DuPage County, Illinois.

Parcel 2: The East 53 feet (except that part, if any, falling in the West 27 feet of said lot) of Lot 8 (except the South 14 feet thereof) of Gallagher's Subdivision of the South 247.5 feet of Lots 3, 4 and the West Half of Lot 5 of Beardsley's Addition to Downers Grove, a subdivision of part of the Northwest Quarter of Section 8, Township 38 North, Range 11 East of the Third Principal Meridian, in DuPage County, Illinois.

Parcel 4: Lot 9 and Lot 10 (except the South 14 feet) in Gallagher's Subdivision of the South 247.5 feet of Lots 3, 4 and the West Half of Lot 5 of Beardsley's Addition to Downers Grove, in the Northwest fractional Quarter of Section 8, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat of said subdivision recorded February 19, 1923 as Document 162910, amended by affidavit recorded January 24, 1938 as Document 386895 in DuPage County, Illinois.

Commonly known as 922 Warren Avenue, Downers Grove, IL (PINs 09-08-124-012, 09-08-124-014,-015,-016)

SECTION 5. The Downers Grove Townhomes Final Planned Development Plans be and are hereby approved to permit a Planned Development, subject to the conditions and restrictions contained therein, and subject to the following:

- a. The planned development shall be constructed, maintained and operated in conformance with the Downers Grove Townhomes Final Planned Development Plans as well as such covenants, conditions and restrictions as may be approved by the Village Council.
- b. The Village shall have the right to review and approve the bylaws, and any changes thereto, to ensure compliance with this Ordinance and applicable laws.
- c. Except as provided herein, the Downers Grove Townhomes Final Planned Development Number 42 shall be in conformance with all applicable laws of the Village.

SECTION 6. The Downers Grove Townhomes Development Plans as well as all covenants, conditions and restrictions heretofore or hereafter filed in connection with the Downers Grove Townhomes Planned Development Number 42 shall be deemed to be contractual undertakings by and shall be binding upon the applicants therefore, the owners of the land covered by the Downers Grove Townhomes Planned Development Number 42, and their successors and assigns, and shall limit and control the construction, location, use and operation of all land in the Downers Grove Townhomes Planned Development Number 42 , and improvements and structures to be located thereon; and that no building permit or improvement location permit shall be issued with respect to any land included in such Planned Development unless countersigned by the Village Manager of the Village of Downers Grove.

SECTION 7. That all ordinances or resolutions, or parts thereof, in conflict with the provisions of this ordinance be and are hereby repealed.

SECTION 8. That this ordinance shall be in full force and effect from and after its passage and publication in the manner provided by law.

Mayor

Passed:

Published:

Attest: _____
Village Clerk

RESOLUTION _____

**A RESOLUTION APPROVING THE FINAL PLAT OF SUBDIVISION FOR THE
DOWNERS GROVE TOWNHOMES**

WHEREAS, application has been made pursuant to the provisions of Chapter 20 of the Downers Grove Municipal Code for Final Plat of Subdivision approval for the Downers Grove Townhomes, located on the north side of Warren Avenue, approximately 100 feet West of Washington Street, Downers Grove, Illinois, legally described as follows:

Parcel 1: Lot 7 (except the South 14 feet thereof) and West 27 feet of Lot 8 (except South 14 feet thereof) In Gallagher's Subdivision of the South 247.5 feet of Lots 3, 4 and the West Half of Lot 5 of Beardsley's Addition to Downers Grove, a subdivision of part of the Northwest Quarter of Section 8, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat of said Gallagher's Subdivision recorded February 19, 1923 as Document 162910, in DuPage County, Illinois.

Parcel 2: The East 53 feet (except that part, if any, falling in the West 27 feet of said lot) of Lot 8 (except the South 14 feet thereof) of Gallagher's Subdivision of the South 247.5 feet of Lots 3, 4 and the West Half of Lot 5 of Beardsley's Addition to Downers Grove, a subdivision of part of the Northwest Quarter of Section 8, Township 38 North, Range 11 East of the Third Principal Meridian, in DuPage County, Illinois.

Parcel 3: The South 123.75 feet of the North 140.25 feet of the East 50 feet of Lot 2 of Beardsley's Addition to the Town of Downers Grove, in the Northwest Quarter of Section 8, Township 38 North, Range 11 East of the Third Principal Meridian, in DuPage County, Illinois.

Parcel 4: Lot 9 and Lot 10 (except the South 14 feet) in Gallagher's Subdivision of the South 247.5 feet of Lots 3, 4 and the West Half of Lot 5 of Beardsley's Addition to Downers Grove, in the Northwest fractional Quarter of Section 8, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat of said subdivision recorded February 19, 1923 as Document 162910, amended by affidavit recorded January 24, 1938 as Document 386895 in DuPage County, Illinois.

Commonly known as 922 Warren Avenue, Downers Grove, IL (PINs 09-08-124-003, 09-08-124-012, 09-08-124-014,-015,-016)

WHEREAS, notice has been given and hearing held on December 4, 2006 regarding this plat application pursuant to the requirements of the Downers Grove Municipal Code; and,

WHEREAS, the Plan Commission has recommended approval of the Final Plat of Subdivision for the Downers Grove Townhomes Subdivision as requested, subject to certain conditions.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of the Village of Downers Grove that the Final Plat of Subdivision for the Residences at the Grove Subdivision, be and is hereby approved subject to the following conditions:

1. The development shall substantially conform to the engineering plans prepared by Terra Engineering dated August 31, 2006, revised November 1, 2006; the architectural plans prepared by John Conrad Schiess dated August 31, 2006, revised November 3, 2006; the landscaping plan prepared by McAdam Landscaping, Inc. dated October 31, 2006 and to the final plat of subdivision prepared by United Survey Service, LLC dated November 21, 2006, attached hereto as Group Exhibit A, except as such plans may be modified to conform to Village Codes and Ordinances and the following conditions:

- a. Prior to commencement of site development activities, the petitioner shall make donations in the following amounts payable to the Village of Downers Grove: \$17,880.24 to School District 58; \$7,538.16 to School District 99 and \$52,275.44 to the Downers Grove Park District – a grand total of \$77,693.84. All donations are subject to verification by the Community Development Department prior to the issuance of building permits.
2. Prior to the commencement of site development activities, the petitioner shall provide the Director of Community Development with a copy of the restrictive covenants for review and approval.
3. Prior to the issuance of construction/site development permits, the following changes shall be made to the plans:
 - a. No exposed smooth concrete masonry units (CMU) shall be used for an exterior building material per Section 7.26 of the Municipal Code.
 - b. The two (2) twenty (20) foot wide drive aisles shall be signed as a dedicated fire lane.
 - c. Balconies shall not be permitted to extend over the drive aisles.
 - d. “No parking” signs shall be posted in all of the drive aisles between the buildings. A traffic signage plan shall be submitted to the Village Engineer and Fire Prevention Chief for review and approval.
 - e. A complete fire detection and suppression system shall be required for all buildings in a manner acceptable to the Village Engineer and Fire Prevention Chief. The utility plan shall be revised to indicate the location and size of fire protection mains and connections.
 - f. The Fire Department connection shall be located in a manner acceptable to the Fire Prevention Chief.
 - g. The fire hydrants on Warren Avenue shall be located further from the driveways in a manner acceptable to the Village Engineer and the Fire Prevention Chief.
 - h. The new water main connections at Warren Avenue shall be made with six (6) inch tees cut into the existing six (6) inch main. The valve shall be eight (8) inches and located in a sixty (60) inch vault.
 - i. The two eight (8) inch valves shall be relocated from the street to the driveway apron.
 - j. The slope of the entry drive off of Rogers Street shall be reduced to five (5) percent. The following recommended slope limits should be incorporated: standard parking stalls 1% to 5%, accessible parking stalls 1% to 2%, turf areas 2% to 10%, sidewalk longitudinal slope 0.5% to 5%, sidewalk cross-slope 1% to 2%, private access driveway slope 1% to 8%, public driveway apron 1% to 5%.
 - k. A detailed grading plan, utility plan with utility structure details and street and sidewalk repair details shall be provided in a manner acceptable to the Community Development Director and Village Engineer prior to the issuance of any construction permits.
 - l. The location of the sanitary mains shall be further from the building foundations. The location of these mains shall be revised in a manner acceptable to the Downers Grove Sanitary District and the Village Engineer.
 - m. A DuPage County-format stormwater submittal shall be submitted to the Village for review and approval. Storm sewer and overland flow calculations shall be provided in the submittal. Please note the calculations should prove the buildings, garage floors and parking areas will not flood in a 100-year storm event.
 - n. Proposed one foot elevation contours and additional spot elevations shall be added to the grading plan.
 - o. The areas adjacent to the buildings shall slope away from the buildings for a minimum of five (5) feet horizontally.
 - p. Stormwater quality best management practices shall be incorporated into the site design.
 - q. All downspouts and footing drain sump discharge lines shall be connected to the on-site storm sewers. These connections shall be indicated on the plans. Staff recommends cleanouts for the

sewers prior to connection.

- r. Storm manholes and/or catch basins shall be provided for all on-site storm sewer connections. Wye and tee connections are not permitted by the Village. Details shall be provided to the Village.
 - s. A manhole shall be provided for the storm sewer connection at Warren Avenue. Please note a wye connection is not permitted. Details shall be provided to the Village.
 - t. Prior to the demolition of the existing buildings, all utility disconnections shall be made in a manner acceptable to the Village Engineer.
 - u. All Class 52 DIWM shall be poly wrapped and noted on the utility plan.
4. The petitioner shall provide different pavement markings, textures and/or any other traffic calming measures deemed necessary through the drive aprons and sidewalks at the access points on Warren Avenue. Such improvements shall be presented in manner acceptable to the Village Engineer.

BE IT FURTHER RESOLVED, that the Mayor and Village Clerk are authorized to sign the final plat.

BE IT FURTHER RESOLVED, that this resolution shall be in full force and effect from and after its adoption in the manner provided by law.

Mayor

Passed:

Attest: _____
Village Clerk



Village of Downers Grove

REVISED STAFF REPORT

TO: Plan Commission

HEARING DATE: December 4, 2006

FROM: Department of Community
Development

PREPARED BY: Jeff O'Brien, AICP
Senior Planner

TITLE

PC 47-06; Downers Grove Townhomes – 922 Warren Avenue; The petitioner is requesting final approval of a planned development and special use for the redevelopment of the former Reporter Building site with a new residential development containing twenty-eight (28) units and associated parking and landscaping. The project also includes approval of a final plat of subdivision and a variation for drive aisle dimensions.

APPLICATION/NOTICE: The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER: Downers Grove Development Group, LLC
811 Madison Street
Oak Park, IL 60302

APPLICANT: John Conrad Schiess
905 South Home Avenue
Oak Park, IL 60304

PROPERTY INFORMATION

EXISTING ZONING: DB Downtown Business District

EXISTING LAND USE: Vacant Commercial.

PROPERTY SIZE: Approximately 30,687 square feet.

PINs: 09-08-124-012, -014, -015, -016

SURROUNDING ZONING AND LAND USES:

ZONING

NORTH: DB Downtown Business &

SOUTH: DB Downtown Business &
BNSF Railroad Tracks

EAST: DB Downtown Business

WEST: DB Downtown Business

FUTURE LAND USE

Commercial

Commercial

N/A

Commercial

Commercial

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Applications/Petitions for Public Hearing
2. Proof of Ownership
3. Plat of Survey
4. Revised Plat of Subdivision
5. Revised Engineering Plans
6. Revised Site Plan
7. Revised Landscape Plan
8. Revised Building Elevations and Floor Plans
9. Revised Color Rendering

DESCRIPTION

The property is zoned DB Downtown Business. The subject site, located just north of the railroad track and just east of the Tivoli Theater is currently improved with a vacant commercial/manufacturing building and parking areas that were recently occupied by the Downers Grove Reporter operations. The petitioner wishes to demolish the existing building and construct a three-story court yard townhouse building. The petitioner is requesting a planned development, special use, a variation for drive aisle dimensions and a final plat of subdivision to complete the project.

The petitioner presented a similar redevelopment plan to the Plan Commission on October 2, 2006. The Plan Commission made a positive recommendation to the Village Council for that project. After the Plan Commission hearing, the petitioner chose to make some major revisions to their plan. The changes to the plan require an additional Plan Commission hearing prior to Village Council consideration. The changes are being driven by the petitioner's desire to provide additional open/recreational space by providing roof-top decks and a thirty (30) foot wide court yard. Additionally, the petitioner proposes to eliminate the existing underground parking structure on the site. The following is a list of the major differences between the two proposals:

- The underground parking garage has been eliminated.
- The northern surface parking lot is not included in this proposal.
- Total parking spaces for the development has been reduced from sixty-nine (69) to fifty-six (56).
- Total number of dwelling units has increased from twenty-five (25) to twenty-eight (28)
- The building is oriented north and south and face the side lot lines.
- Only one building is proposed due to the connections.
- A significant amount of green space has been added to the plan.
- The proposed building height is forty-nine (49) feet instead of thirty-seven (37) feet.
- Increased setbacks are being proposed along the east and west property lines.
- There will be two curb cuts onto Warren Avenue.

Development Summary

	Required/Max.	Proposed	Setbacks	Required	Proposed
Parcel Size	N/A	30,687 s.f	Front (South)	0	0 ft.
Dwelling Units	46	28	Rear (North)	0	0 ft.
Density	60 DU/acre	39.8 DU/acre	Side (East)	0	5.9-6.4 ft.
Lot Area per Unit	800 sq. ft.	1,096 sq. ft.	Side (West)	0	7.25-11.5 ft.
Building Height	70 ft.	49 ft.			
				Required	Provided

			Parking	35	56
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Site Design

The proposed building would occupy the majority of the site and would have the setbacks noted in the above table. There would be two access points from Warren Avenue. The garages would access off of the two drives. The units would front on green space with the inner units fronting off of a thirty (30) foot wide court yard. The overall site would contain thirteen (13) percent green space.

Emergency access would be provided in front of the building (on Warren Avenue) and in the drive aisles. The Fire Department has indicated the drive aisles would provide for adequate access provided there were no balconies or other obstructions in the drives. There would be no parking permitted in the drives in order to maintain emergency access.

There is no formal guest parking for this proposal. The petitioner has indicated they have had conversations with Mr. Willis Johnson (owner of the Tivoli Theater) regarding the north parking lot. The petitioner's intention is to sell that lot to Mr. Johnson and retain the right to park twelve (12) vehicles in the lot. These spaces would be used for overnight guest parking. Each dwelling unit would have a two-car garage – a total of fifty-six (56) parking spaces. Including the garage and the north parking lot, there would be sixty-eight (68) parking spaces for residents and their guests. The original proposal included a total of sixty-nine (69) parking spaces.

There would be no common dumpster. Rather, the individual unit owners would be responsible for their own roll-away dumpsters. These dumpsters will be stored in the garages and rolled to the curb by the owners.

Building Design

The buildings would have brick and stucco finishes on all four elevations with rough block and stone accents. The buildings would have pitched roofs with fiberglass shingles. The outer units would front on five (5) to eleven (11) foot wide green spaces and the inner units would front on the main court yard. The buildings would also have roof-top decks for additional recreational space. The garage doors will have a minimal visual impact on Warren Avenue.

Parking

Because the property is located within the DB Downtown Business District, the project is required to have an on-site parking ratio of 1.4 spaces per dwelling unit, thirty-five (35) spaces in this case. The petitioner is proposing fifty-six (56) parking spaces (2 spaces per unit) in individual townhouse garages. Additionally, the petitioner is proposing to sell the north surface lot, but would be maintaining the ability to park up to twelve (12) guests in the lot as part of the transfer of ownership.

The petitioner is not requesting any variations to reduce the number of parking spaces or to use any off-site parking areas. However, the petitioner is requesting a variation to decrease the width of the drive aisles from twenty-four (24) feet to twenty (20) feet. The drives will provide adequate access for emergency operations.

Staff believes the variations are appropriate and necessary to facilitate orderly redevelopment of the site. Additionally, the petitioner has worked extensively with the Fire Department to ensure adequate emergency access to the site. Staff believes reduced drive aisle widths are appropriate for residential users and their guests as there is not a high turnover rate for these type of uses. Residents and their guests also become accustomed to the narrower aisles as they continuously use the facilities.

Access

Vehicular access to the site would be provided via Warren Avenue. There would be two (2) curb cuts on Warren Avenue. The emergency access to the site will be provided from Warren Avenue in both of the driveways.

COMPLIANCE WITH THE FUTURE LAND USE PLAN

According to the Future Land Use Plan, the subject property is designated for commercial uses. Staff believes additional residential uses are necessary to utilize the increased commercial development in the downtown with

new projects such as Acadia on the Green and Charles Place under construction. Additionally, staff believes this site is outside of the Downtown's retail core. The proposed residential use will compliment the existing and proposed commercial uses in the Downtown. Staff believes the proposed development is consistent with the intent of Future Land Use Plan designation as well as the permitted special uses in the DB district. The proposal is also consistent with other Village planning documents.

COMPLIANCE WITH THE ZONING ORDINANCE

The property is zoned DB Downtown Business. The proposed use, multi-family residential, is a permitted special use in this zoning district. The proposed site plan meets the zoning requirements for setbacks, parking, open space, lot coverage, etc. Based on the plans, staff believes the buildings will conform to the setback and other bulk requirements. Only a variation for drive aisle dimensions (summarized above) is being requested for this development. No other zoning variations are required to complete this project.

COMPLIANCE WITH THE SUBDIVISION ORDINANCE

The proposed development conforms to all aspects of the Subdivision Ordinance. As such, no exceptions from the subdivision code are being requested by the petitioner. The petitioner will be required to pay donations to the School and Park Districts. There will be twenty-eight (28) three-bedroom townhomes included in this development. As such, donations in the following amounts will be required as part of the approval for this development: \$17,880.24 to School District 58; \$7,538.16 to School District 99 and \$52,275.44 to the Downers Grove Park District – a grand total of \$77,693.84.

COMPLIANCE WITH THE SIGN ORDINANCE

This section is not applicable as no signs are being proposed at this time. All signage will be required to conform to the sign regulations.

COMPLIANCE WITH THE OGDEN AVENUE MASTER PLAN

This section is not applicable

ENGINEERING/PUBLIC IMPROVEMENTS

The required public improvements (e.g., water, sewers, sidewalks, etc.) are already in place for the development. The petitioner will be required to make any necessary upgrades to the utility facilities. The site is currently 100 percent impervious and is less than one acre. As such, separate detention facilities are not required. The development must conform to the Village's stormwater management ordinance requirements.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division of the Fire Department has reviewed the plans and has noted that the site will provide adequate emergency access with the maintenance of the two twenty (20) foot wide drive aisles. The buildings will be required to have sprinkler and alarm systems.

NEIGHBORHOOD COMMENT

Staff has not received any new neighborhood comment regarding the proposal at this time. However, several neighbors spoke at the October 2, 2006 Plan Commission hearing. Concerns regarding the retaining wall along the northern property line were raised. The petitioner has indicated they will work with the neighbors to the north to fix the aesthetic and drainage issue caused by the existing retaining wall. The revised plan calls for a new retaining wall along the northern property line.

Additionally, concerns were raised about combining the northern surface lot with the existing Tivoli Theater parking areas. The petitioner is working with the owner of the Tivoli Theater to devise a plan to use the lot in order to allow parking for guests of the proposed development and theater patrons.

FINDINGS OF FACT

The standards for approval of Planned Developments and Special Uses are listed below. The petitioner has addressed the standards for approval in the attached project summary. Staff believes the proposed development is

compatible with the surrounding area and will not have an adverse impact on the existing land uses in the area or the trend of development in the Downtown.

28.1607 Standards for Approval of Planned Developments

The Plan Commission may recommend a planned development designation, plan or amendment based upon the following findings:

- (1) The extent to which the planned development meets the standards of this Article.*
- (2) The extent to which the planned development departs from the zoning and subdivision regulations otherwise applicable to the subject property, including but not limited to, the density, dimension, area, bulk, and use, and the reasons why such departures are deemed to be in the public interest.*
- (3) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.*
- (4) Conformity with the planning objectives of the Village.*

The Village Council may authorize a planned development designation, plan or amendment with findings such as, but not limited to, the following:

- (1) That the planned development at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
- (2) That the planned development will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*
- (3) That the planned development is specifically listed as a special use in the district in which it is to be located.*
- (4) That the location and size of the planned development, the nature and intensity of the operation involved in or conducted in connection with said planned development, the size of the subject property in relation to the intensity of uses proposed, and the location of the site with respect to streets giving access to it, shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located.*
- (5) That the planned development will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood.*
- (6) That the nature, location, and size of the structures involved with the establishment of the planned development will not impede, substantially hinder, or discourage the development and use of adjacent land and structures in accord with the zoning district in which it is located.*
- (7) That adequate utilities, access roads, drainage, and other necessary facilities have been or will be provided for the planned development.*
- (8) That parking areas shall be of adequate size for that particular planned development, which areas shall be properly located and suitably screened from adjoining residential uses.*
- (9) That the planned development shall in all other respects conform to the applicable regulations of the zoning district in which it is located.*

RECOMMENDATION

Staff believes that the required standards have been met and recommends approval of the final planned development, special use, variation and final plat of subdivision associated with PC 47-06 subject to the following conditions:

1. The development shall substantially conform to the engineering plans prepared by Terra Engineering dated August 31, 2006, revised November 1, 2006; the architectural plans prepared by John Conrad Schiess dated August 31, 2006, revised November 3, 2006; the landscaping plan prepared by McAdam Landscaping, Inc. dated October 31, 2006 and to the final plat of subdivision prepared by United Survey Service, LLC dated November 21, 2006 except as such plans may be modified to conform to Village Codes and Ordinances and the following conditions:

2. Prior to commencement of site development activities, the petitioner shall make donations in the following amounts payable to the Village of Downers Grove: \$17,880.24 to School District 58; \$7,538.16 to School District 99 and \$52,275.44 to the Downers Grove Park District – a grand total of \$77,693.84. All donations are subject to verification by the Community Development Department prior to the issuance of building permits.
3. Prior to the commencement of site development activities, the petitioner shall provide the Director of Community Development with a copy of the restrictive covenants for review and approval.
4. Prior to the issuance of construction/site development permits, the following changes shall be made to the plans:
 - a. No exposed smooth concrete masonry units (CMU) shall be used for an exterior building material per Section 7.26 of the Municipal Code.
 - b. The two (2) twenty (20) foot wide drive aisles shall be signed as a dedicated fire lane.
 - c. Balconies shall not be permitted to extend over the drive aisles.
 - d. “No parking” signs shall be posted in all of the drive aisles between the buildings. A traffic signage plan shall be submitted to the Village Engineer and Fire Prevention Chief for review and approval.
 - e. A complete fire detection and suppression system shall be required for all buildings in a manner acceptable to the Village Engineer and Fire Prevention Chief. The utility plan shall be revised to indicate the location and size of fire protection mains and connections.
 - f. The Fire Department connection shall be located in a manner acceptable to the Fire Prevention Chief.
 - g. The fire hydrants on Warren Avenue shall be located further from the driveways in a manner acceptable to the Village Engineer and the Fire Prevention Chief.
 - h. The new water main connections at Warren Avenue shall be made with six (6) inch tees cut into the existing six (6) inch main. The valve shall be eight (8) inches and located in a sixty (60) inch vault.
 - i. The two eight (8) inch valves shall be relocated from the street to the driveway apron.
 - j. The slope of the entry drive off of Rogers Street shall be reduced to five (5) percent. The following recommended slope limits should be incorporated: standard parking stalls 1% to 5%, accessible parking stalls 1% to 2%, turf areas 2% to 10%, sidewalk longitudinal slope 0.5% to 5%, sidewalk cross-slope 1% to 2%, private access driveway slope 1% to 8%, public driveway apron 1% to 5%.
 - k. A detailed grading plan, utility plan with utility structure details and street and sidewalk repair details shall be provided in a manner acceptable to the Community Development Director and Village Engineer prior to the issuance of any construction permits.
 - l. The location of the sanitary mains shall be further from the building foundations. The location of these mains shall be revised in a manner acceptable to the Downers Grove Sanitary District and the Village Engineer.
 - m. A DuPage County-format stormwater submittal shall be submitted to the Village for review and approval. Storm sewer and overland flow calculations shall be provided in the submittal. Please note the calculations should prove the buildings, garage floors and parking areas will not flood in a 100-year storm event.
 - n. Proposed one foot elevation contours and additional spot elevations shall be added to the grading plan.
 - o. The areas adjacent to the buildings shall slope away from the buildings for a minimum of five (5) feet horizontally
 - p. Stormwater quality best management practices shall be incorporated into the site design.
 - q. All downspouts and footing drain sump discharge lines shall be connected to the on-site storm sewers. These connections shall be indicated on the plans. Staff recommends cleanouts for the sewers prior to connection.
 - r. Storm manholes and/or catch basins shall be provided for all on-site storm sewer connections. Wye and tee connections are not permitted by the Village. Details shall be provided to the Village.

- s. A manhole shall be provided for the storm sewer connection at Warren Avenue. Please note a wye connection is not permitted. Details shall be provided to the Village.
- t. Prior to the demolition of the existing buildings, all utility disconnections shall be made in a manner acceptable to the Village Engineer.
- u. All Class 52 DIWM shall be poly wrapped and noted on the utility plan.

Staff Report Prepared By:

Don Rosenthal
Community Development Director

DR:jwo
-att

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The office of
John Conrad Schiess
Architect
905 South Home Avenue Oak Park Illinois 60304

3 November 2006

Jeff O'Brien
Village of Downers Grove
Downers Grove, IL

RE: Planned Development at
922 Warren , Downers Grove

Dear Jeff,

At our informal meeting of 23 October 2006 regarding the above referenced project, the following items were discussed and have been addressed in our revised submittal dated 3 November 2006. Here is a listing of those items and our responses:

1. There is some concern from staff regarding the auto Turning Radii from last 4 garage spaces – farthest north garages.

We have attached auto turning simulations that show that an average sized car can successfully maneuver in and out of the referenced garages. See Civil drawing C2.0 as prepared by Terra Engineering dated 2 November 2006.

2. Balconies that face the drive courts should not interfere with fire truck. It is recommended that these balconies face the “green court”.

We have accepted this recommendation and all overhanging balconies do not face either of the two drive courts. See site plan dated 3 November 2006.

3. Why is the loading dock located where shown?

It is my understanding that the location of the loading dock was recommended by Mr. Larry Bazaar, fire prevention chief. I believe his recommendation came from not wanting to have residential moving vans setting up inside of the drive aisles. On this point, we agree with Mr. Bazaar's recommendation. Therefore, we have set the loading area where it is currently shown. See site plan dated 3 November 2006.

4. How will garbage pick up be handled?

Garbage pick up will be handled via a private waste and recycling company that issues 90 gallon roll away plastic containers to each resident. Each resident will store two of these containers (one for waste, the other for recycling) in their private garages. On the scheduled day or days for pick up, each resident will roll the containers out and the waste & recycling company will pick up and empty each container. The residents will then roll each container back into their private garage. We plan on submitting a letter from the selected waste company to verify these details.

5. How will overnight parking be handled? What is the status of the north lot?

At this point, the north lot is an integral parcel with the subject parcel. As we mentioned at our last public hearing, we have been in conversations with Mr. Willis Johnson regarding a parking sharing agreement for the north lot. We believe that it is in the best interest of the Village as a whole for that lot to be used in coordination with the retail areas' overall parking needs. We also understand staff's concern for accommodation for overnight parking for guest of residents of the proposed development. Therefore, we have structured an agreement in principal with Mr. Johnson that addresses both demands. The fundamentals of the agreement are:

- 1. We subdivide the subject parcel so as to sell the north lot to Mr. Johnson's company.*
- 2. The sale has an easement or license agreement that residents of the proposed development have the "right" to use up to 12 parking spaces for overnight guest parking. That right is non-revocable but the spaces may be subject to relocation as long as the spaces are located within a reasonable distance for the proposed development. Prior to the public hearing, our hope is to have the sales agreement in writing between Mr. Johnson and us.*

6. Staff has noted that some of the elevations of the proposed building are close to the property lines. The building code restricts the size and total square footage of “openings” (windows and doors) in these elevations based on their proximity to the lot lines.

We note and agree with staff’s concern. Prior to the public hearing, we will submit calculations, based on the current building code, demonstrating compliance with the particular restrictions as cited in the building code. We will also address this issue in greater detail as we move from plan approval through to building permit approval.

8. Why the change from previously proposed development which was approved by the Plan Commission?

While we respect the opinion of staff and the plan commission members and we also appreciate staff’s support for the previous development and the unanimous vote from the Plan Commission, a factor has come to influence our decision about the previously proposed development. That factor is the changing market. Our previously proposed plan had units with very little or no area for outdoor living and entertaining. In a market where townhomes of this type are moving quickly, not having outdoor living space is not a very big negative from a sales and marketing perspective. However, in a competitive market, such as the one that is upon us, a negative like the one noted is highlighted and can cause a development to stay on the market for much longer than is feasible. Therefore, we adjusted the unit plans to all have roof decks in order to provide “the marketing edge” for the proposed development. In doing so, and in order to meet building code regulations, the entire configuration of the development was re-designed. The resulting site plan is a product of that re-design.

9. Show designated fire lanes on site plan.

We have incorporated this recommendation. See site plan dated 3 November 2006.

Sincerely,

John Conrad Schiess
Architect

Planned Development Standards for Approval 28-1607 and Applicant's Responses

6 November 2006

Standard 1

That the planned development at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

The proposed development at 922 Warren will provide the Village of Downers Grove a necessary service in that the housing type, in this particular case: townhomes, are a desirable place to live as evidenced by the amount of developments of these types of housing within that past few years. Townhomes like the ones proposed serve a segment of the housing buyer market that wants a new home with little or no maintenance. Since these developments are governed by a homeowners association that manages the care of the exterior maintenance, many professional buyers with little time for home maintenance are attracted to this type of housing. By providing this housing type in a desirable location, we, the applicant and the Village, are providing a "facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community."

Standard 2

That the planned development will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

The applicant has engaged in several staff meetings and has submitted several site plans and preliminary engineering plans. Based on preliminary feedback from Village staff, it was determined that there was no evidence whereby the proposed development would "under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity." Further, the applicant has furnished site plan drawings for review by Mr. Larry Bazaar, division chief for fire prevention. It is our belief that the latest revised site plan addresses all of the concerns raised by Mr. Bazaar. Therefore, in the absence of any evidence to the contrary we believe that the proposed development meets this particular standard.

Standard 3

That the planned development is specifically listed as a special use in the district in which it is to be located.

The proposed development is within the "DB Downtown Business District" zone district for the Village of Downers Grove per section 28-610. Also per the zoning ordinance, section 28-610 subsection "d" special uses item #1 lists multi-family residential as a permitted use as a "Special Use".

Standard 4

That the location and size of the planned development, the nature and intensity of the operation involved in or conducted in connection with said planned development, the size of the subject property in relation to the intensity of uses proposed, and the location of the site with respect to streets giving access to it, shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located.

The proposed development and size of the proposed development has been designed to "be in harmony with the appropriate, orderly development of the district in which it is located". As evidence of such, we submit that the proposed development is well below the allowable height and allowable setbacks as permitted within the underlying zone district. Further, the proposed development has been designed so that the "nature and intensity of the operation involved in or conducted in connection with said planned development, the size of the subject property in relation to the intensity of uses proposed, and the location of the site with respect to streets giving access to it, shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located." As evidence of this we submit that the proposed density of residential units is substantially below the allowable density as allowed for within the zone district as a special use. The proposed development proposes a total residential unit count of 28. Based on section 28-610 subsection "n", the allowable number of units is 49. Therefore the proposed development has a lower intensity of use and is well below the allowable maximum density in terms of lot coverage and number of units allowed.

Standard 5

That the planned development will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood.

The planned development will not be "injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood" in that no evidence has been provided, and we expect that no evidence will be submitted that shows that the proposed development will be "injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood." Therefore, in the absence of any evidence to the contrary we believe that the proposed development meets this particular standard.

Standard 6

That the nature, location, and size of the structures involved with the establishment of the planned development will not impede, substantially hinder, or discourage the development and use of adjacent land and structures in accord with the zoning district in which it is located.

The nature, location, and size of the structures involved with the establishment of the planned development will not impede, substantially hinder, or discourage the development and use of adjacent land and structures in accord with the zoning district in which it is located. As evidence of such we submit the site plan "SK-1.1" as prepared by the Office of John Conrad Schiess, Architect dated 3 November 2006 which shows that the various proposed structures and proposed roadways do not "substantially hinder, or discourage the development and use of adjacent land and structures in accord with the zoning district."

Standard 7

That adequate utilities, access roads, drainage, and other necessary facilities have been or will be provided for the planned development.

Based on preliminary civil engineering drawings as prepared by Terra Engineering dated 2 November 2006, the proposed development will provide all of the facilities for the planned development.

Standard 8

That parking areas shall be of adequate size for that particular planned development, which areas shall be properly located and suitably screened from adjoining residential uses.

All parking stall or garages that are shown on the drawings as prepared by the Office of John Conrad Schiess, Architect meet all of the requirements of the applicable codes for stall and aisle widths. The parking area to the north of the property, as shown on site plan "SK-1.1" dated 3 November 2006, has been designed to provide adequate landscape screening for the benefit of the neighbor to the west.

Standard 9

That the planned development shall in all other respects conform to the applicable regulations of the zoning district in which it is located.

It is our understanding that the development will "in all other respects conform to the applicable regulations of the zoning district." It is the intent of the applicant that the building structures shall conform to all applicable building codes and ordinances. Further, the development shall meet all applicable engineering and planning standards.

END OF RESPONSES

Special Use Standards for Approval 28-1902 and Applicant's Responses

3 November 2006

Standard (a)

That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

The proposed development at 922 Warren will provide the Village of Downers Grove a necessary service in that the housing type, in this particular case: townhomes, are a desirable place to live as evidenced by the amount of developments of these types of housing within that past few years. Townhomes like the ones proposed serve a segment of the housing buyer market that wants a new home with little or no maintenance. Since these developments are governed by a homeowners association that manages the care of the exterior maintenance, many professional buyers with little time for home maintenance are attracted to this type of housing. By providing this housing type in a desirable location, we, the applicant and the Village, are providing a "facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community."

Standard (b)

That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

The applicant has engaged in several staff meetings and has submitted several site plans and preliminary engineering plans. Based on preliminary feedback from Village staff, it was determined that there was no evidence whereby the proposed development would "under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity." Further, the applicant has furnished site plan drawings for review by Mr. Larry Bazaar, division chief for fire prevention. It is our belief that the latest revised site plan addresses all of the concerns raised by Mr. Bazaar. Therefore, in the absence of any evidence to the contrary we believe that the proposed development meets this particular standard.

Standard (c)

That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.

The applicant hereby certifies that the proposed development will comply with the regulations specified in the Zoning Ordinance for the DB district or will comply with any variations authorized pursuant to Section 28-1802."

Standard (d)

That it is one of the special uses specifically listed for the district in which it is to be located.

The proposed development is within the "DB Downtown Business District" zone district for the Village of Downers Grove per section 28-610. Also per the zoning ordinance, section 28-610 subsection "d" special uses item #1 lists multi-family residential as a permitted use as a "Special Use".

END OF REPONSES



DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois

Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

Submit for Planned Development: 1 September 2006
Revised for Planned Development: 3 November 2006

The Office of John Conrad Schiess Architect

Sheet Title
Rendering
SK3.6
Sheet No.

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I hereby certify that these plans were prepared by me or under my direct supervision and to the best of my knowledge and belief conform to the Codes and standards of the State of Illinois, Downers Grove, Illinois.

Downers Grove • 922 Warren Avenue
Analysis of Development Allowances Requested

Ordinance	Requirement	Plan Provision	Variance Requested*
USE	DB	PD	Allow Permitted Special Use:
	Downtown Business District	Residential Multi Family	Residential Multi Family in DB district
LOT SIZE	N/A	30,687.63 SF	
LOT COVERAGE	100%	26,756.27 SF; 87%	Plan provision exceeds requirement by 13%
GREEN SPACE	0%	3,931.36 SF; 13%	Plan provision exceeds requirement by 13%
DWELLING UNITS	46 max.	28	Plan provision exceeds requirement by 18 units
BUILDING HEIGHT	70'-0"	49'-0"	Plan provision exceeds requirement by 21'-0"
LOT AREA PER DWELLING UNIT	800 SF	1,096 SF	Plan provision exceeds requirement by 296 SF
MIN. FLOOR AREA PER DWELLING UNIT	3 Bed: 750 SF 2 Bed: 620 SF	1,995- 2,375 SF per unit	Plan provision exceeds requirement by +1245 SF
SETBACKS			
FRONT (Warren Ave)	0'-0"	0'-0"	No Allowance Requested
SIDE (East)	0'-0"	5'-11 7/16"	Plan Provision exceeds requirement by 5'-11 7/16"
SIDE (West)	0'-0"	7'-13/16"	Plan Provision exceeds requirement by 7'-13/16"
REAR	0'-0"	0'-7/16"	Plan Provision exceeds requirement by 0'- 7/16"
PARKING	Ordinance	Required Parking	Plan Provision
DB	1.4 per unit	35	56 Spaces Plan Provision exceeds requirement by 21 spaces
DIMENSIONS	Ordinance	Required Dimension	Plan Provision
Drive Aisles	24' wide	20' wide	Allowance request of 4' drive aisle width

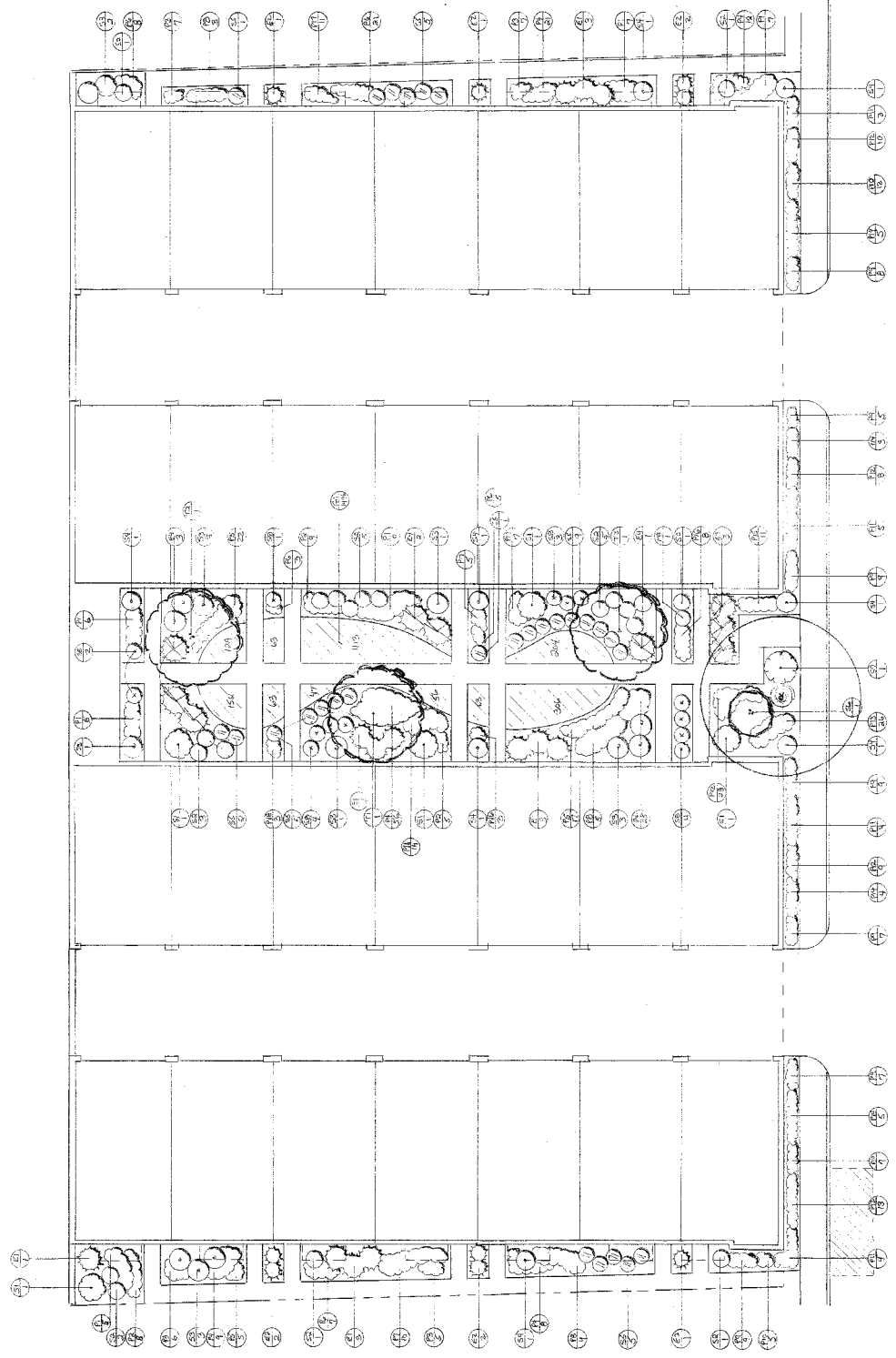
Downers Grove Townhomes 922 Warren Avenue Downers Grove

McAdam Landscaping, Inc.
2001 Des Plaines Avenue
Forest Park, Illinois 60130
Tel 708-771-2399 Fax 708-771-4553
www.mcadamlandscaping.com

DATE	10-31-01
TIME	10:00 AM
BY	YML
PROJECT	
BY	

Code	Qty	Size	Species	Botanical Name	Common Name
P1	40	1 gal	24"	Hoya Patriot	Hoya Patriot
P2	22	1 gal	15"	Pulmonaria saccharosa 'Mrs. Moon'	Lungwort
P3	13	1 gal	12"	Adiantum species	Wild Fern
P4	33	1 gal	12"	Adiantum species	Wild Fern
P5	44	1 gal	18"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P6	44	1 gal	12"	Begonia cordifolia 'Robbiana'	Pigeonick
P7	13	1 gal	12"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P8	13	1 gal	12"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P9	54	1 gal	18"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P10	24	1 gal	18"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P11	24	1 gal	18"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P12	63	1 gal	15"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P13	26	1 gal	15"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P14	17	1 gal	24"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P15	17	1 gal	24"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P16	25	1 gal	18"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P17	23	1 gal	18"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple
P18	3	1 gal	15"	Heuchera 'Palace Purple'	Dead Cranes' Palace Purple

Code	Qty	Size	Species	Botanical Name	Common Name
T1	1	3 ft	n/a	Corus alternifolia	Pagoda Dogwood
T2	1	3 ft	n/a	Cercis canadensis	Redbud
T3	1	3 ft	n/a	Amelanchier canadensis	Servoderry 'Coke's Select'
S1	5	35"	24"	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea
S2	20	24"	36"	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea
S3	14	24"	36"	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea
S4	8	24"	36"	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea
S5	28	18"	36"	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea
S6	1	5'	n/a	Wikstroemia cuneata	Crabtree Colonnade
S7	1	5'	n/a	Wikstroemia cuneata	Crabtree Colonnade
S8	14	24"	36"	Wikstroemia cuneata	Crabtree Colonnade
E1	13	24"	4"	Taxus media 'Everlow'	Everlow Yew
E2	3	36"	4"	Taxus media 'Everlow'	Everlow Yew
E3	3	36"	4"	Taxus media 'Everlow'	Everlow Yew
E4	6	12' - 15'	5'	Microbiota decussata	Shenan Cypress
G1	1455	3"	5"	Vinca minor	Vinca Boles Variety



THIS PLAN IS SUBMITTED BY:
UNITED SURVEY SERVICE, LLC
DES PLAINES, ILLINOIS 60015
PHONE: (847) 299-1010
FAX: (847) 299-5887



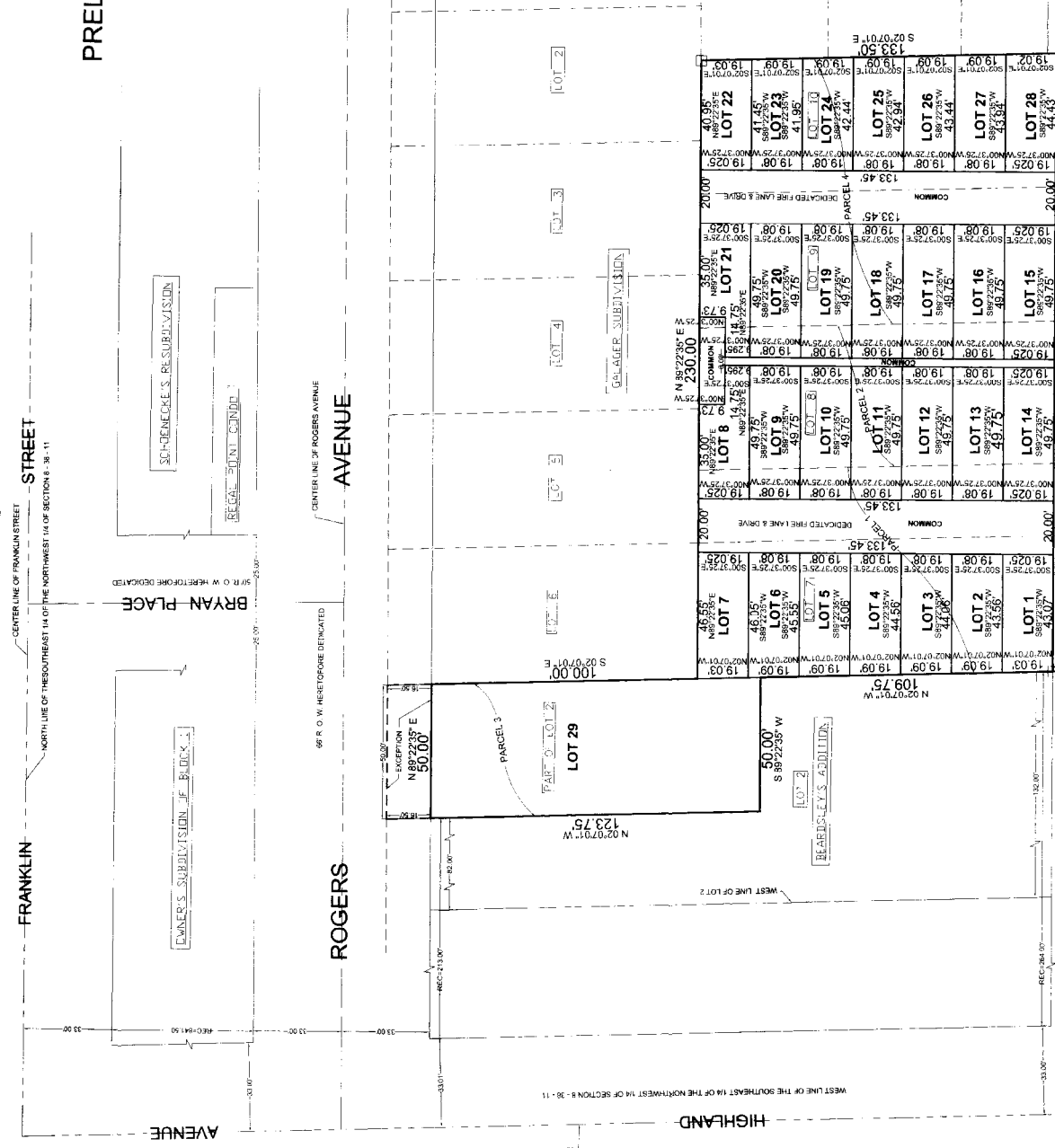
SEND TAX BILL TO:
DOWNERS GROVE
811 W MADISON STREET
DARTMOUTH, ILLINOIS 60018

MAIL PLAT TO:
UNITED SURVEY SERVICE, LLC
811 W MADISON STREET
DARTMOUTH, ILLINOIS 60018

PRELIMINARY / FINAL PLAT OF RESUBDIVISION TONYA TROYANOVSKY RESUBDIVISION

THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH,
RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS

PERMANENT INDEX NUMBERS
06-09-124-003-0000
08-09-124-012-0000
08-09-124-014-0000
08-09-124-016-0000
08-09-124-018-0000
08-09-124-019-0000



LOT 1	AREA = 524.50 FT
LOT 2	AREA = 536.50 FT
LOT 3	AREA = 548.50 FT
LOT 4	AREA = 560.50 FT
LOT 5	AREA = 572.50 FT
LOT 6	AREA = 584.50 FT
LOT 7	AREA = 596.50 FT
LOT 8	AREA = 608.50 FT
LOT 9	AREA = 620.50 FT
LOT 10	AREA = 632.50 FT
LOT 11	AREA = 644.50 FT
LOT 12	AREA = 656.50 FT
LOT 13	AREA = 668.50 FT
LOT 14	AREA = 680.50 FT
LOT 15	AREA = 692.50 FT
LOT 16	AREA = 704.50 FT
LOT 17	AREA = 716.50 FT
LOT 18	AREA = 728.50 FT
LOT 19	AREA = 740.50 FT
LOT 20	AREA = 752.50 FT
LOT 21	AREA = 764.50 FT
LOT 22	AREA = 776.50 FT
LOT 23	AREA = 788.50 FT
LOT 24	AREA = 800.50 FT
LOT 25	AREA = 812.50 FT
LOT 26	AREA = 824.50 FT
LOT 27	AREA = 836.50 FT
LOT 28	AREA = 848.50 FT
LOT 29	AREA = 860.50 FT
COMMON	AREA = 4025.50 FT
TOTAL SUBDIVISION	AREA = 30855.50 FT OR 0.64 ACRES

ORDERED BY:	METROPOLIS ARCHITECTS & BUILDERS
SCALE:	1" = 20'
DATE:	NOVEMBER 21, 2006
FILE NO.:	2006-16302-1
DATE	
REVISION	

WARREN AVENUE
HITHERTO DEDICATED

PREPARED BY:

UNITED SURVEY SERVICE, LLC
CONSTRUCTION AND LAND SURVEYORS
9681 ELAN DRIVE, SUITE 100
DES PLAINES, ILLINOIS 60016
TEL: (847) 299-1010 FAX: (847) 299-5887
E-MAIL: USURVEY@IX.NETCOM.COM

TO: COMMONWEALTH EDISON COMPANY
ATTN: UNITED SURVEY SERVICE, LLC
9681 ELMS TERRACE
DES PLAINES, ILLINOIS 60016
PHONE (847) 299-1010
FAX (847) 299-5867

SEND TAX BILL TO:
COMMONWEALTH EDISON COMPANY
ATTN: UNITED SURVEY SERVICE, LLC
9681 ELMS TERRACE
DES PLAINES, ILLINOIS 60016
FAX (847) 299-5867

EASEMENT PROVISIONS

EASEMENTS DESIGNATED FOR UNDERGROUND AND SURFACE TELECOMMUNICATIONS GRANTED TO THE VILLAGE OF DOWNSERS GROVE, AND THE PROVIDERS OF PUBLIC UTILITIES AND DRAINAGE FACILITIES ARE HEREBY RESERVED FOR THE VILLAGE OF DOWNSERS GROVE. THE VILLAGE OF DOWNSERS GROVE, IN ALL PLATTED EASEMENT AREAS SHOWN ON THIS PLAT, SAID EASEMENTS SHALL BE MAINTAINED FOR THE PURPOSES OF INSTALLING, EXTENDING, CONSTRUCTING, REPAIRING, MAINTAINING, OPERATING, AND USING SUCH FACILITIES AND UTILITIES. THE VILLAGE OF DOWNSERS GROVE, IN ALL PLATTED EASEMENT AREAS SHOWN ON THIS PLAT, SAID EASEMENTS SHALL BE MAINTAINED FOR THE PURPOSES OF INSTALLING, EXTENDING, CONSTRUCTING, REPAIRING, MAINTAINING, OPERATING, AND USING SUCH FACILITIES AND UTILITIES. THE VILLAGE OF DOWNSERS GROVE, IN ALL PLATTED EASEMENT AREAS SHOWN ON THIS PLAT, SAID EASEMENTS SHALL BE MAINTAINED FOR THE PURPOSES OF INSTALLING, EXTENDING, CONSTRUCTING, REPAIRING, MAINTAINING, OPERATING, AND USING SUCH FACILITIES AND UTILITIES.

THIS GRANT OF EASEMENT SHALL INCLUDE THE RIGHT OF THE GRANTEE TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES, AND THE RIGHT TO CONSTRUCT, MAINTAIN, REPAIR, OPERATE, AND USE SUCH FACILITIES AND UTILITIES. THE GRANTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND OPERATION OF SUCH FACILITIES AND UTILITIES. THE GRANTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND OPERATION OF SUCH FACILITIES AND UTILITIES. THE GRANTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND OPERATION OF SUCH FACILITIES AND UTILITIES.

THE GRANTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND OPERATION OF SUCH FACILITIES AND UTILITIES. THE GRANTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND OPERATION OF SUCH FACILITIES AND UTILITIES. THE GRANTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND OPERATION OF SUCH FACILITIES AND UTILITIES. THE GRANTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND OPERATION OF SUCH FACILITIES AND UTILITIES. THE GRANTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND OPERATION OF SUCH FACILITIES AND UTILITIES.

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO

- VILLAGE OF DOWNSERS GROVE
- NORTHERN ILLINOIS GAS COMPANY
- CABLE TV
- COMMONWEALTH EDISON COMPANY
- SBC
- UTILITY SIGNATURES

BY _____
TITLE - _____
BY _____
TITLE - CABLE TV
BY _____
TITLE - _____
BY _____
TITLE - COMMONWEALTH EDISON COMPANY
BY _____
TITLE - SBC

DUPAGE RECORDER'S CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE _____ DAY OF _____, 2006 AT _____ O'CLOCK _____ M AS DOCUMENT NUMBER _____

BY _____ COUNTY RECORDER

ORDERED BY ME: HOPKINS ARCHITECTS & BUILDERS			
SCALE: 1" = 20'			
DATE: NOVEMBER 21, 2006			
FILE NO.			
2006-16302-1			
DATE			
REVISION			

PRELIMINARY / FINAL PLAT OF RESUBDIVISION TONYA TROYANOVSKY RESUBDIVISION

THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS

PERMANENT INTEREST NUMBERS
08-09-124-012-0000
08-09-124-012-0000
08-09-124-014-0000
08-09-124-015-0000
08-09-124-016-0000

VILLAGE OF DOWNSERS GROVE CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

APPROVED THIS _____ DAY OF _____, 2006, BY THE COUNCIL OF THE VILLAGE OF DOWNSERS GROVE, ILLINOIS

BY _____ MAYOR
ATTEST _____ CLERK

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

I, _____ VILLAGE ENGINEER OF THE VILLAGE OF DOWNSERS GROVE, ILLINOIS, HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT AND THE EASEMENTS AND ENCUMBRANCES THEREON MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY THE PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF. DATED AT DOWNSERS GROVE, DUPAGE COUNTY, ILLINOIS THIS _____ DAY OF _____, 2006.

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

I, _____ CHAIRMAN OF THE VILLAGE OF DOWNSERS GROVE PLANNING AND ZONING COMMISSION CERTIFY THAT ON THE DAY OF _____, 2006, THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE PLANNING AND ZONING COMMISSION.

BY _____ CHAIRMAN

ATTEST _____ SECRETARY

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

I, _____ VILLAGE CLERK OF THE VILLAGE OF DOWNSERS GROVE, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE DURING MEETING HELD ON THE DAY OF _____, 2006, AND THAT THE REQUIRED BOND OR OTHER GRANTEE HAS BEEN POSTED FOR COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE. IN WITNESS WHEREOF, I HAVE SET MY HAND AND SEAL OF THE VILLAGE OF DOWNSERS GROVE, ILLINOIS, THIS _____ DAY OF _____, 2006.

BY _____ VILLAGE CLERK

OWNER'S CERTIFICATE

DOWNSERS GROVE DEVELOPMENT GROUP, HEREBY CERTIFIES THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED HEREON AND AS SUCH OWNER HAS CAUSED SAID PROPERTY TO BE SURVEYED AND RESUBDIVIDED IN THE MANNER HEREON DRAWN. IN WITNESS WHEREOF, OF SAID DOWNSERS GROVE DEVELOPMENT GROUP, AS OWNER OF SAID PROPERTY, I HAVE SET MY HAND AND SEAL OF SAID DEVELOPMENT GROUP, AUTHORIZED OFFICERS AND ITS CORPORATE SEAL TO BE HEREON AFFIXED, THIS _____ DAY OF _____, A.D. 2006.

BY _____ TITLE _____

BY _____ TITLE _____

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT _____ AND _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT APPEARED BEFORE ME THIS DAY IN PERSON AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS _____ AND CAUSED THE SEAL OF SAID _____ OF SAID _____ TO BE AFFIXED THERE TO PURSUANT TO THE AUTHORITY GIVEN BY THE _____ OF SAID _____ FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID _____ FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D. 2006.

BY _____ NOTARY PUBLIC

COMMISSION EXPIRES _____

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

I, _____ CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT FEDERAL TAXES OR UNPAID CURRENT FEDERAL TAXES, AND NO UNPAID OR DEFERRED STATE OR LOCAL INDEBTEDNESS, TAX SALE AGAINST ANY OF THE LAND INCLUDED IN THE PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED STATUTORY FEES IN CONNECTION WITH THE PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, 2006.

BY _____ COUNTY CLERK

MAIL PLAT TO:
VILLAGE OF DOWNSERS GROVE
801 BURLINGTON ROAD
DOWNSERS GROVE, ILLINOIS

SURVEYOR'S CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF COOK)

I, ROY G. LAMNICKZAK, A REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2294, HEREBY CERTIFY THAT I HAVE SURVEYED AND RESUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1: LOT 7 (EXCEPT THE SOUTH 14 FEET THEREOF) AND WEST 27 FEET OF LOT 8 (EXCEPT SOUTH 14 FEET THEREOF) IN GALLAGHER'S SUBDIVISION OF THE SOUTH 247 1/2 FEET OF BEARDSLEY'S ADDITION TO DOWNSERS GROVE, A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, AS SHOWN ON THE PLAT OF SAID GALLAGHER'S SUBDIVISION RECORDED FEBRUARY 19, 1923 AS DOCUMENT 162910, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THE EAST 53 FEET (EXCEPT THAT PART, IF ANY, FALLING IN THE 27 FEET OF SAID LOT) OF LOT 8 (EXCEPT THE SOUTH 14 FEET THEREOF) OF GALLAGHER'S SUBDIVISION OF THE SOUTH 247 1/2 FEET OF LOTS 3, 4, AND THE WEST 1/2 OF LOT 5 OF BEARDSLEY'S ADDITION TO DOWNSERS GROVE, A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3: THE SOUTH 123.75 FEET OF THE NORTH 140.25 FEET OF THE EAST 1/2 OF LOT 2 OF BEARDSLEY'S ADDITION TO THE TOWN OF DOWNSERS GROVE, THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 4: LOT 9 AND LOT 10 (EXCEPT THE SOUTH 14 FEET) IN GALLAGHER'S SUBDIVISION OF THE SOUTH 247 1/2 FEET OF LOTS 3, 4, AND THE WEST 1/2 OF BEARDSLEY'S ADDITION TO DOWNSERS GROVE, IN THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID SUBDIVISION RECORDED FEBRUARY 19, 1923 AS DOCUMENT 162910, AMENDED BY AFFIDAVIT RECORDED JANUARY 24, 1938 AS DOCUMENT 366695, IN DUPAGE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT NO PART OF THE PROPERTY COVERED BY THIS PLAT OF SUBDIVISION IS SITUATED WITHIN 500 FEET OF A SURFACE DRAIN OR WATER COURSE SERVING A TRIBUTARY AREA OF 640 ACRES OR MORE.

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF VILLAGE OF DOWNSERS GROVE, DUPAGE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE SUBJECT PROPERTY IS DESIGNATED AS ZONED AS SHOWN IN THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE VILLAGE OF DOWNSERS GROVE, ILLINOIS, COMMUNITY PANEL NUMBER _____, EFFECTIVE DATE _____, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

DATED THIS 21ST DAY OF NOVEMBER, A.D. 2006.

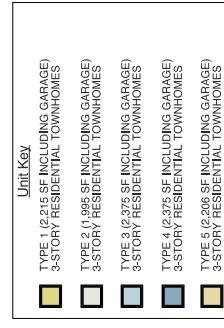
BY: _____

ROY G. LAMNICKZAK, REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2294, PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004576

PREPARED BY:

UNITED SURVEY SERVICE, LLC
CONSTRUCTION AND LAND SURVEYORS
9681 ELMS TERRACE, DES PLAINES, ILLINOIS 60016
TEL: (847) 299-1010 FAX: (847) 299-5867
E-MAIL: USURVEY@X.NETCOM.COM






Unit Key

- TYPE 1 (2,215 SF INCLUDING GARAGE)
3-STORY RESIDENTIAL TOWNHOMES
- TYPE 2 (1,995 SF INCLUDING GARAGE)
3-STORY RESIDENTIAL TOWNHOMES
- TYPE 3 (2,375 SF INCLUDING GARAGE)
3-STORY RESIDENTIAL TOWNHOMES
- TYPE 4 (2,375 SF INCLUDING GARAGE)
3-STORY RESIDENTIAL TOWNHOMES
- TYPE 5 (2,206 SF INCLUDING GARAGE)
3-STORY RESIDENTIAL TOWNHOMES

Graphic Scale



10 20 30 40

The Office of John Conrad Schiess Architect

Sheet Title
Site Plan
SK1.1
Sheet No.

I hereby certify that these plans were prepared under my direction and, to the best of my knowledge and belief, conform to the Codes and Ordinances of the Village of Downers Grove, Illinois.

Sheet No.

DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois
Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

Submit for Planned Development: 1 September 2006
Revised for Planned Development: 03 November 2006

OAK PARK, ILLINOIS 60302
(708) 445-8888

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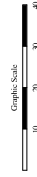


WARREN AVENUE



Emergency Egress Plan

Scale: 1" = 20'-0"



DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois
Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 745-3838

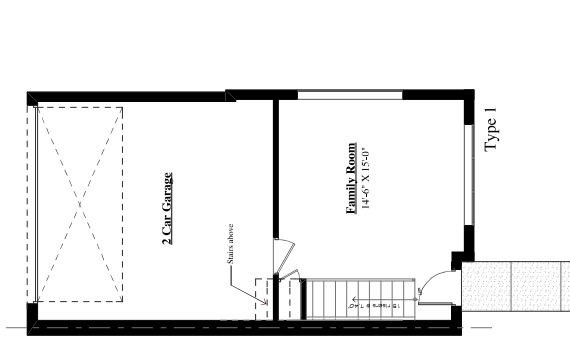
Submit for Planned Development: 1 September 2006
Revised for Planned Development: 03 November 2006

The Office of John Conrad Schiess Architect

Sheet Title
Emergency Egress Plan
SK1.2
Sheet No.

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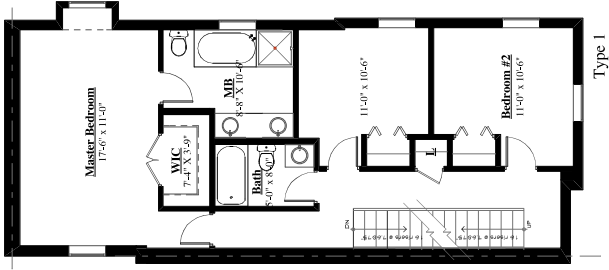
Understand that these plans were prepared under my direction and supervision and that I am a duly licensed professional architect and holder in good standing of the State of Illinois, and that I am not a partner or associate of the firm of Downers Grove, Illinois.



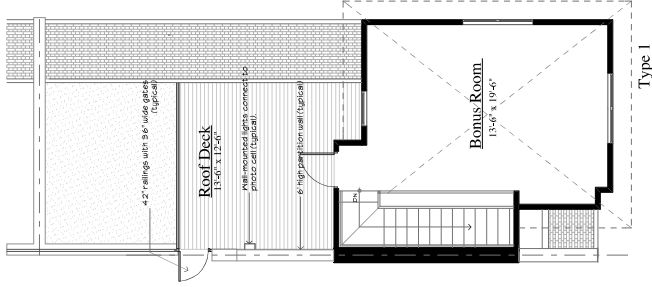
First Floor Plan - Typical for Type 1
Scale: 1" = 10'-0"



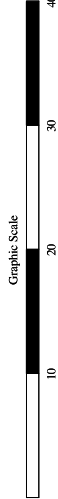
Second Floor Plan - Typical for Type 1
Scale: 1" = 10'-0"



Third Floor Plan - Typical for Type 1
Scale: 1" = 10'-0"



Roof Deck Plan - Typical for Type 1
Scale: 1" = 10'-0"



DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois
Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

Submit for Planned Development: 31 August 2006
Revised for Planned Development: 03 November 2006

The Office of John Conrad Schiess Architect

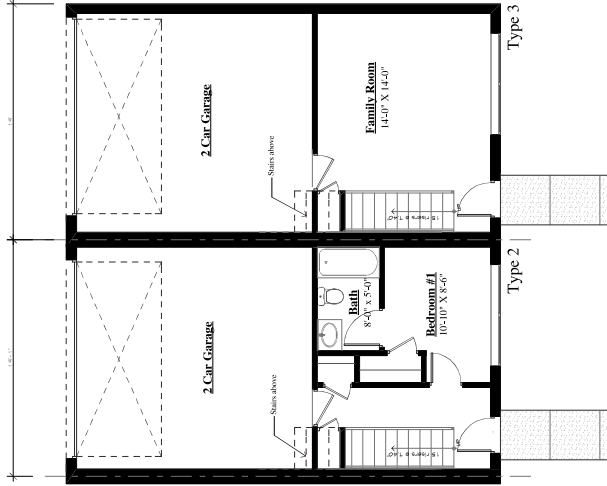
1 hereby certify that these plans were prepared under my direction and, to the best of my knowledge and belief, conform to the Codes and Regulations of the City of Downers Grove, Illinois.

Sheet Title
Floor Plans
SK2.1
Sheet No.

DOWNERS GROVE TOWNHOMES

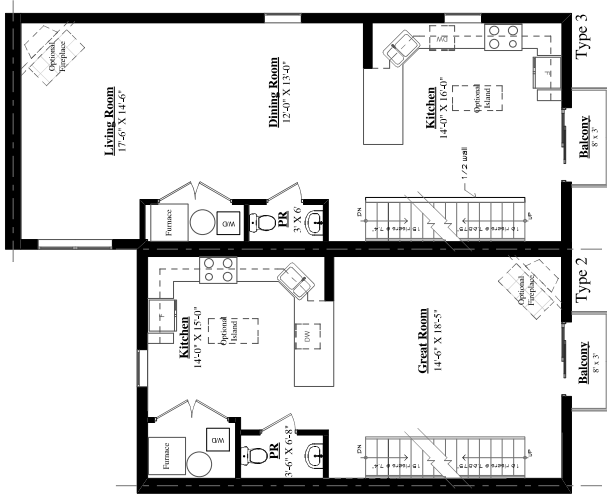
922 Warren, Downers Grove, Illinois
Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

Submit for Planned Development: 31 August 2006
Revised for Planned Development: 03 November 2006



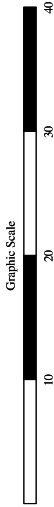
First Floor Plan - Typical for Types 2 & 3

Scale: 1" = 10'-0"



Second Floor Plan - Typical for Types 2 & 3

Scale: 1" = 10'-0"

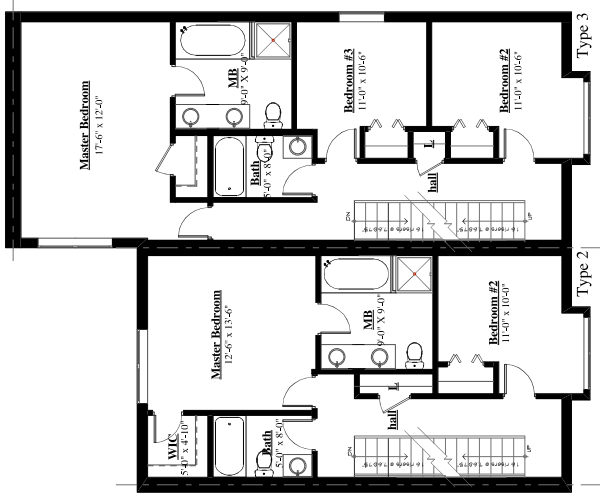


The Office of John Conrad Schiess Architect

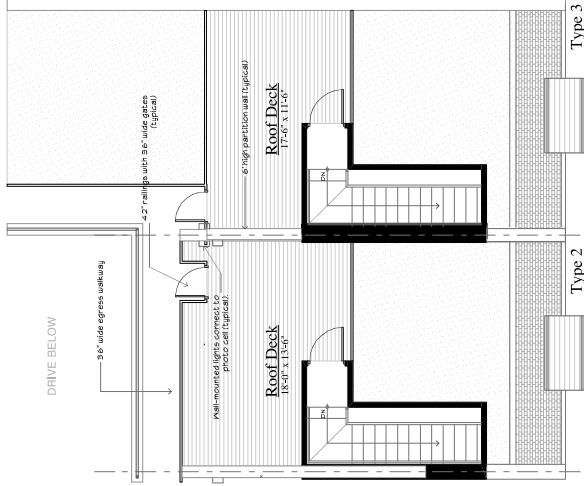
Sheet Title
Floor Plans
SK2.2
Sheet No.

I hereby certify that these plans were prepared under my direction and, to the best of my knowledge and belief, conform to the Codes and standards of the State of Downers Grove, Illinois.

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Third Floor Plan - Typical for Types 2 & 3
Scale: 1" = 10'-0"



Roof Deck Plan - Typical for Types 2 & 3
Scale: 1" = 10'-0"

DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois
Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

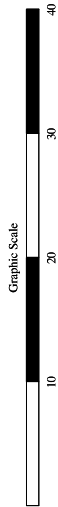
Submit for Planned Development: 31 August 2006
Revised for Planned Development: 03 November 2006

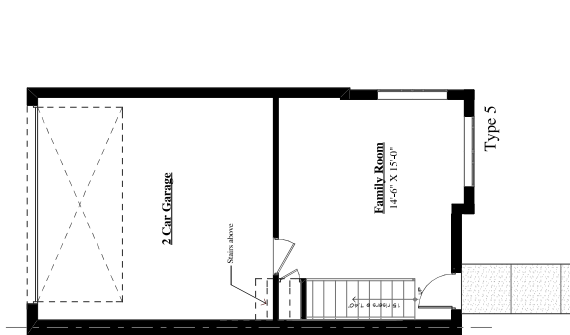
The Office of John Conrad Schiess Architect

Sheet Title
Floor Plans
SK2.3
Sheet No.

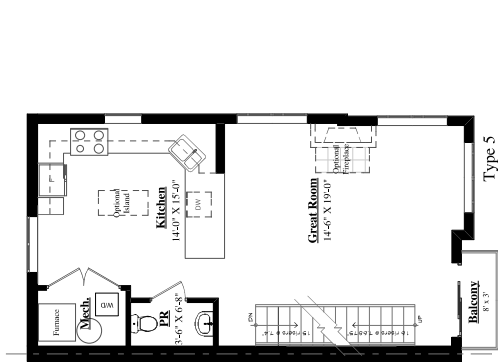
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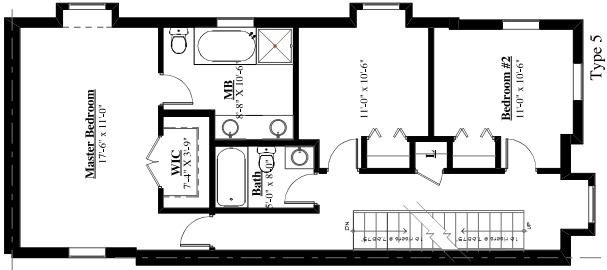




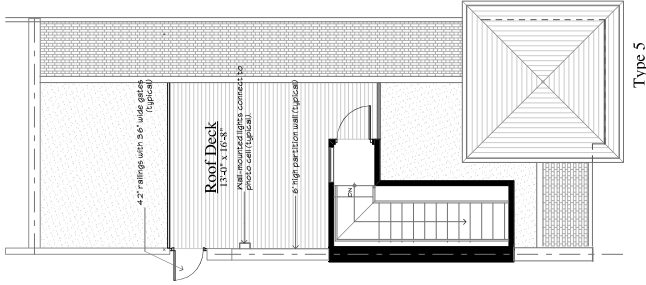
First Floor Plan - Typical for Type 5
Scale: 1" = 10'-0"



Second Floor Plan - Typical for Type 5
Scale: 1" = 10'-0"



Third Floor Plan - Typical for Type 5
Scale: 1" = 10'-0"



Roof Deck Plan - Typical for Type 5
Scale: 1" = 10'-0"

DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois
Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

Submit for Planned Development: 31 August 2006
Revised for Planned Development: 03 November 2006

The Office of John Conrad Schiess Architect

I hereby certify that these plans were prepared under my direction and, to the best of my knowledge and belief, conform to the Codes and standards of the State of Downers Grove, Illinois.

Sheet Title
Floor Plans
SK2.5
Sheet No.



DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois

Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

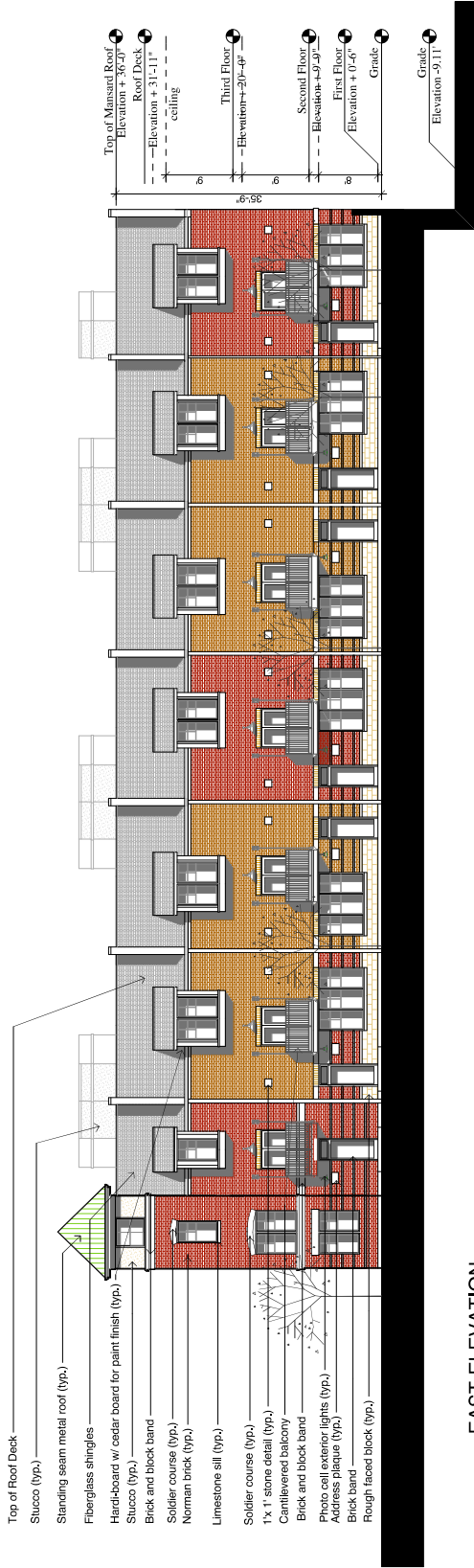
Submit for Planned Development: 1 September 2006
Revised for Planned Development: 3 November 2006

The Office of John Conrad Schiess Architect

Sheet Title
Elevation
SK3.1
Sheet No.

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EAST ELEVATION

Scale: 1/16" = 1'-0"

DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois

Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

Submit for Planned Development: 1 September 2006
Revised for Planned Development: 3 November 2006

The Office of John Conrad Schiess Architect

Sheet Title
Elevation
SK3.2
Sheet No.

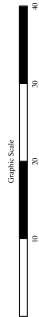
I hereby certify that these plans
were prepared by me or under my
supervision and to the best of my knowledge
and belief conform to the Codes
and Regulations of the City of
Downers Grove, Illinois.

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WEST ELEVATION

Scale: 1/16" = 1'-0"



DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois

Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

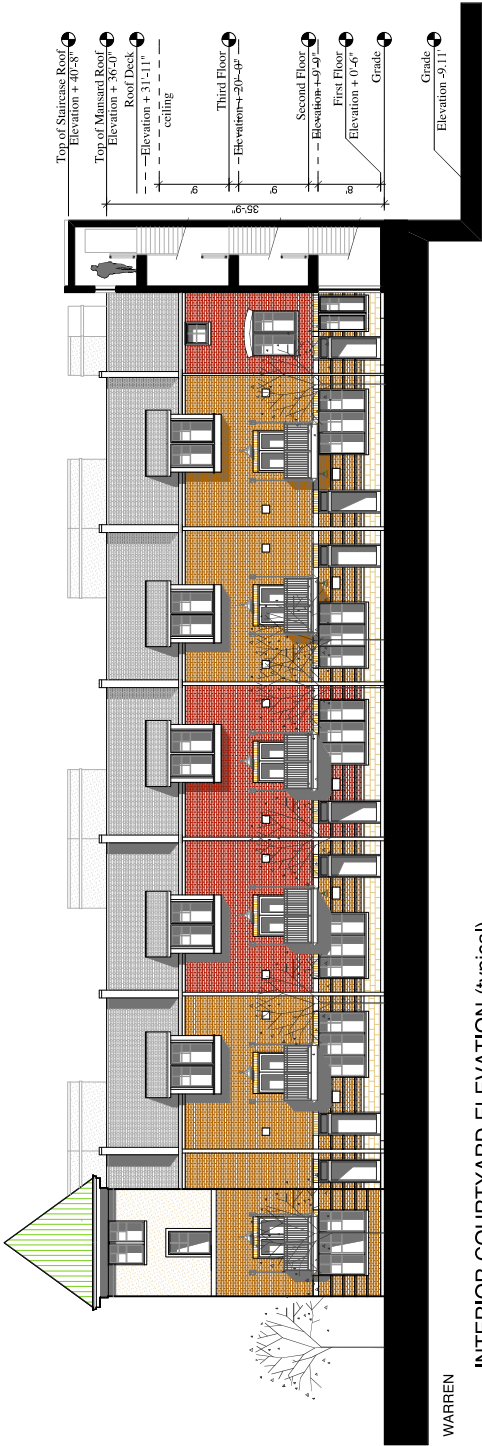
Submit for Planned Development: 1 September 2006
Revised for Planned Development: 3 November 2006

The Office of John Conrad Schiess Architect

Sheet Title
Elevation
SK3.3
Sheet No.

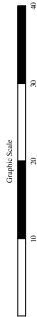
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and belief conform to the codes
and regulations of the City of
Downers Grove, Illinois.

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INTERIOR COURTYARD ELEVATION (typical)

Scale: 1/16" = 1'-0"



DOWNS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois

Downers Grove Development Group, LLC

811 West Madison

Oak Park, Illinois 60302

(708) 445-8888

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SECTION THRU DRIVE LOOKING WEST (TYPICAL)

Scale: 1/16" = 1'-0"

DOWNERS GROVE TOWNHOMES

922 Warren, Downers Grove, Illinois

Downers Grove Development Group, LLC
811 West Madison
Oak Park, Illinois 60302
(708) 445-8888

Submit for Planned Development: 1 September 2006
Revised for Planned Development: 3 November 2006

The Office of John Conrad Schiess Architect

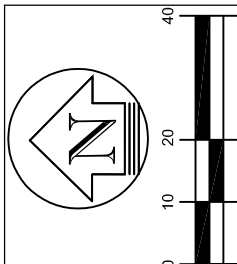
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Elevation
SK3.5
Sheet No.

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EXISTING LEGEND

- SAVED/REMOVED
- STORM MANHOLE
- CATCH BASIN
- STORM SEWER
- WATER MAIN VALVE
- FIRE HYDRANT
- WOOD UTILITY POLE
- OVERHEAD ELECTRIC LINES
- CONCRETE
- ASPHALT
- TOP OF CURB
- WH/OP OF WALK
- TOP OF FOUNDATION
- FINISH FLOOR



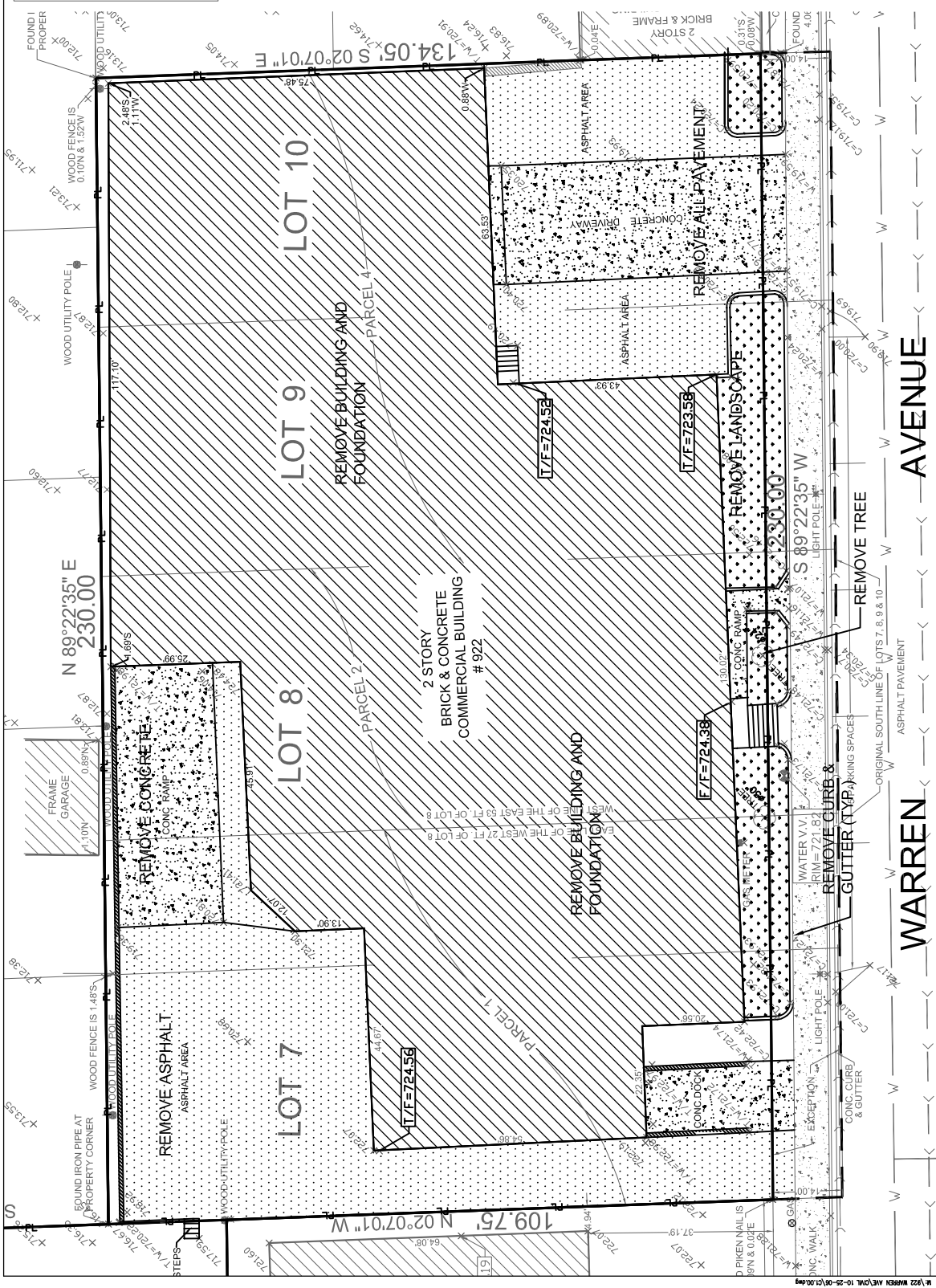
PROPOSED LEGEND:

PROPERTY LINE

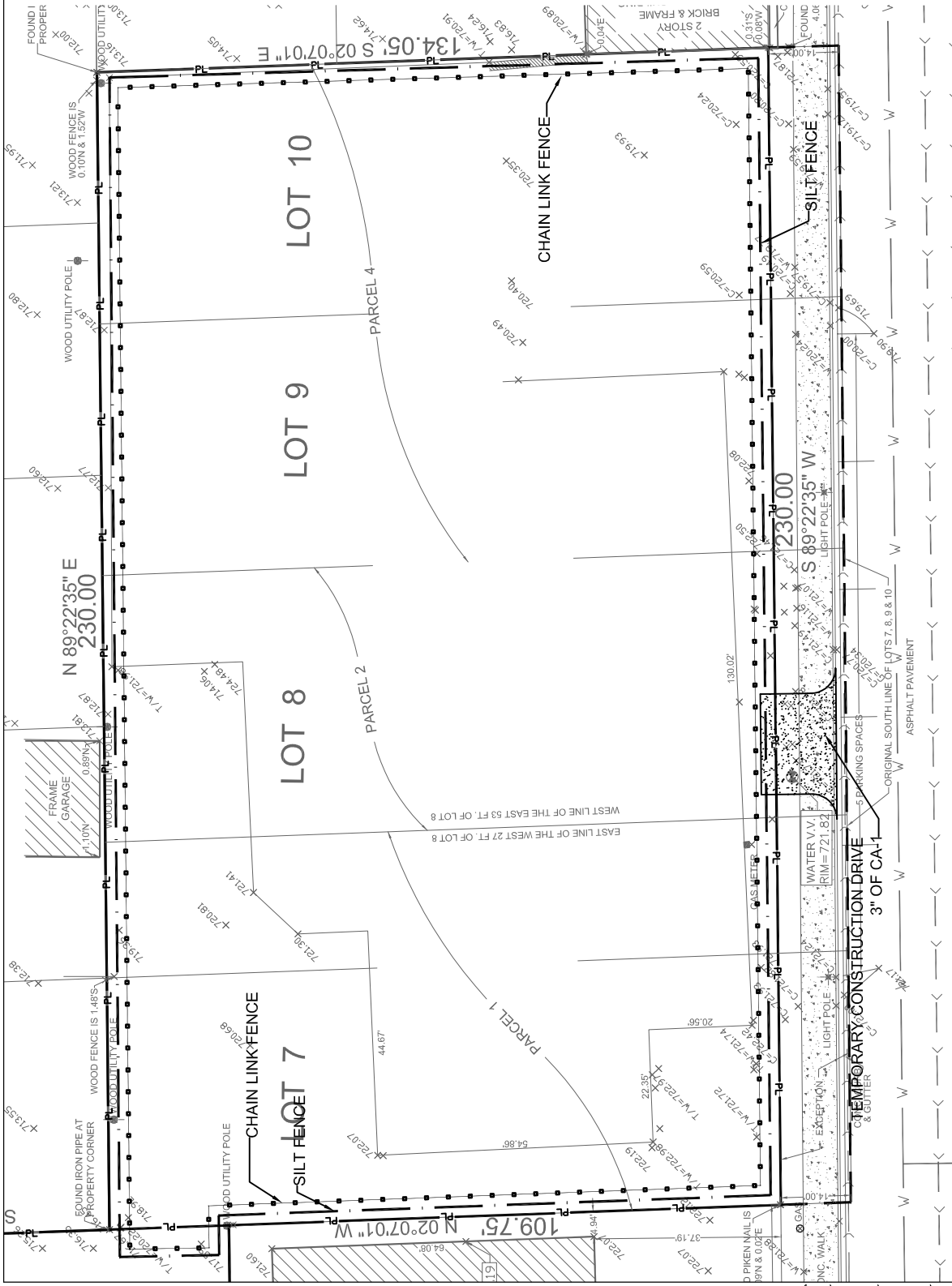
- CA-1 CONSTRUCTION DRIVE
- REMOVE EXISTING CURB AND GUTTER
- REMOVE EXISTING CONCRETE PAVEMENT AND BASE
- EXISTING BUILDING TO BE REMOVED BY OTHERS PRIOR TO CONSTRUCTION
- CA-1 CONSTRUCTION DRIVE
- REMOVE EXISTING ASPHALT PAVEMENT AND BASE

DEMOLITION NOTES:


- THE EXTENT OF DEMOLITION WORK IS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. ALL UTILITIES AND STRUCTURES TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER/ARCHITECT ALL ITEMS DESIGNATED TO BE REMOVED OR RELOCATED.
- IF ANY ITEMS ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON THE PLAN WHICH REQUIRE DEMOLITION OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- THE SURVEY BASE PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS.
- THE CONTRACTOR WILL PROTECT ALL UTILITIES DESIGNATED TO REMAIN. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE REPAIR/REPLACEMENT OF ALL ADJACENT PROPERTIES WILL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
- CHICAGO, IL, AND ANY OTHER AGENCY REQUIRED FOR COMPLETION OF THE PROJECT.
- CONTRACTORS SHALL ADJUST GRADES OF EXISTING STRUCTURES WITHIN SCOPE OF WORK TO FINAL GRADE ELEVATIONS.
- EXISTING LATERAL CONNECTIONS OF WATER, SEWER, GAS, ETC. SHALL BE COORDINATED WITH THE UTILITY COMPANY FOR CAPPING AND CUT OFF AT THE PROPERTY LINE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL EXISTING SERVICES AND APPURTENANCES TO BRANCHED BUILDINGS AND CAP/TERMINATE AS REQUIRED BY THE UTILITY COMPANY.

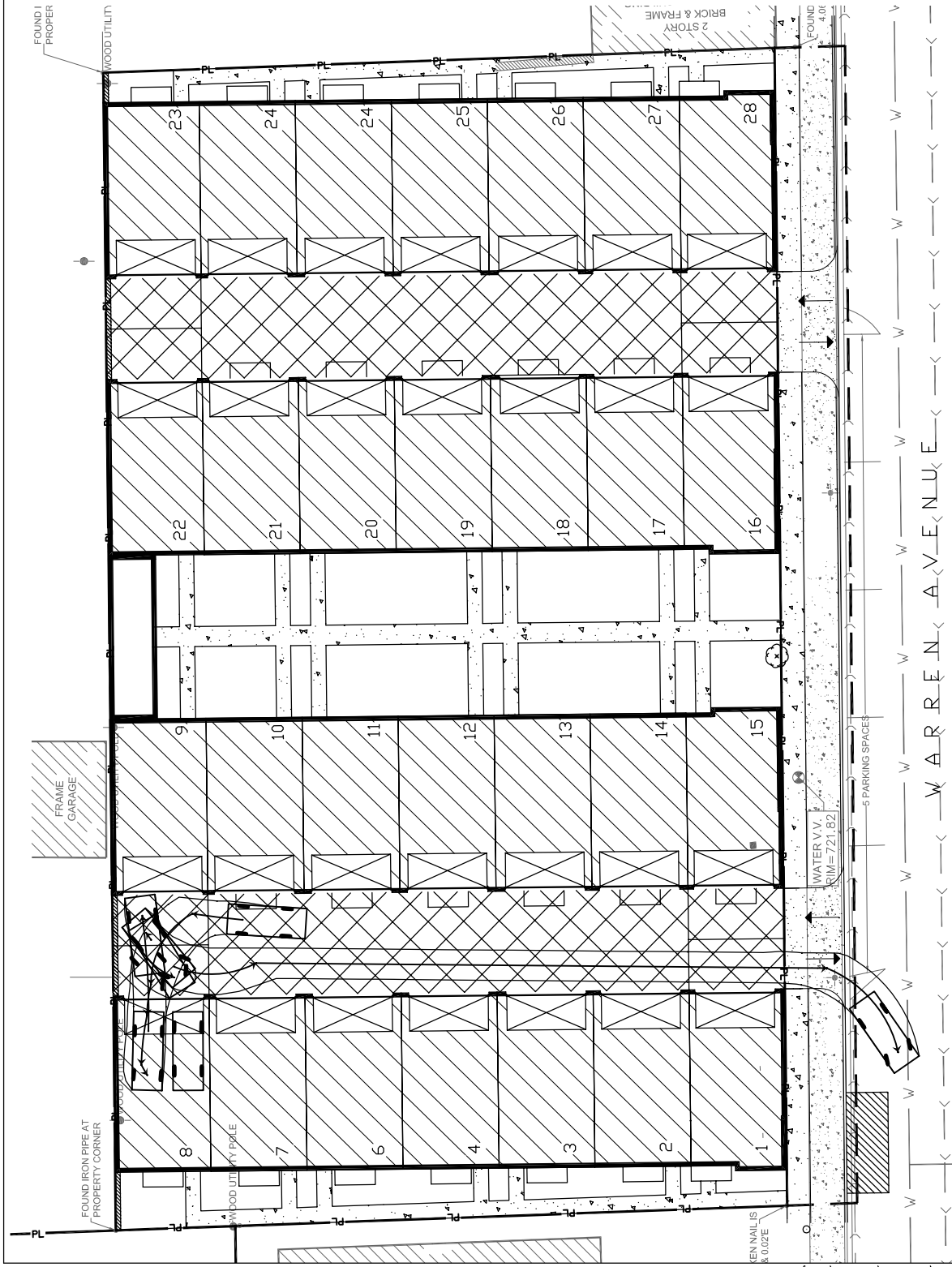
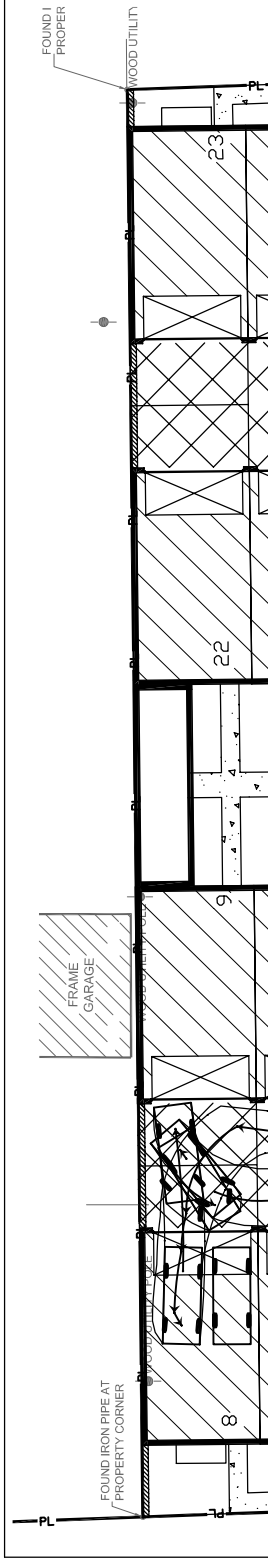


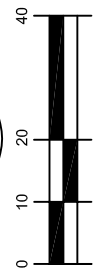
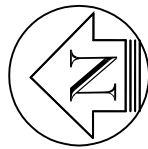
922 WARREN AVE. DOWNERS GROVE, ILLINOIS		TERRA ENGINEERING LTD.		505 N. LAUREL SUITE 250 CHICAGO, IL 60610 (312) 476-0123	
PROPOSED RESIDENTIAL DEVELOPMENT		DEMOLITION PLAN		C1.0	
NAMES		DATE		SCALE: 1"=40'	
DESIGNED BY		08.06.08		PROJECT NO.	
CHECKED BY		08.06.08		CLIENT NO.	
APPROVED BY		08.06.08			
DATE					
REVISIONS		DATE		BY	
2. ISSUED FOR PRELIMINARY REVIEW		08.06.08		LH	
1. ISSUED FOR PRELIMINARY REVIEW		08.06.08		LH	
1. ISSUED FOR PRELIMINARY REVIEW		08.06.08		LH	



1. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
2. STOCKPILES OF SOIL SHALL NOT BE LOCATED IN SPECIAL MANAGEMENT AREAS.
3. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE MONTHS, EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
4. IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF ANY ADJACENT WATERWAY ARE SUFFICIENT TO CAUSE SOILS CONSTRUCTION, THEN PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM SUCH DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION.
5. STORM SEWER INLET SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
6. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN FIFTEEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT ARE NOT PROTECTED WITHIN FIFTEEN DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.
7. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION OF WATERWING SHALL BE FILTERED.
8. GRAVELED AREAS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASH DOWN AREAS SHALL BE CONSTRUCTED AND MAINTAINED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
9. ALL CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THIS ORDINANCE SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF CONSTRUCTION. EROSION CONTROL MEASURES AND SOIL CONTROL MEASURES ARE INSTALLED.

 TERRA ENGINEERING LTD.		505 N. LA Salle SUITE 250 CHICAGO, IL 60610 (312) 476-0123	
SCALE: 1" = 40' PROJECT NO. CLIENT NO.		922 WARREN AVE. DOWNERS GROVE, ILLINOIS	
NAMES DRAWN BY: AK CHECKED BY: LA DATE: 08.08.06 DATE: 08.08.06		PRELIMINARY NOT FOR CONSTRUCTION	
REVISIONS		REVISIONS	
2. ISSUED FOR PRELIMINARY REVIEW 1. ISSUED FOR PRELIMINARY REVIEW		1. 08.11.02.06 1. 08.31.06	
NO.		DATE	
EROSION CONTROL PLAN		C1.1	

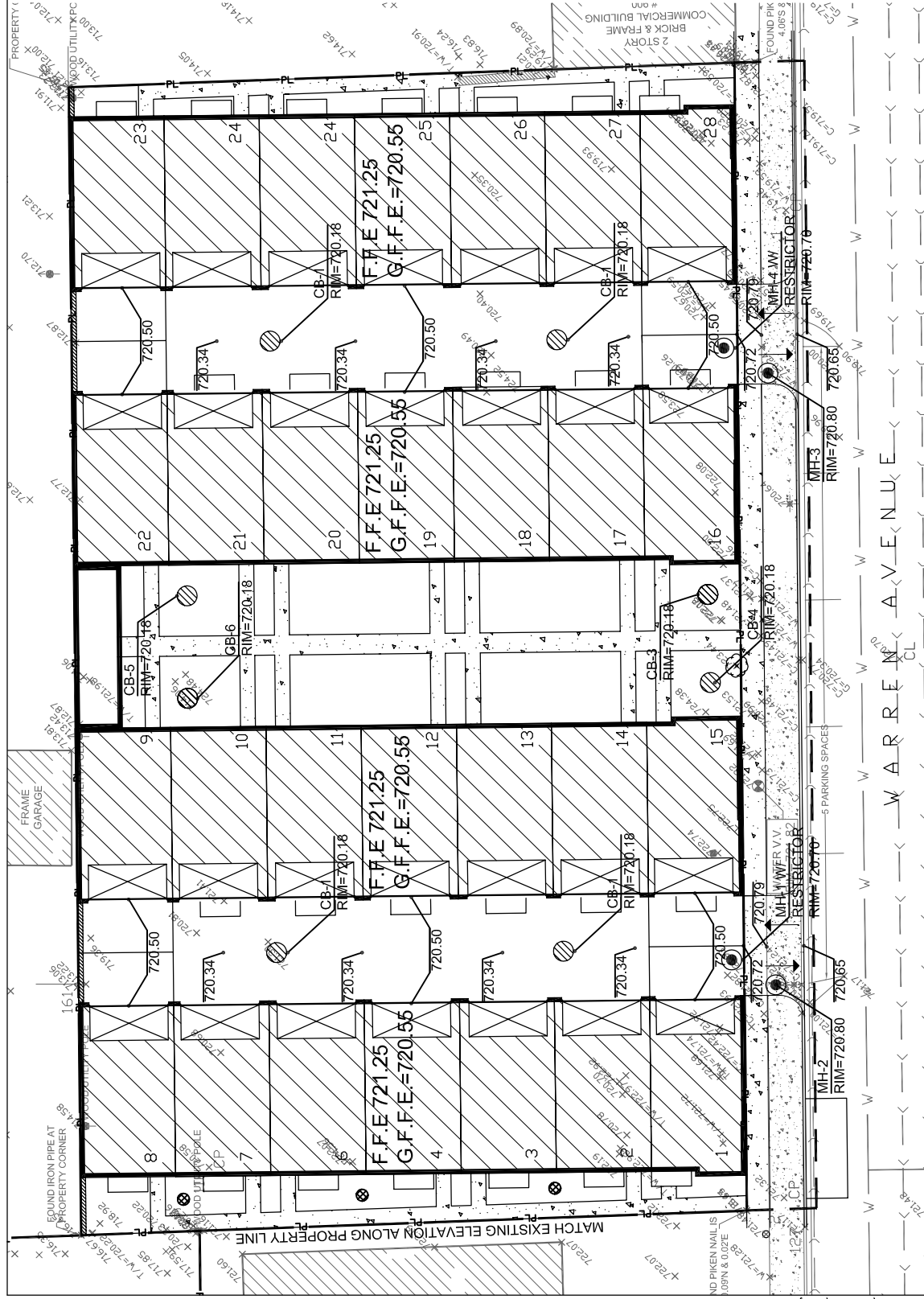
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PROPOSED LEGEND:

- SPOT ELEVATION
- PROPERTY LINE
- PROPOSED BUILDING
- DEPRESSED CURB
- TRENCH DRAIN
- MANHOLE
- CATCH BASIN
- RISER
- WATER VALVE

- EXISTING LEGEND
- STORM MANHOLE
 - CATCH BASIN
 - IN. STORM SEWER
 - WATER VALVE VAULT
 - FIRE HYDRANT
 - WATERMANN
 - WOOD UTILITY POLE
 - OVERHEAD ELECTRIC WIRES
 - GAS
 - WIRE
 - GAS METER
 - W/STOP OF CURB
 - W/STOP OF WALK
 - W/STOP OF PAVEMENT
 - FIFTH FLOOR



SITE BENCH MARK:

NO.	DATE	BY	CHKD.	DATE	BY	CHKD.
1	11/02/08	UH	MS	11/02/08	UH	MS
2	11/02/08	UH	MS	11/02/08	UH	MS

NAME	DATE	BY	CHKD.	DATE	BY	CHKD.
DRWNS	11/02/08	UH	MS	11/02/08	UH	MS
DESIGNED	11/02/08	UH	MS	11/02/08	UH	MS
PE	11/02/08	UH	MS	11/02/08	UH	MS
APPRO	11/02/08	UH	MS	11/02/08	UH	MS
APPRO	11/02/08	UH	MS	11/02/08	UH	MS

SCALE	PROJECT NO.	CLIENT NO.
1"=40'	922 WARREN AVE.	DOWNERS GROVE, ILLINOIS



TERRA
ENGINEERING LTD.

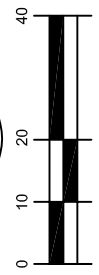
922 WARREN AVE.
DOWNERS GROVE, ILLINOIS

505 N. LARUE SUITE 250
CHICAGO, IL 60610
(312) 475-0123

PRELIMINARY GRADING PLAN

C3.0

DATE	REVISION
11/02/08	1



- | | | | | | | | |
|--|-------------------|--|-------------------------|--|-------------------|--|----------------|
| | SANITARY PIPE | | STORM PIPE | | WATER PIPE | | PROPERTY LINE |
| | EXISTING LEGEND | | STORM MANHOLE | | CATCH BASIN | | PIT |
| | SANITARY MANHOLE | | STORM SEWER | | WATER VALVE | | FIRE HYDRANT |
| | WOOD UTILITY POLE | | OVERHEAD ELECTRIC WIRES | | GAS | | GAS METER |
| | TREE | | CATCH OF CURB | | WALK OF CURB | | FOUNDATION |
| | FINISH FLOOR | | WATER VALVE | | PROPOSED BUILDING | | DEPRESSED CURB |
| | TRENCH DRAIN | | MANHOLE | | CATCH BASIN | | RISER |
| | WATER VALVE | | PROPOSED BUILDING | | DEPRESSED CURB | | TRENCH DRAIN |
| | MANHOLE | | CATCH BASIN | | RISER | | WATER VALVE |

[illegible][illegible]

**PRELIMINARY
NOT FOR CONSTRUCTION**

922 WARREN AVE.
DOWNERS GROVE, ILLINOIS

PROPOSED RESIDENTIAL DEVELOPMENT

TERRA
ENGINEERING LTD.
505 N. LASALLE SUITE 250
CHICAGO, IL 60610
(312)476-0123

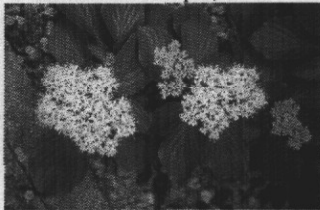
PRELIMINARY UTILITY PLAN

SHEET NUMBER

C4.0



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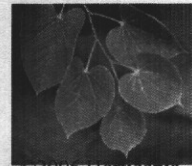
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***Cornus alternifolia* -
Pagoda Dogwood T1**



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***Cercis canadensis* Redbud T2**



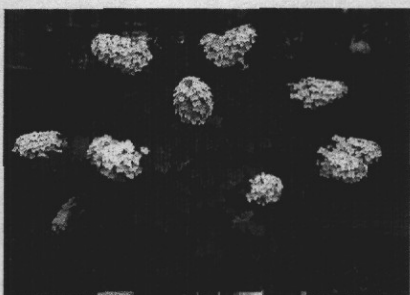
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***Amelanchier x grandiflora* -
Serviceberry T3**



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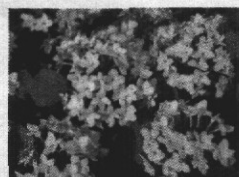
***Hydrangea quercifolia* -
Oakleaf Hydrangea S1**



***Hydrangea arborescens* 'Annabelle' S3**

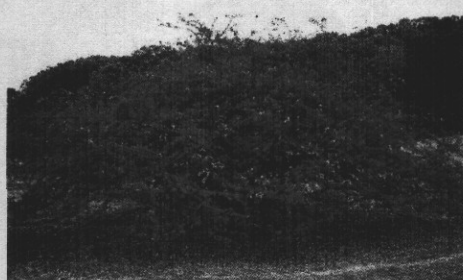


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***Viburnum carlesii* -
Koreanspice
Viburnum S4**



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***Malus sargentii* - Sargent
Crab S6**



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***Hydrangea paniculata* 'Tardiva' - Late
Panicle Hydrangea S7**

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***Fothergilla gardenii* - Dwarf
Bottle Brush S8**



***Taxus x media*, similar
to 'Everlow' E1**



***Vinca minor* 'Bowie's
Variety' G1**



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***Buxus x* 'Green
Velvet' - Boxwood
E2**



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***Microbiota decussata* -
Siberian Cypress E4**



***Astilbe chinensis* 'Pumila' P4**



***Hosta fortunei* 'Patriot' P1**



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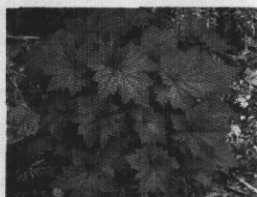
***Bergenia cordifolia*
'Rotblum' - Pigsqueak P6**



***Pulmonaria*
saccharata 'Mrs.
Moon' - Lungwort P2**



***Athyrium nipponicum*
'Pictum' - Japanese
Painted Fern P3**

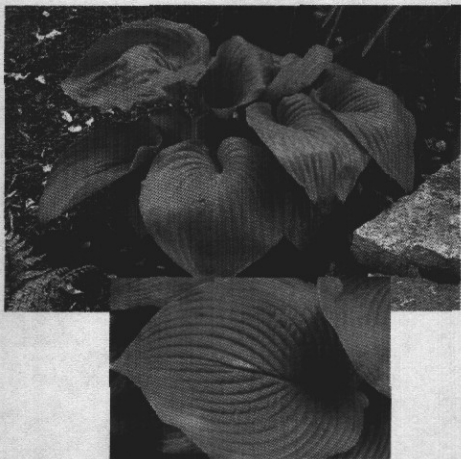


***Heuchera micrantha*
'Palace Purple' -
Coralbells P5**



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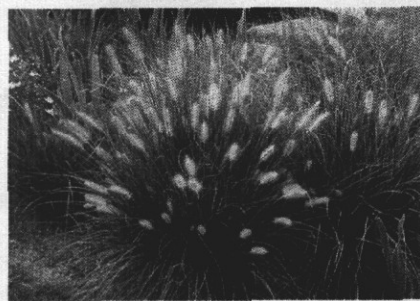
***Hosta x* 'Fragrant Bouquet'
P7**



***Hosta x 'Sum & Substance'* P8**



***Rudbeckia fulgida* var. *sullivantii* 'Goldsturm' - Black-eyed Susan P9**



***Pennisetum alopecuroides* 'Hamelin' - Dwarf Fountain Grass P11**



***Echinacea purpurea* 'Magnus' - Purple Cone Flower P10**



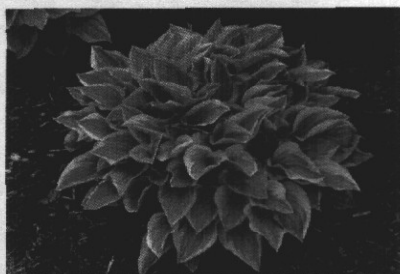
***Hemerocallis x 'Stella d'Oro'* - Daylily P12**



***Hemerocallis x 'Cherry Cheeks'* - Daylily P13**



***Calamagrostis x acutiflora* 'Karl Foerster' - Feather Reed Grass P14**



***Hosta x 'Golden Tiara'* P16**



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***Astilbe x arendsii* 'Bridal Veil' P18**



***Astilbe x arendsii* 'Fanal' P17**

FILE NO. PC-47-06 A petition seeking 1) Final Planned Development Approval/Variations for P.D. #42 Downers Grove Townhomes; 2) Special Use and 3) Final Plat of Subdivision Approval; Property located on the North side of Warren Avenue, approximately 100 feet West of Washington Street, commonly known as 922 Warren Avenue, Downers Grove, IL (PIN 09-08-124-003, 09-08-124-012, 09-08-124-014,-015,-016); John Conrad Schiess, Architect/ Petitioner; Downers Grove Development Group LLC, Owner

Chairman Jirik swore in those individuals who would be speaking on File PC-47-06.

Mr. O'Brien conveyed this matter was discussed in October 2006 with a proposal of 25 townhome units, which included surface parking and an underground parking garage. The petitioner, after receiving a favorable vote, decided to make change to the plans. The first was to eliminate the underground parking garage. The second change was an architectural change to the building that now includes roof top decks. Other changes followed including the increase in dwelling units from 25 to 28. The petitioner was working with the Tivoli Theater owner to the west regarding the northern surface parking lot. The proposal meets the parking requirements in the downtown zoning district. There is still a request for a plat of subdivision for consolidation purposes and a variance for the drive aisle widths. Staff reviewed the petition and recommended approval subject to the conditions in its staff report.

Discussion followed that the "bridges" over the driveways would remain and the fire ladder truck would clear those bridges. Per staff, parking spaces would exist on the north side of Warren, but would have to be reviewed again due to curb cuts and the location of the fire hydrants. Further dialog was raised on a difficult parking space. Mr. O'Brien explained it was a matter of having enough room for emergency vehicles. Chairman Jirik felt that for practical purposes, it might want to be avoided.

Petitioner, Mr. John Schiess, 905 S. Home Avenue, Oak Park, Illinois, addressed the commission stating he was the architect for the proposal and explained his reasons for returning. He discussed how the housing market has been changing, and, after discussing the matter with his marketing representative, they determined that outdoor living spaces were not existing. He had his construction team review the idea of placing townhomes on top of the parking garage. There was concern about the cohesiveness of the development and curb appeal. After taking all the ideas into consideration, the proposal before the commission resulted. As a result, green space (13%) will be incorporated into the proposal.

Mr. Schiess reviewed renderings of the proposal, noting the "bridges" began at their lowest point at 22 feet and reached to 25 feet in the middle. The fire department has approved them. Architectural changes and an improved streetscape were noted. On street parking was reviewed, noting that the two large driveways will be replaced with two 20-foot wide driveways. A designated loading zone was cited. Mr. Schiess stated he was comfortable with meeting staff's recommendations of 4A through U. He recalled there was a previous concern about a retaining wall and drainage. The design was

reworked to move the retaining wall and starting with new masonry units with an interior drainage system. Mr. Schiess stated he did speak to the property owner, Mrs. Fredricks, about removing the retaining wall and had given her assurance that the property would be protected. Should any damage occur, her garage would be replaced with a like garage. It was noted the retaining wall would be lowered somewhat based on final engineering plans.

Mr. Schiess reviewed the nine differences in the plans from the previous approved plan: 1) elimination of the underground garage; 2) the northern parking lot is not included in the petitioner; 3) parking spaces reduced from 69 to 56 spaces; 4) the number of dwelling units increased from 25 to 28 units; 5) the building orientation is north/south; 6) only one building is being proposed; 7) approximately 13% of green space has been added; 8) setbacks along the east and west have increased; and 9) two curb cuts will be on Warren. Regarding the parking spaces, the code calls for 1.2 parking spaces for each unit; guest parking will probably not occur. Therefore, daytime guest parking will be located on the south side of Warren for short-term periods. However, overnight spaces will be addressed through the subdivided lot on Roger Street to use 12 parking spaces in a licensed format. Details needed to be finalized with Mr. Johnson, however.

Mr. Schiess called attention to the fact that the tallest part of the townhome was 49 feet while the roof decks began at 34- to 35-foot above grade. In addressing the parking in the last garage, the parking spaces will be sold with the understanding that full size cars cannot maneuver the parking spaces. He did not see the space as a public nuisance or hazard. Details of the roof decks followed, noting they will have separation and drainage will be located underneath the pressure-treated wooden decks. Prairie stone and stucco material will be incorporated into the building's structure. Addressing the aprons of the driveways, Mr. Schiess said he was looking for a decorative grill to keep away skateboarders. The grills were not in the plans as they were just discussed with staff. Description of the interior units followed.

Questions followed on the limitations of the roof deck, which were separate common elements and the responsibility of the individual owners. The roof surface itself, however, was a common element, which was the responsibility of the homeowner's association. Mr. Matejczyk cautioned Mr. Schiess to address deck replacement and/or upgrades in the future. Regarding the sharing of the parking lot to the north, Mr. Webster asked how individuals would get to the building from the parking area since there was a grade difference. Mr. Schiess pointed out that a common walkway would be used, but the matter was not fully resolved. He did not want people to walk around the block.

With regard to installing masonry materials on the wall, Mr. Webster asked for the details, wherein Mr. Schiess confirmed the wall would be masonry using tiebacks but it was conceptual at this point. Mr. Schiess discussed how the wall would be designed in more detail. Mr. Cozzo noted there was no northern elevation provided in the materials. The Commissioners requested the petitioner provide it for the Village Council workshop. Asked if another loading zone was planned for the east side, Mr. Schiess did not believe another loading zone was necessary. Lastly, sight lines into the driveways were

discussed. Mr. Schiess indicated there was adequate space but pavement markers were necessary to delineate drivers and pedestrians. A small rise in the pavement would make vehicles slow down when nearing the sidewalk; no others markings were planned. However, he deferred to staff. Wall mounted lights were planned for the building as well as lights on the garage doors. Regarding the roof plan, Schiess confirmed that a common wooden path existed on the roof with separation by wooden rails.

Discussing the revision to the driveway aprons, Mr. O'Brien stated that truncated domes would be an acceptable traffic-calming measure to use for vehicles and pedestrians entering and exiting the aprons. Mr. Schiess believed that was an adequate solution. Mr. Schiess proceeded to explain in detail how a car would back out of a tight parking space in the north lot. Staff agreed it was a tight spot but did not see it as a significant issue. Staff offered that the Commissioners place a restriction on it if deemed necessary.

Mr. Webster asked for clarification of the landscaping in the paving plan. Mr. Schiess indicated there was an error and the intent was to have stamped concrete on the driveways all the way back.

Chairman Jirik opened up the meeting to public comment.

Mr. Willis Johnson, 603 Rogers Street, confirmed his discussion with Mr. Schiess about the parking area. Mr. Johnson stated he owns the property at 923 Rogers, which is located on the east side of the parking lot. He owns the property on both sides of the lot. He indicated he did present a concept plan to Mr. O'Brien as it relates to creating an overall parking lot. Currently, he has a lease that expires in 2009 on the 928 Warren side. Once the house is removed, he should be able to create a parking lot for 60 cars, with 12 of those non-designated spaces being available to overnight guests. He supported the proposal.

Chairman Jirik closed the public comment portion of the meeting.

In closing, Mr. Schiess, offered to review the standards but noted no substantial changes occurred. He thanked the commission for its reconsideration of the proposal and believed the proposal was an asset to the village. He asked for the commission's support.

As a last comment, Mr. O'Brien reminded the Commissioners that their motion could include some of the issues raised, including a rendering for the north elevation of the building and the retaining wall, providing different pavement markings for the drive aprons and sidewalk entrances, and any other calming measures deemed appropriate, and consideration of lights on the Warren Avenue elevation.

WITH RESPECT TO FILE PC-47-06, MR. WEBSTER RECOMMENDED TO THE VILLAGE COUNCIL APPROVAL OF THE FINAL PLANNED DEVELOPMENT, SPECIAL USE, VARIATION AND FINAL PLAT OF SUBDIVISION SUBJECT TO THE FOLLOWING CONDITIONS:

- 1. THE DEVELOPMENT SHALL SUBSTANTIALLY CONFORM TO THE ENGINEERING PLANS PREPARED BY TERRA ENGINEERING DATED AUGUST 31, 2006, REVISED NOVEMBER 1, 2006; THE ARCHITECTURAL PLANS PREPARED BY JOHN CONRAD SCHIESS DATED AUGUST 31, 2006, REVISED NOVEMBER 3, 2006; THE LANDSCAPING PLAN PREPARED BY MCADAM LANDSCAPING, INC. DATED OCTOBER 31, 2006 AND TO THE FINAL PLAT OF SUBDIVISION PREPARED BY UNITED SURVEY SERVICE, LLC DATED NOVEMBER 21, 2006 EXCEPT AS SUCH PLANS MAY BE MODIFIED TO CONFORM TO VILLAGE CODES AND ORDINANCES AND THE FOLLOWING CONDITIONS:**
- 2. PRIOR TO COMMENCEMENT OF SITE DEVELOPMENT ACTIVITIES, THE PETITIONER SHALL MAKE DONATIONS IN THE FOLLOWING AMOUNTS PAYABLE TO THE VILLAGE OF DOWNERS GROVE: \$17,880.24 TO SCHOOL DISTRICT 58; \$7,538.16 TO SCHOOL DISTRICT 99 AND \$52,275.44 TO THE DOWNERS GROVE PARK DISTRICT – A GRAND TOTAL OF \$77,693.84. ALL DONATIONS ARE SUBJECT TO VERIFICATION BY THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO THE ISSUANCE OF BUILDING PERMITS.**
- 3. PRIOR TO THE COMMENCEMENT OF SITE DEVELOPMENT ACTIVITIES, THE PETITIONER SHALL PROVIDE THE DIRECTOR OF COMMUNITY DEVELOPMENT WITH A COPY OF THE RESTRICTIVE COVENANTS FOR REVIEW AND APPROVAL.**
- 4. PRIOR TO THE ISSUANCE OF CONSTRUCTION/SITE DEVELOPMENT PERMITS, THE FOLLOWING CHANGES SHALL BE MADE TO THE PLANS:**
 - a. NO EXPOSED SMOOTH CONCRETE MASONRY UNITS (CMU) SHALL BE USED FOR AN EXTERIOR BUILDING MATERIAL PER SECTION 7.26 OF THE MUNICIPAL CODE.**
 - b. THE TWO (2) TWENTY (20) FOOT WIDE DRIVE AISLES SHALL BE SIGNED AS A DEDICATED FIRE LANE.**
 - c. BALCONIES SHALL NOT BE PERMITTED TO EXTEND OVER THE DRIVE AISLES.**
 - d. “NO PARKING” SIGNS SHALL BE POSTED IN ALL OF THE DRIVE AISLES BETWEEN THE BUILDINGS. A TRAFFIC SIGNAGE PLAN SHALL BE SUBMITTED TO THE VILLAGE ENGINEER AND FIRE PREVENTION CHIEF FOR REVIEW AND APPROVAL.**
 - e. A COMPLETE FIRE DETECTION AND SUPPRESSION SYSTEM SHALL BE REQUIRED FOR ALL BUILDINGS IN A MANNER ACCEPTABLE TO THE VILLAGE ENGINEER AND FIRE PREVENTION CHIEF. THE UTILITY PLAN SHALL BE REVISED TO INDICATE THE LOCATION AND SIZE OF FIRE PROTECTION MAINS AND CONNECTIONS.**
 - f. THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED IN A MANNER ACCEPTABLE TO THE FIRE PREVENTION**

CHIEF.

- g. THE FIRE HYDRANTS ON WARREN AVENUE SHALL BE LOCATED FURTHER FROM THE DRIVEWAYS IN A MANNER ACCEPTABLE TO THE VILLAGE ENGINEER AND THE FIRE PREVENTION CHIEF.**
- h. THE NEW WATER MAIN CONNECTIONS AT WARREN AVENUE SHALL BE MADE WITH SIX (6) INCH TEES CUT INTO THE EXISTING SIX (6) INCH MAIN. THE VALVE SHALL BE EIGHT (8) INCHES AND LOCATED IN A SIXTY (60) INCH VAULT.**
- i. THE TWO EIGHT (8) INCH VALVES SHALL BE RELOCATED FROM THE STREET TO THE DRIVEWAY APRON.**
- j. THE SLOPE OF THE ENTRY DRIVE OFF ROGERS STREET SHALL BE REDUCED TO FIVE (5) PERCENT. THE FOLLOWING RECOMMENDED SLOPE LIMITS SHOULD BE INCORPORATED: STANDARD PARKING STALLS 1% TO 5%, ACCESSIBLE PARKING STALLS 1% TO 2%, TURF AREAS 2% TO 10%, SIDEWALK LONGITUDINAL SLOPE 0.5% TO 5%, SIDEWALK CROSS-SLOPE 1% TO 2%, PRIVATE ACCESS DRIVEWAY SLOPE 1% TO 8%, PUBLIC DRIVEWAY APRON 1% TO 5%.**
- k. A DETAILED GRADING PLAN, UTILITY PLAN WITH UTILITY STRUCTURE DETAILS AND STREET AND SIDEWALK REPAIR DETAILS SHALL BE PROVIDED IN A MANNER ACCEPTABLE TO THE COMMUNITY DEVELOPMENT DIRECTOR AND VILLAGE ENGINEER PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS.**
- l. THE LOCATION OF THE SANITARY MAINS SHALL BE FURTHER FROM THE BUILDING FOUNDATIONS. THE LOCATION OF THESE MAINS SHALL BE REVISED IN A MANNER ACCEPTABLE TO THE DOWNERS GROVE SANITARY DISTRICT AND THE VILLAGE ENGINEER.**
- m. A DUPAGE COUNTY-FORMAT STORMWATER SUBMITTAL SHALL BE SUBMITTED TO THE VILLAGE FOR REVIEW AND APPROVAL. STORM SEWER AND OVERLAND FLOW CALCULATIONS SHALL BE PROVIDED IN THE SUBMITTAL. PLEASE NOTE THE CALCULATIONS SHOULD PROVE THE BUILDINGS, GARAGE FLOORS AND PARKING AREAS WOULD NOT FLOOD IN A 100-YEAR STORM EVENT.**
- n. PROPOSED ONE-FOOT ELEVATION CONTOURS AND ADDITIONAL SPOT ELEVATIONS SHALL BE ADDED TO THE GRADING PLAN.**
- o. THE AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS FOR A MINIMUM OF FIVE (5) FEET HORIZONTALLY**
- p. STORMWATER QUALITY BEST MANAGEMENT PRACTICES**

- SHALL BE INCORPORATED INTO THE SITE DESIGN.
- q. ALL DOWNSPOUTS AND FOOTING DRAIN SUMP DISCHARGE LINES SHALL BE CONNECTED TO THE ON-SITE STORM SEWERS. THESE CONNECTIONS SHALL BE INDICATED ON THE PLANS. STAFF RECOMMENDS CLEANOUTS FOR THE SEWERS PRIOR TO CONNECTION.
 - r. STORM MANHOLES AND/OR CATCH BASINS SHALL BE PROVIDED FOR ALL ON-SITE STORM SEWER CONNECTIONS. WYE AND TEE CONNECTIONS ARE NOT PERMITTED BY THE VILLAGE. DETAILS SHALL BE PROVIDED TO THE VILLAGE.
 - s. A MANHOLE SHALL BE PROVIDED FOR THE STORM SEWER CONNECTION AT WARREN AVENUE. PLEASE NOTE A WYE CONNECTION IS NOT PERMITTED. DETAILS SHALL BE PROVIDED TO THE VILLAGE.
 - t. PRIOR TO THE DEMOLITION OF THE EXISTING BUILDINGS, ALL UTILITY DISCONNECTIONS SHALL BE MADE IN A MANNER ACCEPTABLE TO THE VILLAGE ENGINEER.
 - u. ALL CLASS 52 DIWM SHALL BE POLY WRAPPED AND NOTED ON THE UTILITY PLAN.
5. THE PETITIONER SHALL PROVIDE A NORTH ELEVATION OF BUILDING DEPICTING THE PROPOSED BUILDING AND RETAINING WALL ALONG THE NORTHERN PROPERTY LINE PRIOR TO VILLAGE COUNCIL CONSIDERATION.
6. THE PETITIONER SHALL PROVIDE DIFFERENT PAVEMENT MARKINGS, TEXTURES AND/OR ANY OTHER TRAFFIC CALMING MEASURES DEEMED NECESSARY THROUGH THE DRIVE APRONS AND SIDEWALKS AT THE ACCESS POINTS ON WARREN AVENUE. SUCH IMPROVEMENTS SHALL BE PRESENTED IN MANNER ACCEPTABLE TO THE VILLAGE ENGINEER.

SECONDED BY MR. MATEJCZYK.

ROLL CALL:

AYE: MR. WEBSTER, MR. MATEJCZYK, MR. BEGGS, MR. COZZO, MR. QUIRK MRS. RABATAH, CHAIRMAN JIRIK

NAY: NONE

MOTION CARRIED. VOTE: 7-0.