RESOLUTION N	Ο.
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A RESOLUTION AUTHORIZING A LICENSE AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE AND DENLAI SPECTRUM OPERATIONS, LLC TO INSTALL, MAINTAIN AND OPERATE AN ANTENNA ON VILLAGE PROPERTY (801 BURLINGTON AVENUE)

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois, as follows:

- 1. That the form and substance of a certain License Agreement (the "Agreement") and accompanying Memorandum of License, between the Village of Downers Grove (the "Village") and Denali Spectrum Operations, LLC (the "Licensee"), for the installation, maintenance and operation of an antenna on Village property located at 801 Burlington Avenue, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.
- 2. That the Mayor and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.
- 3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.
- 4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.
- 5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

	Mayor
Passed:	
Attest:	
Village Clerk	

LICENSE AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE AND DENALI SPECTRUM OPERATIONS, LLC TO INSTALL, MAINTAIN AND OPERATE AN ANTENNA ON VILLAGE PROPERTY

WHEREAS, the Village of Downers Grove (hereinafter referred to as the "Village") is an Illinois municipal corporation and a home rule unit, pursuant to the laws of the State of Illinois; and

WHEREAS, the Village is the lessor of certain real estate located at 801 Burlington Avenue, Downers Grove, Illinois, upon which is located the Village Communication Lattice Tower (hereinafter referred to as the "Tower"); and

WHEREAS, Denali Spectrum Operations. LLC (also known as Denali Spectrum License, LLC, Denali Spectrum, LLC, Denali Spectrum Manager, LLC and Doyson, Limited)(hereinafter referred to as the "Licensee") has requested permission to install an antenna on the top of the Tower and its related equipment on ground space near the Tower (hereinafter referred to as the "Antenna"); and

NOW, THEREFORE, in consideration of the mutual promises, covenants and conditions, the Village and the Licensee agree as follows:

1. CONTRACT DOCUMENTS:

The provisions set forth in the preamble and the following exhibits are incorporated into and made a part of this Agreement:

a.	Exhibit 1 - Site map of the	Property dated,	, 2008, and approved by
the	Village on	_, 2008, showing th	e Tower Space and Ground Space,
tog	ether with the areas on the	Property licensed to I	Licensee to provide access and utility
ser	vice to the Ground Space	(collectively the "I	Licensed Premises") which includes
loc	ation of any proposed under	ground utilities neces	sary for operation of the Antenna.

b. Exhibit 2 - Plans and specifications dated	_, 2008, and
approved by the Village on, 2008, for the Antenna and any cal	oles or utility
lines to be installed on the Licensed Premises and used for housing o	f the related
Antenna equipment (collectively "Licensee's Improvements").	

2. GRANT OF LICENSE:

The Village hereby grants to the Licensee the right, permission and authority to install, operate and maintain Licensee's Improvements upon the terms and conditions hereinafter specified. This Agreement shall not terminate upon the sale, assignment or transfer of the property, but shall run with the land. In the event that the tower is removed, this contract shall cease and neither the Village nor the Licensee will not be responsible or liable for replacement or rent.

SPECIFICATIONS: The Licensee shall comply with the following specifications:

- a. <u>In general</u>: During the term of this Agreement, there shall be no variations, modifications, or upgrades from the plans and specifications of Exhibits 1 and 2 without the prior written approval of the Village, which approval shall not be unreasonably withheld or delayed.
- b. <u>Antenna</u>: The Antenna shall be for the operation of radio frequency: receive 1740 MHz; transmit 2135-2140 MHz. The Antenna shall be installed, attached to the Tower, and maintained in conformance with Exhibit 2 and any applicable State and federal requirements. The Antenna shall be located more than ten (10) feet from any existing antenna equipment and shall not exceed seventy-two (72) inches in height.

4. <u>CONSTRUCTION, INSTALLATION AND MAINTENANCE</u>:

The Licensee may install, repair, maintain, or replace the Antenna, subject to the following conditions:

- a. Licensee shall obtain all required permits and authorizations from the Village, in accordance with the applicable ordinances, prior to commencing any work under this Agreement. Such work shall comply with applicable codes and regulations and shall be conducted in a workmanlike manner.
- b. Licensee shall obtain all necessary approvals from any regulatory authorities for the operation of the Antenna. Further, the Licensee shall comply with all applicable laws and regulations of such regulatory authorities including, but not limited to the Federal Communications Commission.
- c. All costs connected with the installation, maintenance, repair, use and removal of Licensee's Improvements and any related equipment shall be the responsibility of the Licensee.
- d. Licensee shall not take any action or allow any action to be done which may impair the use of or damage the Tower.
- e. The Licensee may not interfere with the use by the Village, its officers, agents and employees, of the Tower or the property on which it is located.
- f. Except for emergency situations, the Village shall provide reasonable advance notice to Licensee when it conducts any Tower repair or maintenance work that affects the Antenna or function of the Antenna. Except for emergency situations, the Village shall not physically disturb Licensee's equipment without Licensee's permission,_Licensee shall be entitled to access the equipment located on the Ground Space near the Tower twenty-four (24) hours a day, seven days a week. Licensee shall provide the Village reasonable advance notice when access to the antenna on top of the Tower is needed. Access to the Tower can only be obtained between the hours of 8:00 a.m. and 4:00 p.m. by calling the Water Manager at 630/434-5462, or in the event of an emergency after hours, by calling Village Operations Center at (630) 434-5706 or (630) 434-5707.

- g. The Licensee shall maintain Licensee's Improvements in good repair, and in a clean and sightly condition.
- h. Upon termination of this Agreement by either party, the Licensee shall, within thirty (30) days and at its expense, remove the Licensee Improvements and restore the Licensed Premises to substantially its original condition, reasonable wear and tear excepted.
- i. If Licensee abandons its use of Licensee's Improvements, Licensee shall, within thirty (30) days of receipt of written notice from the Village notifying the Licensee of such abandonment and at its expense, remove the Licensee's Improvements and restore the Tower to substantially its original condition. Licensee's Improvements will be presumed abandoned if it is not operated for a period of one month or more. If Licensee's Improvements are not removed within thirty (30) days, the Village may remove Licensee's Improvements and the Licensee shall reimburse the Village for the costs of such removal.

5. NON-INTERFERENCE WITH VILLAGE OPERATIONS:

Neither this Agreement nor Licensee's Improvements shall interfere or obstruct the functioning of the Village's operations and services. Licensee warrants that Licensee's Improvements shall be constructed, installed, maintained and operated in such a manner as to not interfere or obstruct any radio or electronic equipment or signals of the Village's radio and data systems. In the event such interference occurs, and the interference cannot be eliminated by Licensee after reasonable efforts, the Village may terminate this Agreement, in accordance with Paragraph 8(b) of this Agreement. Provided after notice to Licensee, the Village may immediately terminate this Agreement, or require that operation of the Antenna or any of Licensee's Improvements be immediately ceased where it determines that the Antenna or Licensee's Improvements present an immediate and serious danger to the public health, welfare or safety due to interference with the operation of the Village's radio and data systems.

6. TERM:

- a. This Agreement shall have an Initial Term of approximately five (5) years beginning upon the issuance of a building permit in 2008, and ending December 31, 2012, and two (2) five-year Extension Terms beginning January 1, 2013, and January 1, 2018, respectively. The first extension term beginning January 1, 2013, shall automatically commence. The second extension term beginning January 1, 2018, shall automatically commence unless either party provides the Village with written notice of its election not to renew the License at least one hundred and twenty (120) days prior to the expiration of the current term. The final date of the agreement shall be December 31, 2022.
- b. After February 1, 2018, Licensee may request the Village to enter into negotiations towards renewing or extending this Agreement. Any renewal or extension shall be according to terms that are mutually agreeable and the Village shall not be bound to accept any particular terms or to renew any or all of the rights granted by this Agreement.

7. COMPENSATION:

Beginning in 2008, upon the issuance of a building permit, Licensee shall pay to the Village a license fee of \$3200.00 per month in 2008. Thereafter, effective on the first day of January in the subsequent years of the agreement, the monthly license fee shall increase in an amount equal to the fee for the preceding year multiplied by 4%. The fee shall be paid to the Village of Downers Grove, Village Hall, 801 Burlington Avenue, Downers Grove, IL 60515.

8. TERMINATION:

This Agreement may be terminated as follows:

- a. Licensee may terminate this Agreement at any time upon sixty (60) days written notice to the Village without further liability if Licensee does not obtain all permits or other approvals required from any governmental authority or any easements required from any third party to operate the PCS system, or if any such approval is canceled, expires or is withdrawn or terminated, or if the Village fails to have proper ownership of the site or authority to enter into this Agreement, or if Licensee, for any other reason, in its sole discretion, determines that it will be unable to use the Property, however, if Licensee terminates this Agreement without cause, it shall pay the Village a termination penalty equal to three months of the current rental amount.
- b. In the event either party fails to comply with the terms of this Agreement such party shall be considered in default and the non-defaulting party may serve written notice of its intent to terminate this Agreement. Except where the public health or safety is threatened, the notice shall give the defaulting party not less than thirty (30) days to correct such non-compliance. In the event the default is not corrected within thirty (30) days of such notice, the non-defaulting party may terminate this Agreement by serving a written notice of termination. Notwithstanding the preceding, if any default cannot be cured within thirty (30) days and the defaulting party has diligently commenced and continues to take reasonable action necessary to cure the default, the defaulting party shall be entitled to a reasonable extended period of time in order to cure the default.
- c. In the event the Tower is destroyed or substantially damaged so as to substantially effect Licensee's use of the property, this Agreement shall be considered terminated.

9. TOWER REPAIR/MAINTENANCE:

Upon receiving ninety (90) days notice from the Village that it intends to repair or perform maintenance to the Tower, Licensee shall, at its own expense and in such manner as the Village shall reasonably request, immediately remove, relocate, change or alter the position of Licensee's Improvements. During the term of this Agreement, the Tower may be refurbished and/or painted. Refurbishment and/or painting will take several months to complete (approximately five to eight months). Prior to beginning refurbishment and/or painting, Licensee understands that its Antenna shall be removed from the Tower upon notice from the Village and that the Antenna shall not be reinstalled until the refurbishment and/or painting is ORD-314-A

completed and the Village has approved such reinstallation, which approval shall not be unreasonably withheld, conditioned or delayed. During such period, Licensee may, at its sole cost and expense, install the Antenna on a temporary telephone pole or bring a cell on wheels outside the shrouded area of the tower in a location approved by the Village. However, such temporary arrangement shall not interfere with the refurbishment and/or painting of the tower or with other Village operations on the site. The Village shall not be responsible for any costs of removal, relocation, and reinstallation of the Antenna as a result of the refurbishment and/or painting.

10. RESTORATION:

When the Licensee does any work on or affecting the Licensed Premises, it shall, at its own expense, restore the Licensed Premises to as good a condition as existed before the work was undertaken, unless otherwise directed by the Village. If the Licensee fails to restore the Licensed Premises, the Village may, after communications with the Licensee and after affording the Licensee a reasonable opportunity to correct the situation, restore the Licensed Premises, or remove the obstruction therefrom. No such prior written notice shall be required in the event that the Village determines that an emergency situation exists. The Licensee shall pay the Village for any reasonable costs of such restoration within fourteen (14) days after receiving a bill from the Village for such work.

11. <u>UTILITIES</u>:

Licensee shall be responsible for obtaining adequate utilities for operation of Licensee's Improvements, including electricity from any source available on the Property as along as the electricity for Licensee's Improvements are separately metered. Any utilities to be installed must be underground and at a location approved by the Village. Licensee shall pay for the electricity or any other utility it consumes in its operations at the rate charged by the servicing utility company and the Village shall not be liable for such charges.

12. TAXES:

Licensee is solely responsible for payment of taxes on the leasehold. Licensee is solely responsible to determine the taxes owed and to comply with the DuPage County payment procedures. Licensee shall reimburse the Village for any personal or real property taxes which are assessed as a result of Licensee's Improvements and directly attributable to its use of the Property under the terms of this Agreement. Licensee shall have the right, at its own expense and without expense to the Village, to contest by appropriate proceedings, conducted with due diligence and in good faith, the validity of the amount of any taxes or reassessment as applicable to the Licensed Premises or the Licensee Improvements. In the event that the Village becomes aware of any tax delinquency and that delinquency is not cured by the Licensee, the Village shall have the right to remove any of Licensee's equipment and terminate the Agreement.

13. INDEMNIFICATION:

Licensee shall indemnify, become responsible for and hold harmless the Village, its boards, committees, commissions, officers, agents and employees from any and all liability ORD-314-A

arising out of the existence of this Agreement; the installation, existence, maintenance or repair of Licensee's Improvements; or any act or omission of Licensee, its officers, agents and employees, except for liability which arises from the Village's or its employees' or agents' negligence or intentional misconduct.

For purposes of this Agreement, the term "liability" includes, but is not limited to: actual or claimed loss or damage to property or injury to or death of persons; actual or claimed responsibility for such loss, damage, injury or death; and any and all judgments, decrees, costs and expenses of every sort and kind of incident to such loss, damage, injury, death or responsibility, including, but not limited to, court costs, fines and attorney's fees.

14. INSURANCE:

At all times while this Agreement remains in effect, and in recognition of the indemnification provided in the foregoing Paragraph 13, the Licensee shall, at its own cost and expense, maintain a program of third party liability insurance and/or self-insurance to protect the Village, its officers, employees and agents from any liability for bodily injury, death, and property damage occasioned by the activities of the Licensee under this Agreement.

- a. During the Term of the Agreement. Licensee shall procure, pay for and maintain in full force and effect during the entire term of the agreement (i) worker's compensation insurance as required by law and which insures Village against worker's compensation claims arising out of Licensee's activities on the Tower; (ii) fire and casualty insurance covering Licensee's Improvements in an amount not less than one hundred percent (100%) of their actual replacement cost; and (iii) commercial general liability insurance, including broad form property damage insurance, for bodily injuries and property damage, in amounts not less than One Million Dollars (\$1,000,000.00) per occurrence and One Million Dollars (\$1,000,000.00) in the aggregate covering bodily injuries or property damage occurring on the Tower.
- b. During Construction/Installation. During construction/installation, Licensee's contractor shall also maintain and provide Village with evidence of each of the insurance coverages specified in subparagraph (a) and in the amounts so specified. In addition, the contractor shall provide builder's risk insurance on an "all risks" basis for one hundred percent (100%) of the insurable value of all construction work in place or in progress from time to time, insuring the project, including materials in storage and while in transit, against loss or damage by fire or other casualty, with extended coverage, vandalism and malicious mischief coverage, bearing a replacement cost agreed amount endorsement.
- c. Policies. The policy or policies of insurance required by subparagraphs (a) and (b) shall be underwritten by a company or companies authorized to do business in the State of Illinois, shall be reasonably satisfactory to Village, shall name Village as an additional insured and shall be delivered to the Village, together with evidence of the payment of the premiums, prior to the commencement of the term of this Agreement. Licensee or, where applicable, Licensee's contractors shall furnish Village with a written notice of any cancellation, reduction or modification of insurance required under this Section.

15. LIENS:

Licensee agrees that it will not permit or suffer any lien to be put upon or arise or accrue against the Property in favor of any person or persons, individual or corporate, furnishing either labor or material in any work herein proposed, and the Licensee further covenants and agrees to hold the Village and its property free from any and all liens, or rights or claim of lien, which may or might arise or accrue under or be based upon any mechanic's lien law of the State of Illinois. If any such lien or claim for lien is filed or recorded against the Property, the Village shall give Licensee notice thereof and demand that Licensee remove the same, or post adequate security to insure the removal of the same following the resolution of any dispute between Licensee and the lienholder, within thirty (30) days after such notice. Nothing in this provision shall restrict Licensee from granting a security interest in all or any part of Licensee's Improvements and to file of record UCC financing statements and/or fixture filings to perfect the same.

16. <u>ASSIGNMENT AND SUBLEASING</u>:

This Agreement may not be assigned or transferred without the express written consent of the Village, which shall not be unreasonably withheld, conditioned or delayed. The Village agrees to respond to any such request within thirty (30) days from receipt of the request. Any assignment or transfer without such written consent shall, at the option of the Village, be deemed to be void and of no effect. Provided, however, this Agreement may be assigned or transferred to Licensee's parent or an subsidiary, successor legal entity or other affiliate of Licensee without the Village's written consent as long as the Village is given written notice of the assignment or transfer within 30 days thereof. The Village must approve any sublease and shall be entitled to 50% of any sublease in addition to the rental fee as described in Section 7, above.

17. HAZARDOUS SUBSTANCES:

- a. The Village represents and warrants that it has no knowledge of any hazardous substance existing on the Property in violation of any applicable federal, State or local law, regulation or ordinance. The Village further agrees to hold Licensee harmless from and indemnify Licensee against any damage, loss or expense or liability resulting from the existence on the Property of any such hazardous substance, including all attorney's fees and consultant fees, costs and penalties, incurred as a result thereof, unless caused by Licensee or any of its employees or agents.
- b. Licensee represents and warrants that its use of the Licensed Premises will not generate any hazardous substance, and that it will not store or dispose on the Licensed Premises, nor transport to or over the Licensed Premises, any hazardous substance in violation of any applicable federal, State or local law, regulation or ordinance. Licensee further agrees to hold the Village harmless from and against and indemnify the Village against any release of such hazardous substance and any damage, loss, or expense or liability resulting from such release, including attorney's fees and consultant fees, costs and penalties, incurred as a result thereof, which was caused by Licensee or any of its employees or agents.

c. "Hazardous Substance" as used herein shall mean any substance or material defined or designated as hazardous or toxic waste, hazardous or toxic materials, hazardous or toxic radioactive substance, or other similar term by any federal, State or local environmental law, regulation or ordinance presently in effect or promulgated in the future.

18. COST OF ENFORCEMENT:

The prevailing party in any action or proceeding in court or mutually agreed upon arbitration proceeding to enforce the terms of this Agreement shall be entitled to receive its reasonable attorney's fees and other reasonable enforcement costs and expenses from the non-prevailing party.

19. INVALIDITY:

If any section, paragraph, clause or provision of this Agreement shall be held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any of the other provisions of this Agreement.

20. FORCE MAJEURE:

Neither party shall be deemed in violation of this Agreement for the delay in performance or failure to perform in whole or in part its obligations under this Agreement due to strike, war or act of war (whether an actual declaration is made or not), insurrection, riot, act of public enemy, fire, flood or other act of God or by other events to the extent that such events are caused by circumstances beyond such party's control.

21. NOTICES:

Unless otherwise specified herein, all notices under this agreement shall be made in writing and delivered to:

Village Manager
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515-4776

And: __Denali_Spectrum_Operations,_LLC
10307 Pacific Center Court
San Diego, CA 92121
Attn: Legal Department

In the event the Licensee moves, consolidates, merges, splits or otherwise reorganizes or moves its offices, it is the duty and obligation of the Licensee to provide written notification to the Village within thirty (30) days of any change.

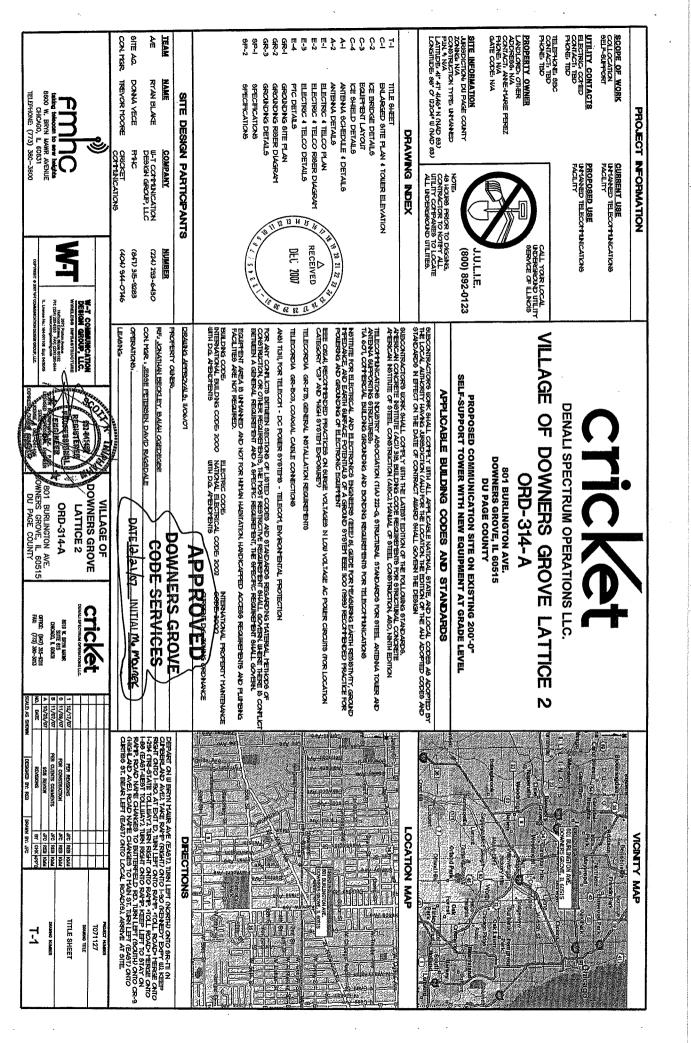
22. GOVERNING LAW:

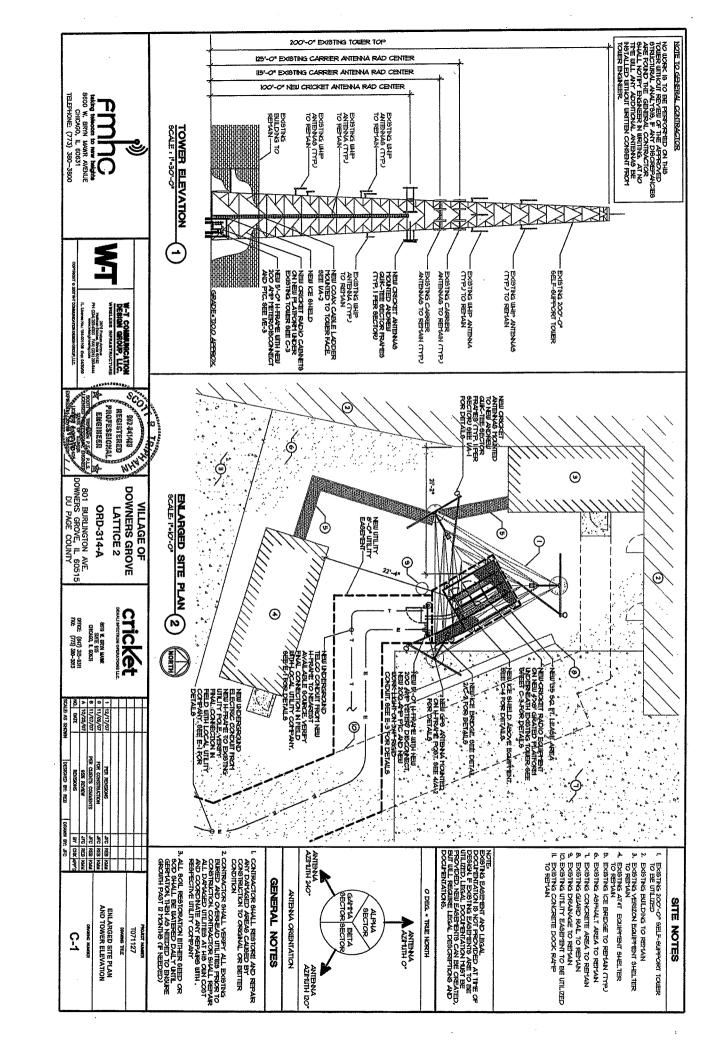
This Agreement shall be governed by the laws of the State of Illinois.

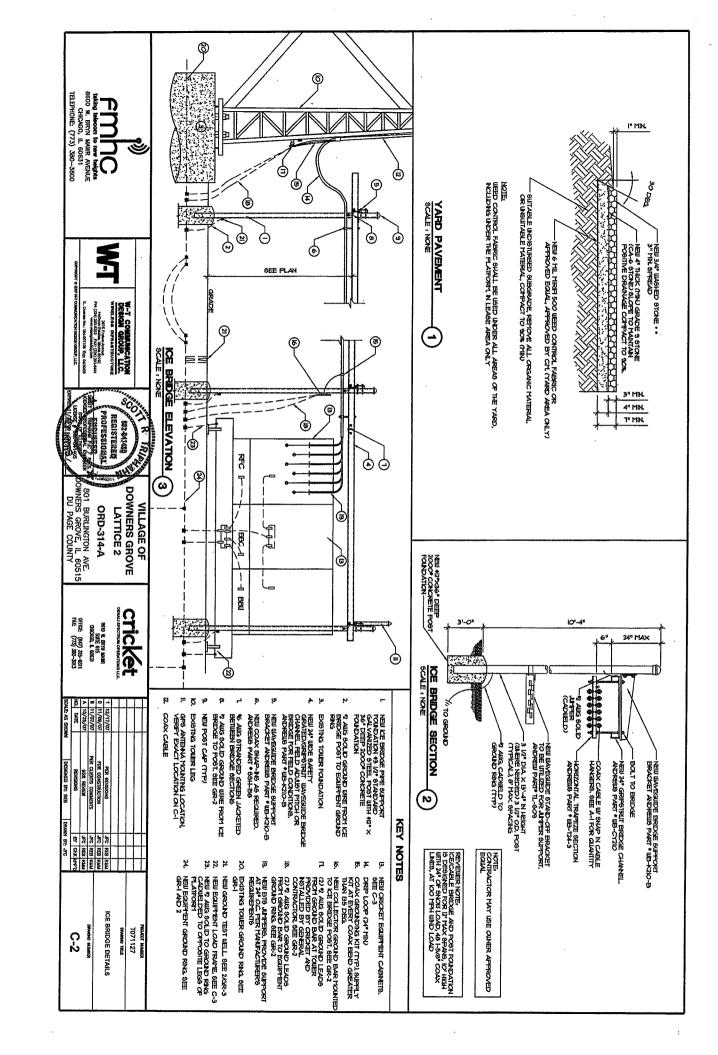
LICENSEE:	
Denali Spectrum Operations, LLC A Delaware Limited Liability Company Denali Spectrum License, LLC Its Sole Member	VILLAGE OF DOWNERS GROVE
Denali Spectrum, LLC Its Sole Member Denali Spectrum Manager, LLC	Ву:
Its Manager	Mayor
Doyson, Limited Its Manager	ATTEST:
By: 13. Rot	Village Clerk
Title:	

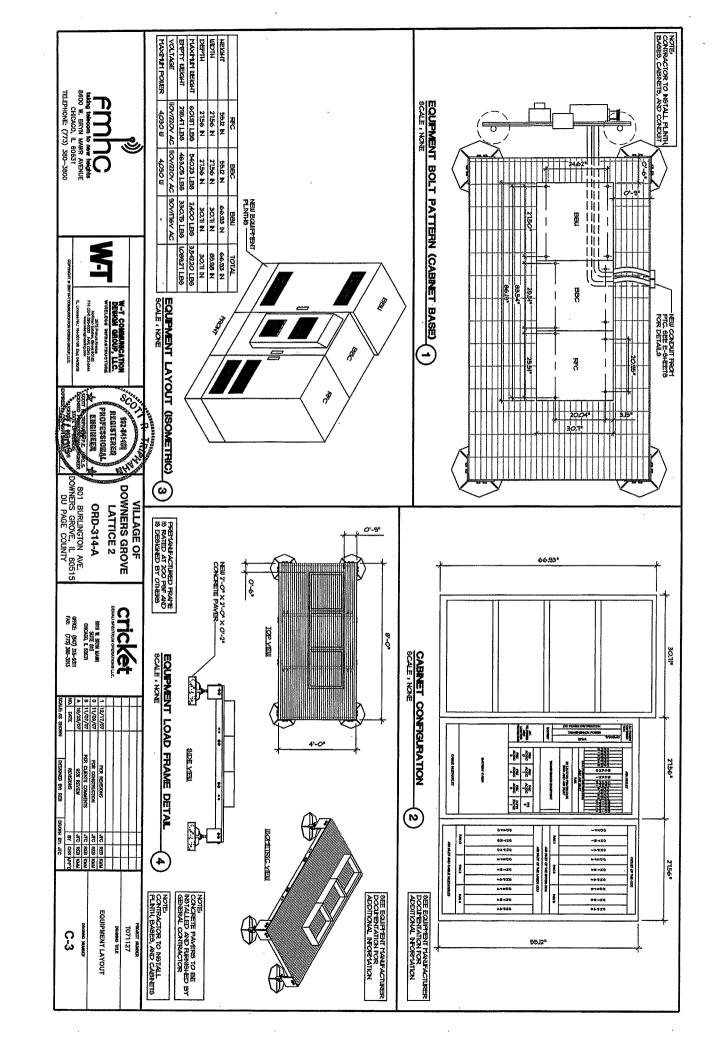
OFFICIAL SEAL
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NOTARY PUBLIC - STATE OF ILLINOIS
MY COMMISSION EXPIRES:05/10/12

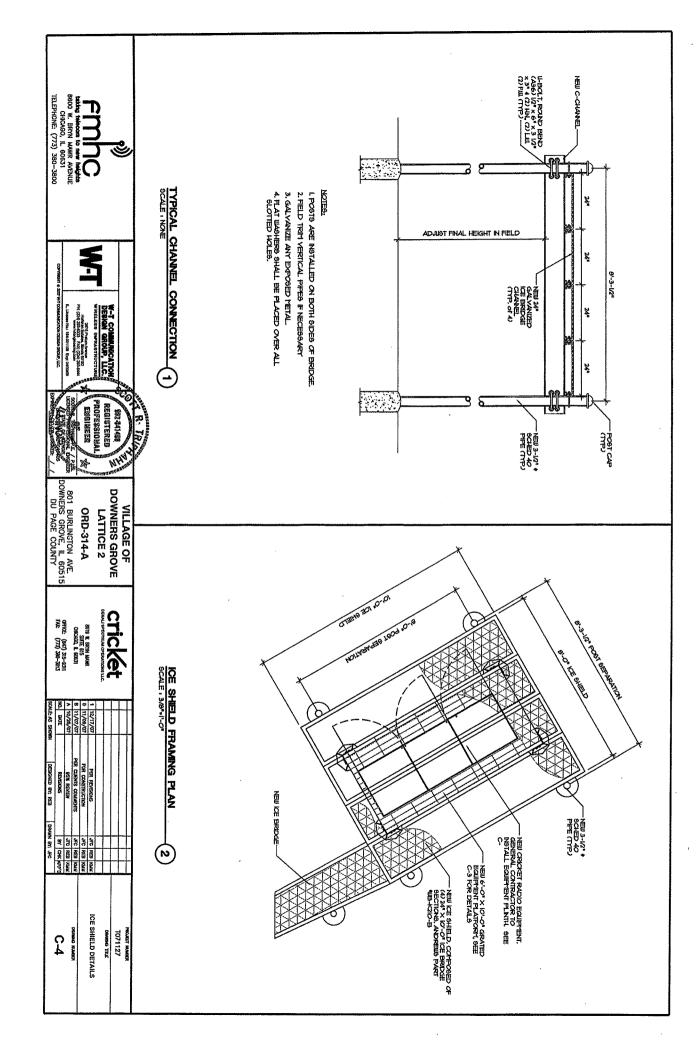
Notary Public











- ANTENNA NOTES

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- CONTRACTOR TO MAINTAIN ANDREW MINIMAM BEND RADIUS STANDARDS
- AVOID EXCESSIVE DRIP LOOPS

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GPO LIGHTNING ARRESTOR						

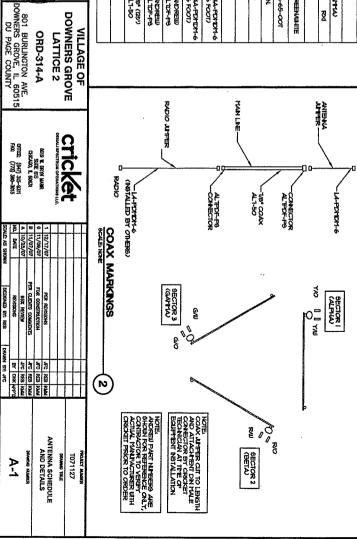
taking telecom to new heights 8600 W. BRYN MAWR AVENUE CHICAGO, IL 60631 TELEPHONE: (773) 380-3800

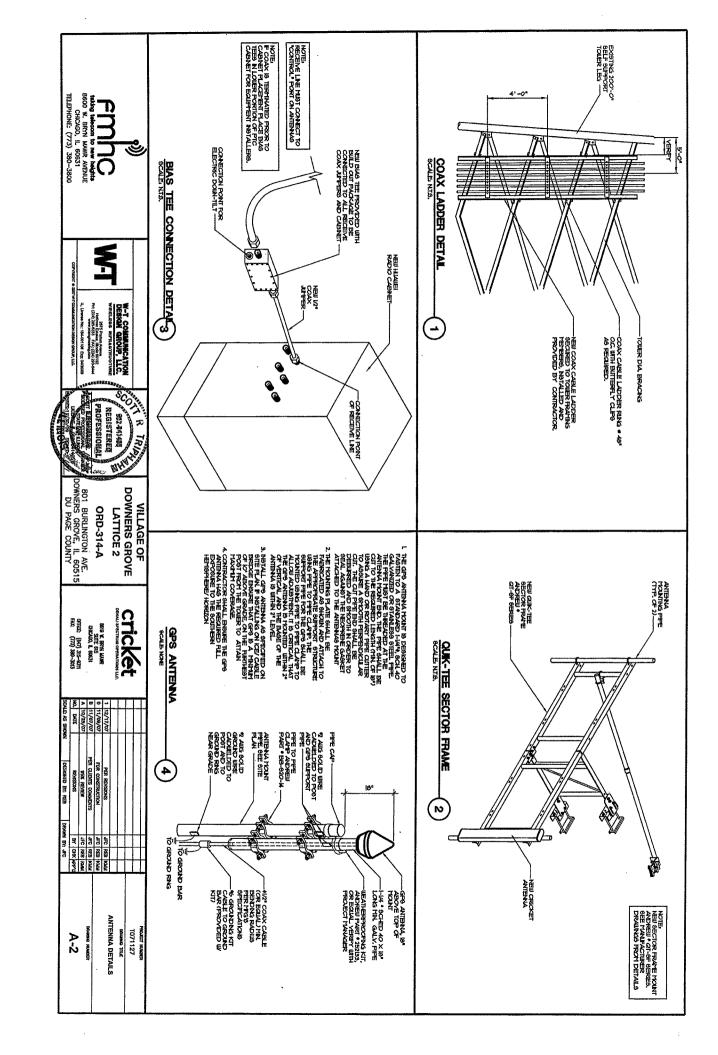
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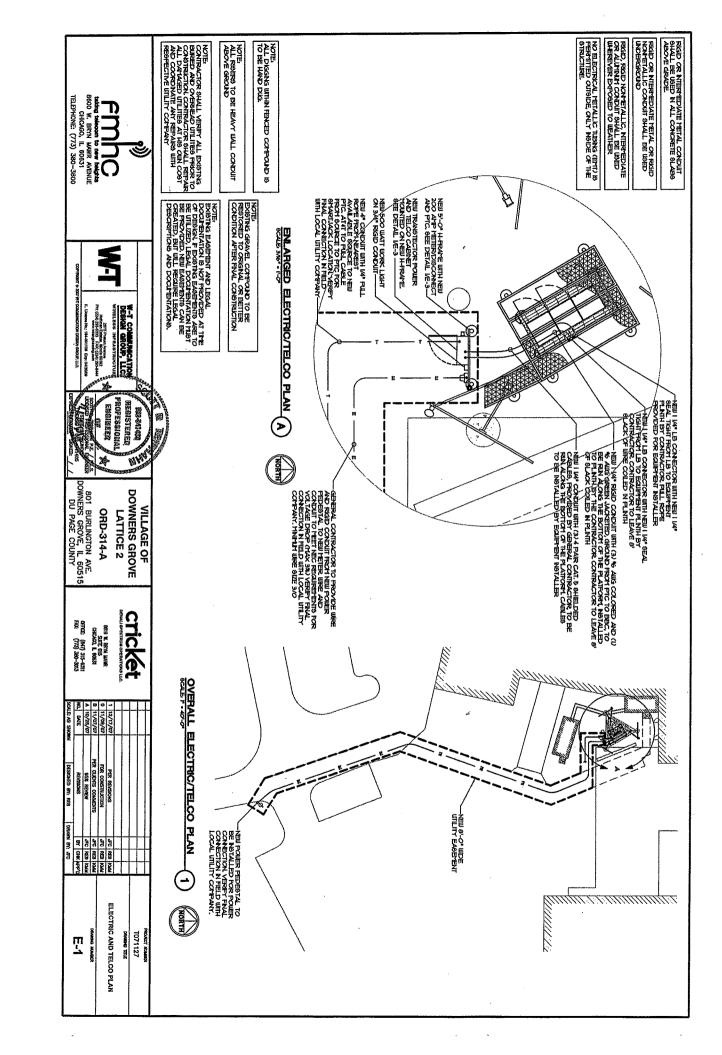
2075 Prahan Avecual Hediman Eddien, Järob 60162 PH: (224) 250-6531 FAV: (224) 250-6444 WHH: Winnginesing.com W-T COMMUNICATION
DESIGN GROUP, LLC.
WRIGLESS INPRASTRUCTURE

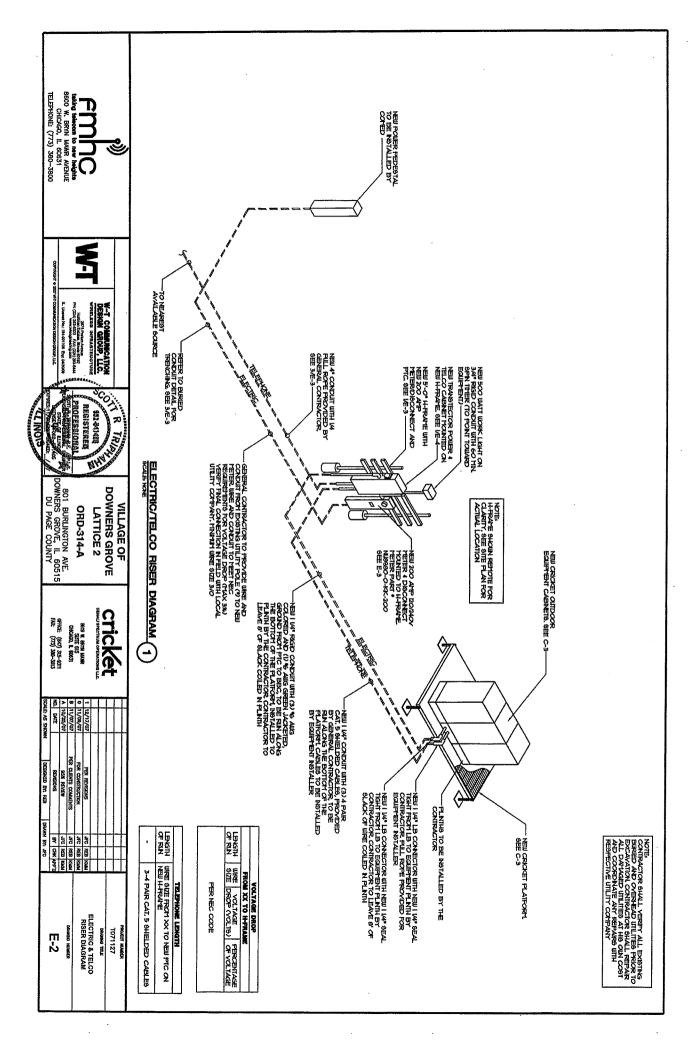
> PROFESSIONA REGISTERED

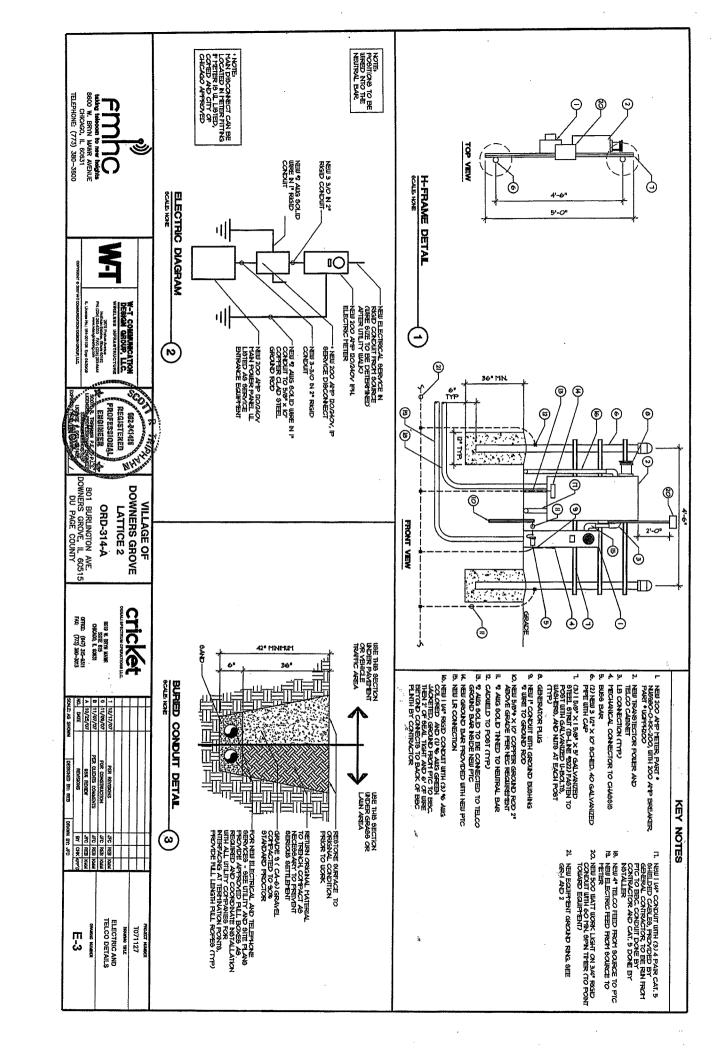
SCOTT R. TROPING

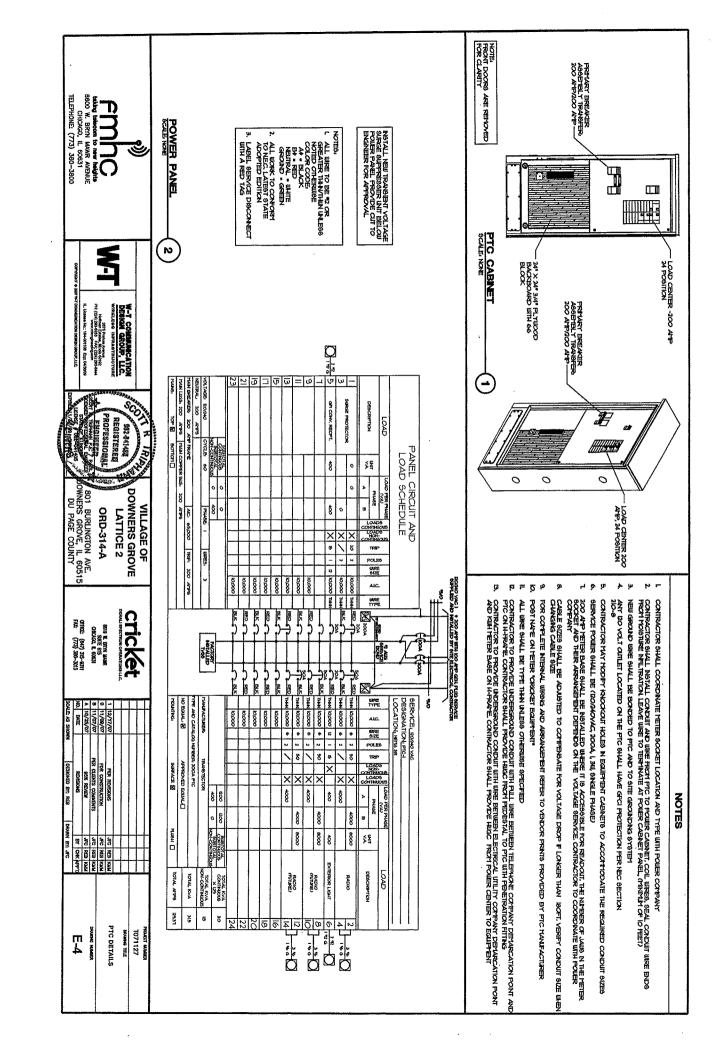




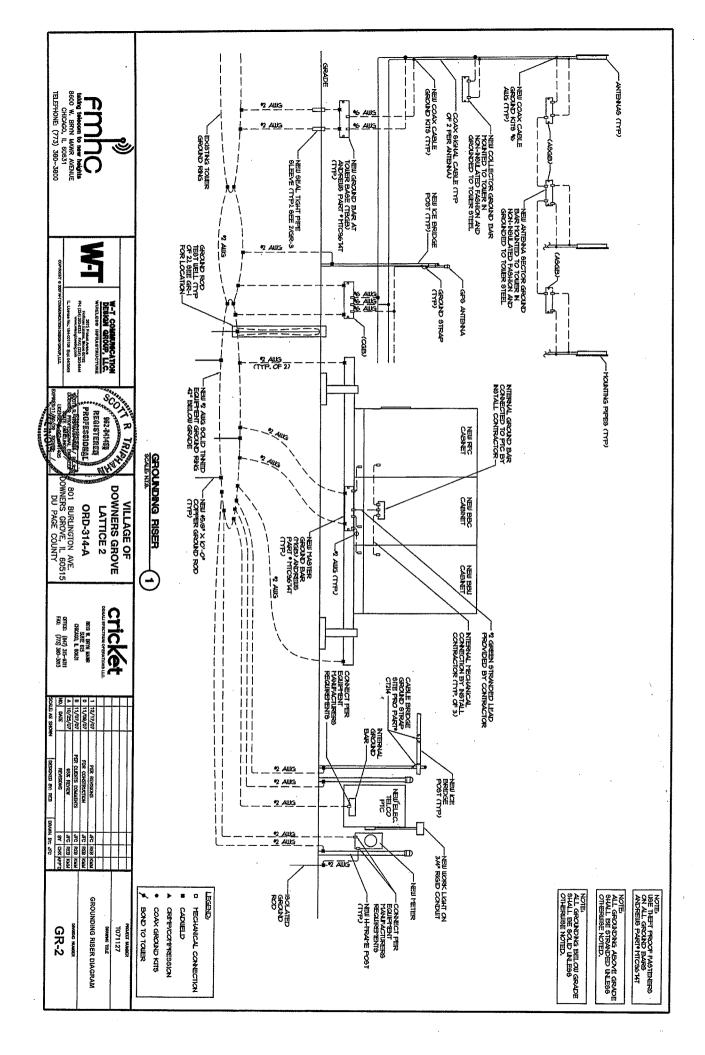


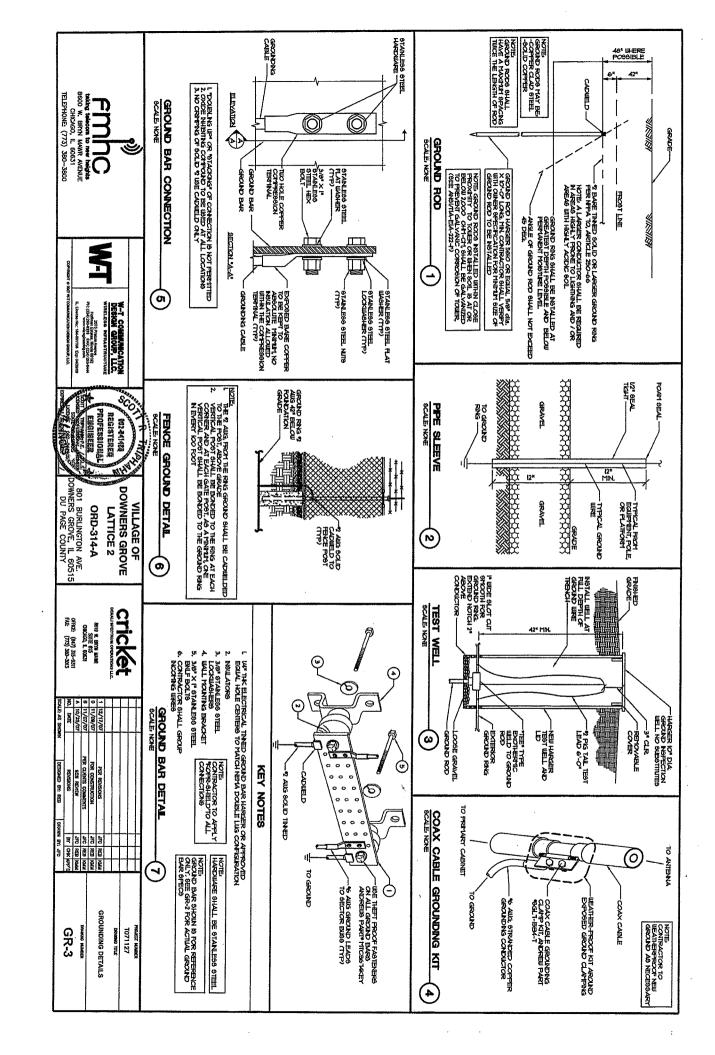






'n 4. CONTRACTOR TO PROVIDE GROUND RODS AND GROUND RING AS HOUN ON IN ECTRICAL SITE PLAN AND GROUNDING REBER DUAGRANT. CONTRACTOR SHALL TEST AND VISION THAT THE INFEDIANCE DOES NOT EXCEED 5 044% TO GROUND BY THANS OF A BIDDLE-TEGGER TESTER, GROUNDING AND OTHER OFFENTIONAL TIESTING SHALL SHALL BE WITNESSED BY THE OWNERS REFRESENTATING. N ø ō, 'n ہے 2. FOR GROUNDING BOND TO STIELL ONLY, INSTET A DRAGON TOOTH UNSHER DETWEEN LUG AND STIELL, COAT ALL SURFACES WITH YOURS-SHIELD" M. DOUBLE CRIMP ALL LONG BARREL LUGB O. AL PECHANICAL CONECTIONS PIET BE MADE BETTO TURGING. O. AL PECHANICAL CONECTIONS PIET BE MADE BETTO TURGING. COAT ALL SURFACES BETTOE CONNECTING. COAT ALL SURFACES BETTOE CONNECTING. GRONDING CONDICTORS SHALL BE COFFER CNLT. ABOVE FRANCIS OF STRANDED CONDICTORS AFE FRANCISCO, STRANDED CONDICTORS AFE FRANCISCO, STRANDED CONDICTOR OF THE EXPERIMENT OR GRONDING THE EXPENSE FRANCISCO BLOOD INVED WIFE SHALL BE USED. ALL WIFES NIST BE SHALL BE USED. ALL WIFES NIST BE SHALL BE USED. ALL WIFES NIST BE SAUTE THAT UNLESS OF THE SHALL BE USED. ALL WIFES NIST BE SAUTE THAT UNLESS OF THE SHALL BE USED. ALL WIFES NIST BE SAUTE THAT UNLESS OF THE SHALL BE USED. PROVIDE 2-HOLE, LONG BARREL, TINED BOLD COPPER LUGG UNERFORE LUGG ARE SHOWN BECO B-12-CE PRETERRED WITH CADURLD TYPE OL CONNECTION, HOYAG AND BETTS SHOCKED BERES WHERE CAT'P CONNECTOR IS REQUIRED. ALL CADIELDS ABOVE FINISHED GRADE SHALL BE PAINTED WITH CO-GALLYANIZED ZING ENRICHED PAINT TO MATCH COLOR OBJECT BONDED TO ROJITE GROJADING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEN PART POSSIBLE EXCEPT AS CHIERDINE NO CATED. GROVADING LEADS SHOULD NEWER BE BENT AT RIGHT ANGLE, ALWAYS MAKE AT LEAST IZ ROJULIS BENDS, NO WIRE CAN BE BENT AT 6° RADIUS WIRE LEAST IZ ROJES PENDS. ALL HAPDWARE 18-8 STANLESS STEEL NCLUDING SPLIT, COAT ALL SURFACES WITH "KOPR-SHIELD" BEFORE MATING ALL CAPTY CONECTIONS THAT BE MADE USING HYDRAULIC TOOLD AND THATE POINT HEXAGONAL COMPRESSION MOLDS ON LONG BARREL LILES THE GROWN ENCHANTS ENVIRON SHALL CONSIST OF DRIVEN GROWN CADD SHALL BE SHEADER SHALL CONSIST OF DRIVEN GROWN OF CONTRACT AND STATE OF THE CAD WHATE BE INTERCONNECTED WITH A MILE BARE SOLD SHALL BE INTERCONNECTED WITH A MILE BARE SOLD INVESTED WITH GROUND COAXIAL CABLE SHIELDS AT BOTH ENDS WITH ANDREWS COAX CABLE GROUNDING KITS PARTY SCL 1-1584-T ROUNDING CONNECTIONS SHALL BE EXCITED/IC TYPE ("CADUELD") TO HAKE POSTS, MONOPOLE TOURS, AND THE GROUND ROOS, RETYAINN'S GROUNDING CONNECTIONS SHALL BE COMPRESSION FITTINGS ALL LUG BHANKS AND LEAD JOINTS SHALL HAVE HEAT SHRINK MATERIAL taking taleoom to new heights 8600 W. BRYN MAWR AVENUE CHICAGO, IL 60631 GROUNDING NOTES ₹ W-T COMMUNICATION, DESIGN GROUP, LLC. PROFESSIONAL REGISTERED \$53.441408 NEW BUILT-N EQUIPMENT CABBLET GROUND BAR LEAD BY NSTALLER TO PLINTH NHAM NEW CADWELD CONNECTION FROM NEW PLATFORM TO NEW EQUIPMENT GROUND RNG. (TY.P. OF 2) EXSTING TOWER GROUND RING TO BE UTILIZED. == VERIFY EXACT LOCATION N FIELD 801 BURLINGTON AVE. DOWNERS GROVE, IL 60515 DU PAGE COUNTY DOWNERS GROVE NEW 5/8" X IO'-O" LONG COPPER CLAD GROUND ROD (TYP)--/ ORD-314-A VILLAGE OF LATTICE 2 NEW GROUND TO PTC WITH NITERIAL GROUND BUSS. SIE SHEET GR-2 H-FRAME POST (MP. OF 2) GROUNDING PLAN NEW TEST WELL SEE DETAIL 2/GR-3 cricket GFRCS: (847) 315-6311 FAX: (773) 380-3013 BETO W. BRYN MANK SURE 615 CHECAGO, N. 60631 Ð ЬO Ξ THE ANTENNA SECTOR GROUND BAR (ASGB) (HTMORT) POST (TYP) SEE SHEET GR-3 6 NEW YECHANICAL CONNECTION TO ELECTRIC METERS OFF SHEET CAR-2 NEW GROUND TO NEW 200 AMP ELECTRIC METER PER CODE, SEE SHEET GR-2 PER CUENTS COMMENTS BS% REVIEW -MEU 9, AUG LEAD FROM NEU EGHEYTENT GROUND RING TO EXISTING TOWER GROUND RING, (TYP. OF 2), CONTRACTOR TO VERSEY EXACT LOCATION NEW TOWER BASE GROUND BAR (TEGE). NEW COLLECTOR GROUND BAR (CGB), BEE SHEET GR-2 NEW MASTER GROUND BAR (MGB). SEE SHEET GR-2 NEW 2 AUG STRANDED GREEN JACKETED GROUND FROM MASTER GROUND BAR TO EQUIPMENT CHASSIB (TYP. OF 3) NEW EQUIPMENT GROUND RING 92 AWG SOLID TINNED COPPER WRIE 48" BELOW GRADE NEW *2 AUG CADUELD TO NEW BRIDGE SHEELD POST (TYP) SEE SHEET GRA-3 JFC REB HAM GROUNDING SITE PLAN GR-1 T071127





LAME INSTANCE AND INSTANCE AND INSTANCE BESON IN BESON IN WHEN AVENUE CHICAGO, IL 06631 TELEPHONE: (773) 350—3500		B. ANY SINKAGE CAUSE BY FOOR COMPACTION WILL BE REPAIRED AT CONTRACTION'S EXPENSE	2. ALL EROSION CONTROL MEASURES, PLACED BY CONTRACTOR SHALL BE REMOVED AFTER COMPILETION OF CONSTRUCTION AND SOIL STABILIZATION	IL SUBCONITACTOR SHALL MINHIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION HEADING CONTROL TEASURED, IF REQUIRED DURING CONTROL TEASURED, IF REQUIRED DURING CONTROL TEASURED, IF REQUIRED DURING CONTROL.	TO ME AND A THE CAME TO PROPERTY DISTINCTION OF THE CAME AND NOT CONTRED BY THE COURT ELEMENT FOR DOWNERS HAVELED TO A UNITORY SUCKE, AND STABILIZED TO PROVENT EROSION AS SPECIFIED IN THE PROJECT DRAWINGS		8. NO FILL OR EMBANCHENT MATERIAL, SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SHOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANCHENT	6. THE SUBCONTRACTOR SHALL PROVIDE SITE SKANGE IN ACCORDANCE WITH THE SPECIFICATION FOR SITE SKANGE. 1. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND TOWER AREAS.	AFFOOAL OF CONTRACTOR, CHAFF AND/OR LOCAL III	4. F NECESSARY, RUBBISH, SILYPS, DEBRIS, SIICKS, SIONES AND OTHER RETISE SHALL HE RETIONED FROM THE SITE AND DISPOSED OF LEGALLY 5. ALL EXETING NACTINE SHURR, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH THE DISPOSED HALL BE RETIONED AND/OR CAPPED, PLYGGED OR OTHERWISE DISCONTINUED AT POONES WHICH WITH A PROPERTY OF THE WATER AND SECTION OF THE WORK SHOWED AT POONES WHICH WITH A PROPERTY OF THE WATER AND SECTION OF THE WORK OF THE WATER AND SECTION OF THE WORK OF THE WATER AND SECTION OF	3. ALL SHE WORK SHALL BE AS NOKATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS	HELOCATED AS DIRECTED BY CONTRACTOR EXTREME CAUTION SHOULD BE USED BY THE SUCCONTRACTOR WILLIA DEVALUATION OF BATELY TRAINING AROUND OR MEAR WILLIES, SUBCONTRACTOR SHALL I PROVIDE DA HEL WORKING CREET HIS WILL INCLUDE BUT NOT BE LIMITED TO AN FALL PROVIDED AS THE WORKING CREET HIS WILL NOT LIMITED TO AN FALL PROVIDED BY OCKNED SPACE OF BECTRICAL SAFETY DY TRENCHAGE & TO CANTON BY CONFINED SPACE OF BECTRICAL SAFETY DY TRENCHAGE & TO CANTON BY CONFINED SPACE OF BECTRICAL SAFETY DY TRENCHAGE & TO CANTON BY CONFINED SPACE OF BECTRICAL SAFETY DY TRENCHAGE & TO CANTON BY CONFINED SPACE OF BECTRICAL SAFETY DY TRENCHAGE & TO CANTON BY CONFINED SPACE OF BETT BY THE SAFETY DY TRENCHAGE & TO CANTON BY THE SAFETY BY TH	1. HE SUBJOANCES FROM TO SHALL COMING UILLIT LOCALING SERVICES FROM TO THE START OF COMPRISIONS. 2. ALL EXISTRA ACTIVE SELER, WATER, GAS, ELECTRO, AND OTHER UTILITIES UNDER ENCONTERED A THE BOYA, SHALL BE PROTECTED AT ALL THESE, SHALL BE PROTECTED AT ALL THESE.	1
W-T COMMUNICATION DESIGN GROUP, LLC. WRIELESS INFRANCISCOME PROCESSION TO SERVICE PROCESSION IL LEARNESS THROUGH ENGINEER	υ 5 >		ACTOR, SHALL BE	ALD DIRANG CAL GUIDELNES FOR		, in	p	Ĥ -	FILES		4 ry	. <u>\</u> u	p F	
R. TRIAND VILLAGE OF DOWNERS GROVE LATTICE 2 REGISTERED ORD-314-A REGISTERED ORD-314-A REGISTERED DOWNERS GROVE, IL 60515 DU PAGE COUNTY VILINOIS DU PAGE COUNTY	A CHATTER 3/4" SHALL BE PROVIDED AT ALL EXPOSED ETCHES OF C NALESS OTHERWISE NOTED, N ACCORDANCE WITH ACI 301 SECTION 42	SLAB AND WALL34 N. BEA'15 AND COLLING1 1/2 N.	CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND.	CONCRETE CAST AGAINST EAGRIL 3 N. CONCRETE DEPOSED TO EAGRIL OR MEATHER % AND LARGER 2 N. % AND SMALLER & MIFF 1/2 N.	THE FOLLOWING HINTLEY CONCRETTE COVER SHALL BE PROVIDED FOR REINFORCING STIEL, WILESS SHOWN OTHERWISE ON DRAWINGS	RENORANG STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE MELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 MELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE, BY LOES BHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNLESS OTHERWISE NOTED	ALL CONCRETE SHALL HAVE A MINIMIN COMPRESSIVE STRENGTH OF 3000 PS) AT 28 DAYS, UNLESS NOTED OTHERWISE, SILAS FOUNDATION DESIGN ASSUMING ALLOWABLE SOLL BEARING PRESSURE OF 2000 PS)	ALL CONCRETE WORK 6HALL BE IN ACCORDANCE WITH THE ACT 301, ACT 316, ACT 336, ACT ALS AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE	CONCRETE & RENFORCING STEEL NO	HAWFACTINEERS WENTEN RECOMENDED PROCEDURE. THE ANCHOR POR TO DEEL OR ROD SHALL CONFORT TO HANSACTINEERS RECOMED NOT THE DEALING MEDICAL BE CIT WITHOUT PROOF RESIDENCE OF THE PROPOSAL WEST PROPOSAL TO HANSACTINEERS OF THE PROPOSAL WAS TO HANSACTINEERS OF THE PROPOSAL TO HANSACTINEERS OF TAXASTAN ALLOWELE CODES TO HANSACTINEERS TAXASTAN ALLOWELE CODES	MACHATICAIRAY COMMETTIONS FOR STEEL GRAINS MAY USE 5/8° DIA ASTM A 301 NAM-STRUCTURAL COMMETTIONS FOR STEEL GRAINS MAY USE 5/8° DIA ASTM A 301 NSTALLATION OF COMMETTIONS FOR STEEL GRAINS MAY USE 5/8° DIA ASTM A 301	SHEACES SHALL BE TOUCHED UP BOLTED CONNECTIONS SHALL BE ASTM ASSE BEARNA TYPE (SA" DI AND SHALL HAVE MINITALY OF TWO BOLTS UNLESS NOTED OTHERWISE AND SHALL HAVE MINITALY OF TWO BOLTS UNLESS NOTED OTHERWISE	ALL SITEL WORK SHALL BE PARIED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTIT ASSI WILESSO THERWISE NOTED ALL BELDING SHALL DE PREVENCIA DESCRIPTIONS SHALL DE PREVENCIA DE SINCE FLOOR SHALL DE PROVIDE THE MALL SITEL WORK SHALL DE PARIED IN ACCORDANCE WITH THE PROVIDE THE THREE WORK SHALL DE PROVIDE THE THREE WORK SHALL DE PARIED IN ACCORDANCE WITH THE PROVIDE THE THREE WORK SHALL DE PARIED IN ACCORDANCE WITH THE PROVIDE THE THREE WORK SHALL DE PARIED IN ACCORDANCE WITH THE PROVIDE THE PROV	NOTES
CTICKET OBJALI SECTION OF DEAL PARK BEIG M. BRIM MARS CHEAD, LOSA OFFICE: (847) 156-2411 FAX: (773) 358-2015 CREAD, LOSA OFFICE: (847) 156-2411 GENERAL SECTION CREAD SECTION A 10/223/07 A 10/223/07 AD JANE SCULE AG SECTION	OF CONCRETE,	q		ACOGRE 11 COGRE 11 COGRE 12 CO	5	p g	, ,	, è	TES 5		'n			
PER BONSONS UTC BES IOM SPECIFICATIONS PER EMPROVED BY BEST BONSONS UTC BEST IOM SPECIFICATIONS PER EMPROVED BY BEST BONSONS UTC BEST IOM SPECIFICATIONS PER BONSONS UTC BEST IOM IOMOGO MANORS DES HOUSES UNIT BY BOTH IOMOGO MANORS EXECUTED BY RES IOM IOMOGO MANORS SPECIFICATIONS PER BOTH IOMOGO MANORS IOMOGO MANORS SPECIFICATION IN THE POPULATION IN THE		SUBCONTRACTOR SHALL LEAVE FREMISES IN CLEAN CONDITION	EXISTING FACILITY. ANTENNAS REPONED SHALL BE RETURNED TO THE CUMERS DESIGNATED LOCATION	THE CAME AS CANAL HOUSE, AND THE PROPERTY DISPOSE OF ALL SCANE HALLES AND THE PROPERTY DISPOSE OF ALL SCANE HALLES AND THE PROPERTY DISPOSE OF ALL SCANE BLECONTRACTORS SHELL LEGALLY AND PROPERTY DISPOSE OF ALL SCANE HALLES AND THE PROPERTY DISPOSED OF ALL SCANE HALLES AND THE PRO	TI CABLES, GEOLIDING CABLES AS SHOUN ON THE POLIER, GEOLIDING AND THE COPILAN DRAWNES.	E THE STEATHEN CANNOT BE NOTALLED AS SHOWN ON THESE DRAININGS, THE SHECKNITACING SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE ENGINEER SHECKNITE ACTION SHALL DEFERRING ACTION DRAFFING CONTINUE OF THE SHALL DRAF	THE SUECONITACTOR SHALL NETALL ALL ECHIPTENT AND HATERIALS IN ACCORDANCE WITH MANUFACTURERS RECONTENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.	"KITING LIST" SUPPLIED WITH THE BID PACKAGE IDENTIFIES TIETS THAT WILL BE SUPPLIED BY CHINER (TETS) NOT NCLUDED IN THE BILL OF MATERIALS AND KITING LIST SHALL BE SUPPLIED BY THE CONTRACTOR	WLESS NOTED OTHERWISE, THE WORK SHALL RICLIDE FURNISHING MATERIALS, EQUIPMENT, APPARTEWANES, AND LABOR NECESSARY TO COMPLETE ALL NOTALLATIONS AS NOTCATED ON THE PRANSACS	THE PERFORMANCE OF THE INDEX ALT UNKERS OF AMI THEIR AMEN AND INCHAIN APPLICABLE MAINED AN INTLITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, OFFINANCES AND APPLICABLE REGULATIONS DRAWNASS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOULD ONLY MAINED AND LOCAL AND ARE INTENDED TO SHOULD ONLY MAINE ONLY.	MATERALS HENGHED AND NOTALIED SHALL BE N STRICT ACCORDANCE. LL APPLICABLE CODES, REGALATIONS, AND ORDINAVICES, SUBCONTRACTOR: BOILE ALL APPROPRIATE NOTICES AND COPPLY WITH ALL LAWS, ORDINANCES,	THE CELL SHE TO THE SUBTISSION OF BIDS, THE BIDDING SUBCONTRACTION SHALL YISH THE CELL SHE TO FAMILLAGUE WITH THE BYSIGHE CONDITIONS AND TO CONFIGH THAT THE WORK CAM BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWNESS, ANY DISCREPANCY FOUND SHALL BE BROADHT TO THE ATTENTION OF BYSINEER	FOR THE PURPOSE OF CONSTRUCTION DRAWNG, THE POLLOWING DEFINITIONS SHALL OWER - CRICKET CONTINUCATION CONTRACTOR	GENERAL NOTES

ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES ELECTRICAL INSTALLATION NOTES 20 萸 RIGID NON-METALLIC CONDUIT (PVC) SHALL BE USED UNDERGROUND IN AREAS **ELECTRICAL INSTALLATION NOTES (CONT.)** THE CONTRACTOR IS RESPONSIBLE FOR PROPRIETY SECURIFICANG AROUNDING AND INDERGREADUR COMBUIT PROJUCTION OF DATAGET OF THE CONDUIT FROM SECURIFICANG FROM THE GROUNDING GROUNDING NOTES (CONT.)

CONDUIT ROUTINGS ARE SCHEMATIC, SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED

WIRING, RACEWAY, AND SUPPORT METHODS AND MATERIALS SHALL CONTRY WITH THE RECUIREMENTS OF THE NEC

- ALL CROUNS SHALL BE SEGREGATED AND MAINTAIN MINIMAIN CABLE SEPARATION AS REQUIRED BY THE NEC
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS
- EACH BUD OF EMERY POURR POURR PHASE CONDUCTOR (IE HOTS), GROWDING, AND TI CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED NSULATION OR ELECTRICAL TAPE WITH NO PROTECTION, OR EQUIAL), THE DENIFICATION FETHOD SHALL CONFORM WITH NO PROTECTION, OR EQUIAL), THE IDENIFICATION FETHOD SHALL CONFORM WITH NEC 4 08HA
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH PLASTIC TAME FER COLORS SCHEDULE. ALL ECUIMPENT SHALL BE LABELED WITH THER VOLTAGE RATING, PHASE COMPGUIATION WHE COMPGUIATION FOURT OR A PRACTIT RATING, AND BRANCH CIRCUIT ID NUMBERS (IE PANEL BOARD AND CIRCUIT ID'S)
- PANEL BOARDS (ID NUMBERS) AND NIERVAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOLS TO REMOVE SHARP EDGES
- ₫ POUER, COMIRCA, AND EQUIPMENT GROUND WIRNS IN TUBING OR CONDUIT SHALL BE SNALE CONDUCTOR ON AUG OR LARGEN, BOO Y, OIL RESIDIANT THAN OR THUN-Z, CLASS B STRANDED COPTER CASIL RATED FOR SO CHET AND DRY) OPERATION, LISTED OR LABELED FOR THE LOCATION AND RACEIUAY SYSTEM USED, UNLESS CREATERS.
- SUPPLEMENTAL EQUIPMENT GROUND WANG LOCATED NODORS SHALL BE SNALE CONDUCTOR (% AUG OR LAKER), 600V, OIL RESISTANT THAN OR THAN-2 GREEN NIGHT ON THE SAME OF THAN-2 GREEN NIGHT ON THE SAME OF THAN 2 GREEN NIGHT ON THE SAME OF THE SAME OF
- POLER AND CONTROL WIRKS, NOT IN TIBNG OR CORDIT, SWALL BE THE TOOLS THE TO CABLE (MA, MELIOR) LOOP ON THE TO CABLE (MA, MELIOR) LOOP ON THE AND DRY) OF THAIN 2, CLASS B STRANDED COPPER CASILE PAIED FOR 30" C (MET AND DRY) OPEIGNION WITH CHIERRA ACKET! LISTED OR LASELED FOR THE LOCATION USED, INLESS OFFICIALISES BEFORE)
- Ģ ALL POURE AND GROWNESTICN AT NO LESS THAN BY C (SO'F AVAILLED BHALL BE CAPITY-STATE AND MREMING AND METHON OF EGUAL). LIKES AND MREMING SOME SHALL BE CAPITY-STATE AVAILLED.
- Ā RACEWAY AND CABLE TRAY 9HALL BE LIGHED OR LABELED FOR ELECTRICAL USE N ACCORDANCE WITH NEYA, U., ANSWELE, AND NEC
- ŢŦ ELECTRICAL METALLIC TUBNA (EPIT) OR RAGID NONETIALLIC COMDITI (IE RAGID PRO BOLEDULE AO, OR RAGID PRO BOLEDULE AO, ORDITAL DE USED FOR DAPOSED NIDOOR LOCATIONS
- CONCEALED NIDOOR LOCATIONS ELECTRICAL METALLIC TUBNG (BHT), ELECTRICAL NOWETALLIC TUBNG (BHT), OR RIGHD NOWETALLIC TUBNG (BHT), OR
- GALVANIZED STEEL INTERVIEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE
- ō RIGID COMUNIT (HUSC) SHALL BE USED INDERGROUND, DIRECT BURED, IN AREAS OF COCASIONAL LIGHT VEHICLE TRAFFIC OR BICASED IN REMOORCED CONCRETE N AREAS OF HEAVY VEHICLE TRAFFIC

- CABNETS, BOXES, AND WREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NETA, ILL, ANSI/IEEE, AND NEC
- WREIMYS 6HALL RE FROXY-COATED (GRAY) AND NCLIDE A HINGED COAFR, DESIGNED TO SWING OPEN DOWNWAD, SHALL BE PANDUIT TIPE E (OR EQUAL), AND RATED NEYA I (OR BETTER)
- 25 METAL RECEPTACLE, SUITCH, AND DENCE BOXES SHALL BE GALVANIZED, EPONT-COATED, OR NON-CORROUNG, SHALL MEET OR EXCEED ILL SHA AND NETA OS I, AND RATED NETA I COR BETTER) NDOORS, OR WEATHER PROTECTED (NP OR BETTER) CUIDOORS
- 8 NON-ETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEW OS 2, AND RATED NEW ALL OR BETTEN INDOORS, OR WEATHER PROTECTED (UP
- 1,2
- 23 B ALL ELECTRICAL ITEMS SHALL BE ILL. APPROVED OR LISTED.
- POURR WRED AND CARLED BHALL HE COPPER WITH TYPE XHAU THIN OR THAN INSULATION, SOLID CONDUCTORS FOR 80 AUG AND SMALLER, STRANDED FOR LARGER THAN 80 AUG. THINTH SIZE 93 AUG.
- ğ CONTRACTOR TO OBTAIN ALL PERMITS, PAY PERMIT FEES, AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
- 냁 COMPACTOR TO OBTAIN LOCAL POWER AND TELEPHONE COMPANY APPROVAL AND COORDINATE WITH UTILITY COMPANIES SERVICE ENTRANCE REQUIREMENTS.
- 32

- rigid, rigid nometallic, ntermediate or alumnum conduit shall be Used wereyer exposed to Weather
- NO ELECTRICAL METALLIC TUBNIG (EMT) 18 PERMITTED OUTSIDE, ONLY NOUDE OF STRUCTURE.

GROUNDING NOTES

THE COMPACTOR SHALL PERFORM IEEE PALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER EEE IVO AND BIJFOR GROUND ELECTRODES SYSTEMS, THE COMPACTOR SHALL HARNISH AND INSTALL SIEPTLEMFALL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESILT OF 5 OATS OR LESS

- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED NDOORS AND CUITDCORS, UNEREL VERRATION OCCURS OR FLEXIBILITY IS NEEDED
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED, SETSCREW HITINGS ARE NOT ACCEPTABLE

- EGLIPTENT CABNETIS, ITEMPAL BOXES, JAVITOXI BOXES, AND FALL DOXES SHALL BE CALVANUED OR EPONT-COATED METER STEEL, SHALL METER OR EXCEPTED AND RATED NETAL (OR BETTER) NDOOPS OR NETA, SIR (OR BETTER) CAITDOOPS
- OR BETTER) OUTDOORS
- THE SHECKHTRACTOR SHALL PROVIDE RECEIVARY TAGANG ON THE BREAKERS, CARLEIS, AND DEPREMENTAL PARELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY

- PROVIDE ALL LABOR AND MATERIAL DESCRIBED ON THIS DRAWING, AND ALL TIES INCUBENTAL TO COMPLETING AND PRESENTING THIS PROJECT AS HILLY OPERATIONAL.

 PROJECT AS HILLY OPERATIONAL.
- rigid or nitertediate metal conduit shall be used in all Concrete slabs aboye grade
- rigid or nterediate metal or rigid non-tetallic conduit shall be Used underground

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- ALL GROAND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTHMS FROTECTION, AND AC POWER GESS) SHALL BE TOGETHER BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTIONS IN ACCORDANCE WITH THE NEC

cricke

801 BURLINGTON AVE. DOWNERS GROVE, IL 60515 DU PAGE COUNTY ORD-314-A

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DESIGN GROUP, LLC.
WIRELESS NIFRASTRUCTURE

PROFESSIONAL REGISTERED BEZ-2414E

SCO.

MHAKE

DOWNERS GROVE VILLAGE OF

LATTICE 2

OFFICE (847) 315-8311

SUITE 615 CHICAGO, IL 60631

- TETAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE BLECTRICALLY CONTINUOUS UITH LISTED BOADME FITTINGS OR BY PORDING ACROSS HE DISCONTINUOUS WITH 16 AUG COPPER WIRE U. APPROVED GROUNDING TYPE CONDUIT DISCONTINUOUS WITH 16 AUG COPPER WIRE U. APPROVED GROUNDING TYPE CONDUIT CLAMPS
- TETAL RACEIMY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTORS STRANDED COPPER CONDUCTORS WITH GREEN NISULATION, SIZED N. ACCORDANCE WITH THE NEC, SHALL BE FIRNISHED AND NISTALLED WITH THE POWER CIRCUITS TO EQUIPMENT.
- EACH CARBAET RAME SHALL HE DIRECTLY CONNECTED TO THE HASTER GROUND BAR WITH GREEN NEAL ATED BIFFELD STATE. EQUIPMENT, SO AND STRANDED COPPER OR LAGGER.
 CONNECTIONS THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED.
 BACK TO BACK CONNECTIONS ON OPPOSITE SDDBS OF THE GROUND BAR ARE
- ALL EXTEROR GROUND CONDUCTORS BETUEEN EQUIPYENT/GROUND BARS AND THE GROUND RAY, SHALL BE 19 AUG SOLID TINNED COPPER UNLESS OTHERWISE NDICATED
- ALIMINAM CONDICTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS
- USE OF 90" BENDS IN THE PROTECTION GROUNDING CONDUCTIONS SHALL BE AVOIDED WHEN 45" BENDS CAN BE ADEQUATELY SUPPORTED
- EXOTHERMIC WELD'S SHALL BE USED FOR ALL GROUNDING CONVECTIONS BELOW GRADE
- ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR & EXTERIOR) SHALL BE FORTED USING HIGH PRESS CRIVES
- CONTRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS
- ICE BRIDGE BONDING CONDUCTORS SHALL BE EXCITERFICALLY BONDED OR BOLLIED TO THE BRIDGE AND THE TOWER GROUND BAR
- APPROVED ANTIOXIDANT COATINGS (IE. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS
- ALL EXTERIOR GROWN CONNECTIONS SHALL BE COATED WITH CORROSION RESISTANT MATERIAL

MISC, ELECTRICAL, AND NON-ELECTRICAL METAL BOXES, FRAMES, AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC

- BOND ALL METALLIC OBJECTS WITHIN 6 FT. OF MAIN GROUND WIRES WITH (1) 72 AUG IN-PLATED COPPER GROUND CONDUCTOR
- RECAND CONDUCTORS USED N THE FACILITY GROUND AND LIGHTINING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH TETRALLIC CONDUITS, TETAL SHETCHEN ARMA RANG AROUND THE CONDUCTORS SHOULD AS TREATMENT OF REQUIRED BY LOCAL CONDUITS, THE CONDUCTORS SHOULD BY LOCAL CONDUITS, TETAL SHETCHEN ARMA AROUND THE CONDUCTORS SHOULD BY LOCAL CONDUITS, THE SHETCHEN ARMA CONDUITS TO CONDUITS OF LOCAL CONDUITS, THE SHETCHEN ARMA CONDUITS TO CONDUITS OF LOCAL CONDUITS ON LOCAL CONDUITS OF THE METALLIC CONDUITS OF T
- ROJIE GROADING CONDICTORS ALONG THE SHORTEST AND STRAIGHTEST PAIN POSSBUEL, DACTERT AS OTHERWISE ROJICATED, RADIUS BENDS (GROADING) LEADS TO BE A NINTEN OF ET, SE WIRE NAY BE BENT WITH 6" RADIUS BEND WERE FIELD CONDITIONS POSSBUETHS.

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AFTER RECORDING, PLEASE RETURN TO:

Cricket Communications, Inc. 10307 Pacific Center Court San Diego, CA 92121 Attn: Legal Department

Property Tax ID Number: 09-08-211-001

County: DuPage

ORD-314-A

Memorandum of License

Village of Downers Grove ("Licensor") and Denali Spectrum Operations, LLC, a Delaware corporation ("Licensee") entered into a Site Lease dated _________, 2008 ("Agreement") regarding a portion of the real property located at 801 Burlington Avenue, Downers Grove, IL 60515 as more particularly described in the attached Exhibit A ("Property").

The Agreement is for a term of five (5) years and will commence on the date as set forth in the Agreement ("Commencement Date") and shall terminate at midnight on December 31, 2012. Tenant shall have the right to extend this Agreement for two (2) additional five (5) year terms.

IN WITNESS WHEREOF, the parties hereto have executed this memorandum effective as of the date of the last party to sign.

(SIGNATURES ON FOLLOWING PAGE)

IN WITNESS WHEREOF, the parties hereto have executed this memorandum effective as of the date of the last party to sign.

LICENSOR: VILLAGE OF DOWNERS GROVE,

a municipal corporation

Title:

By:	
Printed Name:	
Its:	
	DENALI SPECTRUM OPERATIONS, LLC ited liability company
•	etrum License, LLC
Its sole mer By: Denali Spe	
Its sole men	•
	ctrum Manager, LLC
Its manager	
By: Doyon, Lin	
Its manager	•
By:	R. And
Brian Root:	BriAr ROOT

Operations Manager

LICENSOR:	
STATE OF)
COUNTY OF) ss.)
appeared before me, and said perso that he was authorized to execute	is the person who on acknowledged that he signed this instrument, on oath stated the instrument and acknowledged it as the of be the free and voluntary act of such party for the uses and tent.
Dated:	·
	Notary Public
	Print Name My commission expires
	wy commission expires
LICENSEE:	
STATE OF MILIONIS COUNTY OF Cook)
) ss.
COUNTY OF COOK)
appeared before me, and said personant that he was authorized to execute to	have satisfactory evidence that Brian Root is the person who can acknowledged that he signed this instrument, on oath stated the instrument and acknowledged it as its Operations Manager, LC, to be the free and voluntary act of such party for the uses rument.
	Dona L. Vice
£mmme.	Notary Public DONNA 2. VOCE
OFFICIAL SEAL DONNA L VECE NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES:05/10/12	My commission expires 5-10-19

EXHIBIT A Legal Description

The Property is legally described as follows:

So much of the Southwest Quarter of the Northeast Quarter (SW1/4 NE1/4) of Section 8, Township 38 North, Range 11 East of the Third Principal Meridian in DuPage County, Illinois, described as follows: Commencing at a point on the South line of 100-foot wide right of way of Burlington Northern Inc., 336.6 feet Eastward (measured on said South line) from the intersection of the North and South center line of said Section 8 with said South line to the place of beginning; thence south 9°West (magnetic bearing), 20.14 feet; thence Eastward, parallel to said South right of way line and 20 feet distant there from, 425.9 feet; thence North 64° East (magnetic bearing), 42.3 feet to said South right of way line; thence Westward on said South right of way line, 459.5 feet to the place of beginning.