

**VILLAGE OF DOWNERS GROVE**  
**REPORT FOR THE VILLAGE COUNCIL WORKSHOP**  
**SEPTEMBER 9, 2008 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
Special Use with Zoning Variation, Final Plat of Consolidation for 2501 Ogden Avenue	Resolution ✓ Ordinance Motion Discussion Only	Tom Dabareiner, AICP Community Development Director

**SYNOPSIS**

A special use ordinance has been prepared for the parking lot expansion of an existing automobile dealership with zoning variation for the transitional yard setback for the property at 2501 Ogden Avenue. An ordinance has been prepared restricting right turns from the subject property to Cross Street. A resolution has been prepared authorizing the final plat of subdivision to consolidate three existing parcels into one.

**STRATEGIC PLAN ALIGNMENT**

The Five Year Plan and Goals for 2007-2012 identified *Vibrant Major Corridors*. Supporting this goal are the objectives *More Attractive Commercial Corridors and Easy Access and Traffic Functionality*.

**FISCAL IMPACT**

N/A.

**RECOMMENDATION**

Approval on the September 16, 2008 active agenda.

**BACKGROUND**

The petitioner, owner of Premier AutoHaus automobile dealership located at the southeast corner of Cross Street and Ogden Avenue at 2501 Ogden Avenue has acquired the property at 2449 Ogden Avenue. The property is located immediately east of the existing automobile dealership. The 19,822 square foot property is zoned B-3 General Services and Highway Business and consists of two lots. The property is improved with a vacant single family residence and was previously used as a beauty salon.

The petitioner is proposing to expand the existing automobile dealership by demolishing the single family house and constructing a new parking lot for additional vehicle parking and display. The petitioner is requesting approval of the Special Use for parking lot expansion with a Zoning Variation for a transitional yard setback to construct the parking lot five feet from the east property line where a ten-foot setback is required. The proposed setback will match the existing conditions. The petitioner is also requesting approval of the Final Plat of Consolidation to consolidate the three existing lots into one.

The petitioner would eliminate three existing curb cuts currently located at 2449 Ogden Avenue to accommodate the parking lot expansion. The new parking lot would be interconnected with the existing parking and utilize the existing Ogden Avenue access driveway where a traffic light currently exists.

The petitioner is also proposing a new access driveway on Cross Street to be located 45 feet north of the south property line. To minimize impact on the residential neighborhood south of the property, the Cross Street access driveway will have full inbound access but will have limited outbound access for right-turn only northbound traffic towards Ogden Avenue. A “no-left turn” traffic sign will be installed on the property at the driveway to discourage southbound travel.

The petitioner is proposing an underground detention facility under the new parking lot to maintain the allowable stormwater runoff rate. At this time, the petitioner is not required to complete any street improvements along Cross Street. The petitioner will pay a fee-in-lieu of the street improvements for pavement widening, storm sewer, curb and gutter installation along the east side of Cross Street adjacent to the west property line. The street improvements will be completed at the time the property west of Cross Street is redeveloped when the funds for complete street improvements are collected.

The petitioner will install approximately 1,850 square feet of new landscaped green space along the Ogden Avenue corridor adjacent to the new parking lot. A new landscape hedge will also be installed along Cross Street to screen the existing parking lot. With the new landscaped area, the property will exceed the requirement for landscaped green space for the entire site. The petitioner will install a new sidewalk along the Ogden Avenue right-of-way adjacent to the new parking lot. The new portion will connect to the existing sidewalk already in place along the existing parking lot. The bulk characteristics of the development are summarized in the table below:

Premier AutoHaus Parking Lot Expansion	Required	Proposed
Front Setback (North-Ogden Avenue)	50 feet from center line of Ogden Avenue right-of-way	64 feet from center line of Ogden Avenue right-of-way
<b>Transitional yard (East)</b>	<b>10 feet</b>	<b>5 feet</b>
Landscaped green space (total)	7,722 sq. ft. (10%)	10,679 sq. ft. (13.8%)
Landscape green space (front yard)	3,862 sq. ft. (50% of total)	4,007 sq. ft. (51.8% of required total)
Parking Spaces	N/A	52

The proposed plan complies with the Ogden Avenue Master Plan as shown in the table below:

Ogden Avenue Master Plan	Proposal – 2501 Ogden Avenue
Improve the parkway with new trees, plantings, signage, and sidewalks.	The petitioner will install new landscaping along the Ogden Avenue right-of-way adjacent to the new parking lot.
Reduce curb cuts along Ogden Avenue.	The petitioner will remove three existing curb cuts on Ogden Avenue previously utilized by the commercial use at 2449 Ogden Avenue.
Improve landscaping in and around parking lots.	The petitioner will install new landscaping along the Ogden Avenue right-of-way adjacent to the new parking lot. A new landscape hedge will also be installed along Cross Street to screen the existing parking lot.
Encourage redevelopment of sites with buildings in poor physical condition or whose size/layout makes them inefficient or unusable.	The petitioner will demolish the existing vacant building currently located at 2449 Ogden Avenue, remove existing curb cuts, and construct a new parking lot for additional vehicle display for the Premier AutoHaus car dealership.
Provide interconnected sidewalks along the entire length of the corridor.	The petitioner will install a new sidewalk along the entire length of the Ogden Avenue right-of-way adjacent to the new parking lot.

The Plan Commission considered the petition at its August 4, 2008 meeting and found the project met the standards for approval. Based on its findings, the Commission recommended unanimous approval of the Special Use with Zoning Variation and the Final Plat of Consolidation. Staff concurs with the Plan Commission recommendation.

#### ATTACHMENTS

Ordinances

Resolution

Staff Report with attachments dated August 4, 2008

Minutes of the Plan Commission Hearing dated August 4, 2008

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AUTHORIZING A SPECIAL USE FOR  
2501 OGDEN AVENUE TO PERMIT  
AN AUTOMOBILE DEALERSHIP WITH A ZONING VARIATION**

WHEREAS, the following described property, to wit:

Lots 1 through 6 in Block 1 in Arthur T. McIntosh and Company’s Belmont Golf Addition, being a subdivision in the Southwest Quarter of Section 1 and the Northwest Quarter of Section 12, Township 38 North, Range 10, East of the Third Principal Meridian, according to the plat thereof recorded September 14, 1925 as Document 199614, in DuPage County, Illinois.

Commonly known as 2501 Ogden Avenue, Downers Grove, IL (PIN 08-01-306-023) and 2449 Ogden Avenue, Downers Grove IL (PIN 08-01-306-004,-005)

(hereinafter referred to as the "Property") is presently zoned in the "B-3, *General Services and Highway Business District*" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28-609(c) of the Zoning Ordinance be granted to allow an automobile dealership.

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use be granted to allow an automobile dealership including the following Zoning Variation:

1. Variation from Chapter 28, Section 28-1113 (h); *Transitional Yard*, to reduce the transitional yard setback along the east property line from minimum ten (10) foot setback to a minimum of five (5) foot setback.

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing on August 4, 2008 respecting said petition and has made its findings and recommendations, all in accordance with the laws of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the requested Special Use with Zoning Variation, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. The proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

2. The proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.
3. The proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.
4. The proposed use is one of the special uses specifically listed for the district in which it is to be located and, if approved with restrictions as set forth in this ordinance, will comply with the provisions of the Downers Grove Zoning Ordinance regulating this Special Use.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

SECTION 1. That a Special Use of the Property is hereby granted to permit an automobile dealership including the requested Variation as outlined above.

SECTION 2. This approval is subject to the following conditions:

1. The proposed Lot Consolidation, Special Use and Zoning Variation for the transitional yard setback shall substantially conform to the Boundary and Topographic Survey, Plat of Consolidation and engineering plans and specifications prepared by Siebert Engineers Inc. attached to this as Group Exhibit A and incorporated herein by reference except as such plans may be modified to conform to Village codes, ordinances, and policies.
2. A separate engineer's cost estimate shall be provided for the installation of complete pavement widening, storm sewer, curb and gutter along the east side of Cross Street adjacent to the west property line. Upon staff's approval of the cost estimate, a fee-in-lieu of the improvements shall be required prior to issuance of the building permit.
3. The proposed six-foot solid fence along the east property line shall tie into the existing six foot fence.
4. The proposed lighting plan shall indicate a 0.1 foot candle or less along the entire length of the east property line adjacent to the new parking lot and shall include a table with foot candle average, minimum, and average to minimum ratio in compliance with the Section 28.1406 of the Zoning Ordinance.
5. The plans for the proposed light poles shall be prepared, signed and ink stamped by an Architect or an Engineer licensed in the State of Illinois.
6. The Plat of Consolidation shall be revised to include a certificate for the Illinois Department of Transportation official. A Mylar copy of the revised plat shall be submitted prior to Village Council consideration.
7. A Plat of Easement shall be submitted to the Village with stormwater easements provided over all storm sewer, associated manhole structures as well as overland flow routes prior to issuance of the building permit.

8. All necessary construction permits shall be obtained by the petitioner prior to any site development activities.
9. All vehicle on- and off-loading shall take place on the property. No vehicle loading shall take place on Cross Street or Ogden Avenue.

SECTION 3. The above conditions are hereby made part of the terms under which the Special Use with Zoning Variation is granted. Violation of any or all of such conditions shall be deemed a violation of the Village of Downers Grove Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and or revocation of the Special Use granted herein.

SECTION 4. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

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Mayor

Passed:

Published:

Attest: \_\_\_\_\_

Village Clerk

Cross Street Movement

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE RESTRICTING MOVEMENT OF VEHICLES  
ONTO CROSS STREET**

BE IT ORDAINED by the Village Council of the Village of Downers Grove in DuPage County, Illinois, as follows: (Additions are indicated by **shading**/underline; deletions by ~~strikeout~~):

**Section 1. That Section 14.50.21. is hereby added to read as follows:**

**14.50.21. Restrictions on movements of vehicles onto Cross Street.**

It shall be unlawful for any person driving or operating any automobile, truck or other vehicle exiting the following described property (generally located at the southeast corner of Cross Street and Ogden Avenue) to turn such vehicle right so as to proceed southerly onto Cross Street. The property is described as follows:

Lots 1 through 6 in Block 1 in Arthur T. McIntosh and Company’s Belmont Golf Addition, being a subdivision in the Southwest Quarter of Section 1 and the Northwest Quarter of Section 12, Township 38 North, Range 10, East of the Third Principal Meridian, according to the plat thereof recorded September 14, 1925 as Document 199614, in DuPage County, Illinois. Commonly known as 2501 Ogden Avenue, Downers Grove, IL (PIN 08-01-306-023) and 2449 Ogden Avenue, Downers Grove IL (PIN 08-01-306-004,-005).

**Section 2.** That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 3.** That this ordinance shall be in full force and effect from and after its passage and publication in the manner provided by law.

\_\_\_\_\_  
Mayor

Passed:  
Published:  
Attest: \_\_\_\_\_  
Village Clerk

**RESOLUTION \_\_\_\_\_**

**A RESOLUTION APPROVING THE FINAL  
PLAT OF CONSOLIDATION FOR 2501 OGDEN AVENUE**

WHEREAS, application has been made pursuant to the provisions of Chapter 20 of the Downers Grove Municipal Code for the approval of the final Plat of Consolidation for 2501 Ogden Avenue, located at the Southeast corner of Ogden Avenue and Cross Street, Downers Grove, Illinois, legally described as follows:

Lots 1 through 6 in Block 1 in Arthur T. McIntosh and Company's Belmont Golf Addition, being a subdivision in the Southwest Quarter of Section 1 and the Northwest Quarter of Section 12, Township 38 North, Range 10, East of the Third Principal Meridian, according to the plat thereof recorded September 14, 1925 as Document 199614, in DuPage County, Illinois.

Commonly known as 2501 Ogden Avenue, Downers Grove, IL (PIN 08-01-306-023) and 2449 Ogden Avenue, Downers Grove IL (PIN 08-01-306-004,-005)

WHEREAS, notice has been given and hearing held on August 4, 2008 regarding this plat application pursuant to the requirements of the Downers Grove Municipal Code; and,

WHEREAS, the Plan Commission has recommended approval of the final Plat of Consolidation for 2501 Ogden Avenue as requested, subject to certain conditions.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of the Village of Downers Grove that the final Plat of Consolidation for 2501 Ogden Avenue, be and is hereby approved subject to the following conditions:

1. The proposed Lot Consolidation, Special Use and Zoning Variation for the transitional yard setback shall substantially conform to the Boundary and Topographic Survey, Plat of Consolidation and engineering plans and specifications prepared by Siebert Engineers Inc. attached to staff report dated August 4, 2008, except as such plans may be modified to conform to Village codes, ordinances, and policies.
2. A separate engineer's cost estimate shall be provided for the installation of complete pavement widening, storm sewer, curb and gutter along the east side of Cross Street adjacent to the west property line. Upon staff's approval of the cost estimate, a fee-in-lieu of the improvements shall be required prior to issuance of the building permit.
3. The proposed six-foot solid fence along the east property line shall tie into the existing six foot fence.
4. The proposed lighting plan shall indicate a 0.1 foot candle or less along the entire length of the east property line adjacent to the new parking lot and shall include a table with foot candle average, minimum, and average to minimum ratio in compliance with the Section 28.1406 of the Zoning Ordinance.
5. The plans for the proposed light poles shall be prepared, signed and ink stamped by an Architect or an Engineer licensed in the State of Illinois.
6. A Plat of Easement shall be submitted to the Village with stormwater easements provided over all storm sewer, associated manhole structures as well as overland flow routes prior to issuance of the building permit.

7. All necessary construction permits shall be obtained by the petitioner prior to any site development activities.

BE IT FURTHER RESOLVED, that the Mayor and Village Clerk are authorized to sign the final plat of consolidation.

BE IT FURTHER RESOLVED, that this resolution shall be in full force and effect from and after its adoption in the manner provided by law.

\_\_\_\_\_  
Mayor

Passed:

Attest: \_\_\_\_\_  
Village Clerk





**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE PLAN COMMISSION  
AUGUST 4, 2008 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
PC-19-08 2501 Ogden Avenue	Special Use with Zoning Variation and Lot Consolidation for Automobile Dealership	Damir Latinovic Planner

**REQUEST**

The petitioner is requesting approval of Special Use for parking lot expansion of an existing automobile dealership with a Zoning Variation for a transitional yard setback and approval of a Plat of Consolidation to consolidate three existing lots into one.

**NOTICE**

The application has been filed in conformance with applicable procedural and public notice requirements.

**GENERAL INFORMATION**

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**OWNER/APPLICANT:** Premier Autohaus  
2501 Ogden Avenue  
Downers Grove, IL 60515

**PROPERTY INFORMATION**

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**EXISTING ZONING:** B-3 General Services and Highway Business  
**EXISTING LAND USE:** 2449 Ogden Avenue: Vacant; 2501 Ogden Avenue: Automobile Dealership  
**PROPERTY SIZE:** 2449 Ogden Avenue: 19,822 square feet; 2501 Ogden Avenue: 57,072 square feet.  
**PINS:** 08-01-306-023, 08-01-306-004, 08-01-306-005

**SURROUNDING ZONING AND LAND USES**

	<b>ZONING</b>	<b>FUTURE LAND USE</b>
<b>NORTH:</b>	B-3 General Services and Highway Business	Commercial
<b>SOUTH:</b>	R-4 Single Family Residence (DuPage Co.)	Commercial
<b>EAST:</b>	R-1 Single Family Residence District	Open Space
<b>WEST:</b>	B-3 General Services and Highway Business	Commercial

## **ANALYSIS**

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### **SUBMITTALS**

This report is based on the following documents, which are on file with the Department of Community Development:

1. Application/Petition for Public Hearing
2. Project Summary
3. Boundary and Topographic Survey
4. Plat of Consolidation
5. Engineering Plans

### **PROJECT DESCRIPTION**

The petitioner, owner of Premier AutoHaus automobile dealership located at the southeast corner of Cross Street and Ogden Avenue commonly known as 2501 Ogden Avenue, has acquired the property commonly known as 2449 Ogden Avenue located immediately east of the existing automobile dealership. The 19,822 square foot property zoned B-3 General Services and Highway Business consists of two lots of record. The property is improved with a vacant single family residence previously used as a beauty salon.

The petitioner is proposing to expand the existing automobile dealership by demolishing the single family house and constructing a new parking lot for additional vehicle parking and display. The petitioner is requesting approval of the Special Use for parking lot expansion with a Zoning Variation for a transitional yard setback to construct the parking lot five feet from the east property line where a ten-foot setback is required. The petitioner is also requesting approval of the Plat of Consolidation to consolidate the three existing lots into one.

#### Site Design

The petitioner is proposing to eliminate three existing curb cuts currently located at 2449 Ogden Avenue to accommodate the parking lot expansion. The new parking lot will be interconnected with the existing parking lot. The property will utilize the existing Ogden Avenue access driveway where a traffic light currently exists and a new proposed access driveway on Cross Street to be located 45 feet north of the south property line. The Cross Street access driveway will have full inbound access but will have limited outbound access for right-turn only northbound traffic towards Ogden Avenue. A “no-left” turn traffic sign will be installed on the property at the driveway.

The proposed parking lot with a capacity for 52 parking spaces is located 64 feet from the center line of the Ogden Avenue right-of-way. The petitioner is proposing to install the parking lot five feet from the east property line where a minimum ten-foot transitional yard setback is required by the Zoning Ordinance. The ten-foot transitional yard setback matches the required side yard setback on the adjacent residentially-zoned property occupied by the Downers Grove Park District Golf Course. The proposed five-foot setback will match the setback of the existing parking lot. For screening purposes, the required six-foot high solid wood fence will be installed along the east property line adjacent to the new parking lot.

Approximately 1,850 square feet of new landscaped green space will be installed along the Ogden Avenue corridor adjacent to the new parking lot. A new landscape hedge will also be installed along Cross Street to screen the existing parking lot. With the new landscaped area, the property will exceed the landscaped green space requirement for the entire site (10% of total lot area, 50% of which is required in the front yard). The property will have a total of 10,679 square feet (13.8%) of landscaped green space, 4,007 square feet (51.8% of required total) of which will be in front yards along Cross Street and Ogden

Avenue.

The bulk characteristics of the development are summarized in the table below:

Premier AutoHaus Parking Lot Expansion	Required	Proposed
Front Setback (North-Ogden Avenue)	50 feet from center line of Ogden Avenue right-of-way	64 feet from center line of Ogden Avenue right-of-way
<b>Transitional yard (East)</b>	<b>10 feet</b>	<b>5 feet</b>
Landscaped green space (total)	7,722 sq. ft. (10%)	10,679 sq. ft. (13.8%)
Landscape green space (front yard)	3,862 sq. ft. (50% of total)	4,007 sq. ft. (51.8% of required total)
Parking Spaces	N/A	52

**COMPLIANCE WITH FUTURE LAND USE PLAN**

According to the Future Land Use Plan, the subject property is designated as Commercial. The property is zoned B-3 and is located within the Ogden Avenue commercial corridor. The proposed expansion of the existing automobile dealership use is consistent with the intent of the Future Land Use Plan to keep the property for commercial use and will not diminish the value of the surrounding properties.

**COMPLIANCE WITH ZONING ORDINANCE**

The property is zoned B-3 General Services and Highway Business. The automobile dealership use is a permitted Special Use in this district. As part of the approval, the petitioner is requesting a transitional yard setback variation to construct the parking lot five feet from the east property line where ten feet is required by the Code.

The subject property is unique in that it is adjacent to a residentially zoned lot along the Ogden Avenue corridor that is being used for nonresidential purposes (Downers Grove Park District Golf Course). Most other properties along the Ogden Avenue corridor abut commercially zoned properties where there is no required parking setback between adjacent properties. The proposed five-foot setback matches the setback of the existing parking lot which allows for uniform circulation throughout the parking lot. The petitioner will install the required six-foot high solid fence along the east property line adjacent to the new parking lot to screen the lot from the adjacent residentially zoned property. Staff supports the requested variation.

The proposed parking lot expansion will meet all other zoning requirements.

**COMPLIANCE WITH SUBDIVISION ORDINANCE**

The petitioner is requesting approval of the final plat of subdivision to consolidate the three existing lots into one. The proposed development conforms with all aspects of the Subdivision Ordinance, and no exceptions are being requested by the petitioner. The lot dimensions of the new lot are summarized in the table below:

<b>2501 Ogden Avenue</b>	<b>Required</b>	<b>Proposed</b>
Lot Width	75 feet	241.66 feet
Lot Area	10,500 sq. ft.	77,227 sq. ft. (1.77 acres)
Lot Frontage	50 feet	241.66 feet (Ogden Avenue) 254.72 feet (Cross Street)
Lot Depth	140 feet	306 feet

The petitioner will install new sidewalk along the Ogden Avenue right-of-way adjacent to the new parking lot (2449 Ogden Avenue). The new portion will connect to the existing sidewalk already in place along the existing parking lot.

**COMPLIANCE WITH OGDEN AVENUE MASTER PLAN**

The proposed plan complies with the Ogden Avenue Master Plan as shown in the table below:

<b>Ogden Avenue Master Plan</b>	<b>Proposal</b>
Improve the parkway with new trees, plantings, signage, and sidewalks.	The petitioner will install new landscaping along the Ogden Avenue right-of-way adjacent to the new parking lot.
Reduce curb cuts along Ogden Avenue.	The petitioner will remove three existing curb cuts on Ogden Avenue previously utilized by the commercial use at 2449 Ogden Avenue.
Improve landscaping in and around parking lots.	The petitioner will install new landscaping along the Ogden Avenue right-of-way adjacent to the new parking lot. A new landscape hedge will also be installed along Cross Street to screen the existing parking lot.
Encourage redevelopment of sites with buildings in poor physical condition or whose size/layout makes them inefficient or unusable.	The petitioner will demolish the existing vacant building currently located at 2449 Ogden Avenue, remove existing curb cuts, and construct a new parking lot for additional vehicle display for the Premier AutoHaus car dealership.
Provide interconnected sidewalks along the entire length of the corridor.	The petitioner will install a new sidewalk along the entire length of the Ogden Avenue right-of-way adjacent to the new parking lot.

**ENGINEERING/PUBLIC IMPROVEMENTS**

The area of the proposed parking lot is less than 25,000 square feet (approximately 19,822 square feet). As such, an on-site stormwater detention facility is not required. However, the petitioner is proposing an underground detention facility under the proposed parking lot to maintain the allowable stormwater runoff rate.

The petitioner will remove three existing curb cuts on Ogden Avenue previously located at 2449 Ogden Avenue to accommodate the parking lot expansion. A new sidewalk and landscaped green space will be installed along the entire length of the Ogden Avenue right-of-way adjacent to the new parking lot. The parking lot expansion will include curb and gutter to improve stormwater management.

The petitioner is also proposing a new access driveway on Cross Street 45 feet north of the south property line. The Cross Street access driveway will have full inbound access but will have limited outbound access for right-turn only northbound traffic towards Ogden Avenue a “no-left-turn” sign will be installed on the property for traffic exiting onto Cross Street.

The petitioner is not required to complete any street improvements along Cross Street at this time. The petitioner will pay a fee-in-lieu of the street improvements for pavement widening, storm sewer, curb and gutter installation along the east side of Cross Street adjacent to the west property line. The street improvements will be completed at the time the property west of Cross Street is redeveloped when the funds for complete improvement are collected.

### **PUBLIC SAFETY REQUIREMENTS**

The Fire Prevention Division of the Fire Department has stated the property will continue to have adequate emergency access.

### **NEIGHBORHOOD COMMENT**

*Staff has not received any written neighborhood comment regarding the proposal at this time.*

### **FINDINGS OF FACT**

The proposed Plat of Consolidation meets the minimum lot dimension requirements per the Subdivision Ordinance as outlined above. The proposal is also consistent with the Ogden Avenue Master Plan and the Future Land Use Plan to increase the size of lots along Ogden Avenue and preserve the property for commercial use.

Staff believes the standards for Special Use, shown below, have been met. The automobile dealership is a permitted Special Use in the B-3 district. The proposed use will not be detrimental to the health, safety, morals or general welfare as an automobile dealership already exists on the adjacent site. Staff believes the proposed parking lot expansion is compatible with the surrounding area and will not have an adverse impact on the development or the existing trend of development in the neighborhood.

Staff believes the standards for granting the requested transitional yard setback variation to locate the proposed parking lot five feet from the east property line where ten feet is required have been met. The subject property is unique in that it abuts a rare residentially zoned lot. Most other properties along the Ogden Avenue corridor abut commercially-zoned properties where there is no setback requirement between adjacent commercial properties. The proposed five-foot setback will match the existing parking lot setback on the adjacent parking lot south of the subject site. The proposed parking lot will meet all other zoning requirements.

### ***Section 28.1902 Standards for Approval of Special Uses***

*The Village Council may authorize a special use by ordinance provided that the proposed Special Use is consistent and in substantial compliance with all Village Council policies and land use plans, including but not limited to the Comprehensive Plan, the Future Land Use Plan and Master Plans and the evidence presented is such as to establish the following:*

- (a) That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
- (b) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*
- (c) That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.*
- (d) That it is one of the special uses specifically listed for the district in which it is to be located.*

### ***28.1803 Standards for Granting a Variation:***

*A variation shall be permitted only if the Board finds that it is in harmony with the general provisions and interests of this Zoning Ordinance and that there are practical difficulties or particular hardships in the way of carrying out the strict letter of the provisions of this Zoning Ordinance. In its consideration of the*

*standards of practical difficulties or particular hardship, the Board shall require evidence that:*

- (1) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.*
- (2) The plight of the owner is due to unique circumstances.*
- (3) The variation, if granted, will not alter the essential character of the locality.*
- (4) That the particular physical surroundings, shape, or topographical conditions of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.*
- (5) That the conditions upon which the requested variation is based would not be applicable, generally, to other property within the same zoning classification.*
- (6) That the alleged difficulty or hardship has not resulted from the actions of the owner.*
- (7) That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.*
- (8) That the proposed variation will not alter the land use characteristics of the district.*
- (9) That the granting of the variation requested will not confer on the owner any special privilege that is denied by this Zoning Ordinance to other lands or structures in the same district*

## **RECOMMENDATIONS**

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The proposed Special Use with a Variation for the transitional yard setback and Lot Consolidation for the existing automobile dealership is compatible with surrounding zoning and land use classifications. Based on the findings listed above, staff recommends the Plan Commission make a positive recommendation to the Village Council regarding this petition subject to the following conditions:

1. The proposed Lot Consolidation, Special Use and Zoning Variation for the transitional yard setback shall substantially conform to the Boundary and Topographic Survey, Plat of Consolidation and engineering plans and specifications prepared by Siebert Engineers Inc. attached to this report except as such plans may be modified to conform to Village codes, ordinances, and policies.
2. A separate engineer's cost estimate shall be provided for the installation of complete pavement widening, storm sewer, curb and gutter along the east side of Cross Street adjacent to the west property line. Upon staff's approval of the cost estimate, a fee-in-lieu of the improvements shall be required prior to issuance of the building permit.
3. The proposed six-foot solid fence along the east property line shall tie into the existing six foot fence.
4. The proposed lighting plan shall indicate a 0.1 foot candle or less along the entire length of the east property line adjacent to the new parking lot and shall include a table with foot candle average, minimum, and average to minimum ratio in compliance with the Section 28.1406 of the Zoning Ordinance.
5. The plans for the proposed light poles shall be prepared, signed and ink stamped by an Architect or an Engineer in the state of Illinois.
6. The Plat of Consolidation shall be revised to include a certificate for the Illinois Department of Transportation official. A Mylar copy of the revised plat shall be submitted prior to Village Council consideration.

7. A Plat of Easement shall be submitted to the Village with stormwater easements provided over all storm sewer, associated manhole structures as well as overland flow routes prior to issuance of the building permit.
8. All necessary construction permits shall be obtained by the petitioner prior to any site development activities.

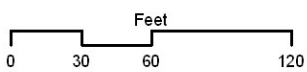
Staff Report Approved By:

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Tom Dabareiner, AICP  
Director of Community Development

TD:dl  
-att

P:\P&CD\PROJECTS\PLAN COMMISSION\2008 PC Petition Files\PC-19-08 2501 OGDEN AVE - PREMIER AUTOHAUS\Staff Report PC 19-08.doc



2501 Ogden Avenue





**SIEBERT**  
ENGINEERS INC.

4951 Indiana Avenue, Suite 100, Lisle, Illinois 60532-3818  
voice 630.824.1515 fax 630.824.1535  
www.siebertengineers.com

---

Specialists in planning, design, and management of capital expansion programs

April 22, 2008  
Revised July 10, 2008

Village of Downers Grove Plan Commission  
801 Burlington Avenue  
Downers Grove, IL 60151

RE: 2449/2501 Ogden Ave.  
Premier AutoHaus  
Site Improvement Plans

Attn. Planning Commissioners

Premier AutoHaus, a car sales company, has acquired the property adjacent to their current location with the intent to increase their current parking capacity.

The following documents are submitted:

- Petition for Plan Commission (3 originals)
- Petitioner's Submittal Checklist
- Certified Plat of Survey (2 copies)
- Plat of Consolidation (8 copies and 1 reduced copy)
- Site, Engineering and Landscaping Plan (8 copies and 1 reduced copy)
- Site Lighting/Photometric Plan (8 copies and 1 reduced copy)
- Certification of Public Notice Information
- List of Surrounding Property Owners (with mailing labels)
- Copy of transmittal to Downers Grove Sanitary District
- Copy of transmittal to IDOT

Under the Zoning Ordinance requirements, car sales facilities along the Ogden Avenue corridor are subject to Special Use.

*The existing facility is a car dealership and was approved as a special use. The additional parking area will help the business succeed by increasing the number of vehicles for sale which contributes to the general welfare of the neighborhood. Currently there is an unsightly boarded up structure on the premises.*

*The use will not be detrimental to the neighborhood. The additional parking will help reduce congestion and increase volume of sales.*

*The proposed use will comply with the requirements of the Zoning Ordinance for the zoning district.*

*The proposed use is specifically listed as a special use for the zoning district.*

The plans have been prepared in accordance with the Zoning Ordinance requirements.

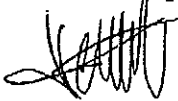
The proposed improvements are under 25,000 square feet in area, therefore storm detention is not required. The overall existing drainage pattern is maintained.

Green space is provided as required for the both the existing facility and the new parking lot combined; required additional frontage green space is provided on the newly acquired property.

*The curb cuts along Ogden Ave. will be eliminated and a new drive approach is proposed from Cross St. on the west side of the existing facility.*

Sincerely,

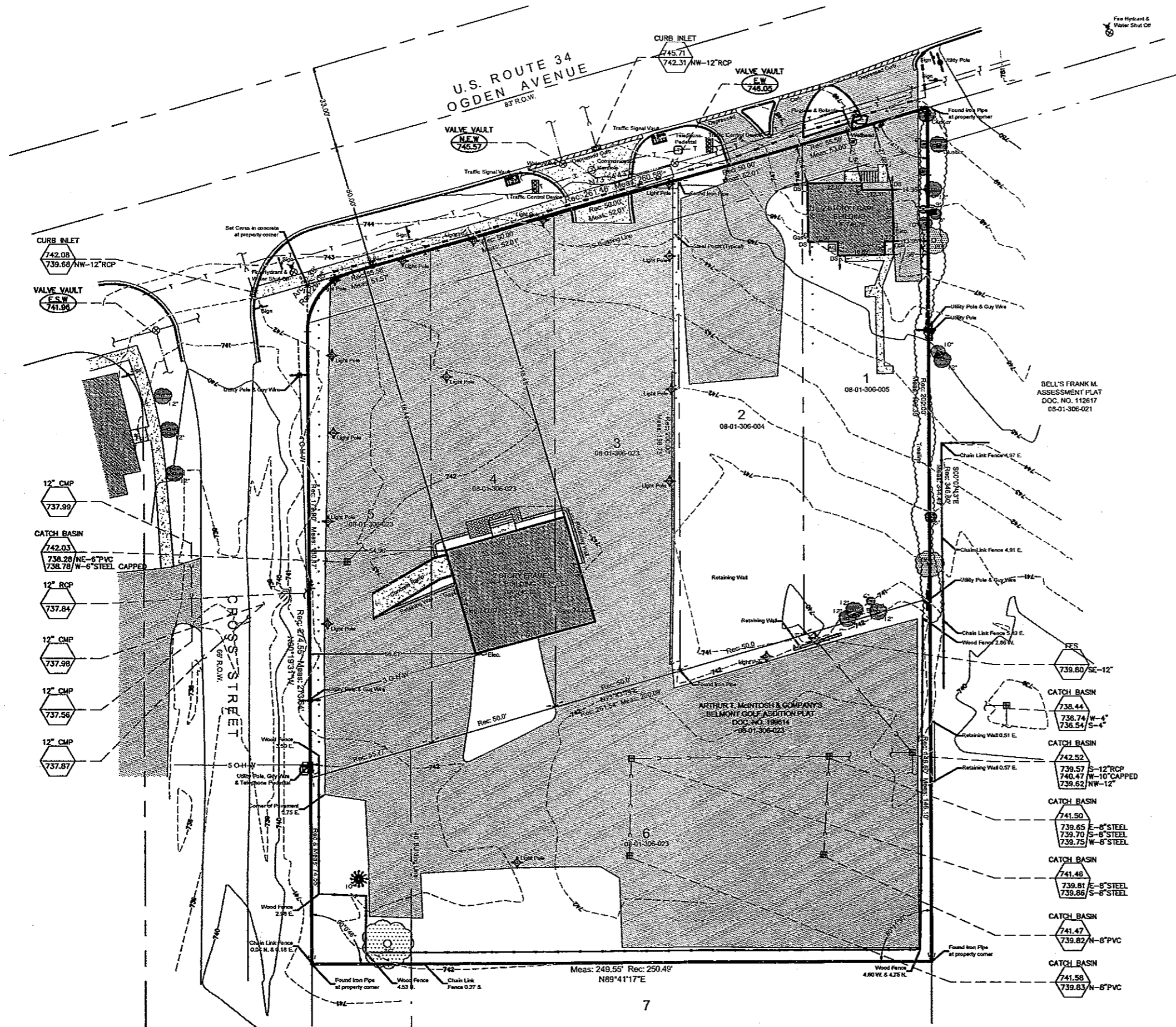
Siebert Engineers, Inc.



Hervé Henry, P.E.  
Department Head-Civil

HH

Enclosures



**LEGEND**

+ (600.5)	PROPOSED SPOT ELEV
+ 600.5	EXISTING SPOT ELEV
- - - - -	EXISTING CONTOURS
- - - - -	PROPOSED CONTOURS
TF+ 000.00	TOP OF FOUNDATION
FF+ 000.00	FINISH FLOOR
[Pattern]	ASPHALT
[Pattern]	GRAVEL
[Pattern]	CONCRETE
[Pattern]	WOOD DECK
[Symbol]	UTILITY POLE
[Symbol]	TREE (with Diameter)
[Symbol]	STORM MANHOLE
[Symbol]	TELEPHONE
[Symbol]	PEDESTAL
[Symbol]	SANITARY MANHOLE
[Symbol]	SIGN
[Symbol]	CATCH BASIN
[Symbol]	TRAFFIC SIGNAL
[Symbol]	WELL HEAD
[Symbol]	TRAFFIC CONTROL DEVICE
[Symbol]	STREET LIGHT
[Symbol]	CURB INLET
[Symbol]	DOWNSPOUT
[Symbol]	FIRE HYDRANT & WATER SHUT-OFF
[Symbol]	FLARED END SECTION
[Symbol]	PLAQUE
[Symbol]	ELECTRIC METER
[Symbol]	GAS METER
[Symbol]	STEEL POST
[Symbol]	B-BOX
- - - - -	BOUNDARY
- - - - -	EASEMENT
- - - - -	BUILDING LINE
- - - - -	STORM SEWER
- - - - -	SANITARY SEWER
- - - - -	FENCE
- - - - -	ELECTRIC
- - - - -	OVERHEAD WIPES
- - - - -	GAS LINE
- - - - -	TELEPHONE

**LEGAL DESCRIPTION:**

LOTS 1 THROUGH 6 IN BLOCK 1 IN ARTHUR T. MCINTOSH AND COMPANY'S BELMONT GOLF ADDITION, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 1 AND THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 14, 1925 AS DOCUMENT 159614, IN DU PAGE COUNTY, ILLINOIS.

STATE OF ILLINOIS )  
COUNTY OF DU PAGE ) S.S.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS STANDARDS FOR A BOUNDARY TOPOGRAPHIC SURVEY.

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS SURVEY WAS PERFORMED ON THE GROUND MARCH 25TH, 2008, GIVEN UNDER MY HAND AND SEAL THIS 27TH DAY OF MARCH, 2008.



**BENCHMARKS:**

TOWNSHIP: LISLE  
BENCHMARK: LI12002  
ELEVATION: 622.8125  
VERTICAL DATUM: NGVD29  
DESCRIPTION: A DISK MONUMENT LOCATED 200 FEET SOUTH OF THE CENTERLINE OF CURTIS ROAD AND ST. JOSEPH CREEK ESTABLISHED IN WEST CONCRETE WALK AT THE NORTHWEST CORNER OF THE BRIDGE OVER ST. JOSEPHS CREEK STAMPED "DU PAGE COUNTY MAPS AND PLATS".

**TOWNSHIP: LISLE**

BENCHMARK: LK03004  
ELEVATION: 669.2786  
VERTICAL DATUM: NGVD29  
DESCRIPTION: A BRONZE DISK MONUMENT LOCATED AT THE SOUTHWEST CORNER OF OGDEN AVENUE AND THE EAST BRANCH DU PAGE RIVER ESTABLISHED IN CONCRETE STRUCTURE FOR U.S. ROUTE 34 (OGDEN AVENUE) BRIDGE OVER THE EAST BRANCH DU PAGE RIVER STAMPED "DU PAGE COUNTY MAPS AND PLATS".

**SITE BENCHMARK:**

CP#3: P.K. NAIL IN NORTHEAST CORNER OF ASPHALT.  
ELEVATION: 742.40  
CP#4: P.K. NAIL IN PARKING LOT SOUTH OF LOTS 1 AND 2  
ELEVATION: 742.09

481 INDIANA AVENUE, SUITE 100  
PICO BLVD. EAST, SUITE 200, BELLEVILLE, ILLINOIS 62206  
L PROFESSIONAL DESIGN FIRM NO. 184-001134  
COPYRIGHT © 2008  
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**SIEBERT ENGINEERS INC.**

DRAWN BY	DESIGNED BY	CHECKED BY	NO.	ISSUED FOR	DATE
COF	COF	WAS	12-2-2008	08-01-306-005	

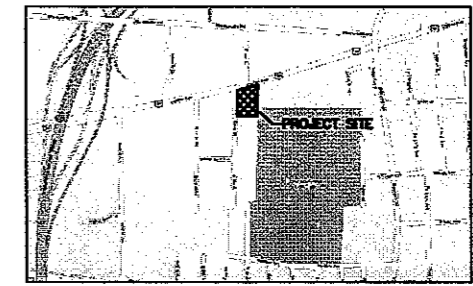
**BOUNDARY TOPOGRAPHIC SURVEY**

**PARKING LOT ADDITION  
2449 OGDEN AVENUE  
DOWNERS GROVE, IL 60515**

PROJECT	SHEET
6900	1
SCALE	
1" = 20'	



# PREMIER AUTOHAUS DOWNERS GROVE, IL DUPAGE COUNTY FINAL ENGINEERING



LOCATION MAP NOT TO SCALE

### LEGAL DESCRIPTION

LOTS 1 THROUGH 6 IN BLOCK 1 IN ARTHUR T. MONTOSH AND COMPANY'S BELMONT GOLF ADDITION, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 1 AND THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 14, 1925 AS DOCUMENT 199614, IN DUPAGE COUNTY, ILLINOIS.

### INDEX OF DRAWINGS

- C1 SITE PLAN
- C2 EXISTING CONDITIONS AND DEMOLITION PLAN
- C3 GRADING AND EROSION CONTROL PLAN
- C4 UTILITY PLAN
- C5 STANDARD NOTES AND DETAILS
- C6 STANDARD DETAILS
- L1 LANDSCAPE PLAN
- PHOTOMETRIC PLAN

### SITE DATA:

**PTS:**  
 LOT 1 08-01-308-006  
 LOT 2 08-01-308-004  
 LOT 3 08-01-308-023  
 LOT 4 08-01-308-023  
 LOT 5 08-01-308-023  
 LOT 6 08-01-308-023

**AREA (LOTS 1 & 2):** 20,045.12 SQ FT / 0.46 AC  
**TOTAL SITE AREA:** 77,227 SQ FT / 1.77 AC  
**CURRENT USE:** BUSINESS  
**ZONING:** B3-GENERAL SERVICES AND HIGHWAY BUSINESS

**PARKING SETBACKS:**  
 FRONT: 50' FROM OGDEN AVENUE E  
 SIDE: NONE  
 REAR: NONE

**ADDITIONAL PARKING:** 54 SPACES  
**GREENSPACE REQUIREMENTS:**  
 TOTAL: 7723 SQ FT  
 FRONT YARD: 3862 SQ FT  
**GREENSPACE PROVIDED:**  
 TOTAL: 8865 SQ FT  
 FRONT YARD: 4005 SQ FT

### UTILITY CONTACTS

**ELECTRIC:** COMED  
 1 N 423 SWIFT ROAD  
 LOMBARD, IL 60148  
 (630) 601-4855

**GAS:** NICOR  
 90 N. FAHEY RD.  
 GLEN ELLYN, IL 60137  
 (630) 829-2500  
 (630) 829-7243 - FAX

**TELEPHONE:** AT&T  
 GLEN ELLYN OFFICE  
 (630) 482-2484

**SEWER & WATER:** DOWNERS GROVE PUBLIC WORKS

### PERMIT LIST

VILLAGE OF DOWNERS GROVE (SPECIAL USE)  
 DOWNERS GROVE SANITARY DISTRICT (REVIEW ONLY)  
 ILLINOIS DEPARTMENT OF TRANSPORTATION

### CLIENT CONTACT:

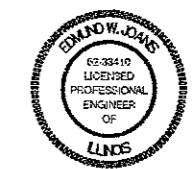
SONNY MEHRABAN  
 PREMIER AUTOHAUS  
 2501 W. OGDEN AVENUE  
 DOWNERS GROVE, IL 60515  
 T: (630) 434-6300

OPERATES 24 HOURS A DAY  
 365 DAYS A YEAR



CALL 1 (800) 892-0123  
 48 HOURS BEFORE YOU DIG  
 (EXCEPT MON, TUE, & WEDNESDAY)

I, EDWARD W. JOHNS, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY SEBERT ENGINEERS, INC. UNDER MY PERSONAL DIRECTION.



ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 30890  
 MY REGISTRATION EXPIRES ON NOVEMBER 30, 2009 UNLESS THIS DOCUMENT BEARS THE ORIGINAL SIGNATURE AND IMPRESSED SEAL OF THE DESIGN PROFESSIONAL ENGINEER. IT IS NOT A VALID TECHNICAL SUBMISSION.

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 IL PROFESSIONAL DESIGN FIRM NO. 184-001134  
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**SEBERT ENGINEERS INC.**

PROJECT	SCALE	SHEET	DATE	ISSUED FOR
PREMIER AUTOHAUS PARKING LOT ADDITION	1"=20'	C1	5/27/08	VILLAGE AND DOT COMMENTS
			4/23/08	VILLAGE REVIEW
				ISSUED FOR

DRAWN BY: DAM  
 DESIGNED BY: DAM  
 CHECKED BY: HH

SITE PLAN

PROJECT 0200  
 SCALE 1"=20'  
 SHEET C1

T:\Projects\8290 Premier Auto\dwg\8290 Eng.dwg, C1, 6/6/2008 3:43:15 PM, dmcdellan, 1:2

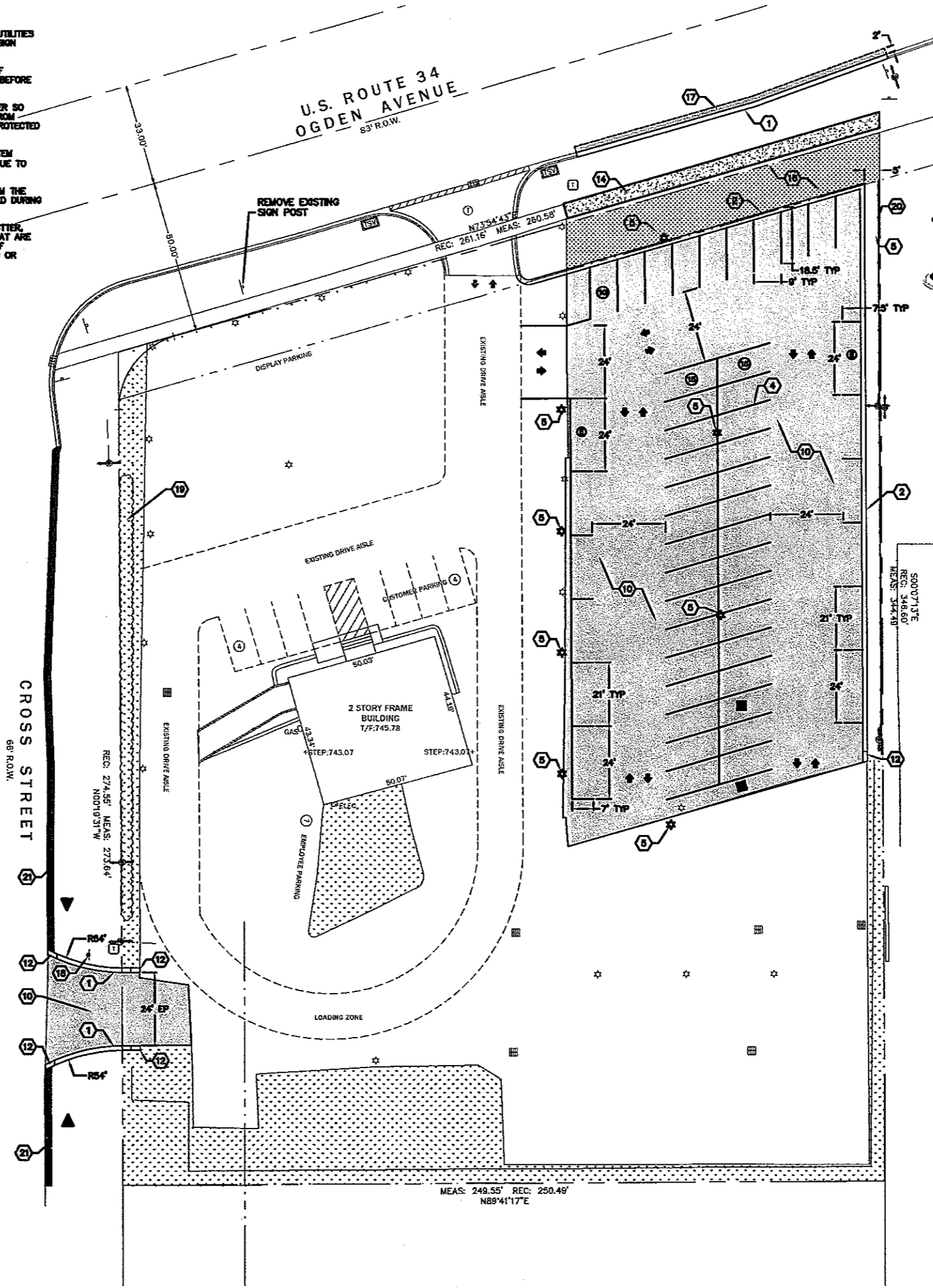
- ### GENERAL LAYOUT NOTES
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DESIGN ENGINEER OF DISCREPANCIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREIN BEFORE BEGINNING CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY, AND THAT THE ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE.
  - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
  - THE CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AS DIRECTED DURING CONSTRUCTION.
  - STREETS SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTER, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN KIND OR BETTER.

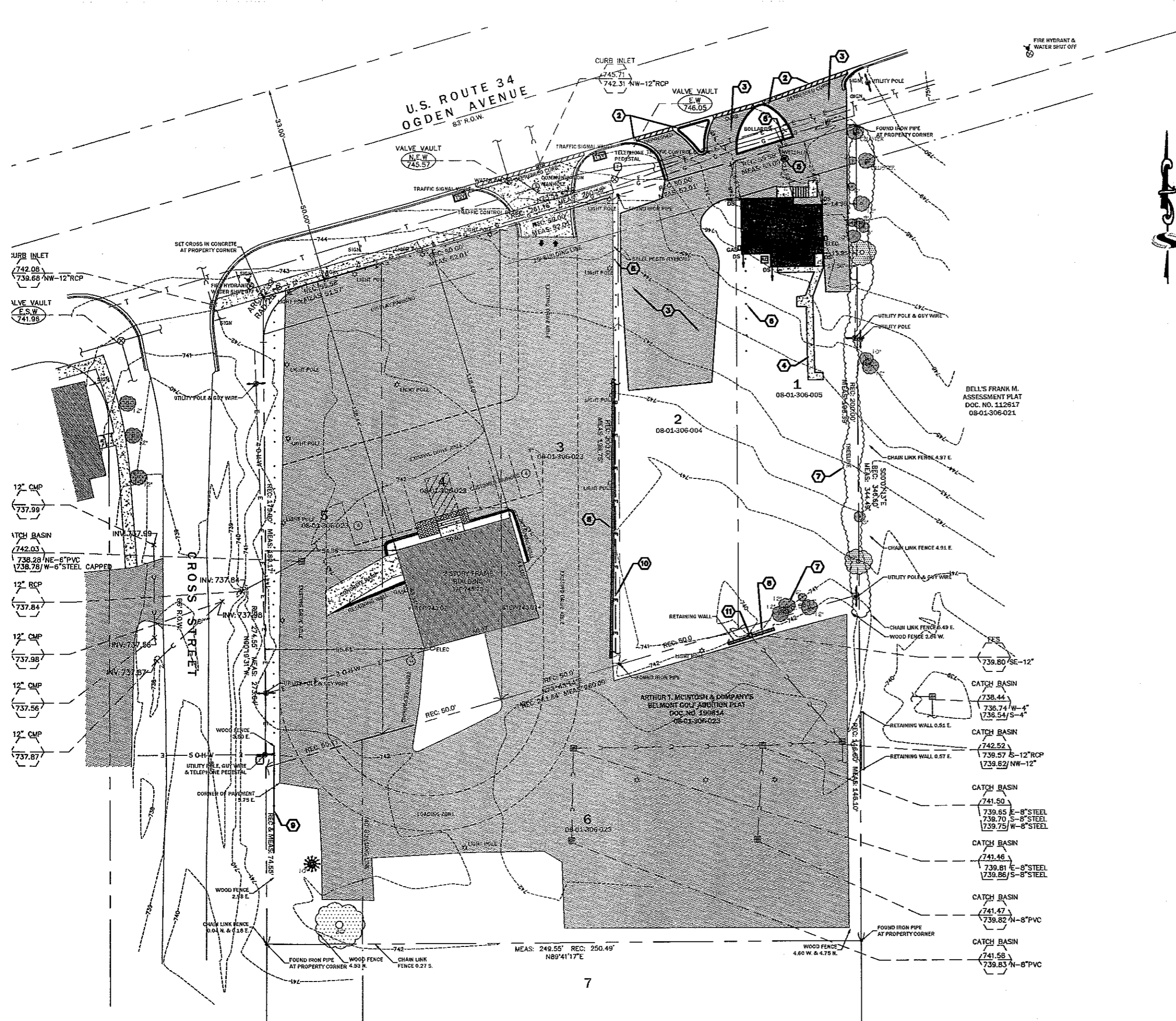
- ### SITE PLAN KEYNOTES
- > 6x12 CONCRETE CURB AND GUTTER, STANDARD PITCH
  - > 6x12 CONCRETE CURB AND GUTTER, REVERSE PITCH
  - > 6x12 DEPRESSED CONCRETE CURB AND GUTTER
  - > PARKING STALL STRIPING (TYPICAL)
  - > LIGHT POLE
  - > ASPHALT PAVEMENT: [Symbol]
  - > TAPER CURB TO PAVEMENT ELEVATION - 3' TRANSITION
  - > 8' SIDEWALK
  - > GREENSPACE, SEE SHEET L1.
  - > SAWCUT REMOVE AND REPLACE 2 FT OF HMA PAVEMENT ADJACENT TO THE NEW CURB AND GUTTER
  - > RS-2 NO LEFT TURN TRAFFIC SIGN
  - > 30" HIGH LANDSCAPE HEDGE - 138 LF, SEE SHEET L1
  - > 6 FT WOODEN FENCE - 200 LF, SEE DETAIL SHEET C5
  - > PROVIDE 2 FT WIDE GRAVEL SHOULDER. GRAVEL SHALL CONSIST OF CA-6 GRADE 8 STONE.

- ### E. PLAN NOTES
- DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.  
 CONTRACTOR MUST SECURE NECESSARY PERMITS PRIOR TO STARTING WORK.  
 THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.  
 THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.  
 CONTRACTOR SHALL INSTALL TRAFFIC CONTROL DEVICES PER I.D.O.T. STANDARDS AND SPECIFICATIONS.  
 TRAFFIC SIGNS SHALL BE INSTALLED AT 7' HIGH MEASURED FROM THE GROUND ELEVATION TO THE BOTTOM OF THE SIGN.  
 TEST DRIVES SHALL NOT BE ALLOWED ON CROSS STREET SOUTH OF THE SITE.  
 ALL VEHICLES SHALL BE UNLOADED ON THE SITE. LOADING AND UNLOADING OF VEHICLES SHALL NOT BE ALLOWED ON CROSS STREET.

### LEGEND

EXISTING	PROPOSED
[Symbol] LOTLINE	[Symbol] LOTLINE
[Symbol] BUILDING LINE	[Symbol] BUILDING LINE
[Symbol] EASEMENT	[Symbol] EASEMENT
[Symbol] 699 MINOR CONTOUR	[Symbol] 699 MINOR CONTOUR
[Symbol] 700 MAJOR CONTOUR	[Symbol] 700 MAJOR CONTOUR
[Symbol] STORM SEWER	[Symbol] STORM SEWER
[Symbol] SANITARY SEWER	[Symbol] SANITARY SEWER
[Symbol] COMBINED SEWER	[Symbol] COMBINED SEWER
[Symbol] WATERMAIN	[Symbol] WATERMAIN
[Symbol] GAS MAIN	[Symbol] GAS MAIN
[Symbol] TELEPHONE	[Symbol] TELEPHONE
[Symbol] ELECTRIC	[Symbol] ELECTRIC
[Symbol] TV	[Symbol] TV
[Symbol] CABLE TELEVISION	[Symbol] CABLE TELEVISION
[Symbol] SILT FENCE	[Symbol] SILT FENCE
[Symbol] LIGHT CABLE	[Symbol] LIGHT CABLE
[Symbol] INLET PROTECTION	[Symbol] INLET PROTECTION
[Symbol] B-BOX	[Symbol] B-BOX
[Symbol] VALVE BOX	[Symbol] VALVE BOX
[Symbol] VALVE VAULT	[Symbol] VALVE VAULT
[Symbol] FIRE HYDRANT	[Symbol] FIRE HYDRANT
[Symbol] WELL	[Symbol] WELL
[Symbol] INLET	[Symbol] INLET
[Symbol] CATCH BASIN	[Symbol] CATCH BASIN
[Symbol] STORM MANHOLE	[Symbol] STORM MANHOLE
[Symbol] SANITARY MANHOLE	[Symbol] SANITARY MANHOLE
[Symbol] TELEPHONE BOX	[Symbol] TELEPHONE BOX
[Symbol] GAS VALVE	[Symbol] GAS VALVE
[Symbol] ELECTRIC MANHOLE	[Symbol] ELECTRIC MANHOLE
[Symbol] UTILITY POLE	[Symbol] UTILITY POLE
[Symbol] GUY WIRE	[Symbol] GUY WIRE
[Symbol] STREET LIGHT	[Symbol] STREET LIGHT
[Symbol] TRAFFIC SIGNAL	[Symbol] TRAFFIC SIGNAL
[Symbol] ROAD SIGN	[Symbol] ROAD SIGN
[Symbol] BOLLARD	[Symbol] BOLLARD
[Symbol] TRAFFIC DIRECTION ARROW	[Symbol] TRAFFIC DIRECTION ARROW
[Symbol] EDGE OF PAVEMENT	[Symbol] EP
[Symbol] TOP OF CURB	[Symbol] TC
[Symbol] BACK OF CURB	[Symbol] BC
[Symbol] GUTTER	[Symbol] G
[Symbol] SPOT ELEVATION	[Symbol] [Elev. Value]
[Symbol] FLOW DIRECTION	[Symbol] [Arrow]
[Symbol] DOWN SPOUT	[Symbol] DS
[Symbol] FLARED END SECTION	[Symbol] [Symbol]
[Symbol] KEYNOTE	[Symbol] [Symbol]
[Symbol] GREENSPACE	[Symbol] [Symbol]





- DEMOLITION PLAN KEYNOTES**
- ① REMOVE EXISTING STRUCTURE, SHUT-OFF UTILITY SERVICES, COORDINATE WITH UTILITY COMPANIES
  - ② REMOVE CURB
  - ③ REMOVE ASPHALT
  - ④ REMOVE CONCRETE
  - ⑤ REMOVE WELLHEAD, CAP WELL PER LOCAL ORDINANCES
  - ⑥ REMOVE BOLLARDS
  - ⑦ REMOVE TREES/VEGETATION
  - ⑧ REMOVE RETAINING WALL
  - ⑨ REMOVE FENCE
  - ⑩ REMOVE ELECTRIC CONDUIT, RELOCATE AS REQUIRED
  - ⑪ REMOVE FLARED END SECTION

4851 INDIANA AVENUE, SUITE 100  
 LAKE BLAINE, ILLINOIS 60032-3215  
 PHONE (833) 844-1815, FAX (833) 824-1846  
 IL PROFESSIONAL DESIGNATION NO. 184-001134  
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**SIEBERT ENGINEERS INC.**

NO.	ISSUED FOR	DATE

NO.	ISSUED FOR	DATE

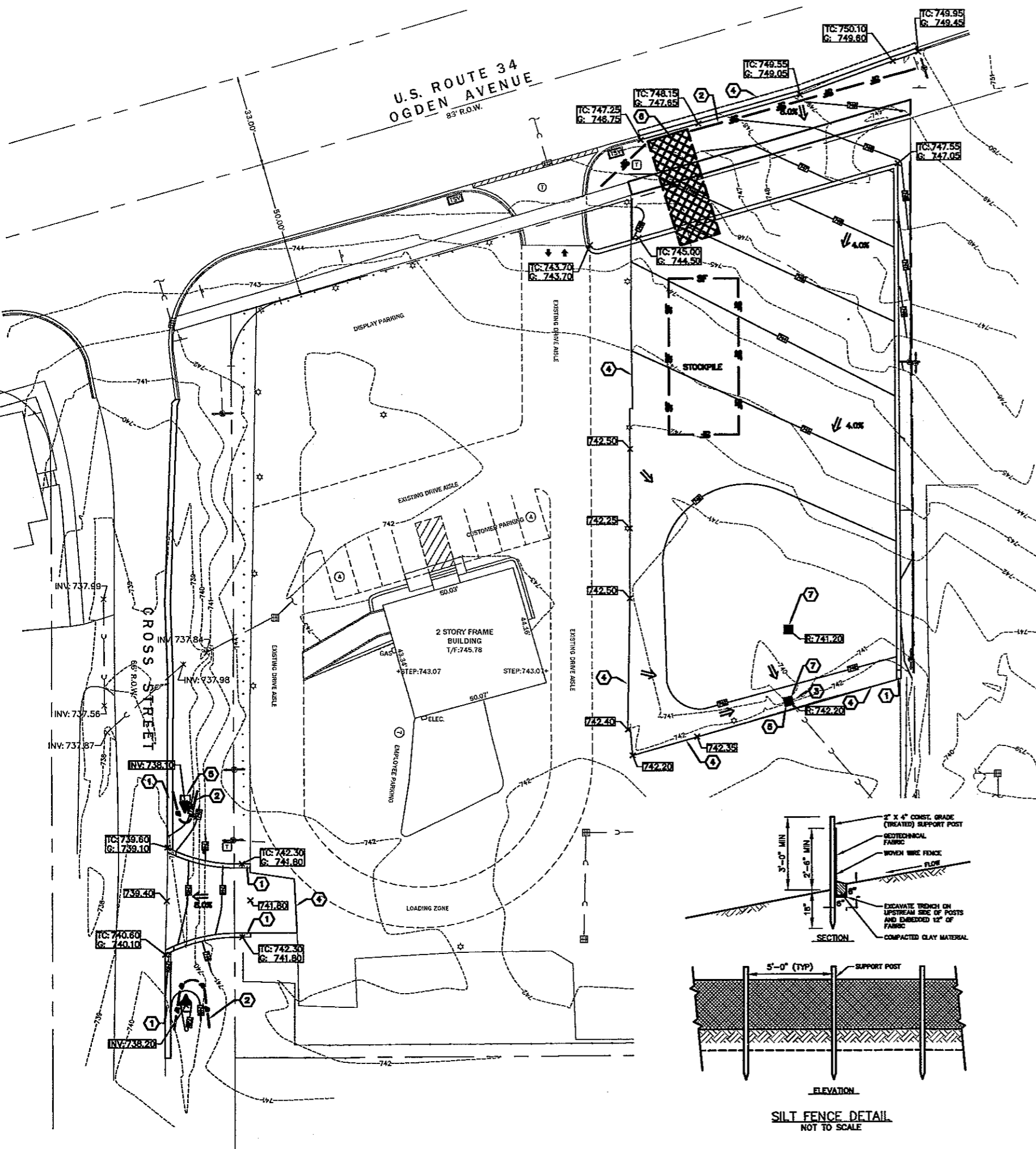
NO.	ISSUED FOR	DATE

PROJECT: **PREMIER AUTOHAUS PARKING LOT ADDITION**  
 2501 OGDEN AVE., DOWNERS GROVE, IL

SHEET TITLE: **EXISTING CONDITIONS AND DEMOLITION PLAN**

PROJECT NO. 8290  
 SCALE 1"=20'  
 SHEET C2

T:\Projects\8290 Premier Auto\dwg\8290 Eng.dwg, C2, 6/6/2008 3:43:26 PM, dmcclellan, 1:2



- GRADING PLAN NOTES:**
- WHERE OFFSITE GRADING IS REQUIRED TO ACHIEVE A SMOOTH TRANSITION BETWEEN PROPOSED AND EXISTING GRADES, CONTRACTOR SHALL NOTIFY AND OBTAIN PERMISSION FROM AFFECTED PROPERTY OWNERS. DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL AND SOIL.
  - STRUCTURAL CALCULATIONS AND CERTIFICATION FOR THE RETAINING WALL SHALL BE SUBMITTED BY THE MANUFACTURER.
- DOWNERS GROVE EROSION CONTROL NOTES:**
- THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE.
  - STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN SPECIAL MANAGEMENT AREAS.
  - PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THE SITE SHALL BE PROTECTED FROM EROSION IF THE VOLUME, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF AREA TEMPORARILY INCREASED DURING CONSTRUCTION.
  - SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY SOIL STOCKPILE IF IT IS TO REMAIN IN PLACE MORE THAN THREE DAYS.
  - STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
  - THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN FIFTEEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN FIFTEEN DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
  - WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DOWATERING SHALL BE FILTERED.
  - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
  - TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE VILLAGE OF DOWNERS GROVE STORMWATER AND FLOOD PLAN ORDINANCES SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.

**CERTIFICATION STATEMENT:**

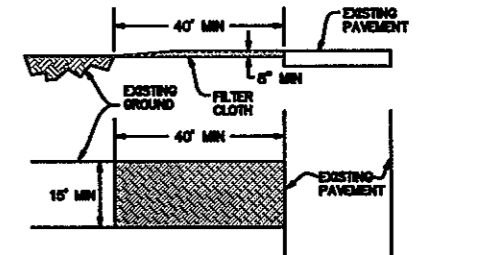
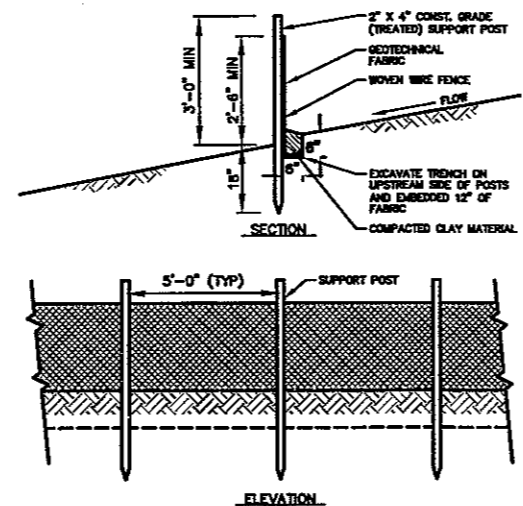
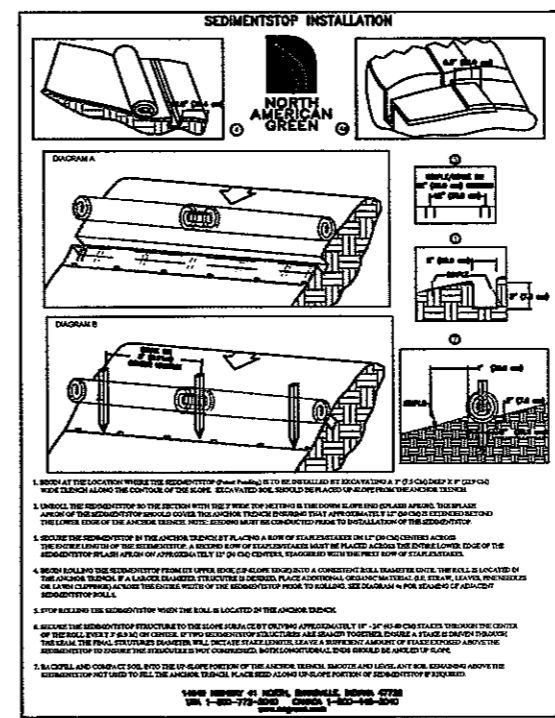
ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH NPDES PERMIT NO. LR10 PARAGRAPH 1 SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICE AT THE SITE IDENTIFIED IN THE STORMWATER POLLUTION PREVENTION PLAN

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION."

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

- SITE DESCRIPTION:**
- NATURE OF CONSTRUCTION ACTIVITIES: DEMOLISH EXISTING STRUCTURE, DEVELOP INTO A CAR DEALERSHIP PARKING LOT.
  - SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES: INSTALL SEDIMENT AND EROSION CONTROL MEASURES, GRUBBING, EXCAVATION, GRADING, PAVEMENT
  - SITE AREA-1.77 AC, DISTURBED AREA-0.46 AC
  - POST DEVELOPMENT RUNOFF COEFFICIENT, C=0.92
  - EXISTING SOILS: 43% PECTONE SILTY CLAY  
32% MARSHAM SILT LOAM  
25% ELIJOT SILT LOAM
  - LOCAL RECEIVING WATERS: EAST BRANCH DUPAGE RIVER, ILLINOIS RIVER
  - ULTIMATE RECEIVING WATERS: MAIN BRANCH DUPAGE RIVER, ILLINOIS RIVER
  - NO WETLANDS EXIST ON THE PROPERTY.
- EROSION AND SEDIMENT CONTROLS:**
- STABILIZATION PRACTICES: SILT FENCE, PERMANENT SEEDING
  - STRUCTURAL PRACTICES: STORM INLET FILTER WATTLES, RE-RAP
- TEMPORARY CONTROLS (SILT FENCE) SHALL BE IN PLACE AND OPERATIONAL PRIOR TO GRUBBING, AND SHALL BE ACTIVELY MAINTAINED THROUGHOUT EXCAVATION, GRADING, PAVEMENT CONSTRUCTION. SILT FENCE SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION IS REACHED AND REMOVED AFTER FINAL STABILIZATION.**
- TEMPORARY STORM INLET PROTECTION (WATTLES) SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES. WATTLES SHALL BE MAINTAINED AND CLEANED OF DEBRIS AND SILTATION AFTER MAJOR STORMS.**
- SEDIMENTATION AND EROSION CONTROL MEASURES MUST COMPLY WITH THE LATEST EDITION OF THE DUPAGE COUNTYWIDE STORMWATER ORDINANCE AS ADOPTED BY THE VILLAGE.**
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATION IN ILLINOIS URBAN MANUAL REVISED FEBRUARY 2002.**
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.**
- DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.**
- AREAS OF SITE LEFT UNDISTURBED BY CONSTRUCTION WILL BE OVER SEED BY OWNER AS NEEDED TO ESTABLISH VEGETATIVE COVER WHICH WOULD PRECLUDE EROSION.**
- PROJECT SHALL BE CONSTRUCTED IN ONE PHASE.**

- GRADING PLAN KEYNOTES:**
- TAPER CURB TO PAVEMENT ELEVATION-3" CURB TRANSITION
  - SILT FENCE
  - BLOCK RETAINING WALL
  - MATCH EXISTING GRADE
  - STRAW WATTLES - SEE DETAIL BELOW
  - CONSTRUCTION ENTRANCE AT EXISTING DRIVE APPROACH
  - INLET BASKET - SEE DETAIL ON SHEET C6



**STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.**

**THICKNESS - NOT LESS THAN 8 INCHES.**

**FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.**

**MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.**

**WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.**

**PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.**

**A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.**

4851 INDIANA AVENUE, SUITE 100  
PHOENIX, ARIZONA 85018 FAX (602) 841-8445  
IL PROFESSIONAL DESIGNER NO. 184-011194  
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**S I E B E R T**  
**E N G I N E E R S**

PROJECT	SCALE	SHEET	DATE	ISSUED FOR
8280	1"=20'	C3	5/27/08	VILLAGE AND IDOT COMMENTS
			4/23/08	VILLAGE REVIEW
				ISSUED FOR

**GRADING AND EROSION CONTROL PLAN**

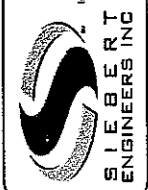
PROJECT: PREMIER AUTOHAUS PARKING LOT ADDITION  
2501 OGDEN AVE., DOWNERS GROVE, IL

DRAWN BY: DAM  
DESIGNED BY: DAM  
CHECKED BY: RH

T:\Projects\8290 Premier Auto\dwg\8290 Eng.dwg, C3, 6/6/2008 3:43:39 PM, dmcclellan, 1:2







PROJECT	DATE
SCALE	ISSUED FOR
SHEET	NO.

DESIGNED BY	DATE
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PROJECT	DATE
SCALE	ISSUED FOR
SHEET	NO.

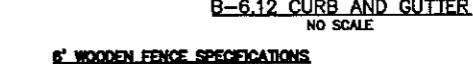
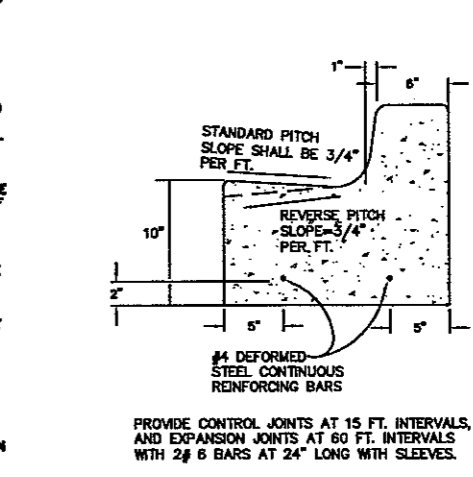
PROJECT	DATE
SCALE	ISSUED FOR
SHEET	NO.

**STANDARD NOTES AND DETAILS**

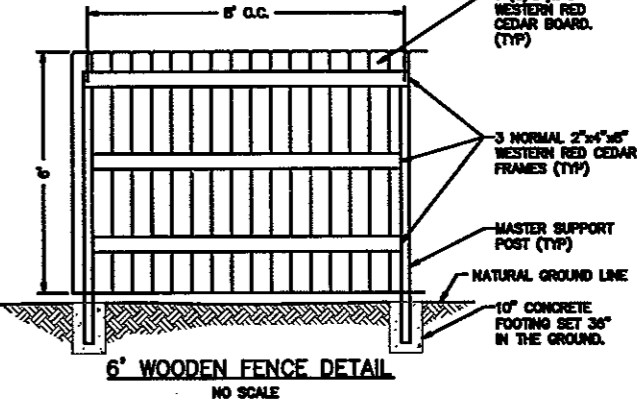
**PREMIER AUTOHAUS PARKING LOT ADDITION**

2501 OGDEN AVE., DOWNERS GROVE, IL

- REMOVED DRIVEWAY PAVEMENT, SIDEWALK, CURBS AND GUTTER, SHALL BE DISPOSED OF AT LOCATIONS PROVIDED BY THE CONTRACTOR. LOCATION OF DISPOSAL AREAS SHALL BE APPROVED.
- STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED PROMPTLY TO MEET STATE AND VILLAGE, STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- ALL CONCRETE POURED ON PUBLIC PROPERTY SHALL BE THE TYPE SPECIFIED IN ARTICLE 1020 OF THE STANDARD SPECIFICATIONS.
- THE GRADING AND CONSTRUCTION OF THE STREET IMPROVEMENTS SHALL NOT CAUSE INTERFERENCE WITH WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
- TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS. SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. ALSO, ORDINANCES OF THE CITY, COUNTY OR STATE SHALL GOVERN THE TRAFFIC CONTROL.
- ALL ROAD SIGNS, STREET SIGNS AND TRAFFIC SIGNS WHICH NEED TO BE RELOCATED OR MOVED DUE TO CONSTRUCTION SHALL BE TAKEN DOWN AND STORED BY THE CONTRACTOR. EXCEPT THOSE WHICH THE PROJECT ENGINEER SHALL DEEM NECESSARY FOR PROPER TRAFFIC CONTROL, WHICH SHALL BE TEMPORARILY RESET UNTIL COMPLETION OF CONSTRUCTION OPERATIONS. AFTER COMPLETION OF THE WORK THE CONTRACTOR SHALL RESET ALL SAID SIGNS.
- ALL EXISTING SIGNS AND LIGHT STANDARDS WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR REMOVAL AND DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.

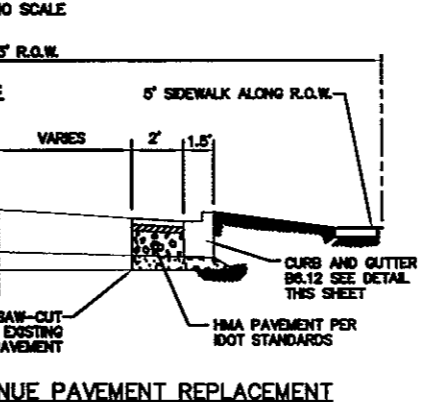
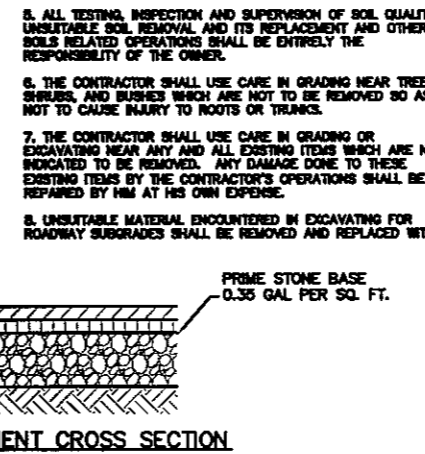


- 8' WOODEN FENCE SPECIFICATIONS**
- 8' FOOT TALL CEDAR PRIVACY FENCE WITH STRAIGHT TOP PATTERN.
  - NORMAL 12X16 DOG EAR NO. 1 GRADE WESTERN RED CEDAR BOARDS. ACTUAL BOARD SIZE IS 5/8"x6".
  - ALUMINUM ZINC RING SHANK NAILS WILL BE USED TO PREVENT BLEEDING.
  - THREE 2X4X8 WESTERN RED CEDAR FRAMES.
  - .120" WALL THICKNESS GALVANIZED STEEL POST MASTER POSTS. ACTUAL DIMENSIONS ARE 3-1/2"x1-5/8".
  - POSTS WILL BE SET 3 FEET INTO THE GROUND IN CEMENT AND CAPPED WITH A 1X3 1/2" BOARD.
  - ONE 30" WIDE DOUBLE SWING GATE.
  - A. 6" SQUARE POSTS WITH CAPS SET 48" IN THE GROUND IN CONCRETE.
  - B. 2X2 WELDING GATE FRAMES.
  - C. WELDED BLOCK HINGES.
  - D. TWO DROP RODS ON EACH GATE.



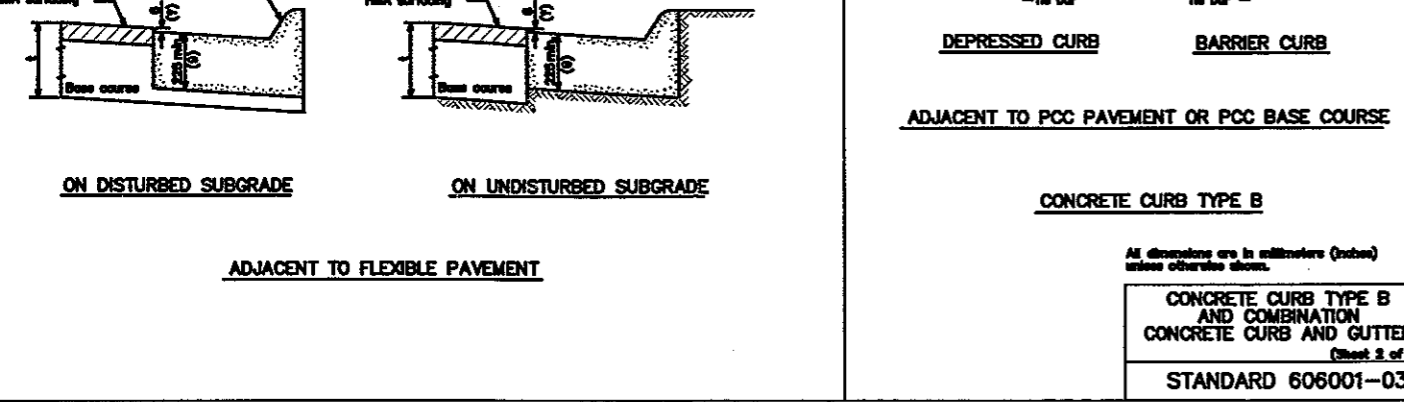
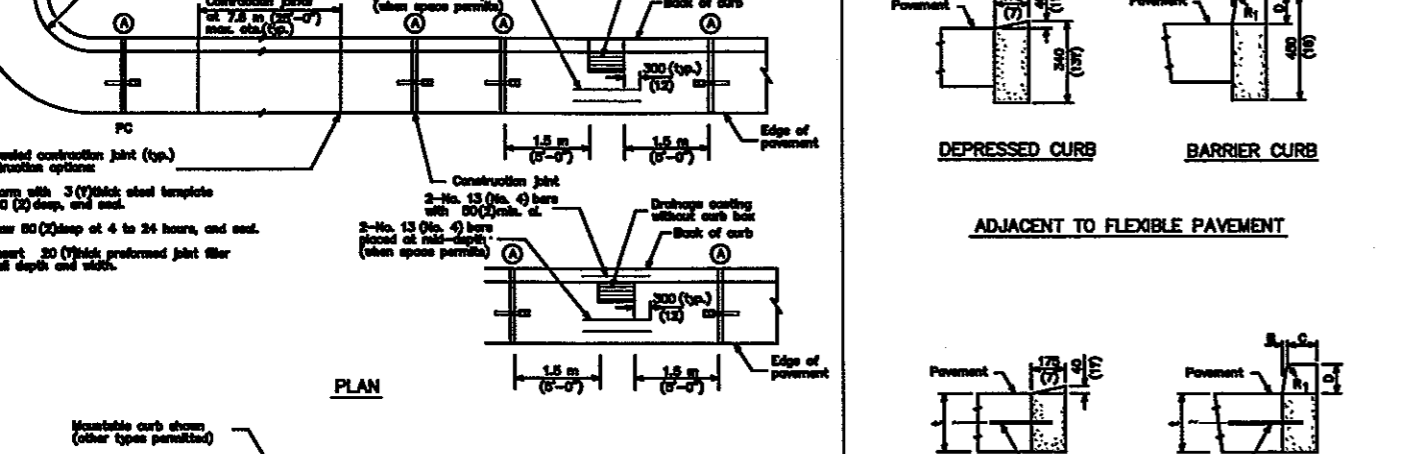
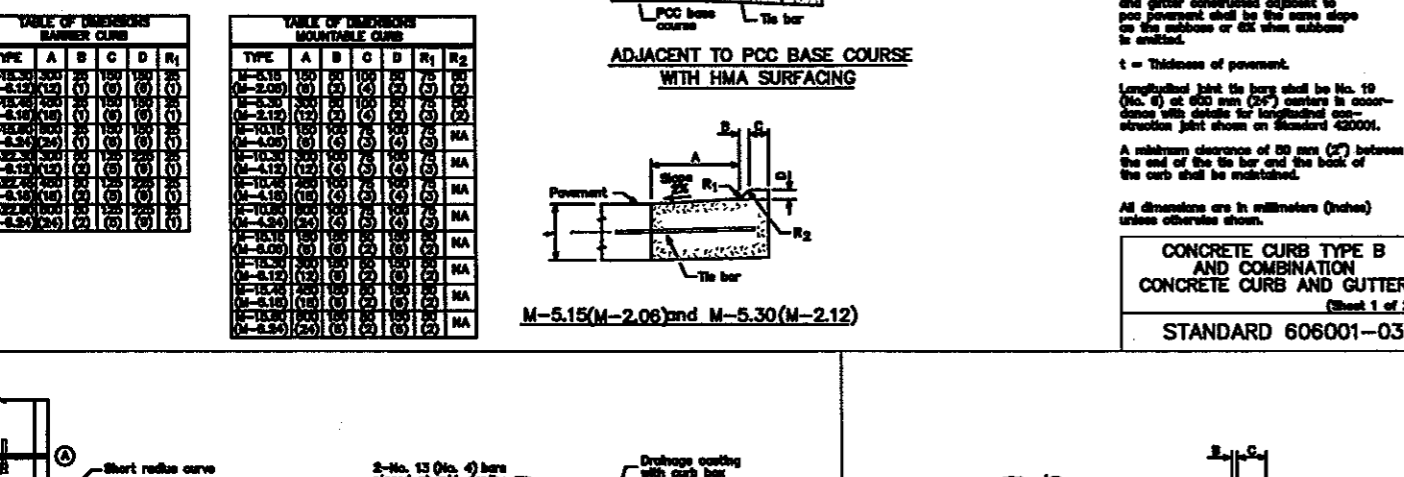
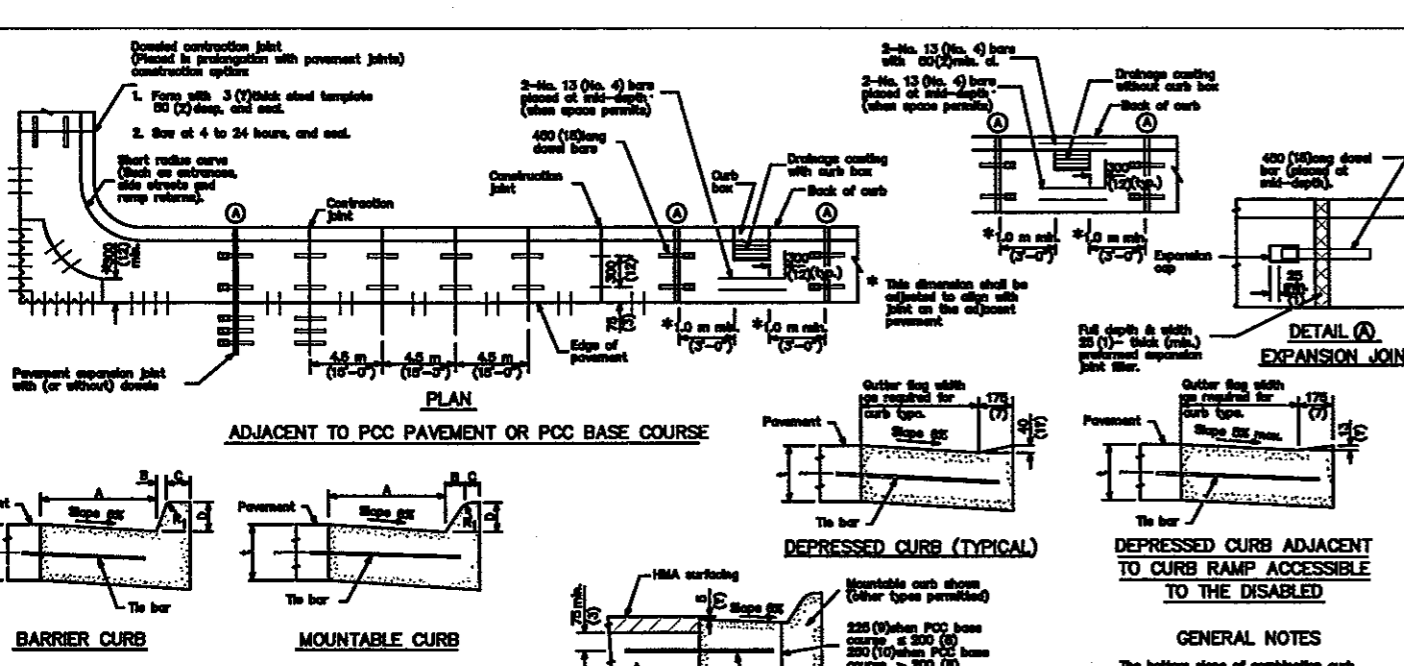
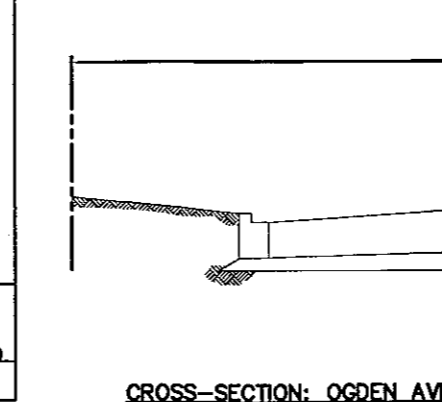
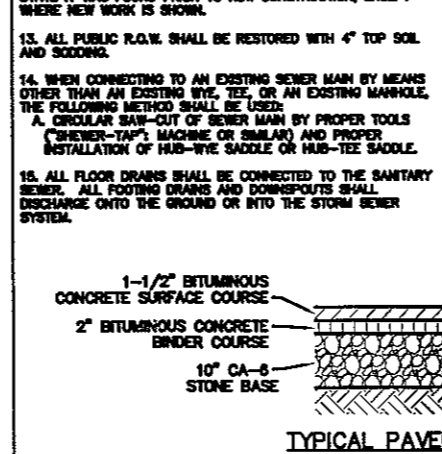
- ALL SANITARY SEWERS, WATERMANS AND STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED BEDDING. BEDDING MATERIAL SHALL BE PLACED A MINIMUM OF 4 INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL SHALL BE EXTENDED 6" OVER THE TOP OF PIPE. BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING GRADATION CA-6.
- TRENCH BACKFILL MATERIAL (CA-6 CRUSHED STONE) SHALL BE PLACED TO EITHER THE SPRINGLINE OF THE PIPE OR HALF THE DIAMETER OF THE PIPE AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (A.S.T.M. D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER, OR WITHIN 2 FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS, SIDEWALKS, CURBS, OR OTHER STRUCTURE.
- NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
- PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS SHOWN.
- PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS AS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE.
- BEFORE INITIAL ACCEPTANCE BY THE OWNER/VILLAGE, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND VILLAGE OR HIS REPRESENTATIVES. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
- ALL MATERIAL SHALL BE NEW WITH PRODUCTION DATES NOT MORE THAN ONE YEAR OLD AT INSTALLATION DATE.

- SIDE GRADING AND ROADWAY**
- ALL SITE WORK, GRADING, AND PAVING OPERATIONS, AND ALL ROADWAY AND STREET CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, AS ADOPTED JANUARY 1, 1997 AND ALL REVISIONS THEREIN WITH THE "SPECIAL PROVISIONS" AND WITH THESE CONSTRUCTION NOTES AND IN ACCORDANCE WITH VILLAGE CODE. IN CASE OF CONFLICT, VILLAGE CODE SHALL GOVERN.
  - EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING, AND STOCKPILING TOPSOIL. REMOVING UNSUITABLE MATERIALS. THE CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES, AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE PROVISIONS OF SECTION 200 OF THE STANDARD SPECIFICATIONS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF IN LOW AREAS OF THE SITE SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER IN THE FIELD.
  - TOPSOIL EXCAVATED SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING.
  - THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL APPENDIX THEREIN ARE SUPPORTING DOCUMENTS TO THE PERMIT FOR THE PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PAIS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
  - ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE OWNER.
  - THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
  - THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY HIM AT HIS OWN EXPENSE.
  - UNSATURABLE MATERIAL ENCOUNTERED IN EXCAVATING FOR ROADWAY SUBGRADES SHALL BE REMOVED AND REPLACED WITH



- MISCELLANEOUS NOTES**
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" ADOPTED JANUARY 1, 1997 AND ALL SUBSEQUENT REVISIONS AND THE "SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS", FIFTH EDITION DATED MAY 1998 AND ALL SUBSEQUENT REVISIONS, AND THE VILLAGE CODE OF OGDEN HEIGHTS. IN CASE OF CONFLICT THE VILLAGE CODE SHALL TAKE PRECEDENCE.
  - CODES OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY TITLE 35, AND O.S.M.A. SHALL BE ADHERED TO FOR THE CONSTRUCTION OF THIS PROJECT.
  - ALL REQUIRED PERMITS FROM THE PROPER GOVERNING AGENCY SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHEETING, SHORING AND OTHER REQUIRED PROTECTION OF ALL HIGHWAYS BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE AGENCY, AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC.
  - THE LOCAL MUNICIPALITY DEPARTMENT OF PUBLIC WORKS AND DEPARTMENT OF COMMUNITY DEVELOPMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION OF VARIOUS PUBLIC IMPROVEMENTS.
  - THIS INCLUDES ALL STREET AND DRAINAGE IMPROVEMENT CONSTRUCTION AND/OR TESTING WATER MAIN AND SANITARY SEWER IMPROVEMENT CONSTRUCTION AND/OR TESTING.
  - ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE VILLAGE SHALL BE NOTIFIED TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION IN ORDER TO AVOID CONFLICTS. (PHONE JULLIE AT: 1-800-392-0123).
  - EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE PROJECT ENGINEER ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE UTILITY OWNER BY THE CONTRACTOR.
  - ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
  - FIELD CHECK ALL DIMENSIONS, COORDINATES, AND ELEVATIONS BEFORE PROCEEDING WITH NEW WORK. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR SURVEYOR.
  - THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE OPERATIONS AFFECT PUBLIC THROUGH-FARES AND ADJACENT PROPERTY.
  - ANY AREA OUTSIDE THE PROPERTY LINE USED BY THE GENERAL OR SUBCONTRACTORS SHALL BE RETURNED TO THE STATE IT WAS FOUND PRIOR TO NEW CONSTRUCTION, EXCEPT WHERE NEW WORK IS SHOWN.
  - ALL PUBLIC R.O.W. SHALL BE RESTORED WITH 4" TOP SOIL AND SODDING.
  - WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
    - CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("CHIEFER-TAP", MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
  - ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER. ALL FOOTING DRAINS AND DOWNPOUTS SHALL DISCHARGE ONTO THE GROUND OR INTO THE STORM SEWER SYSTEM.

- GENERAL NOTES**
- The bottom slope of combination curb and gutter construction shall be the same slope as the subbase or 6% when subbase is omitted.
- t = Thickness of pavement.
- Longitudinal joint to bars shall be No. 19 (No. 6) at 500 mm (24") centers in accordance with details for longitudinal construction joint shown on Standard 606001.
- A minimum clearance of 80 mm (3") between the end of the tie bar and the back of the curb shall be maintained.
- All dimensions are in millimeters (inches) unless otherwise shown.



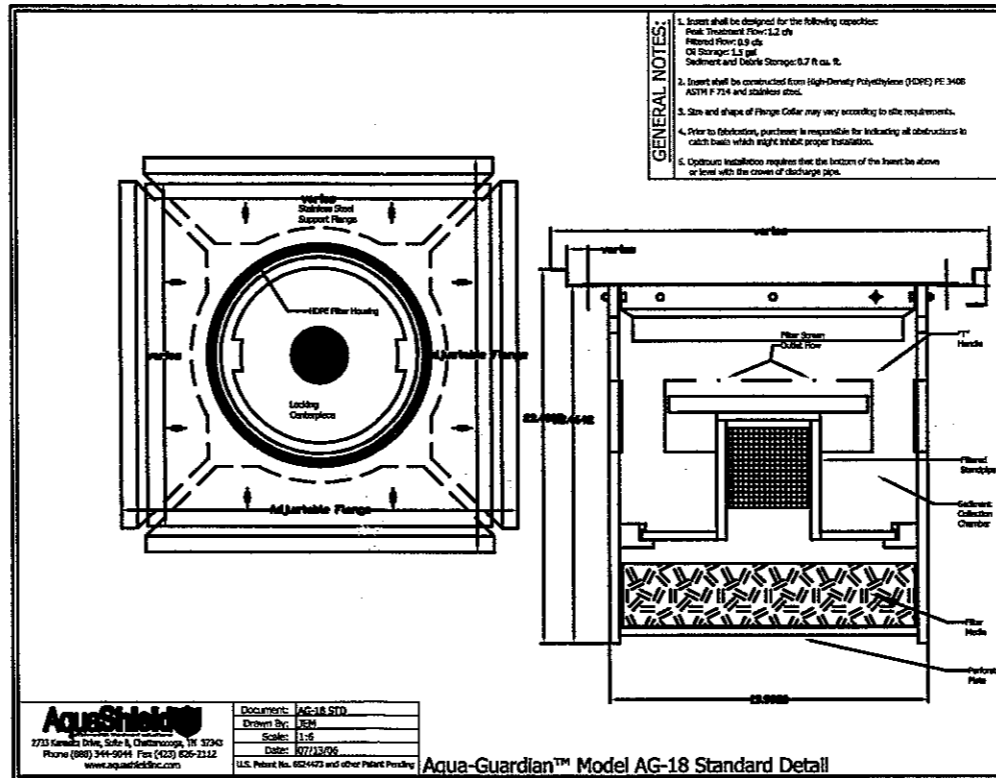
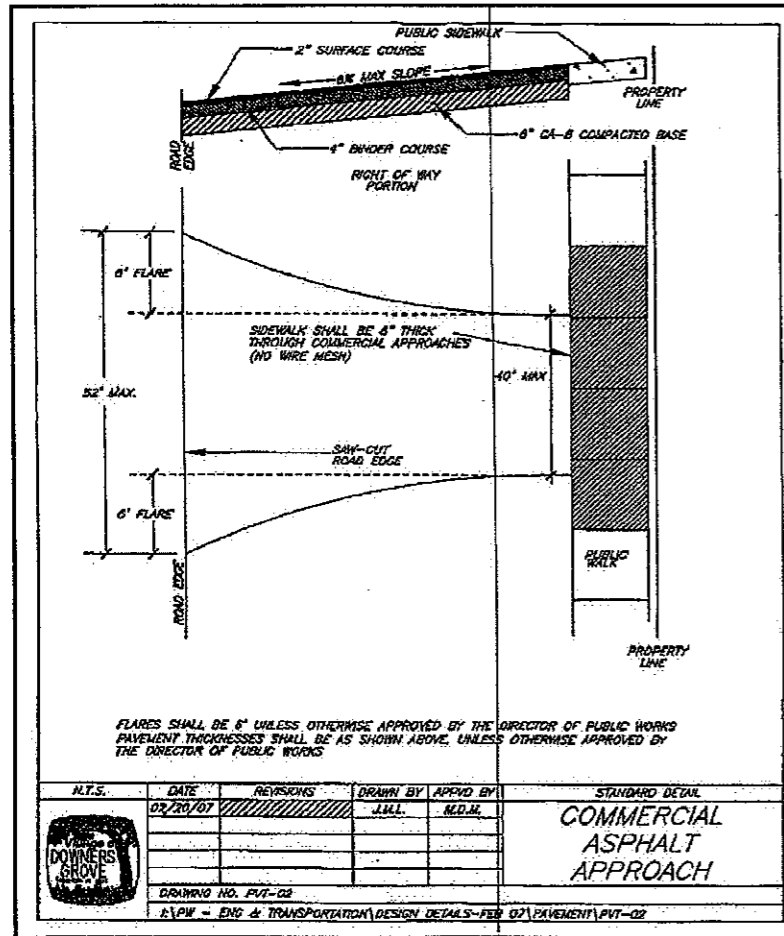
**CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER (Sheet 2 of 2) STANDARD 606001-03**

DATE	ISSUED FOR	NO.
DATE	ISSUED FOR	NO.
6/6/08	VILLAGE AND IDOT COMMENTS	B
4/23/08	VILLAGE REVIEW	A

PROJECT	8280
SCALE	1"=20'
SHEET	08
PROJECT TITLE	PREMIER AUTOHAUS PARKING LOT ADDITION 2501 OGDEN AVE., DOWNERS GROVE, IL
DRAWN BY	DAMI
DESIGNED BY	DAMI
CHECKED BY	HH

**INLET BASKET MAINTENANCE SCHEDULE:**

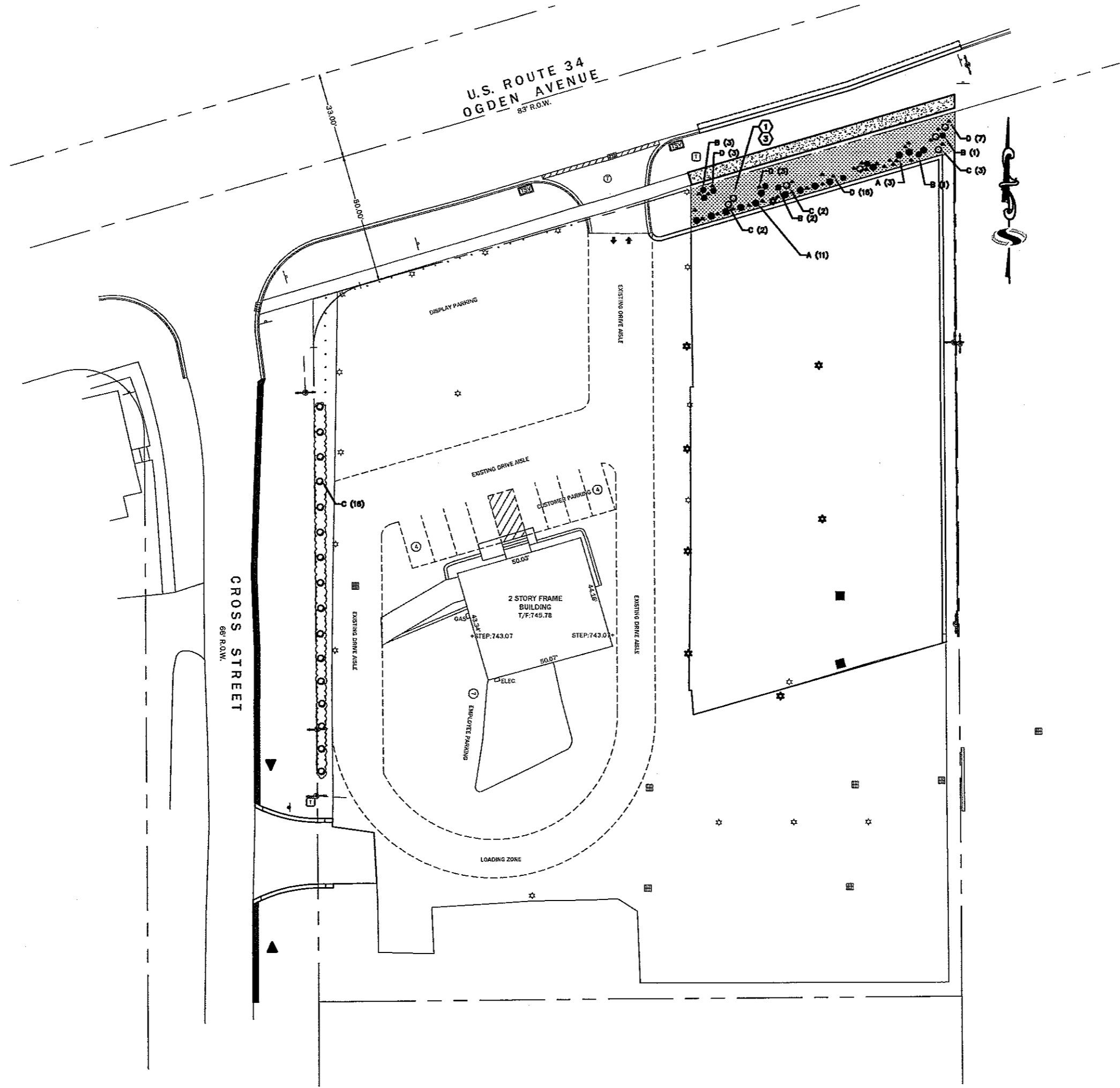
1. INSPECT UNIT MONTHLY AND AFTER SIGNIFICANT STORM EVENTS.
2. CHECK ACCUMULATION OF OILS, SEDIMENTS AND FLOATING DEBRIS. USE A TAPE MEASURE TO GAUGE THE AMOUNT OF SEDIMENT IN THE COLLECTION AREA. WHEN SEDIMENT REACHES THE BOTTOM OF THE PERIMETER FILTER SCREEN OUTLETS, THE UNIT SHALL BE SERVICED. REMOVE THE SEDIMENT AND DEBRIS ACCUMULATED INSIDE THE CHAMBER WITH A WET/DRY SHOP-VAC.
3. THE LOCKING CENTERPIECE ASSEMBLY IS REMOVED BY ROTATING THE ASSEMBLY WITH THE "T" HANDLE ON TOP OF FILTER SCREEN STANDPIPE. ONCE THE CENTERPIECE ASSEMBLY IS REMOVED, THE FILTER BAG WILL BE VISIBLE SO THAT IT CAN BE PULLED FROM THE UNIT. CLEAN OUT RESIDUAL SEDIMENT IN THE FILTER AREA AND PLACE A NEW FILTER BAG IN THE UNIT. PRESS DOWN ON ALL SIDES OF THE NEWLY INSTALLED FILTER TO ENSURE GOOD CONTACT WITH THE OUTSIDE WALLS.
4. THE CENTERPIECE ASSEMBLY IS REPLACED AND ROTATED (OR LOCKED) UNDER THE FITTED GUIDES.
5. REPLACE THE SURFACE GRATE COVER TO ITS NORMAL POSITION.



**INLET BASKET DETAIL**

**GENERAL LAYOUT NOTES**

1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DESIGN ENGINEER OF DISCREPANCIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREIN BEFORE BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY, AND THAT THE ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE.
4. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
5. THE CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AS DIRECTED DURING CONSTRUCTION.
6. STREETS SURFACES, DRIVEWAYS, CURBS, GUTTERS AND GUTTER, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN KIND OR BETTER.



U.S. ROUTE 34  
OGDEN AVENUE  
83' R.O.W.

CROSS STREET  
66' R.O.W.

LANDSCAPING KEYNOTES  
 ① MULCH PLANTING AREA (TYP)  
 ② SEED BLANKET (TYP)

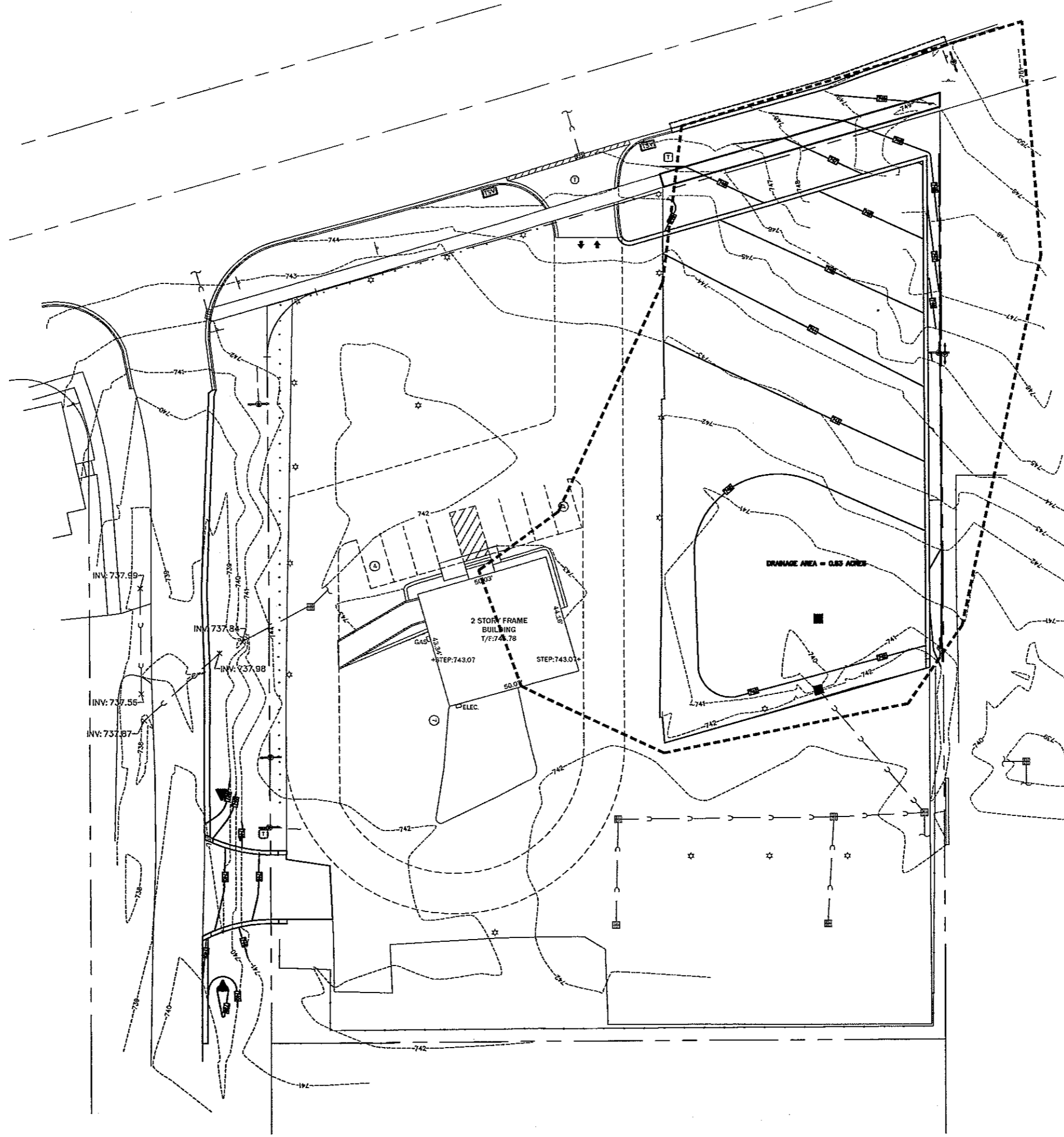
CODE	QUANTITY	PLANT NAME
A	14	TECHNY ARBORVITAE
B	7	DWARF BURNING BUSH
C	23	GREEN VELVET BOXWOOD
D	26	KARL FOERSTER GRASS

PROJECT 8290	SHEET TITLE <b>LANDSCAPE PLAN</b>	DRAWN BY DAM	DESIGNED BY DAM
SCALE 1"=20'	PROJECT <b>PREMIER AUTOHAUS PARKING LOT ADDITION</b> 2601 OGDEN AVE., DOWNERS GROVE, IL	CHECKED BY HH	DATE 6/6/08
SHEET L1	SHEET NO. 1	ISSUED FOR 	DATE 4/23/08

481 ILLINOIS AVENUE, SUITE 100  
DOWNERS GROVE, ILLINOIS 60155  
PHONE (630) 824-1810, FAX (630) 824-1845  
ILLINOIS PROFESSIONAL DESIGN FIRM NO. 144-001154  
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**S I E B E R T**  
ENGINEERS INC.

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PROJECT 2890	PROJECT TITLE <b>PREMIER AUTOHAUS PARKING LOT ADDITION</b> 2891 OGDEN AVE., DOWNERS GROVE, IL	DATE 5/27/08	DATE 4/23/08	DATE
SCALE 1"=20'	DESIGNED BY DAM	B VILLAGE AND IDOT COMMENTS	A VILLAGE REVIEW	ISSUED FOR
SHEET 1 OF 1	CHECKED BY HH	NO.	NO.	NO.

PROJECT: 8290 Premier Auto[dwg]8290 Eng.dwg, DRNG MAP, 6/6/2008 3:50:41 PM, dmcdellan, 1:2

481 INDIANA AVENUE, SUITE 100  
LITTLE ROCK, ARIZONA 85323-2474  
PHONE (602) 824-1515, FAX (602) 824-1545  
ILLINOIS PROFESSIONAL DESIGN FIRM NO. 16400134  
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**S I E B E R T**  
ENGINEERS INC

**FILE NO. PC-19-08** A petition seeking approval for 1) Special Use for an Automobile Dealership; 2) Zoning Variation for a Transitional Yard Parking Setback; 3) Plat of Consolidation for property located at the Southeast corner of Ogden Avenue and Cross Street, commonly known as 2501 & 2449 Ogden Avenue, Downers Grove, IL (PIN 08-01-306-023, 08-01-306-004,-005); Premier AutoHaus, Petitioner; Fabulous Fortunes, Inc., Owner

Chairman Jirik swore in those individuals who would be speaking on File No. PC-19-08.

Mr. Latinovic, Village Planner, reported the owner of Premier AutoHaus automobile dealership located at 2501 Ogden Avenue acquired the property (2449 Ogden Avenue) located east of their site which consists of two lots; one vacant and one lot with a single-family residence and detached garage on it formerly used as a beauty salon. The acquired property is 19,822 square feet, zoned B-3 General Services and Highway Business District. The petitioner is proposing to demolish the house and garage and construct a new parking lot adjacent to the existing dealership. He is also requesting: 1) approval for the final Plat of Consolidation to consolidate the three existing lots into one; 2) a Special Use approval for the expansion of the parking lot; and 3) a transitional yard setback variation to construct the parking lot five feet from the east property line where ten feet is required by Code. The ten-foot transitional yard setback matches the required side yard setback on the adjacent residentially zoned lot currently used as the Downers Grove Park District Golf Course. The proposed five-foot setback will match the setback of the existing parking lot at 2501 Ogden Avenue.

Three existing curb cuts located at 2449 Ogden Avenue will be removed. The proposed parking lot with capacity for 52 spaces will be interconnected with the existing parking lot. The property will use the existing Ogden Avenue access driveway where an existing traffic light is located and a new proposed driveway on Cross Street, located approximately 45 feet north of the south property line. The Cross Street access driveway will have full inbound access but will have limited outbound access for right-out only northbound traffic and include a No-Left turn traffic sign.

The proposed parking lot is located 64 feet from the centerline of Ogden Avenue (minimum of 50 feet is required by Code) to allow for additional green space. The site will have a total of 10,679 square feet (13.8%) of green space, where 10% is required. Approximately 4,007 square feet (51.8% of the required total) will be in front yards along Cross Street and Ogden Avenue. Screened landscaping bushes will be provided along Cross Street.

In staff's opinion, the proposed plan is consistent with the Future Land Use Plan and will not diminish the value of the surrounding properties since the dealership exists on the site. The parking lot expansion meets all zoning requirements except for the transitional yard parking setback variation. The dealership is a permitted Special Use in the B-3 District. Staff supports the request for the five-foot setback. The property is unique in that it is adjacent to a residentially zoned lot along the Ogden Avenue corridor that is being used for a Park District golf course. Most other properties along the Ogden

Avenue corridor about commercially zoned properties where there is no required parking setback between adjacent properties. The proposed five-foot setback matches the setback of the existing parking lot at 2501 Ogden Avenue, which allows for better circulation throughout the site. The petitioner will be installing a six-foot high solid fence along the east side of the new parking lot.

The consolidation of the three lots into one lot will meet or exceed all minimum lot dimension requirements per the Subdivision Ordinance. The new lot will have 241 feet of frontage along Ogden Avenue and 254 feet of frontage on Cross Street. In addition, the parking lot expansion complies with the Ogden Avenue Master Plan, and a new sidewalk is planned along Ogden Avenue next to the new parking lot.

Because the proposed parking lot is less than 25,000 square feet (approximately 19,822 square feet), an on-site stormwater detention facility is not required. However, the petitioner is proposing an underground detention facility under the proposed parking lot to maintain the allowable stormwater run-off rate. The petitioner will pay a fee-in-lieu of the street improvements for Cross Street, which includes pavement widening, storm sewer and curb, and gutter installation improvements. The street improvements will be completed at the time the property west of Cross Street is redeveloped when the funds for complete improvement are collected. The Fire Prevention Division of the Fire Department has stated the property will continue to have adequate emergency access.

Lastly, no comments have been received from the surrounding property owners. The proposed Plat of Consolidation meets the minimum lot dimension requirements per the Subdivision Ordinance, and the standards for Special Use have been met. Staff believes the standards for granting the requested transitional yard setback variation to locate the proposed parking lot five feet from the east property line where ten feet is required have been met. Staff supported the request and requested the Plan Commission make a positive recommendation to the Village Council.

Mr. Matejczyk confirmed with staff that as part of this petition, the petitioner had to install either aboveground or underground water detention. Mr. Latinovic explained that the petitioner is not required to provide an on-site detention facility but that the stormwater runoff rate must stay the same or be reduced. For that reason, the petitioner has chosen to install an underground detention facility.

Mr. Matejczyk also pointed out that when people exit the site, other drivers do not realize there is a traffic signal at the intersection of south Cross Street and Ogden Avenue and near-miss accidents have occurred. Mr. Latinovic stated that the Cross Street traffic light is an IDOT regulated traffic light, but he would follow up with the Transportation Division of the Public Works.

Mr. Waechtler asked whether the driveway could be relocated further to the east to address Mr. Matejczyk's concern. He agreed the State should review the matter. Other ideas included changing the sequence of the traffic signal or widening the driveway to look more like a street.

The Chairman Jirik asked that the petitioner speak.

Mr. Doug McClellan, 1310 18<sup>th</sup> Street, Chicago, Illinois, stated he represents the property owner and is the consulting engineer. He stated the owner would like to expand his current parking lot by consolidating the lot to the east, demolish the existing building and install pavement and stormwater detention for the parking expansion. An entrance will be added on Cross Street to facilitate better flow through the site, but entrances on Ogden Avenue will be removed in compliance with the Ogden Avenue Master Plan and per the Illinois Department of Transportation. Hedges will be added along the west property line and along the Cross Street entrance. Because the site is below the 25,000 square foot requirement for stormwater detention, yet impervious surface is being increased, he stated stormwater detention is provided to maintain the current run-off rates. Mr. McClellan confirmed he was speaking on behalf of the property owner, Mr. Sonny Mehraban.

Per questions raised by the Commissioners, Mr. McClellan stated the lighting consultant was taking into consideration the Village's suggestions for lighting standards, and the consultant will meet the required one-foot candle value at the eastern property line due to the adjacent residential neighborhood. As to meeting staff's requirements in its report, Mr. McClellan confirmed he and his client agreed to meet the Village's lighting ordinance. Asked whether the petitioner would be opposed to having a stop sign at the main north exit versus a traffic signal, Mr. McClellan stated he would have to speak to the property owner. Mr. Matejczyk pointed out that not much traffic would be coming out of the exit and would only be customers.

Chairman Jirik stated that the signal issue above was the jurisdiction of the State and could become a traffic calming measure for consideration. Mr. McClellan conveyed the State had already given approval for the currently proposed plans, but revising the plan to reflect a stop sign, Mr. McClellan did not see it as an issue.

Mr. O'Brien, Senior Village Planner, stated when this plan was initially presented to staff by Mr. Mehraban, an additional curb cut to the east on Ogden Avenue was proposed, which was brought to the attention of the State, and was rejected. Therefore, staff recognized the issue and recommended that the petitioner not pursue a second entrance along Ogden Avenue because of the traffic confusion it could cause. However, staff did discuss car carrier issues with the petitioner and recommended allowing the second access on Cross Street to allow those carriers to return to Ogden Avenue and unload on the site. Any changes to the signal timing would have to be reviewed and approved by the State. Mr. Matejczyk again reviewed his concerns about the intersection coming south on Cross Street and the close calls to vehicles heading north. He agreed the State should review the intersection. Mr. O'Brien offered a possibility to change the sequencing of the light and have IDOT review the matter.

Mr. Mehraban, property owner, was fine with Mr. Matejczyk's suggestion; however, he reiterated the traffic was significant for him and that 50 cars can stop in on Saturdays,

which is very busy. He suggested placing a police officer at the intersection to issue citations if there are traffic violations. Lastly, he stated his car carriers rarely utilize Cross Street, possibly one or twice a year, and confuse his business with another dealership. He believed the exit would be beneficial.

Mr. Cozzo asked if consideration was ever taken to make the access at the signalized intersection an entrance only and having the exiting traffic go west to Cross Street, then to Ogden, then make a right-hand turn. Mr. Mehraban reiterated that the full access on Ogden Avenue is crucial for his business.

Mr. Waechtler confirmed with Mr. Mehraban that the dealership would be selling used cars.

Chairman Jirik opened up the meeting to public comment. No public comment received.

Mr. McClellan had no closing comment.

Per Mr. Matejczyk's earlier comment about the location of the traffic signal, Mr. Latinovic clarified the north exit off of the site to Ogden Avenue has an existing stop light and nothing was being changed. Staff was only requesting a right-turn only on the newly proposed curb cut on Cross Street. Details followed.

Mr. Matejczyk believed the petitioner came up with a positive proposal and was pleased to see the underground water detention installed. Overall, he believed it was an excellent petition; Mr. Waechtler agreed. Reviewing the east property line, staff confirmed the fence would be a solid board-on-board fence. Regarding concerns about stray golf balls, Mr. Waechtler stated the petitioner could install an eight-foot fence if necessary. Regarding the Ogden Avenue landscaping, Mr. Latinovic stated a landscaping plan existed, and there would be low growing plants so as not to obstruct the visibility of the cars. Commenting on the setback variation request as well as for the record, Mr. Waechtler stated the Plan Commission does not freely grant variations and setbacks without good reason for doing so, and he did not see issues with the setback due to the adjacent golf course and existing parking lot configuration.

For the record, Mr. Cozzo stated the standards for approval of the Special Use and granting of the variation have been met.

**WITH RESPECT TO FILE NO. PC-19-08, MR. MATEJCZYK MADE A MOTION THAT THE PLAN COMMISSION MAKE A POSITIVE RECOMMENDATION TO THE VILLAGE COUNCIL, SUBJECT TO THE FOLLOWING CONDITIONS:**

- 1. THE PROPOSED LOT CONSOLIDATION, SPECIAL USE AND ZONING VARIATION FOR THE TRANSITIONAL YARD SETBACK SHALL SUBSTANTIALLY CONFORM TO THE BOUNDARY AND TOPOGRAPHIC SURVEY, PLAT OF CONSOLIDATION AND ENGINEERING PLANS AND**



**SPECIFICATIONS PREPARED BY SIEBERT ENGINEERS INC.  
ATTACHED TO THIS REPORT EXCEPT AS SUCH PLANS MAY BE  
MODIFIED TO CONFORM TO VILLAGE CODES, ORDINANCES, AND  
POLICIES.**

- 2. A SEPARATE ENGINEER'S COST ESTIMATE SHALL BE PROVIDED FOR THE INSTALLATION OF COMPLETE PAVEMENT WIDENING, STORM SEWER, CURB AND GUTTER ALONG THE EAST SIDE OF CROSS STREET ADJACENT TO THE WEST PROPERTY LINE. UPON STAFF'S APPROVAL OF THE COST ESTIMATE, A FEE-IN-LIEU OF THE IMPROVEMENTS SHALL BE REQUIRED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.**
- 3. THE PROPOSED SIX-FOOT SOLID FENCE ALONG THE EAST PROPERTY LINE SHALL TIE INTO THE EXISTING SIX-FOOT FENCE.**
- 4. THE PROPOSED LIGHTING PLAN SHALL INDICATE A 0.1 FOOT CANDLE OR LESS ALONG THE ENTIRE LENGTH OF THE EAST PROPERTY LINE ADJACENT TO THE NEW PARKING LOT AND SHALL INCLUDE A TABLE WITH FOOT CANDLE AVERAGE, MINIMUM, AND AVERAGE TO MINIMUM RATIO IN COMPLIANCE WITH THE SECTION 28.1406 OF THE ZONING ORDINANCE.**
- 5. THE PLANS FOR THE PROPOSED LIGHT POLES SHALL BE PREPARED, SIGNED AND INK STAMPED BY AN ARCHITECT OR AN ENGINEER IN THE STATE OF ILLINOIS.**
- 6. THE PLAT OF CONSOLIDATION SHALL BE REVISED TO INCLUDE A CERTIFICATE FOR THE ILLINOIS DEPARTMENT OF TRANSPORTATION OFFICIAL. A MYLAR COPY OF THE REVISED PLAT SHALL BE SUBMITTED PRIOR TO VILLAGE COUNCIL CONSIDERATION.**
- 7. A PLAT OF EASEMENT SHALL BE SUBMITTED TO THE VILLAGE WITH STORMWATER EASEMENTS PROVIDED OVER ALL STORM SEWER, ASSOCIATED MANHOLE STRUCTURES AS WELL AS OVERLAND FLOW ROUTES PRIOR TO ISSUANCE OF THE BUILDING PERMIT.**
- 8. ALL NECESSARY CONSTRUCTION PERMITS SHALL BE OBTAINED BY THE PETITIONER PRIOR TO ANY SITE DEVELOPMENT ACTIVITIES.**

**MR. BEGGS SECONDED THE MOTION.**

**ROLL CALL:**

**AYE: MR. MATEJCZYK, MR. BEGGS, MR. COZZO, MR. WAECHTLER,  
CHAIRMAN JIRIK**

**NAY: NONE**

**MOTION CARRIED. VOTE: 5-0**