

**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE VILLAGE COUNCIL MEETING  
SEPTEMBER 16, 2008 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
Special Use with Zoning Variation, Final Plat of Consolidation for 2501 Ogden Avenue	Resolution ✓ Ordinance Motion Discussion Only	Tom Dabareiner, AICP Community Development Director

**SYNOPSIS**

A special use ordinance has been prepared for the parking lot expansion of an existing automobile dealership with zoning variation for the transitional yard setback for the property at 2501 Ogden Avenue. An ordinance has been prepared restricting right turns from the subject property to Cross Street. A resolution has been prepared authorizing the final plat of subdivision to consolidate three existing parcels into one.

**STRATEGIC PLAN ALIGNMENT**

The Five Year Plan and Goals for 2007-2012 identified *Vibrant Major Corridors*. Supporting this goal are the objectives *More Attractive Commercial Corridors and Easy Access and Traffic Functionality*.

**FISCAL IMPACT**

N/A.

**UPDATE & RECOMMENDATION**

This item was discussed at the September 9, 2008 Workshop. Staff recommends approval on the September 16, 2008 active agenda.

**BACKGROUND**

The petitioner, owner of Premier AutoHaus automobile dealership located at the southeast corner of Cross Street and Ogden Avenue at 2501 Ogden Avenue has acquired the property at 2449 Ogden Avenue. The property is located immediately east of the existing automobile dealership. The 19,822 square foot property is zoned B-3 General Services and Highway Business and consists of two lots. The property is improved with a vacant single family residence and was previously used as a beauty salon.

The petitioner is proposing to expand the existing automobile dealership by demolishing the single family house and constructing a new parking lot for additional vehicle parking and display. The petitioner is requesting approval of the Special Use for parking lot expansion with a Zoning Variation for a transitional yard setback to construct the parking lot five feet from the east property line where a ten-foot setback is required. The proposed setback will match the existing conditions. The petitioner is also requesting approval of the Final Plat of Consolidation to consolidate the three existing lots into one.

The petitioner would eliminate three existing curb cuts currently located at 2449 Ogden Avenue to accommodate the parking lot expansion. The new parking lot would be interconnected with the existing parking and utilize the existing Ogden Avenue access driveway where a traffic light currently exists.

The petitioner is also proposing a new access driveway on Cross Street to be located 45 feet north of the south property line. To minimize impact on the residential neighborhood south of the property, the Cross Street access driveway will have full inbound access but will have limited outbound access for right-turn only northbound traffic towards Ogden Avenue. A “no-left turn” traffic sign will be installed on the

property at the driveway to discourage southbound travel.

The petitioner is proposing an underground detention facility under the new parking lot to maintain the allowable stormwater runoff rate. At this time, the petitioner is not required to complete any street improvements along Cross Street. The petitioner will pay a fee-in-lieu of the street improvements for pavement widening, storm sewer, curb and gutter installation along the east side of Cross Street adjacent to the west property line. The street improvements will be completed at the time the property west of Cross Street is redeveloped when the funds for complete street improvements are collected.

The petitioner will install approximately 1,850 square feet of new landscaped green space along the Ogden Avenue corridor adjacent to the new parking lot. A new landscape hedge will also be installed along Cross Street to screen the existing parking lot. With the new landscaped area, the property will exceed the requirement for landscaped green space for the entire site. The petitioner will install a new sidewalk along the Ogden Avenue right-of-way adjacent to the new parking lot. The new portion will connect to the existing sidewalk already in place along the existing parking lot. The bulk characteristics of the development are summarized in the table below:

Premier AutoHaus Parking Lot Expansion	Required	Proposed
Front Setback (North-Ogden Avenue)	50 feet from center line of Ogden Avenue right-of-way	64 feet from center line of Ogden Avenue right-of-way
<b>Transitional yard (East)</b>	<b>10 feet</b>	<b>5 feet</b>
Landscaped green space (total)	7,722 sq. ft. (10%)	10,679 sq. ft. (13.8%)
Landscape green space (front yard)	3,862 sq. ft. (50% of total)	4,007 sq. ft. (51.8% of required total)
Parking Spaces	N/A	52

The proposed plan complies with the Ogden Avenue Master Plan as shown in the table below:

Ogden Avenue Master Plan	Proposal – 2501 Ogden Avenue
Improve the parkway with new trees, plantings, signage, and sidewalks.	The petitioner will install new landscaping along the Ogden Avenue right-of-way adjacent to the new parking lot.
Reduce curb cuts along Ogden Avenue.	The petitioner will remove three existing curb cuts on Ogden Avenue previously utilized by the commercial use at 2449 Ogden Avenue.
Improve landscaping in and around parking lots.	The petitioner will install new landscaping along the Ogden Avenue right-of-way adjacent to the new parking lot. A new landscape hedge will also be installed along Cross Street to screen the existing parking lot.
Encourage redevelopment of sites with buildings in poor physical condition or whose size/layout makes them inefficient or unusable.	The petitioner will demolish the existing vacant building currently located at 2449 Ogden Avenue, remove existing curb cuts, and construct a new parking lot for additional vehicle display for the Premier AutoHaus car dealership.
Provide interconnected sidewalks along the entire length of the corridor.	The petitioner will install a new sidewalk along the entire length of the Ogden Avenue right-of-way adjacent to the new parking lot.

The Plan Commission considered the petition at its August 4, 2008 meeting and found the project met the standards for approval. Based on its findings, the Commission recommended unanimous approval of the Special Use with Zoning Variation and the Final Plat of Consolidation. Staff concurs with the Plan Commission recommendation.

**VILLAGE OF DOWNERS GROVE**  
**COUNCIL ACTION SUMMARY**

**INITIATED:** Village Attorney **DATE:** September 16, 2008  
(Name)

**RECOMMENDATION FROM:** Plan Commission **FILE REF:** PC-19-08  
(Board or Department)

**NATURE OF ACTION:**

**STEPS NEEDED TO IMPLEMENT ACTION:**

- Ordinance
- Resolution
- Motion
- Other

Motion to Adopt "AN ORDINANCE AUTHORIZING A SPECIAL USE FOR 2501 OGDEN AVENUE TO PERMIT AN AUTOMOBILE DEALERSHIP WITH A ZONING VARIATION", as presented.

**SUMMARY OF ITEM:**

At their meeting of August 4, 2008, the Plan Commission recommended adoption of the attached ordinance will authorize a special use for 2501 Ogden Avenue to permit an automobile dealership with a zoning variation.

**RECORD OF ACTION TAKEN:**

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**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AUTHORIZING A SPECIAL USE FOR  
2501 OGDEN AVENUE TO PERMIT  
AN AUTOMOBILE DEALERSHIP WITH A ZONING VARIATION**

WHEREAS, the following described property, to wit:

Lots 1 through 6 in Block 1 in Arthur T. McIntosh and Company’s Belmont Golf Addition, being a subdivision in the Southwest Quarter of Section 1 and the Northwest Quarter of Section 12, Township 38 North, Range 10, East of the Third Principal Meridian, according to the plat thereof recorded September 14, 1925 as Document 199614, in DuPage County, Illinois.

Commonly known as 2501 Ogden Avenue, Downers Grove, IL (PIN 08-01-306-023) and 2449 Ogden Avenue, Downers Grove IL (PIN 08-01-306-004,-005)

(hereinafter referred to as the "Property") is presently zoned in the "*B-3, General Services and Highway Business District*" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28-609(c) of the Zoning Ordinance be granted to allow an automobile dealership.

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use be granted to allow an automobile dealership including the following Zoning Variation:

1. Variation from Chapter 28, Section 28-1113 (h); *Transitional Yard*, to reduce the transitional yard setback along the east property line from minimum ten (10) foot setback to a minimum of five (5) foot setback.

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing on August 4, 2008 respecting said petition and has made its findings and recommendations, all in accordance with the laws of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the requested Special Use with Zoning Variation, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. The proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

2. The proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.
3. The proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.
4. The proposed use is one of the special uses specifically listed for the district in which it is to be located and, if approved with restrictions as set forth in this ordinance, will comply with the provisions of the Downers Grove Zoning Ordinance regulating this Special Use.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

SECTION 1. That a Special Use of the Property is hereby granted to permit an automobile dealership including the requested Variation as outlined above.

SECTION 2. This approval is subject to the following conditions:

1. The proposed Lot Consolidation, Special Use and Zoning Variation for the transitional yard setback shall substantially conform to the Boundary and Topographic Survey, Plat of Consolidation and engineering plans and specifications prepared by Siebert Engineers Inc. attached to this as Group Exhibit A and incorporated herein by reference except as such plans may be modified to conform to Village codes, ordinances, and policies.
2. A separate engineer's cost estimate shall be provided for the installation of complete pavement widening, storm sewer, curb and gutter along the east side of Cross Street adjacent to the west property line. Upon staff's approval of the cost estimate, a fee-in-lieu of the improvements shall be required prior to issuance of the building permit.
3. The proposed six-foot solid fence along the east property line shall tie into the existing six foot fence.
4. The proposed lighting plan shall indicate a 0.1 foot candle or less along the entire length of the east property line adjacent to the new parking lot and shall include a table with foot candle average, minimum, and average to minimum ratio in compliance with the Section 28.1406 of the Zoning Ordinance.
5. The plans for the proposed light poles shall be prepared, signed and ink stamped by an Architect or an Engineer licensed in the State of Illinois.
6. The Plat of Consolidation shall be revised to include a certificate for the Illinois Department of Transportation official. A Mylar copy of the revised plat shall be submitted prior to Village Council consideration.
7. A Plat of Easement shall be submitted to the Village with stormwater easements provided over all storm sewer, associated manhole structures as well as overland flow routes prior to issuance of the building permit.

7. All necessary construction permits shall be obtained by the petitioner prior to any site development activities.

BE IT FURTHER RESOLVED, that the Mayor and Village Clerk are authorized to sign the final plat of consolidation.

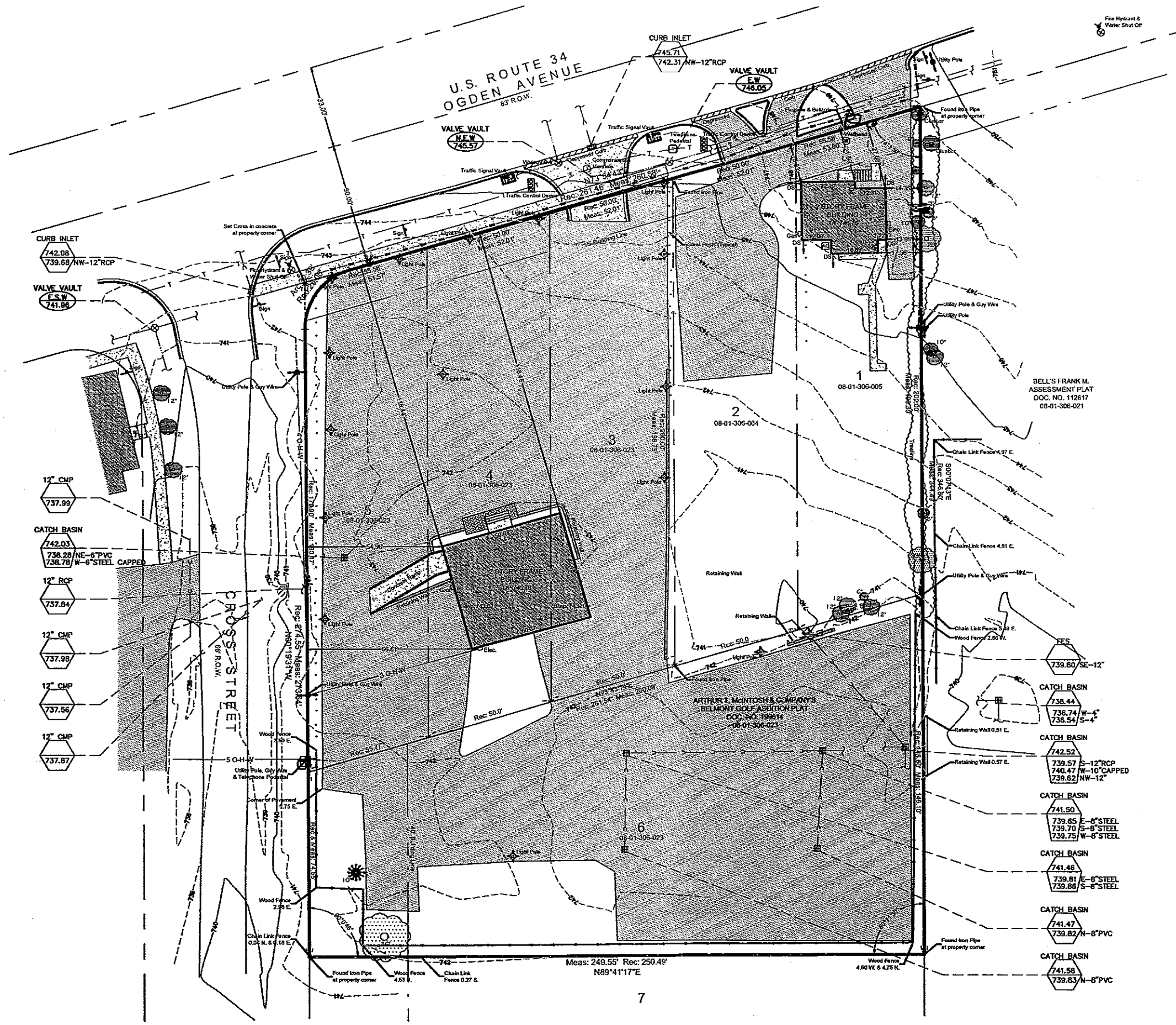
BE IT FURTHER RESOLVED, that this resolution shall be in full force and effect from and after its adoption in the manner provided by law.

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Mayor

Passed:

Attest: \_\_\_\_\_  
Village Clerk



LEGEND	
+ (600.5)	PROPOSED SPOT ELEV
+ 600.5	EXISTING SPOT ELEV
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
TF+ 000.00	TOP OF FOUNDATION
FF+ 000.00	FINISH FLOOR
[Pattern]	ASPHALT
[Pattern]	GRAVEL
[Pattern]	CONCRETE
[Pattern]	WOOD DECK
[Symbol]	UTILITY POLE
[Symbol]	TREE (with Diameter)
[Symbol]	STORM MANHOLE
[Symbol]	TELEPHONE PEDestal
[Symbol]	SANITARY MANHOLE
[Symbol]	SIGN
[Symbol]	CATCH BASIN
[Symbol]	TRAFFIC SIGNAL VAULT
[Symbol]	WELL HEAD
[Symbol]	TRAFFIC CONTROL DEVICE
[Symbol]	STREET LIGHT
[Symbol]	CURB INLET
[Symbol]	DOWNSPOUT
[Symbol]	FIRE HYDRANT & WATER SHUT-OFF
[Symbol]	FLARED END SECTION
[Symbol]	PLAQUE
[Symbol]	ELECTRIC METER
[Symbol]	GAS METER
[Symbol]	B-BOX
[Symbol]	STEEL POST
---	BOUNDARY
---	EASEMENT
---	BUILDING LINE
---	STORM SEWER
---	SANITARY SEWER
---	FENCE
---	ELECTRIC
---	OVERHEAD WIPES
---	GAS LINE
---	TELEPHONE

**LEGAL DESCRIPTION:**

LOTS 1 THROUGH 6 IN BLOCK 1 IN ARTHUR T. MCINTOSH AND COMPANY'S BELMONT GOLF ADDITION, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 1 AND THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 14, 1925 AS DOCUMENT 159614, IN DU PAGE COUNTY, ILLINOIS.

STATE OF ILLINOIS )  
 COUNTY OF DU PAGE ) S.S.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS STANDARDS FOR A BOUNDARY TOPOGRAPHIC SURVEY.

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS SURVEY WAS PERFORMED ON THE GROUND MARCH 25TH, 2008. GIVEN UNDER MY HAND AND SEAL THIS 27TH DAY OF MARCH, 2008.



WAYNE A. SCHÜTZ  
 PROFESSIONAL LAND SURVEYOR #035-2834  
 MY LICENSE EXPIRES 11-30-08  
 SIEBERT ENGINEERS INC. ILLINOIS PROFESSIONAL DESIGN FIRM  
 NUMBER 184-001134

**BENCHMARKS:**

TOWNSHIP: LISLE  
 BENCHMARK: LI12002  
 ELEVATION: 622.8125  
 VERTICAL DATUM: NGVD29  
 DESCRIPTION: A DISK MONUMENT LOCATED 200 FEET SOUTH OF THE CENTERLINE OF CURTIS ROAD AND ST. JOSEPH CREEK ESTABLISHED IN WEST CONCRETE WALK AT THE NORTHWEST CORNER OF THE BRIDGE OVER ST. JOSEPHS CREEK STAMPED "DU PAGE COUNTY MAPS AND PLATS".

TOWNSHIP: LISLE  
 BENCHMARK: LI03004  
 ELEVATION: 669.2786  
 VERTICAL DATUM: NGVD29  
 DESCRIPTION: A BRONZE DISK MONUMENT LOCATED AT THE SOUTHWEST CORNER OF OGDEN AVENUE AND THE EAST BRANCH DU PAGE RIVER ESTABLISHED IN CONCRETE STRUCTURE FOR U.S. ROUTE 34 (OGDEN AVENUE) BRIDGE OVER THE EAST BRANCH DU PAGE RIVER STAMPED "DU PAGE COUNTY MAPS AND PLATS".

**SITE BENCHMARK:**

CP#3: P.K. NAIL IN NORTHEAST CORNER OF ASPHALT.  
 ELEVATION: 742.40  
 CP#4: P.K. NAIL IN PARKING LOT SOUTH OF LOTS 1 AND 2  
 ELEVATION: 742.09

481 INDIANA AVENUE, SUITE 100  
 PEORIA, ILLINOIS 61654  
 ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-001134  
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**SIEBERT ENGINEERS INC.**

PROJECT	SHEET	NO.	ISSUED FOR	DATE
PARKING LOT ADDITION 2449 OGDEN AVENUE DOWNERS GROVE, IL 60515	1			
	1			

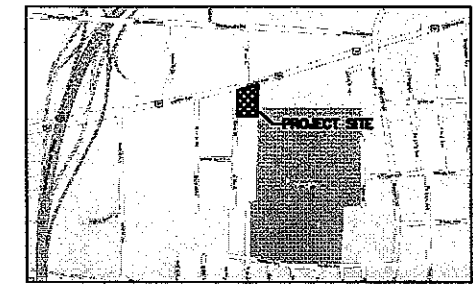
**BOUNDARY TOPOGRAPHIC SURVEY**

DRAWN BY: GCF  
 DESIGNED BY: GCF  
 CHECKED BY: WAS  
 NO. 1272008  
 03-27-08





# PREMIER AUTOHAUS DOWNERS GROVE, IL DUPAGE COUNTY FINAL ENGINEERING



LOCATION MAP NOT TO SCALE

### LEGAL DESCRIPTION

LOTS 1 THROUGH 6 IN BLOCK 1 IN ARTHUR T. McINTOSH AND COMPANY'S BELMONT GOLF ADDITION, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 1 AND THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 14, 1925 AS DOCUMENT 199614, IN DUPAGE COUNTY, ILLINOIS.

### INDEX OF DRAWINGS

- C1 SITE PLAN
- C2 EXISTING CONDITIONS AND DEMOLITION PLAN
- C3 GRADING AND EROSION CONTROL PLAN
- C4 UTILITY PLAN
- C5 STANDARD NOTES AND DETAILS
- C6 STANDARD DETAILS
- L1 LANDSCAPE PLAN
- PHOTOMETRIC PLAN

### SITE DATA:

**PTS:**  
 LOT 1 08-01-306-006  
 LOT 2 08-01-306-004  
 LOT 3 08-01-306-023  
 LOT 4 08-01-306-023  
 LOT 5 08-01-306-023  
 LOT 6 08-01-306-023

**AREA (LOTS 1 & 2):** 20,045.12 SQ FT / 0.46 AC  
**TOTAL SITE AREA:** 77,227 SQ FT / 1.77 AC

**CURRENT USE:** BUSINESS  
**ZONING:** B3-GENERAL SERVICES AND HIGHWAY BUSINESS

**PARKING SETBACKS:**  
 FRONT: 50' FROM OGDEN AVENUE E  
 SIDE: NONE  
 REAR: NONE

**ADDITIONAL PARKING:** 54 SPACES

**GREENSPACE REQUIREMENTS:**  
 TOTAL: 7723 SQ FT  
 FRONT YARD: 3862 SQ FT

**GREENSPACE PROVIDED:**  
 TOTAL: 8865 SQ FT  
 FRONT YARD: 4005 SQ FT

### UTILITY CONTACTS

**ELECTRIC:** COMED  
 1 N 423 SWIFT ROAD  
 LOMBARD, IL 60148  
 (630) 601-4855

**GAS:** NICOR  
 90 N. FAIRLEY RD.  
 GLEN ELLYN, IL 60137  
 (630) 829-2500  
 (630) 829-7243 - FAX

**TELEPHONE:** AT&T  
 GLEN ELLYN OFFICE  
 (630) 482-2484

**SEWER & WATER:** DOWNERS GROVE PUBLIC WORKS

### PERMIT LIST

VILLAGE OF DOWNERS GROVE (SPECIAL USE)  
 DOWNERS GROVE SANITARY DISTRICT (REVIEW ONLY)  
 ILLINOIS DEPARTMENT OF TRANSPORTATION

### CLIENT CONTACT:

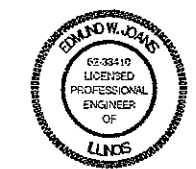
SONNY MEHRABAN  
 PREMIER AUTOHAUS  
 2501 W. OGDEN AVENUE  
 DOWNERS GROVE, IL 60515  
 T: (630) 434-6300

OPERATES 24 HOURS A DAY  
 365 DAYS A YEAR



CALL 1 (800) 892-0123  
 48 HOURS BEFORE YOU DIG  
 (EXCEPT MON, TUE, & WEDNESDAY)

I, EDWARD W. JOHNS, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT OF ILLINOIS.



ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 30900  
 MY REGISTRATION EXPIRES ON NOVEMBER 30, 2009 UNLESS THIS DOCUMENT BEARS THE ORIGINAL SIGNATURE AND IMPRESSED SEAL OF THE DESIGN PROFESSIONAL ENGINEER. IT IS NOT A VALID TECHNICAL SUBMISSION.

481 INDIANA AVENUE, SUITE 100  
 PHONE (800) 892-0123 FAX (630) 434-6300  
 IL PROFESSIONAL DESIGN FIRM NO. 184-001134  
 COPYRIGHT © 2005 ALL RIGHTS RESERVED

**SIEBERT ENGINEERS INC.**

NO.	DATE	ISSUED FOR

NO.	DATE	ISSUED FOR

**SITE PLAN**

DRAWN BY: DAM  
 DESIGNED BY: DAM  
 CHECKED BY: HH

**PREMIER AUTOHAUS  
 PARKING LOT ADDITION**

PROJECT: 2601 OGDEN AVE., DOWNERS GROVE, IL  
 SCALE: 1"=20'  
 SHEET: C1

T:\Projects\8290 Premier Auto\dwg\8290 Eng.dwg, C1, 6/6/2008 3:43:15 PM, dmcdellan, 1:2

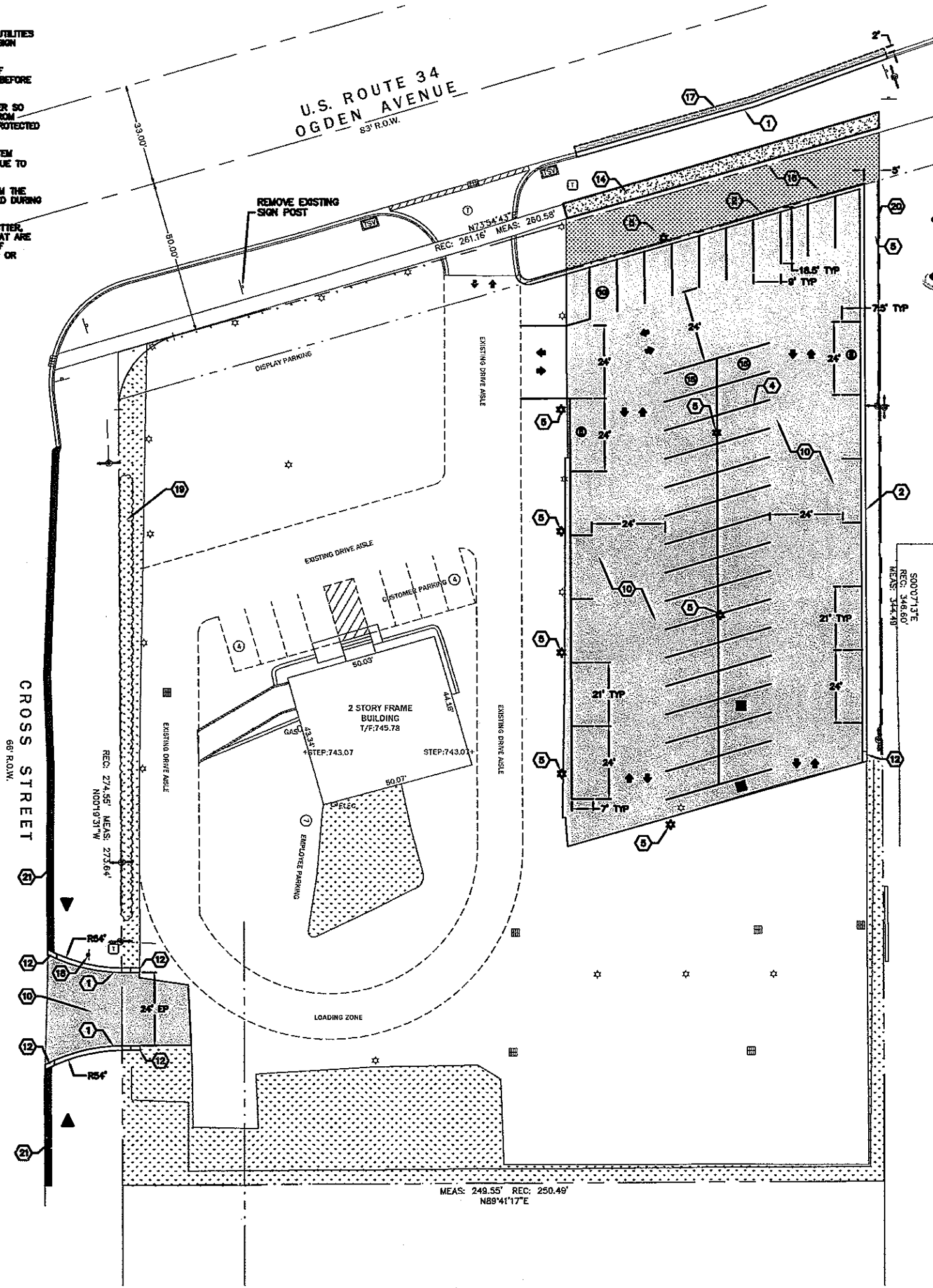
- ### GENERAL LAYOUT NOTES
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DESIGN ENGINEER OF DISCREPANCIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREIN BEFORE BEGINNING CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY, AND THAT THE ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE.
  - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
  - THE CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AS DIRECTED DURING CONSTRUCTION.
  - STREETS SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTER, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN KIND OR BETTER.

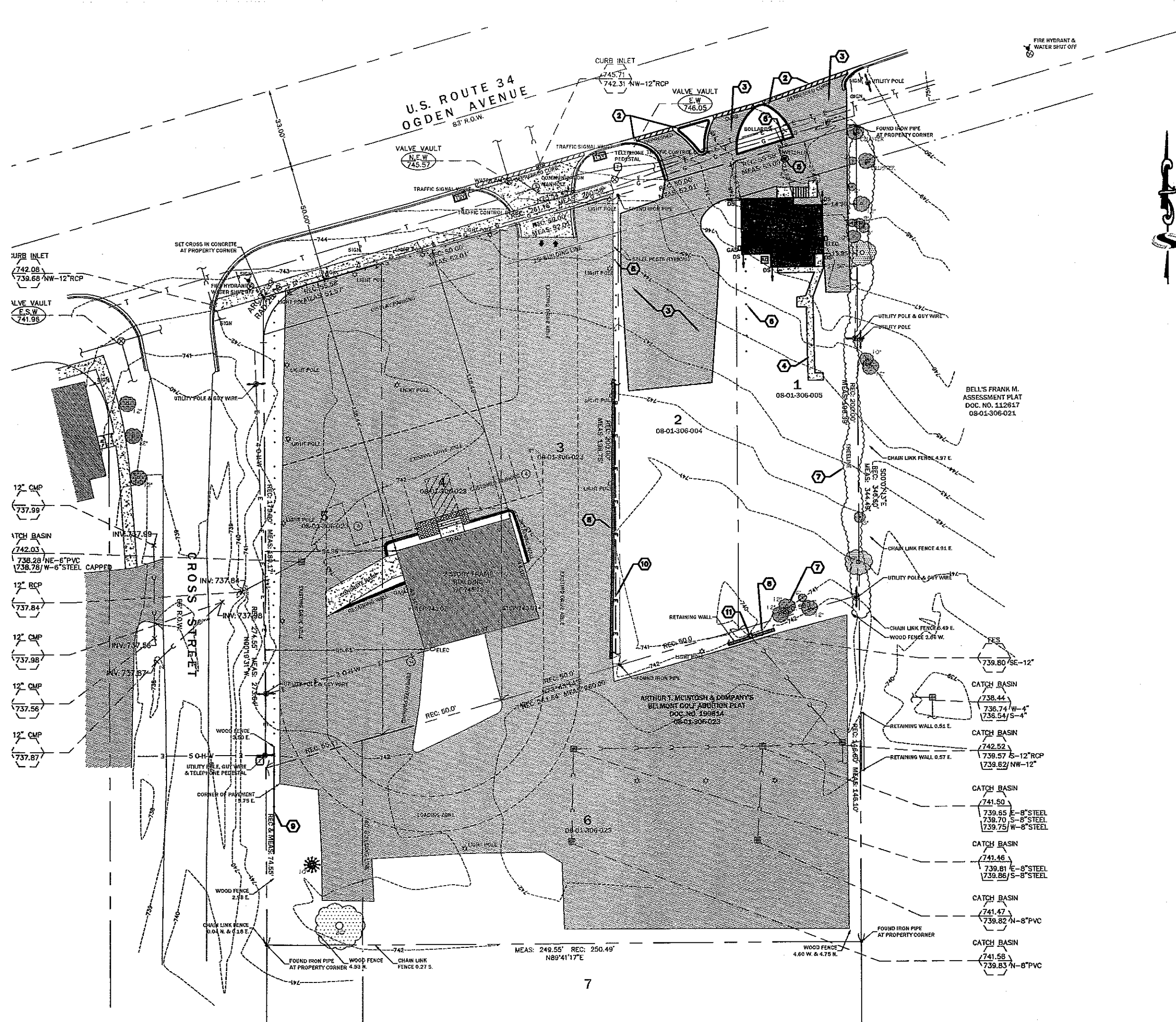
- ### SITE PLAN KEYNOTES
- 66.12 CONCRETE CURB AND GUTTER, STANDARD PITCH
  - 66.12 CONCRETE CURB AND GUTTER, REVERSE PITCH
  - 66.12 DEPRESSED CONCRETE CURB AND GUTTER
  - PARKING STALL STRIPING (TYPICAL)
  - LIGHT POLE
  - ASPHALT PAVEMENT: [Symbol]
  - TAPER CURB TO PAVEMENT ELEVATION - 3' TRANSITION
  - 8' SIDEWALK
  - GREENSPACE, SEE SHEET L1.
  - SAW CUT REMOVE AND REPLACE 2 FT OF HMA PAVEMENT ADJACENT TO THE NEW CURB AND GUTTER
  - RS-2 NO LEFT TURN TRAFFIC SIGN
  - 30" HIGH LANDSCAPE HEDGE - 138 LF, SEE SHEET L1
  - 8 FT WOODEN FENCE - 200 LF, SEE DETAIL SHEET C5
  - PROVIDE 2 FT WIDE GRAVEL SHOULDER. GRAVEL SHALL CONSIST OF CA-6 GRADE 8 STONE.

- ### E. PLAN NOTES
- DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.  
 CONTRACTOR MUST SECURE NECESSARY PERMITS PRIOR TO STARTING WORK.  
 THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.  
 THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.  
 CONTRACTOR SHALL INSTALL TRAFFIC CONTROL DEVICES PER I.D.O.T. STANDARDS AND SPECIFICATIONS.  
 TRAFFIC SIGNS SHALL BE INSTALLED AT 7' HIGH MEASURED FROM THE GROUND ELEVATION TO THE BOTTOM OF THE SIGN.  
 TEST DRIVES SHALL NOT BE ALLOWED ON CROSS STREET SOUTH OF THE SITE.  
 ALL VEHICLES SHALL BE UNLOADED ON THE SITE. LOADING AND UNLOADING OF VEHICLES SHALL NOT BE ALLOWED ON CROSS STREET.

### LEGEND

EXISTING	PROPOSED
[Symbol] LOTLINE	[Symbol] LOTLINE
[Symbol] BUILDING LINE	[Symbol] BUILDING LINE
[Symbol] EASEMENT	[Symbol] EASEMENT
[Symbol] 699 MINOR CONTOUR	[Symbol] 699 MINOR CONTOUR
[Symbol] 700 MAJOR CONTOUR	[Symbol] 700 MAJOR CONTOUR
[Symbol] STORM SEWER	[Symbol] STORM SEWER
[Symbol] SANITARY SEWER	[Symbol] SANITARY SEWER
[Symbol] COMBINED SEWER	[Symbol] COMBINED SEWER
[Symbol] WATERMAIN	[Symbol] WATERMAIN
[Symbol] GAS MAIN	[Symbol] GAS MAIN
[Symbol] TELEPHONE	[Symbol] TELEPHONE
[Symbol] ELECTRIC	[Symbol] ELECTRIC
[Symbol] TV	[Symbol] TV
[Symbol] CABLE TELEVISION	[Symbol] CABLE TELEVISION
[Symbol] SILT FENCE	[Symbol] SILT FENCE
[Symbol] LIGHT CABLE	[Symbol] LIGHT CABLE
[Symbol] INLET PROTECTION	[Symbol] INLET PROTECTION
[Symbol] B-BOX	[Symbol] B-BOX
[Symbol] VALVE BOX	[Symbol] VALVE BOX
[Symbol] VALVE VAULT	[Symbol] VALVE VAULT
[Symbol] FIRE HYDRANT	[Symbol] FIRE HYDRANT
[Symbol] WELL	[Symbol] WELL
[Symbol] INLET	[Symbol] INLET
[Symbol] CATCH BASIN	[Symbol] CATCH BASIN
[Symbol] STORM MANHOLE	[Symbol] STORM MANHOLE
[Symbol] SANITARY MANHOLE	[Symbol] SANITARY MANHOLE
[Symbol] TELEPHONE BOX	[Symbol] TELEPHONE BOX
[Symbol] GAS VALVE	[Symbol] GAS VALVE
[Symbol] ELECTRIC MANHOLE	[Symbol] ELECTRIC MANHOLE
[Symbol] UTILITY POLE	[Symbol] UTILITY POLE
[Symbol] GUY WIRE	[Symbol] GUY WIRE
[Symbol] STREET LIGHT	[Symbol] STREET LIGHT
[Symbol] TRAFFIC SIGNAL	[Symbol] TRAFFIC SIGNAL
[Symbol] ROAD SIGN	[Symbol] ROAD SIGN
[Symbol] BOLLARD	[Symbol] BOLLARD
[Symbol] TRAFFIC DIRECTION ARROW	[Symbol] TRAFFIC DIRECTION ARROW
[Symbol] EDGE OF PAVEMENT	[Symbol] EP
[Symbol] TOP OF CURB	[Symbol] TC
[Symbol] BACK OF CURB	[Symbol] BC
[Symbol] GUTTER	[Symbol] G
[Symbol] SPOT ELEVATION	[Symbol] [Elev. Value]
[Symbol] FLOW DIRECTION	[Symbol] [Arrow]
[Symbol] DOWN SPOUT	[Symbol] DS
[Symbol] FLARED END SECTION	[Symbol] [Symbol]
[Symbol] KEYNOTE	[Symbol] [Symbol]
[Symbol] GREENSPACE	[Symbol] [Symbol]





- DEMOLITION PLAN KEYNOTES**
- 1 REMOVE EXISTING STRUCTURE, SHUT-OFF UTILITY SERVICES, COORDINATE WITH UTILITY COMPANIES
  - 2 REMOVE CURB
  - 3 REMOVE ASPHALT
  - 4 REMOVE CONCRETE
  - 5 REMOVE WELLHEAD, CAP WELL PER LOCAL ORDINANCES
  - 6 REMOVE BOLLARDS
  - 7 REMOVE TREES/VEGETATION
  - 8 REMOVE RETAINING WALL
  - 9 REMOVE FENCE
  - 10 REMOVE ELECTRIC CONDUIT, RELOCATE AS REQUIRED
  - 11 REMOVE FLARED END SECTION

4851 INDIANA AVENUE, SUITE 100  
 LAUREL, ILLINOIS 62530-2315  
 PHONE (618) 841-8115 FAX (618) 824-1545  
 IL PROFESSIONAL DESIGNER REG. NO. 184-001134  
 ALL RIGHTS RESERVED

**SIEBERT ENGINEERS INC.**

NO.	ISSUED FOR	DATE

NO.	ISSUED FOR	DATE

NO.	ISSUED FOR	DATE

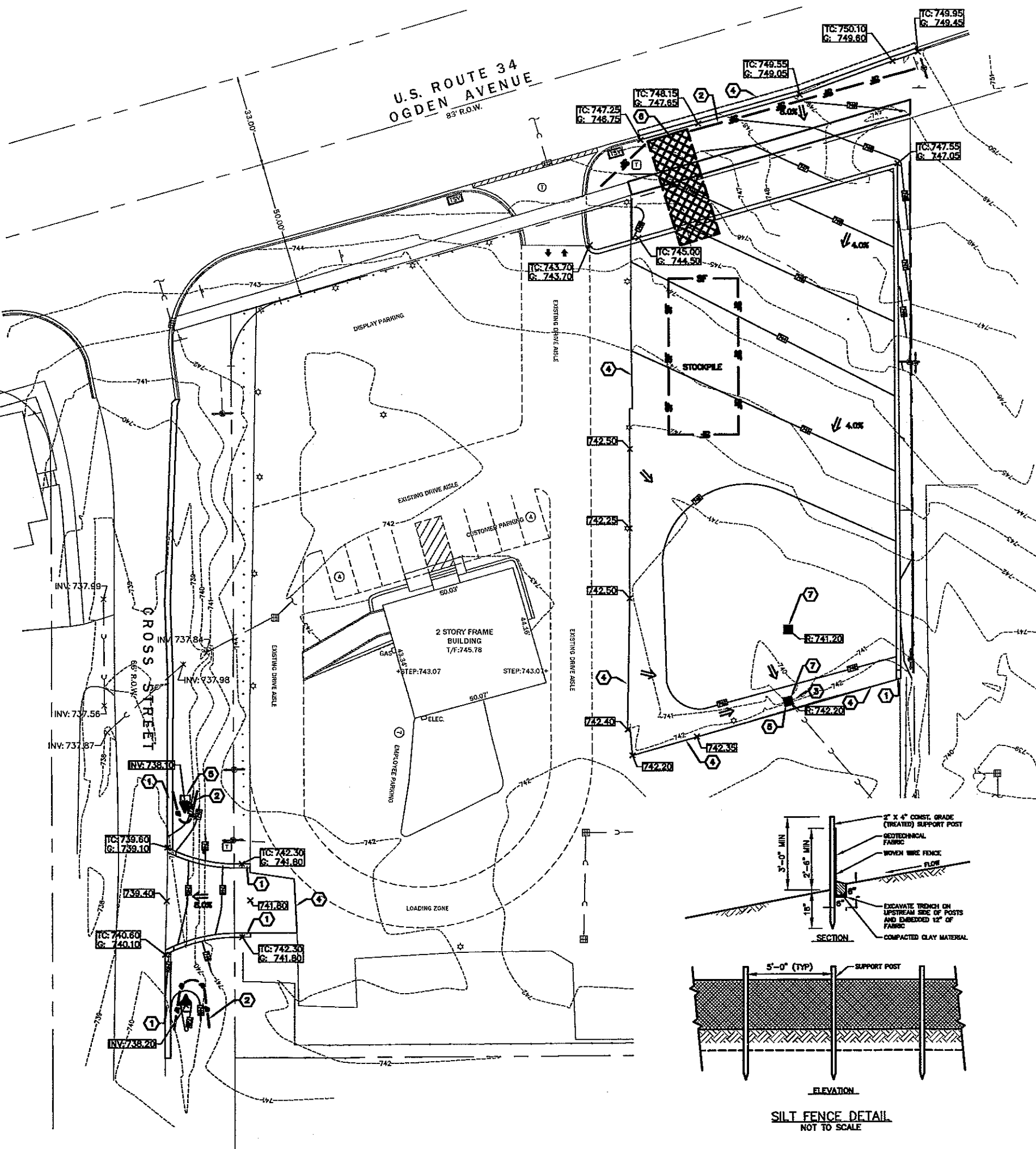
**PROJECT**  
 8280  
**SCALE**  
 1"=20'  
**SHEET**  
 C2

**PROJECT TITLE**  
 EXISTING CONDITIONS AND DEMOLITION PLAN

**PROJECT**  
 PREMIER AUTOHAUS PARKING LOT ADDITION  
 2501 OGDEN AVE., DOWNERS GROVE, IL

**PROJECT**  
 8290  
**SCALE**  
 1"=20'  
**SHEET**  
 C2

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- GRADING PLAN NOTES:**
- WHERE OFFSITE GRADING IS REQUIRED TO ACHIEVE A SMOOTH TRANSITION BETWEEN PROPOSED AND EXISTING GRADES, CONTRACTOR SHALL NOTIFY AND OBTAIN PERMISSION FROM AFFECTED PROPERTY OWNERS. DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL AND SOIL.
  - STRUCTURAL CALCULATIONS AND CERTIFICATION FOR THE RETAINING WALL SHALL BE SUBMITTED BY THE MANUFACTURER.
- DOWNERS GROVE EROSION CONTROL NOTES:**
- THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE.
  - STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN SPECIAL MANAGEMENT AREAS.
  - PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THE SITE SHALL BE PROTECTED FROM EROSION IF THE VOLUME, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF AREA TEMPORARILY INCREASED DURING CONSTRUCTION.
  - SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY SOIL STOCKPILE IF IT IS TO REMAIN IN PLACE MORE THAN THREE DAYS.
  - STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
  - THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN FIFTEEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN FIFTEEN DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
  - WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DOWATERING SHALL BE FILTERED.
  - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
  - TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE VILLAGE OF DOWNERS GROVE STORMWATER AND FLOOD PLAN ORDINANCES SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.

**CERTIFICATION STATEMENT:**

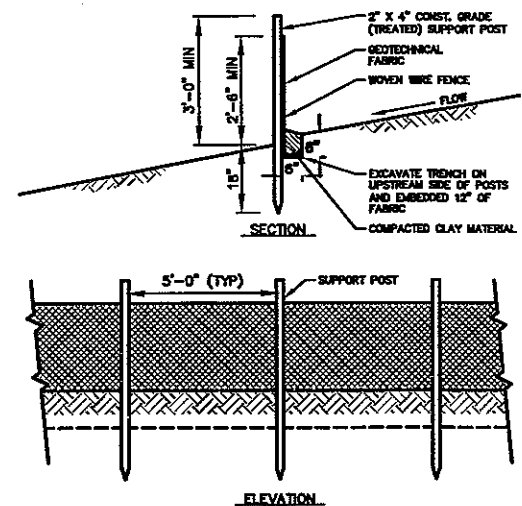
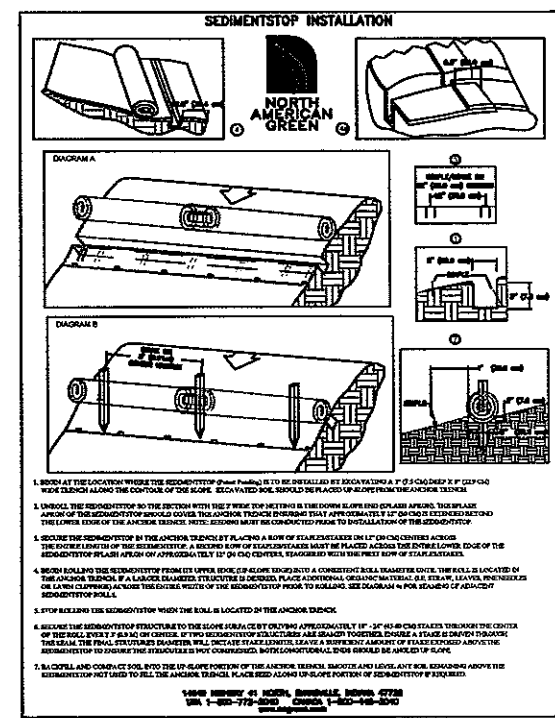
ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH NPDES PERMIT NO. LR10 PARAGRAPH 1 SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICE AT THE SITE IDENTIFIED IN THE STORMWATER POLLUTION PREVENTION PLAN

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION."

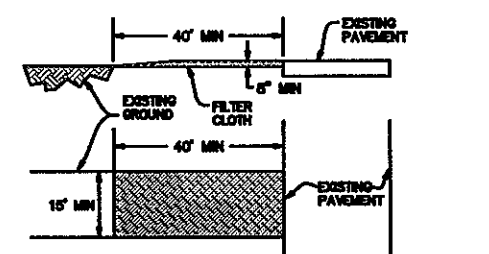
SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

- SITE DESCRIPTION:**
- NATURE OF CONSTRUCTION ACTIVITIES: DEMOLISH EXISTING STRUCTURE, DEVELOP INTO A CAR DEALERSHIP PARKING LOT.
  - SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES: INSTALL SEDIMENT AND EROSION CONTROL MEASURES, GRUBBING, EXCAVATION, GRADING, PAVEMENT
  - SITE AREA—1.77 AC, DISTURBED AREA—0.46 AC
  - POST DEVELOPMENT RUNOFF COEFFICIENT, C=0.92
  - EXISTING SOILS: 43% PECTONE SILTY CLAY  
32% MARKHAM SILT LOAM  
25% ELIJAH SILT LOAM
  - LOCAL RECEIVING WATERS: EAST BRANCH DUPAGE RIVER, ILLINOIS RIVER
  - ULTIMATE RECEIVING WATERS: MAIN BRANCH DUPAGE RIVER, ILLINOIS RIVER
  - NO WETLANDS EXIST ON THE PROPERTY.
- EROSION AND SEDIMENT CONTROLS:**
- STABILIZATION PRACTICES: SILT FENCE, PERMANENT SEEDING
  - STRUCTURAL PRACTICES: STORM INLET FILTER WATTLES, RE-RAP
- TEMPORARY CONTROLS (SILT FENCE) SHALL BE IN PLACE AND OPERATIONAL PRIOR TO GRUBBING, AND SHALL BE ACTIVELY MAINTAINED THROUGHOUT EXCAVATION, GRADING, PAVEMENT CONSTRUCTION. SILT FENCE SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION IS REACHED AND REMOVED AFTER FINAL STABILIZATION.**
- TEMPORARY STORM INLET PROTECTION (WATTLES) SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES. WATTLES SHALL BE MAINTAINED AND CLEANED OF DEBRIS AND SILTATION AFTER MAJOR STORMS.**
- SEDIMENTATION AND EROSION CONTROL MEASURES MUST COMPLY WITH THE LATEST EDITION OF THE DUPAGE COUNTYWIDE STORMWATER ORDINANCE AS ADOPTED BY THE VILLAGE.**
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATION IN ILLINOIS URBAN MANUAL REVISED FEBRUARY 2002.**
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.**
- DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.**
- AREAS OF SITE LEFT UNDISTURBED BY CONSTRUCTION WILL BE OVER SEED BY OWNER AS NEEDED TO ESTABLISH VEGETATIVE COVER WHICH WOULD PRECLUDE EROSION.**
- PROJECT SHALL BE CONSTRUCTED IN ONE PHASE.**

- GRADING PLAN KEYNOTES:**
- TAPER CURB TO PAVEMENT ELEVATION—3" CURB TRANSITION
  - SILT FENCE
  - BLOCK RETAINING WALL
  - MATCH EXISTING GRADE
  - STRAW WATTLES — SEE DETAIL BELOW
  - CONSTRUCTION ENTRANCE AT EXISTING DRIVE APPROACH
  - INLET BASKET — SEE DETAIL ON SHEET C6



**DETAIL: STRAW WATTLE**  
NOT TO SCALE



**STONE SIZE — USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.**

**THICKNESS — NOT LESS THAN 8 INCHES.**

**FILTER CLOTH — SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.**

**MAINTENANCE — THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.**

**WASHING — WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.**

**PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.**

**A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.**

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**S I E B E R T**  
**E N G I N E E R S**

DRAWN BY	DAW	DESIGNED BY	DAW	CHECKED BY	HH
DATE	5/27/08	VILLAGE AND IDOT COMMENTS	4/23/08	ISSUED FOR	NO.
DATE	4/23/08	VILLAGE REVIEW	4/23/08	ISSUED FOR	NO.

**PROJECT**  
PREMIER AUTOHAUS  
PARKING LOT ADDITION  
2501 OGDEN AVE., DOWNERS GROVE, IL

**SHEET TITLE**  
GRADING AND  
EROSION CONTROL PLAN

**PROJECT**  
8280

**SCALE**  
1"=20'

**SHEET**  
C3

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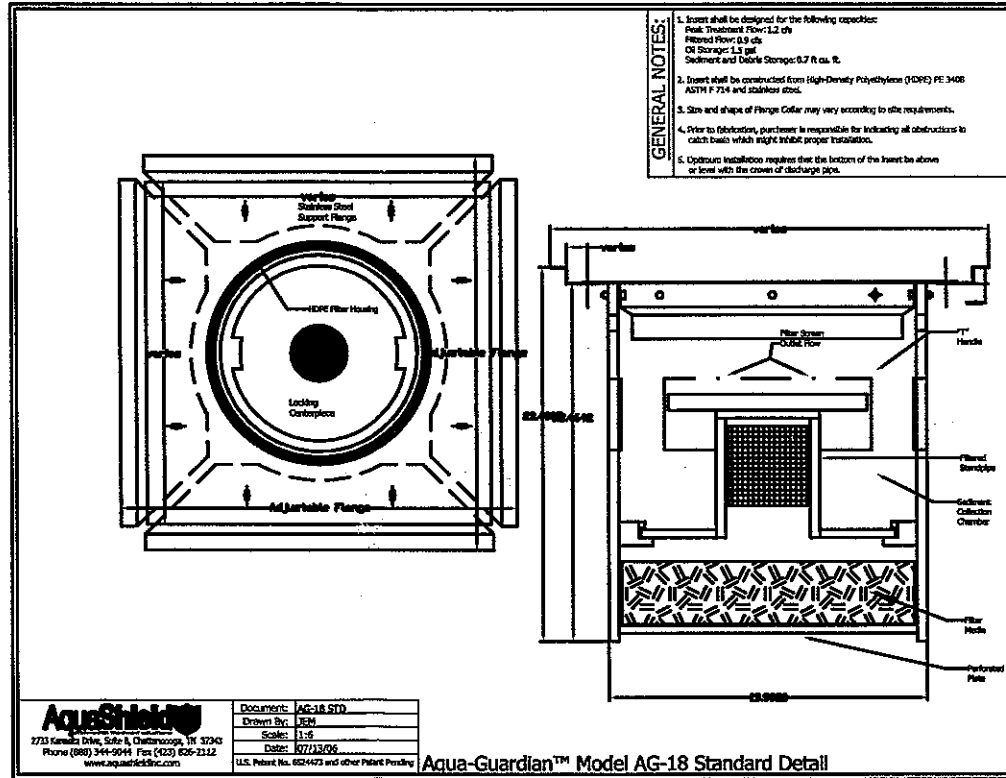
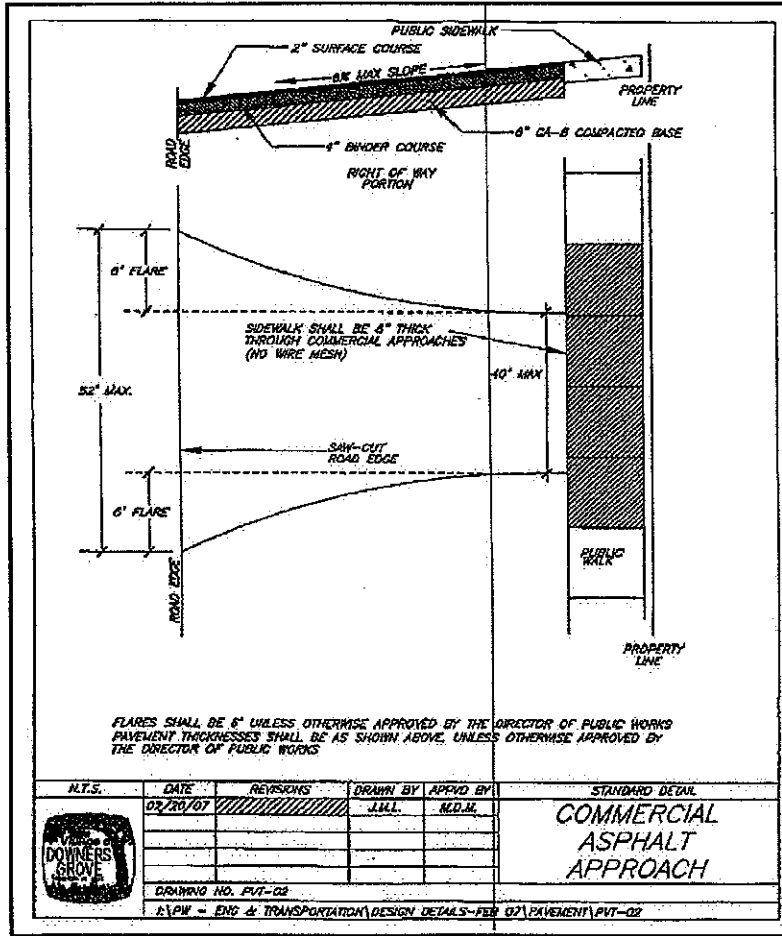






**INLET BASKET MAINTENANCE SCHEDULE:**

1. INSPECT UNIT MONTHLY AND AFTER SIGNIFICANT STORM EVENTS.
2. CHECK ACCUMULATION OF OILS, SEDIMENTS AND FLOATING DEBRIS. USE A TAPE MEASURE TO GAUGE THE AMOUNT OF SEDIMENT IN THE COLLECTION AREA. WHEN SEDIMENT REACHES THE BOTTOM OF THE PERIMETER FILTER SCREEN OUTLETS, THE UNIT SHALL BE SERVICED. REMOVE THE SEDIMENT AND DEBRIS ACCUMULATED INSIDE THE CHAMBER WITH A WET/DRY SHOP-VAC.
3. THE LOCKING CENTERPIECE ASSEMBLY IS REMOVED BY ROTATING THE ASSEMBLY WITH THE "T" HANDLE ON TOP OF FILTER SCREEN STANDPIPE. ONCE THE CENTERPIECE ASSEMBLY IS REMOVED, THE FILTER BAG WILL BE VISIBLE SO THAT IT CAN BE PULLED FROM THE UNIT. CLEAN OUT RESIDUAL SEDIMENT IN THE FILTER AREA AND PLACE A NEW FILTER BAG IN THE UNIT. PRESS DOWN ON ALL SIDES OF THE NEWLY INSTALLED FILTER TO ENSURE GOOD CONTACT WITH THE OUTSIDE WALLS.
4. THE CENTERPIECE ASSEMBLY IS REPLACED AND ROTATED (OR LOCKED) UNDER THE FITTED GUIDES.
5. REPLACE THE SURFACE GRATE COVER TO ITS NORMAL POSITION.



**INLET BASKET DETAIL**

**GENERAL LAYOUT NOTES**

1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DESIGN ENGINEER OF DISCREPANCIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREIN BEFORE BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY, AND THAT THE ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE.
4. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
5. THE CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AS DIRECTED DURING CONSTRUCTION.
6. STREETS SURFACES, DRIVEWAYS, CURBS, GUTTERS AND GUTTER, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN KIND OR BETTER.

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NO.	ISSUED FOR	DATE

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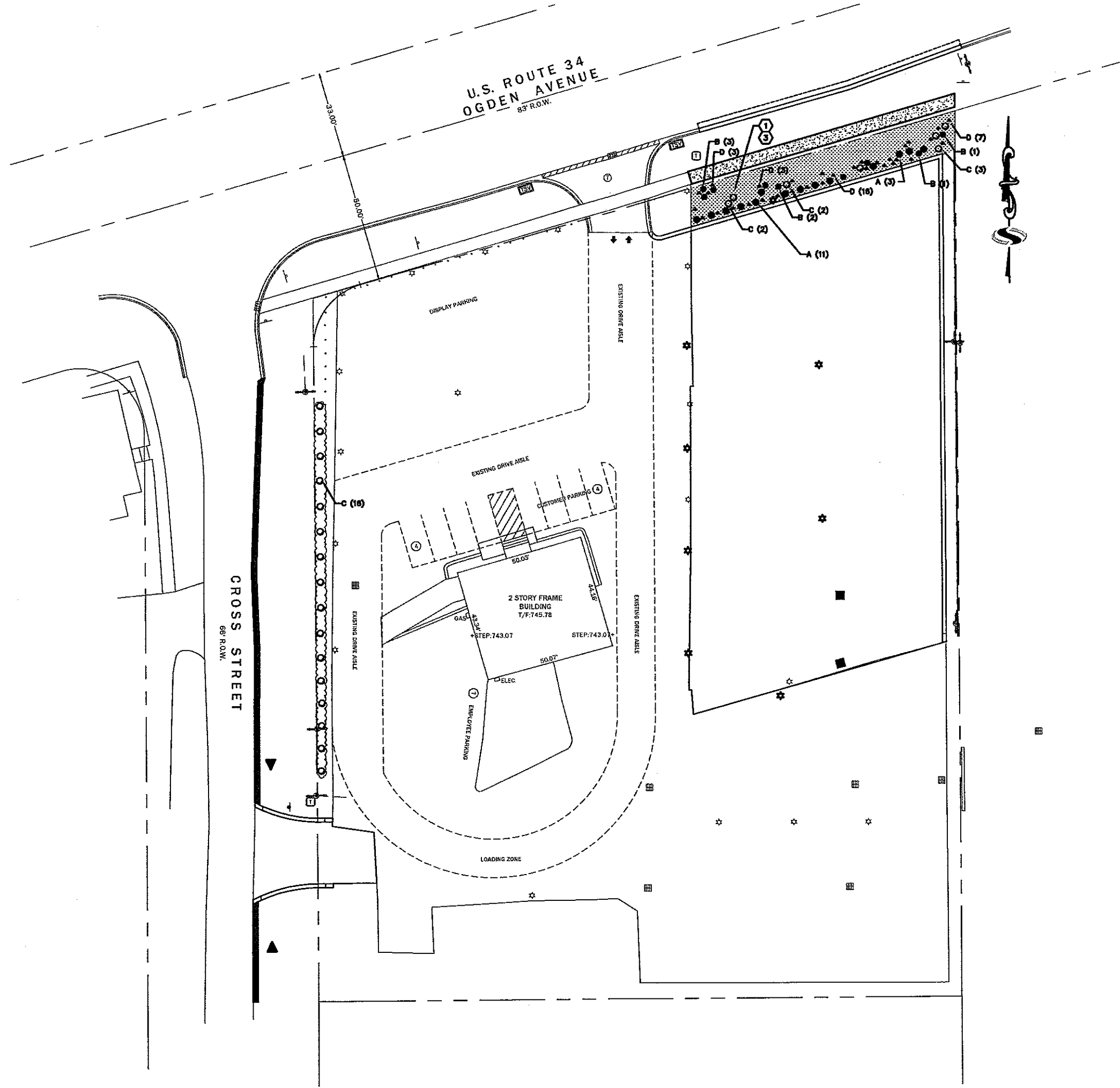
PROJECT: 8280  
SCALE: 1"=2'-0"  
SHEET: C6

PROJECT TITLE: **PREMIER AUTOHAUS PARKING LOT ADDITION**  
2501 OGDEN AVE., DOWNERS GROVE, IL

DRAWN BY: DAM  
DESIGNED BY: DAM  
CHECKED BY: HH

STANDARD DETAILS

PROJECT: 8280  
SCALE: 1"=2'-0"  
SHEET: C6



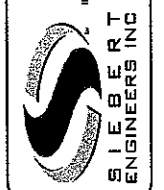
**LANDSCAPING KEYNOTES**

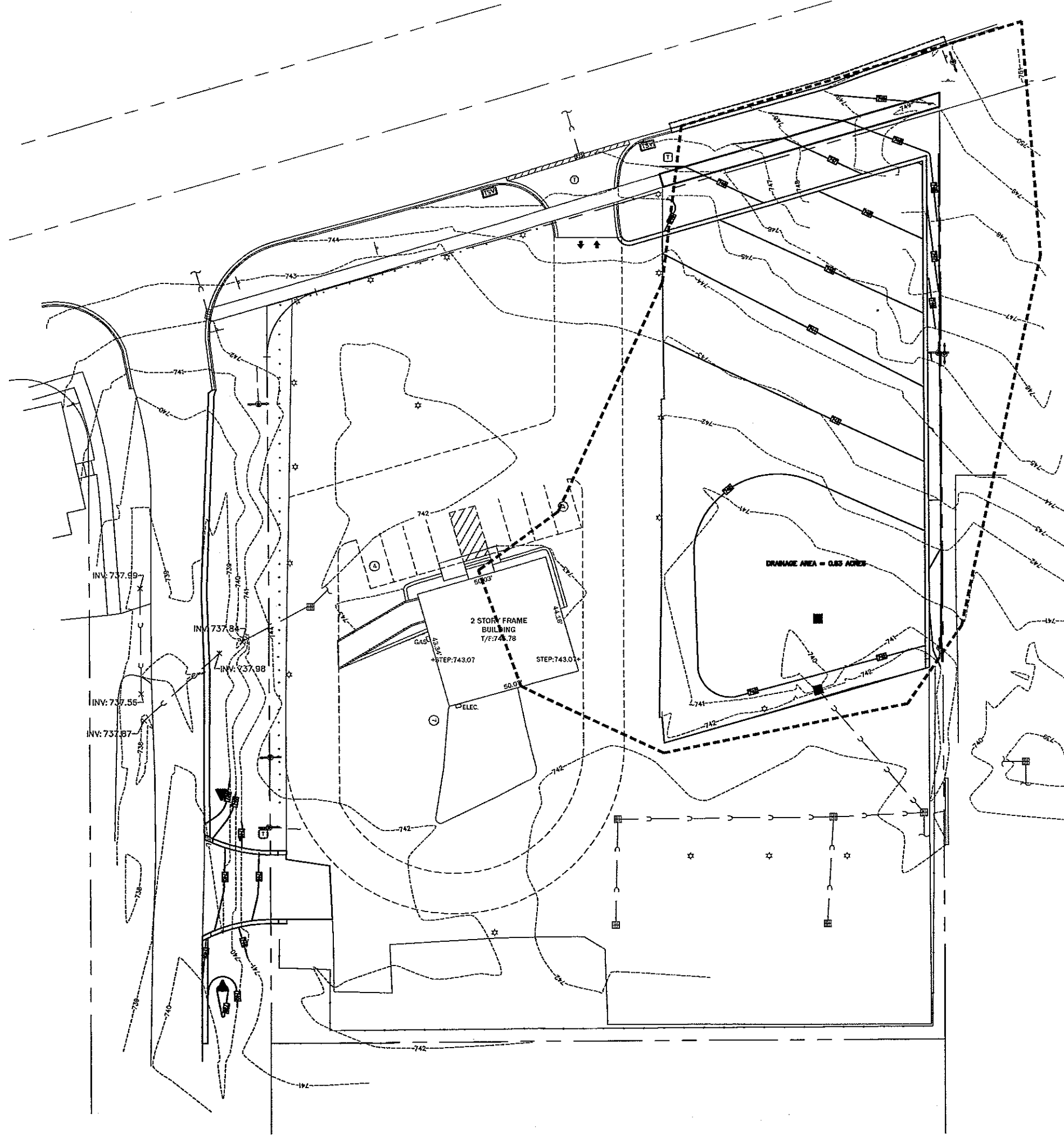
① MULCH PLANTING AREA (TYP)  
 ② SEED BLANKET (TYP)

CODE	QUANTITY	PLANT NAME
A	14	TECHNY ARBORVITAE
B	7	DWARF BURNING BUSH
C	23	GREEN VELVET BOXWOOD
D	26	KARL FOERSTER GRASS

<b>PROJECT</b> 8290	<b>PREMIER AUTOHAUS PARKING LOT ADDITION</b> 2601 OGDEN AVE., DOWNERS GROVE, IL	<b>SHEET TITLE</b> LANDSCAPE PLAN	<b>481 ILLINOIS AVENUE, SUITE 400 DOWNS GROVE, ILLINOIS 60534 PHONE (630) 824-1818, FAX (630) 824-1845 IL PROFESSIONAL DESIGN FIRM NO. 14-001154 COPYRIGHT © 2008 ALL RIGHTS RESERVED</b>
<b>SCALE</b> 1"=20'	<b>PROJECT</b> 8290	<b>DATE</b> 6/6/08	<b>ISSUED FOR</b> NO.
<b>SHEET</b> L1	<b>DESIGNED BY</b> DAM	<b>DATE</b> 4/23/08	<b>ISSUED FOR</b> NO.
	<b>CHECKED BY</b> HH	<b>DATE</b> 4/23/08	<b>ISSUED FOR</b> NO.

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PROJECT 2890	PROJECT TITLE <b>PREMIER AUTOHAUS PARKING LOT ADDITION</b> 2891 OGDEN AVE., DOWNERS GROVE, IL	DATE 5/27/08	DATE 4/23/08	DATE 4/23/08
SCALE 1"=20'		DESIGNED BY DAM	VILLAGE AND IDOT COMMENTS	
SHEET 1 OF 1		CHECKED BY HH	VILLAGE REVIEW	ISSUED FOR
			NO.	NO.

PROJECT: 8290 Premier Auto[dwg]8290 Eng.dwg, DRNG MAP, 6/6/2008 3:50:41 PM, dmccollan, 1:2

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