# VILLAGE OF DOWNERS GROVE REPORT FOR THE VILLAGE COUNCIL MEETING SEPTEMBER 16, 2008 AGENDA

SUBJECT:	TYPE:	SUBMITTED BY:
Special Use with Zoning	Resolution	
Variation, Final Plat of	✓ Ordinance	
Consolidation for 2501 Ogden	Motion	Tom Dabareiner, AICP
Avenue	Discussion Only	Community Development Director

# **SYNOPSIS**

A special use ordinance has been prepared for the parking lot expansion of an existing automobile dealership with zoning variation for the transitional yard setback for the property at 2501 Ogden Avenue. An ordinance has been prepared restricting right turns from the subject property to Cross Street. A resolution has been prepared authorizing the final plat of subdivision to consolidate three existing parcels into one.

# STRATEGIC PLAN ALIGNMENT

The Five Year Plan and Goals for 2007-2012 identified *Vibrant Major Corridors*. Supporting this goal are the objectives *More Attractive Commercial Corridors and Easy Access and Traffic Functionality*.

# **FISCAL IMPACT**

N/A.

# **UPDATE & RECOMMENDATION**

This item was discussed at the September 9, 2008 Workshop. Staff recommends approval on the September 16, 2008 active agenda.

# **BACKGROUND**

The petitioner, owner of Premier AutoHaus automobile dealership located at the southeast corner of Cross Street and Ogden Avenue at 2501 Ogden Avenue has acquired the property at 2449 Ogden Avenue. The property is located immediately east of the existing automobile dealership. The 19,822 square foot property is zoned B-3 General Services and Highway Business and consists of two lots. The property is improved with a vacant single family residence and was previously used as a beauty salon.

The petitioner is proposing to expand the existing automobile dealership by demolishing the single family house and constructing a new parking lot for additional vehicle parking and display. The petitioner is requesting approval of the Special Use for parking lot expansion with a Zoning Variation for a transitional yard setback to construct the parking lot five feet from the east property line where a ten-foot setback is required. The proposed setback will match the existing conditions. The petitioner is also requesting approval of the Final Plat of Consolidation to consolidate the three existing lots into one.

The petitioner would eliminate three existing curb cuts currently located at 2449 Ogden Avenue to accommodate the parking lot expansion. The new parking lot would be interconnected with the existing parking and utilize the existing Ogden Avenue access driveway where a traffic light currently exists.

The petitioner is also proposing a new access driveway on Cross Street to be located 45 feet north of the south property line. To minimize impact on the residential neighborhood south of the property, the Cross Street access driveway will have full inbound access but will have limited outbound access for right-turn only northbound traffic towards Ogden Avenue. A "no-left turn" traffic sign will be installed on the

property at the driveway to discourage southbound travel.

The petitioner is proposing an underground detention facility under the new parking lot to maintain the allowable stormwater runoff rate. At this time, the petitioner is not required to complete any street improvements along Cross Street. The petitioner will pay a fee-in-lieu of the street improvements for pavement widening, storm sewer, curb and gutter installation along the east side of Cross Street adjacent to the west property line. The street improvements will be completed at the time the property west of Cross Street is redeveloped when the funds for complete street improvements are collected.

The petitioner will install approximately 1,850 square feet of new landscaped green space along the Ogden Avenue corridor adjacent to the new parking lot. A new landscape hedge will also be installed along Cross Street to screen the existing parking lot. With the new landscaped area, the property will exceed the requirement for landscaped green space for the entire site. The petitioner will install a new sidewalk along the Ogden Avenue right-of-way adjacent to the new parking lot. The new portion will connect to the existing sidewalk already in place along the existing parking lot. The bulk characteristics of the development are summarized in the table below:

Premier AutoHaus	Required	Proposed
Parking Lot Expansion		
Front Setback	50 feet from center line of	64 feet from center line of Ogden
(North-Ogden Avenue)	Ogden Avenue right-of-way	Avenue right-of-way
Transitional yard (East)	10 feet	5 feet
Landscaped green space (total)	7,722 sq. ft. (10%)	10,679 sq. ft. (13.8%)
Landscape green space (front yard)	3,862 sq. ft. (50% of total)	4,007 sq. ft.
		(51.8% of required total)
Parking Spaces	N/A	52

The proposed plan complies with the Ogden Avenue Master Plan as shown in the table below:

Ogden Avenue Master Plan	Proposal – 2501 Ogden Avenue
Improve the parkway with new trees,	The petitioner will install new landscaping along the Ogden Avenue
plantings, signage, and sidewalks.	right-of-way adjacent to the new parking lot.
Reduce curb cuts along Ogden Avenue.	The petitioner will remove three existing curb cuts on Ogden Avenue
	previously utilized by the commercial use at 2449 Ogden Avenue.
Improve landscaping in and around	The petitioner will install new landscaping along the Ogden Avenue
parking lots.	right-of-way adjacent to the new parking lot. A new landscape hedge
	will also be installed along Cross Street to screen the existing parking
	lot.
Encourage redevelopment of sites with	The petitioner will demolish the existing vacant building currently
buildings in poor physical condition or	located at 2449 Ogden Avenue, remove existing curb cuts, and construct
whose size/layout makes them	a new parking lot for additional vehicle display for the Premier
inefficient or unusable.	AutoHaus car dealership.
Provide interconnected sidewalks along	The petitioner will install a new sidewalk along the entire length of the
the entire length of the corridor.	Ogden Avenue right-of-way adjacent to the new parking lot.

The Plan Commission considered the petition at its August 4, 2008 meeting and found the project met the standards for approval. Based on its findings, the Commission recommended unanimous approval of the Special Use with Zoning Variation and the Final Plat of Consolidation. Staff concurs with the Plan Commission recommendation.

# VILLAGE OF DOWNERS GROVE COUNCIL ACTION SUMMARY

INITIATED:	Village Attorney	DATE: _	September	16, 2008
	(Name)			
RECOMMENI	OATION FROM:(I	Plan Commission Board or Department)	_ FILE REF:	PC-19-08
NATURE OF A	CTION:	STEPS NEEDED	TO IMPLEME	NT ACTION:
X Ordinance	e	Motion to Adopt "A SPECIAL USE FO		AUTHORIZING A EN AVENUE TO
Resolution	n	PERMIT AN AUTO ZONING VARIATI	OMOBILE DEA	LERSHIP WITH A
Motion				
Other				
will authorize a sp variation.	f August 4, 2008, the Pla	n Commission recommenden Avenue to permit an	-	

# ORDINANCE NO.

# AN ORDINANCE AUTHORIZING A SPECIAL USE FOR 2501 OGDEN AVENUE TO PERMIT AN AUTOMOBILE DEALERSHIP WITH A ZONING VARIATION

WHEREAS, the following described property, to wit:

Lots 1 through 6 in Block 1 in Arthur T. McIntosh and Company's Belmont Golf Addition, being a subdivision in the Southwest Quarter of Section 1 and the Northwest Quarter of Section 12, Township 38 North, Range 10, East of the Third Principal Meridian, according to the plat thereof recorded September 14, 1925 as Document 199614, in DuPage County, Illinois.

Commonly known as 2501 Ogden Avenue, Downers Grove, IL (PIN 08-01-306-023) and 2449 Ogden Avenue, Downers Grove IL (PIN 08-01-306-004,-005)

(hereinafter referred to as the "Property") is presently zoned in the "B-3, General Services and Highway Business District" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28-609(c) of the Zoning Ordinance be granted to allow an automobile dealership.

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use be granted to allow an automobile dealership including the following Zoning Variation:

1. Variation from Chapter 28, Section 28-1113 (h); *Transitional Yard*, to reduce the transitional yard setback along the east property line from minimum ten (10) foot setback to a minimum of five (5) foot setback.

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing on August 4, 2008 respecting said petition and has made its findings and recommendations, all in accordance with the laws of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the requested Special Use with Zoning Variation, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. The proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

- 2. The proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.
- 3. The proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.
- 4. The proposed use is one of the special uses specifically listed for the district in which it is to be located and, if approved with restrictions as set forth in this ordinance, will comply with the provisions of the Downers Grove Zoning Ordinance regulating this Special Use.

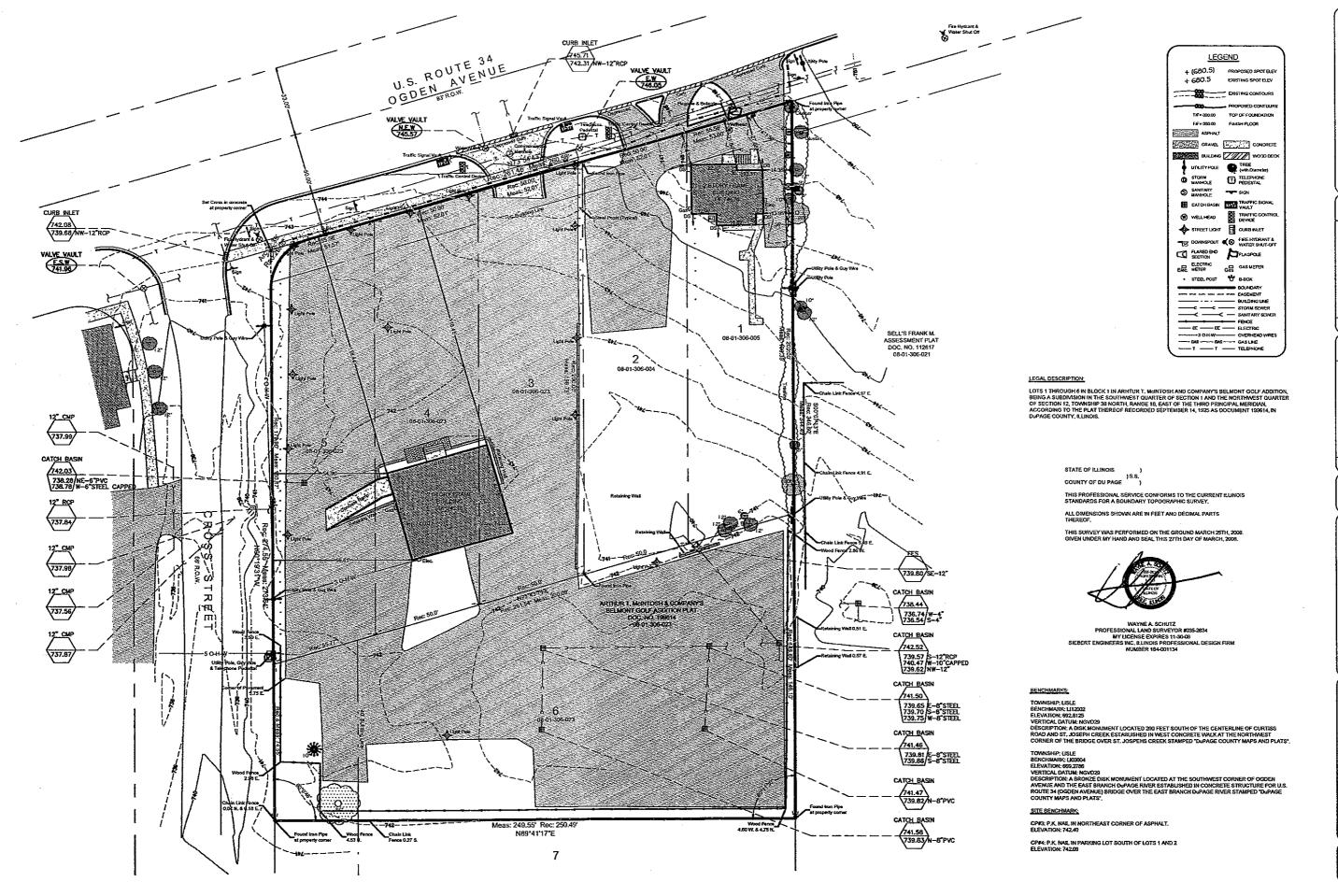
NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

<u>SECTION 1</u>. That a Special Use of the Property is hereby granted to permit an automobile dealership including the requested Variation as outlined above.

<u>SECTION 2.</u> This approval is subject to the following conditions:

- 1. The proposed Lot Consolidation, Special Use and Zoning Variation for the transitional yard setback shall substantially conform to the Boundary and Topographic Survey, Plat of Consolidation and engineering plans and specifications prepared by Siebert Engineers Inc. attached to this as Group Exhibit A and incorporated herein by reference except as such plans may be modified to conform to Village codes, ordinances, and policies.
- 2. A separate engineer's cost estimate shall be provided for the installation of complete pavement widening, storm sewer, curb and gutter along the east side of Cross Street adjacent to the west property line. Upon staff's approval of the cost estimate, a fee-in-lieu of the improvements shall be required prior to issuance of the building permit.
- 3. The proposed six-foot solid fence along the east property line shall tie into the existing six foot fence.
- 4. The proposed lighting plan shall indicate a 0.1 foot candle or less along the entire length of the east property line adjacent to the new parking lot and shall include a table with foot candle average, minimum, and average to minimum ratio in compliance with the Section 28.1406 of the Zoning Ordinance.
- 5. The plans for the proposed light poles shall be prepared, signed and ink stamped by an Architect or an Engineer licensed in the State of Illinois.
- 6. The Plat of Consolidation shall be revised to include a certificate for the Illinois Department of Transportation official. A Mylar copy of the revised plat shall be submitted prior to Village Council consideration.
- 7. A Plat of Easement shall be submitted to the Village with stormwater easements provided over all storm sewer, associated manhole structures as well as overland flow routes prior to issuance of the building permit.

7.	All necessary construction permits shall be obtain	ned by the petitioner prior to any site development activitie
of con	BE IT FURTHER RESOLVED, that the Mayo solidation.	or and Village Clerk are authorized to sign the final plat
adopti	BE IT FURTHER RESOLVED, that this resolon in the manner provided by law.	lution shall be in full force and effect from and after its
Passed Attest	·	Mayor
	Village Clerk	



483 NOANA AVENUE, SUTÉ, 100
LIBLE, LLIUNOIS 605X3-3018
PHONE (505)56-X15. FAX 6003 154-15.
IL PROFESSIONAL CRESION. PIRM NOD. 154-05.
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ALL RIGHT'S RESERVED. 20 ENG E DESIGNED BY
CGF
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BOUNDARY TOPOGRAPHIC SURVEY

PARKING LOT ADDITION
2449 OGDEN AVENUE
DOWNERS GROVE, IL 60515

PIN NO'S: Lot 1 08-01-306-005 Lot 4 08-01-306-023 Lot 2 08-01-306-004 Lot 5 08-01-306-023

Lot 3 08-01-306-023 Lot 6 08-01-306-023

4951 INDIANA AVENUE LISLE, ILLNOIS 60532-3818 PHONE (630) 824-1515 FAX (630) 824-1535 Number 184-001134
COPYRIGHT (2008
Siebert Engineers Inc.

CAD File 8102-PlatefConsolidation.dwg

Stort	10-20-2006	
Draws	by doj	
Desig	ned by CGF	
Chec	ked WAS	
Appro	oved WAS	
Chan	go	
No.	Revision/Issue	Date
A	Issued for Review	32008
B	Revised per Village Review	6-4-08
-80	SCALE 1"-SO"	80

PREMIER AUTO HAUS 2501 Opden Avenue Downers Grove, IL, 60515 PLAT OF CONSOLIDATION 2449 ODGEN AVENUE DOWNERS GROVE, IL 60515

Project 8209	Revision B
3-20-09	Shell
Scale 1" = 30"	1 OF 1

# PLAT OF CONSOLIDATION

BEING A CONSCLIDATION OF LOTS 1, 2, 3, 4, 5, AND 6 IN THE SOUTHWEST QUARTER OF SECTION 1 AND THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

VILLAGE OF DOWNERS GROVE 801 Burlington, Downers Grove, Illinois, 60515 LEGEND NOTES Lot Square Footage: Lot 1 77,227 Sq. Ft 1.77 Acres STATE OF ILLINOIS) )S.S. COUNTY OF DUPAGE) THIS IS TO CERTIFY THAT THE INDIVIDUALS (OR CORPORATION), HEREBY CERTIFY THAT THEY (OR IT) ARE THE COMMERS (OR OWNER) OF THE ABOVE DESCRIBED PROPERTY AND THEY (OR IT) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE PLAT HEREON DRAWN. THIS IS ALSO TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PROPERTY MEREIN, IS LOCATED MYTHIN THE BOUNDARIES OF SCHOOL DISTRICT # 55, HIGH SCHOOL DISTRICT # 99 DUPAGE COUNTY, ILLUNOS. DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_\_, A.D. 2008. GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ A.D. 2008. NOTARY PUBLIC MY COMMISION EXPIRES VILLAGE COUNCIL STATE OF ILLINOIS) COUNTY OF BUPAGE) \_\_\_\_, A.D. 2008. BY THE APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_
COUNCIL OF THE VILLAGE OF DOWNERS GROVE. VILLAGE CLERK DOWNERS GROVE SANITARY DISTRICT COUNTY CLERK CERTIFICATE

SUBMITTED BY/RETURN TO:

I, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINOURINT GENERAL TAXES, NO UNIPADIFORDETED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LIND INCLUDED IN THE THIS PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTIORY FEES IN CONNECTION WITH THIS PLAT. GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS

COUNTY OF DUPAGE 1

BY: COUNTY RECORDER

THIS INSTRUMENT NUMBER WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF DUPPAGE COUNTY, ELLINOIS ON THE DAY OF DUPPAGE COUNTY, ELLINOIS ON THE DAY OF DAY OF THE DAY O

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS THIS \_\_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_\_\_\_2008.

COUNTY CLERK

U.S. ROUTE 34 (OGDEN AVENUE) 99-01-0 pt 00: M.2: 3'631 CROSS STREET 08-91-5FA 003 LOT Per - 250 49 - Men Company's selected schroonship occino, social occinosess 7 PLAN COMMISSION COLLECTOR FOR THE VILLAGE STATE OF ILLINOIS ) COUNTY OF DUPAGE ) I. COLLECTOR FOR THE VILLAGE OF DOWNERS GROVE, DO HERBEY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAIN CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT FAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND, INCLUDED THIS PLAT. APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF DOWNERS GROVE, THIS ...A.D. 2008. COLLECTOR AUTHORIZATION TO RECORD STATE OF ILLINOIS) COUNTY RECORDER CERTIFICATE COUNTY OF DUPAGE STATE OF ILLINOIS } I, WAYNE A. SCHUTZ, BLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2834, DO HEREBY AUTHORIZE\_\_\_\_\_\_TO RECORD THIS PLAT OF CONSOLIDATION

AUTHORIZE WITH THE DUPAGE COUNTY RECORDER.

INAL LAND SURVEYOR #035-2634

MY LICENSE EXPIRES 11-30-08 SIEBERT ENGLISERS INC. ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 184-001134

WAYNE A. SCHIJTZ

# EASEMENT PROVISIONS

nt for serving the subdivision and other pro communications service is hereby reserve for and granted to

DECLARATION OF RESTRICTIVE COVENANTS

NER HEREBY DECLARES THAT THE REAL PROPERTY DESCRIBED IN AND DEPICTED ON THIS PLAT OF HELD, TRANSFERRED, SOLD, CONVEYED AND OCCUPIED SUBJECT TO THE FOLLOWING COVENANTS

SAID PROPERTY NY WHOMSDEVER OWNED, TO WIT:

1. NO IMPROVEMENTS SHALL BE MADE IN OR UPON THE STORM WATER EASEMENT, INCLUDING DETENTION OR
RETENTION AREAS, AS DESCRIBED IN THE PLAT OF SUBDIVISION, EXCEPT FOR LANDSCAPE INSTALLATION OF TREES, SHRUBS,
BUSHES AND GRASS AND THE INSTALLATION OF UNDERGROUND UTILITY LINES AND DRIVEWAYS.

2. EACH OWNER OR PURCHASER SHALL BE RESPONSIBLE FOR MAINTAINING THE STORM WATER EASEMENT, INCLUDING
DETENTION OR RETENTION AREAS, APPLICABLE TO HIS LOT! IN SUCH MAINTER AS TO HAVE THE FREE AND UNINTERRUPTED
FOR STORM WATER TREQUELY ITS DRAININGS SYSTEM OF THE SIBEDIVISION, AND SHALL HOT DESTROY OR MODIFY
READED OF SUTHING HAVING FIRST RECEIVED PRIOR WATTER APPROVAL OF THE VILLEGO OF DOWNERS GROVE.

GRADES OR SLOPES WITHOUT HAVING FIRST RECEIVED PRIOR WRITTEN APPROVAL OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS.

IN THE EVENT ANY OWNER OR PURCHASER FALLS TO PROPERLY MAINTAIN THE STORM WATER EASEMENT, INCLUDING DETENTION OR RETERTION AREAS, THE VILLAGE OF GROVE, ILLINOIS, SHALL UPON TEN DAY'S PRIOR WRITTEN NOTICE, RESERVE THE RIGHT TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK TO UPON THE STORM WATER EASEMENT, INCLUDING DETENTION OR REES, REASONABLY WEGESSARY TO WEGES ADEQUATE STORM WATER STORM WATER STORAGE AND FREE FLOW OD STORM WATER THROUGH THE STROMWATER EASEMENT, INCLUDING

STORM WATER STORM CHAIR.

SETEMTION OR RETEXTION AREAS.

IN THE EVENT THE VILLAGE OF DOWNERS GROVE, ILLINOIS SHALL BE REQUIRED TO PERFORM, OR HAVE PERFORMED ON ITS BEHALT, ANY MAINTENANCE WORK TO OR UPON THE STORM WATER EASEMENT, INCLIDING DETEXTION OR RETEXTION AREAS, THE COST TOGETHER WITH THE ADDITIONAL SUM OF TEN PERCENT SHALL, UPON RECORDATION OF A NOTICE OF UREN WITHIN SEXTY DAYS OF COMPLETION OF THE WORK, CONSTITUTE A LUEN AGUINST HIS LOT WHICH MAY BE FORECLOSED BY AN ACTION BROUGHT BY OR ON BEHALF OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS.

SURVEYORS CERTIFICATION

STATE OF ILLINOIS

THIS IS TO CERTIFY THAT I, WAYNE A. SCHUTZ, ILLINOIS LAND SURVEYOR NUMBER 035-2834, HAVE SURVEYED AND SUBDIVIDED THE ABOVE DESCRIBED PROPERTY AS SHOWN BY THIS PLAT, WHICH IS CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION; ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.

LOTS 1 THROUGH 6 IN BLOCK 1 IN ARHTUR T, MIGHTOSH AND COMPANY'S BELMONT GOLF ADDITION, BEING A SUBDIVISION IN THE SOUTHMEST QUARTER OF SECTION 1 AND THE NORTHMEST QUARTER OF SECTION 12, TOMMSHIP 38 NORTH, RANGE 10, EAST OF THE THRIP PRINCIPAL MERIDAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 14, 1825 AS DOCUMENT 188614, IN

ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. SCALE OF PLAT IS 30 FEET PER ONE INCH.

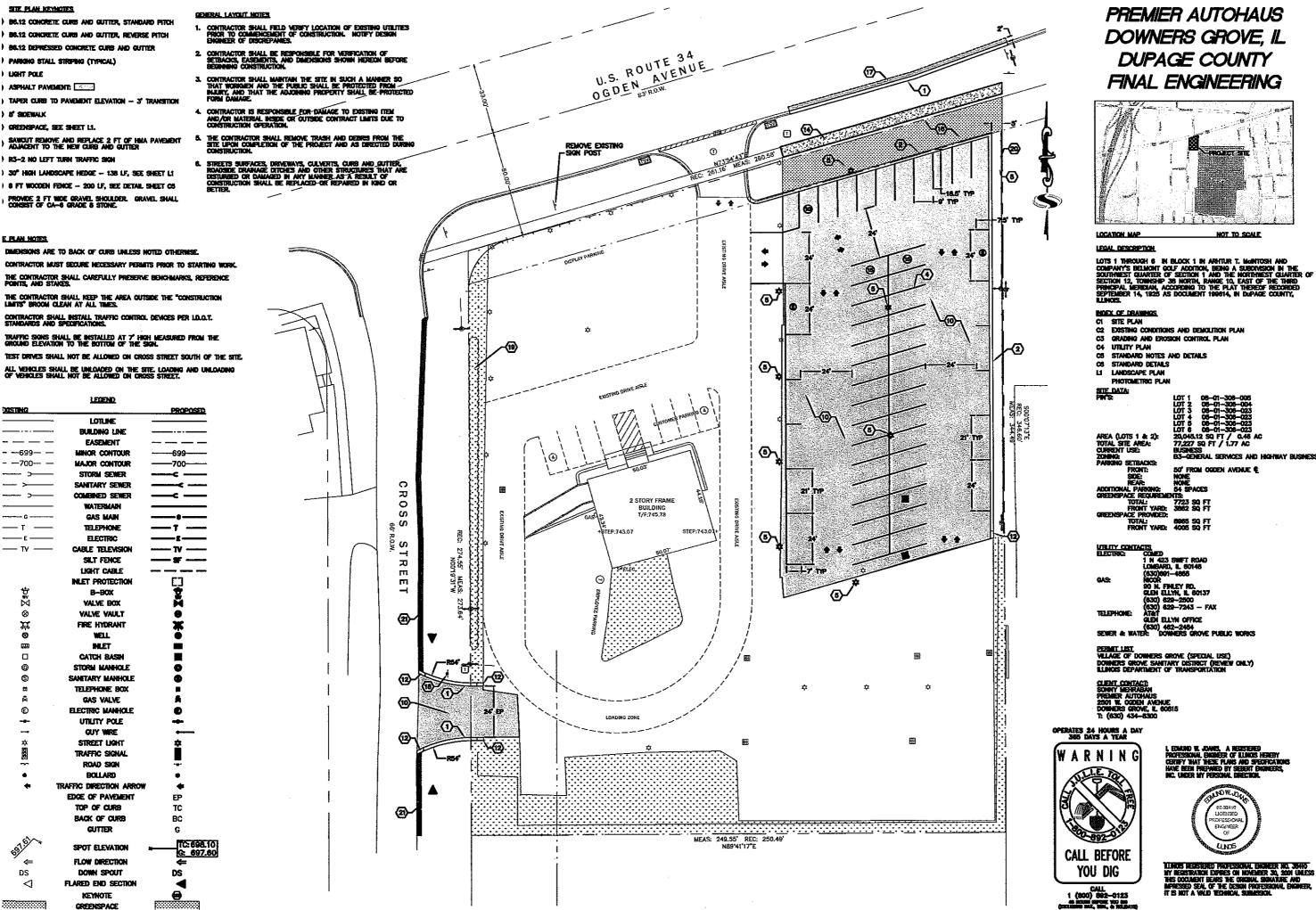
I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IN WITHIN THE CORPORATE LAKTIS OF THE VILLAGE OF DOWNERS GROVE WHICH HAS ADOPTED A VILLAGE PLAN AND WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DWISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL

I FURTHER CERTIFY THAT NO PART OF SAID PROPERTY IS SITUATED WITHIN A FLOOD HAZARD AREA, AS PER THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 1704/COOPIL FEFECTIVE DITE DECEMBER 18, 2004, FLOOD COME X.

GIVEN UNDER MY HAND AND SEAL AT LISLE, ILLINOIS THIS 4TH DAY OF JUNEAUD, 2008

WAYNE A. SCHUTZ
PROFESSIONAL LAND SURVEYOR #035-2834
MY LICENSE EXPIRES 11-3008
SIEBERT ENGINEERS INC. ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 184-001134

WAYNE A. SCHUTZ



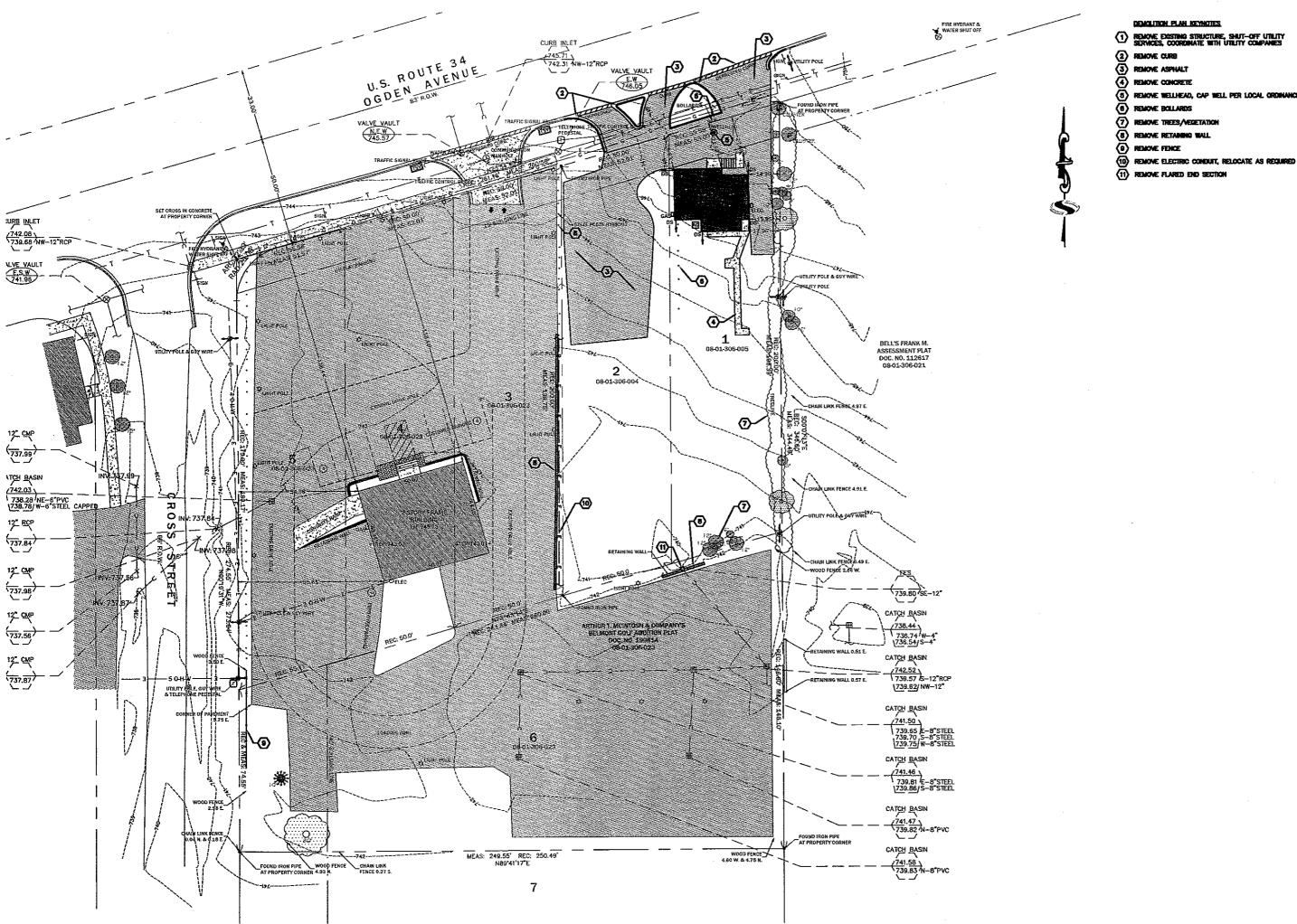
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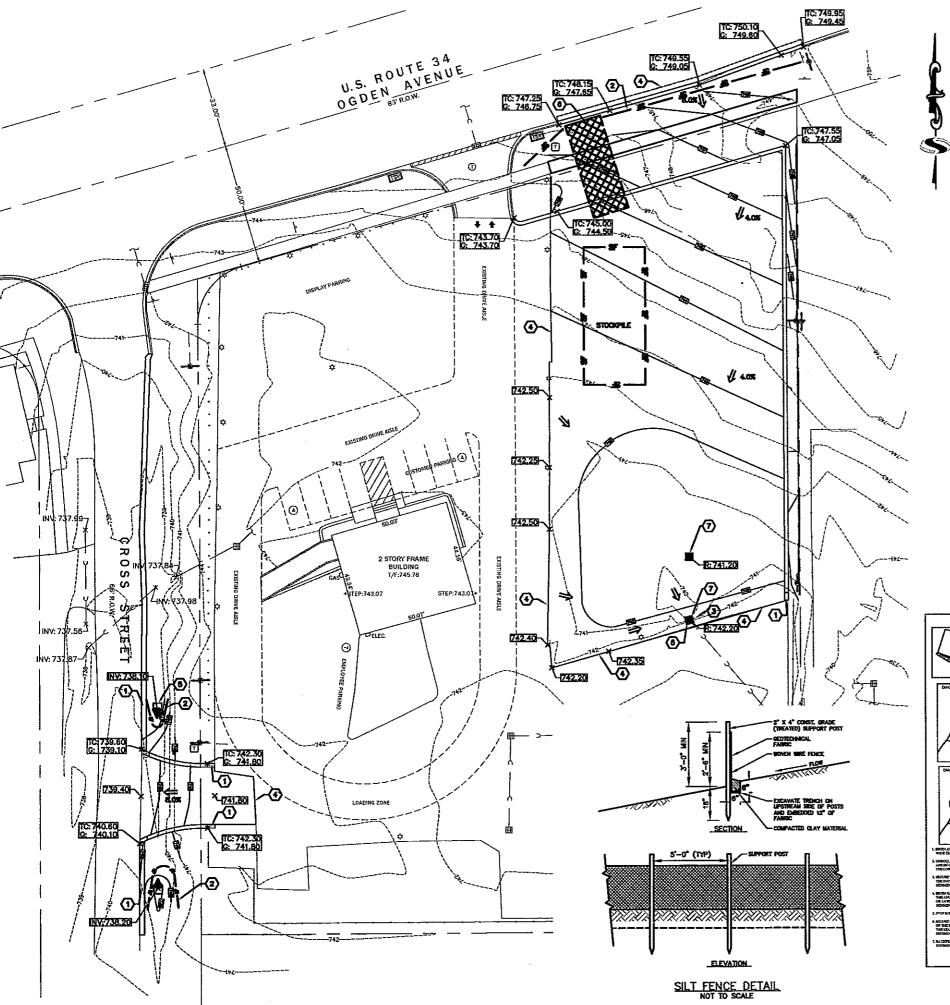
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REMOVE WELLHEAD, CAP WELL PER LOCAL GROWANCES

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EXISTING CONDITIONS AND DEMOLITION PLAN
PREMIER AUTOHAUS PARKING LOT ADDITION 2501 OSDENAVE, DOWNERS GROVE, IL



- WHERE OFFSITE GRADING IS RECLIRED TO ACHEVE A SMOOTH TRANSITION BETWEEN PROPOSED AND EXISTING GRADES, CONTRACTOR SHALL MOTELY AND GETAIN PERMASSION FROM AFFECTED PROPERTY OWNERS. DESTURBED AREAS SHALL BE RESTORED WITH TOPSOIL AND SOO
- DETINEED MEAS STATE OF THE AND SOON.

  2. STRUCTURAL CALCULATIONS AND CERTIFICATION FOR THE RETAINING WALL SHALL BE SUBMITTED BY THE MANUFACTURER.

# DOWNERS GROVE EROSION CONTROL NOTES

A. THE SEDMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE. B. STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN SPECIAL MANAGEMENT AREAS.

C. PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THE STIE SHALL BE PROTECTED FROM BROSSON IF THE VOLUME, SEMIMENT LOAD, OR PEAK FLOW RATES OF STORMMATER RUNOFF AREA TEMPORARLY

E. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.

F. THE SURFACE OF STREPPED AREAS SHALL BE PERMANENTLY OR TEMPORABLY PROTECTED FROM SOIL EROSION WITHIN FFREZEN DAYS AFTER FINAL GRADE IS REACHED. STREPPED AREAS THAT WILL REMAIN LINDISTURBED FOR MORE THAN FFTEEN DAYS AFTER NITHAL DISTURBANCE SHALL BE PROTECTED FORM EROSION.

g. Water pumped or otherwise discharged from the site during construction dewatering shall be filtered.

H. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE ENO OF EACH WORKDAY.

L TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE VILLAGE OF DOWNERS GROWE STORMWATER AND RICCO PLAN ORDINANCES SHALL BE REPT OPERATIONAL AND MAINTAINED CONTRIOLISLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERSANDENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL

## CERTIFICATION STATEMENT:

ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN A STURMMATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH MPDES PERMIT NO. BRIT PARAGRAPH 1 SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICE AT THE SITE DENTIFIED IN THE STORMMATER POLLUTION PREVENTION PLAN

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (HPDES) PENAIT (URIO) THAT ALTHORIZES THE STORMANDER DISCHARGES ASSOCIATED WITH MOUSTRIAL ACTIVITY FROM THE CONSTRUTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

- NATURE OF CONSTRUCTION ACTIVITIES: DEMOLISH EXISTING STRUCTURE, DEVELOP INTO A CAR DEALERSHIP PARKING LOT. SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES: INSTALL SEDMENT AND EROSION CONTROL MEASURES, GRUEBING, EXCAVATION, GRADING, PAVEMENT SITE AREA—1,77 AC, DESTUREED AREA—0,48 AC POST DEVELOPMENT RUNOFF COEFFICIENT, C=0.92 EXISTING SOLS: 430% POTTONE SLIT CLAM 225% ELIJOT SLIT LOAM 225% ELIJOT SLIT LOAM 25% ELIJOT SLIT LOAM LOCAL RECEIVING WATERS: MASH BRANCH DUPAGE RIVER LLINGTS RIVER LLINGT RIVER LLINGTS RIVER LLING

EROSION AND SEDMENT CONTROLS:

STABILIZATION PRACTICES: SILT FENCE, PERMANENT SEEDING:
STRUCTURAL PRACTICES: STORM INLET FILTER WATTLES,
REF-RAP

TEMPORARY CONTROLS (SILT FENCE) SHALL BE IN PLACE AND OPERATIONAL PRIOR TO GRIEBING, AND SHALL BE ACTIVILITY MAINTAINED THROUGHOUT EDCAYATION, GRADING, PAYEMENT CONSTRUCTION. SILT FENCE SHALL REMAIN IN PLACE LINTLE FRAIL STABILIZATION IS REACHED AND REMOVED AFTER FIRML STABILIZATION.

TEMPORARY STORM BLET PROTECTION (WATTLES) SHALL BE INSTALLED PROFE TO CONSTRUCTION ACTIVITIES. WATTLES SHALL BE MAINTAINED AND CLEANED OF DEERS AND SILTATION AFTER MAJOR STORMS.

Sedimentation and erosion control measures must comply with the latest edition of the dupage countywide stormwater ordinance as adopted by the village.

unless otherwise indicated, all vegetative and structural eroson and sediment control practices will be constructed according to minimum standards and specification in illinois urbain manual revised perimary 2002.

A COPY OF THE APPROVED EROSION AND SEDMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

During Dewatering Operations, water will be pumped into Sediment Basiks or set traps. Dewatering Directly into field tiles or stormwater structures is prohibited.

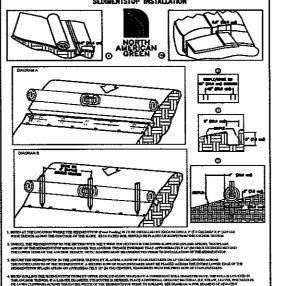
Areas of site left undisturged by construction will be over seeded by owner as needed to establish vecetative cover which would preclude erosion.

PROJECT SHALL BE CONSTRUCTED IN ONE PHASE.

# GRADING PLAN KEYNOTES

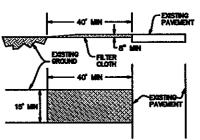
- (1) TAPER CURB TO PAVEMENT ELEVATION-3' CURB TRANSITION

- (5) STRAW WATTLES SEE DETAIL BELOW (6) CONSTRUCTION ENTRANCE AT EXISTING DRIVE APPROACH
- (7) INLET BASKET SEE DETAIL ON SHEET CO



DETAIL: STRAW WATTLE

1860 HOURS 41 HOURS, BANDALLE, MONS, 4775 186, 1—80-775-500, CHIEGA, 1-80-40-500



THRONGESS - NOT LESS THEN 8 INCHES.

filter Cloth — Shall be placed over the entire area prior to placing of stone.

MANTENANCE — THE ENTRANCE SHALL BE MANTANED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEMBLET CONTO PUREL RIGHTS OF WAY. THIS MAY REQUIRE PERSON TOP DRESSING WITH ADDITIONAL STOKE AS CONDITIONS DEMAND AND REPARK AND / OR CEMOUT OF ANY MEASURES USED TO TRAP SEDMENT, ALL SEDMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PURILD NIGHTS OF WAY MUST BE REMOVED MACHINE OF WAY MUST BE

WASHING — WHEELS SHALL BE CLEANED TO REMOVE SEDMENT PRIOR TO ENTERANCE ONTO PUBLIC WORKTS OF WAY, WHEN WASHING IS REQUIRED, IT SHALL HE DONE ON AN AWEA STABLIZED WITH STONE AND WHICH DRAWS INTO AN APPROVED SEDMENT TRAFFOR

periodic inspection and needed maintenance shall be provided after each rain.

A STABLIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF BOIL CANTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.

STABILIZED CONSTRUCTION ENTRANCE

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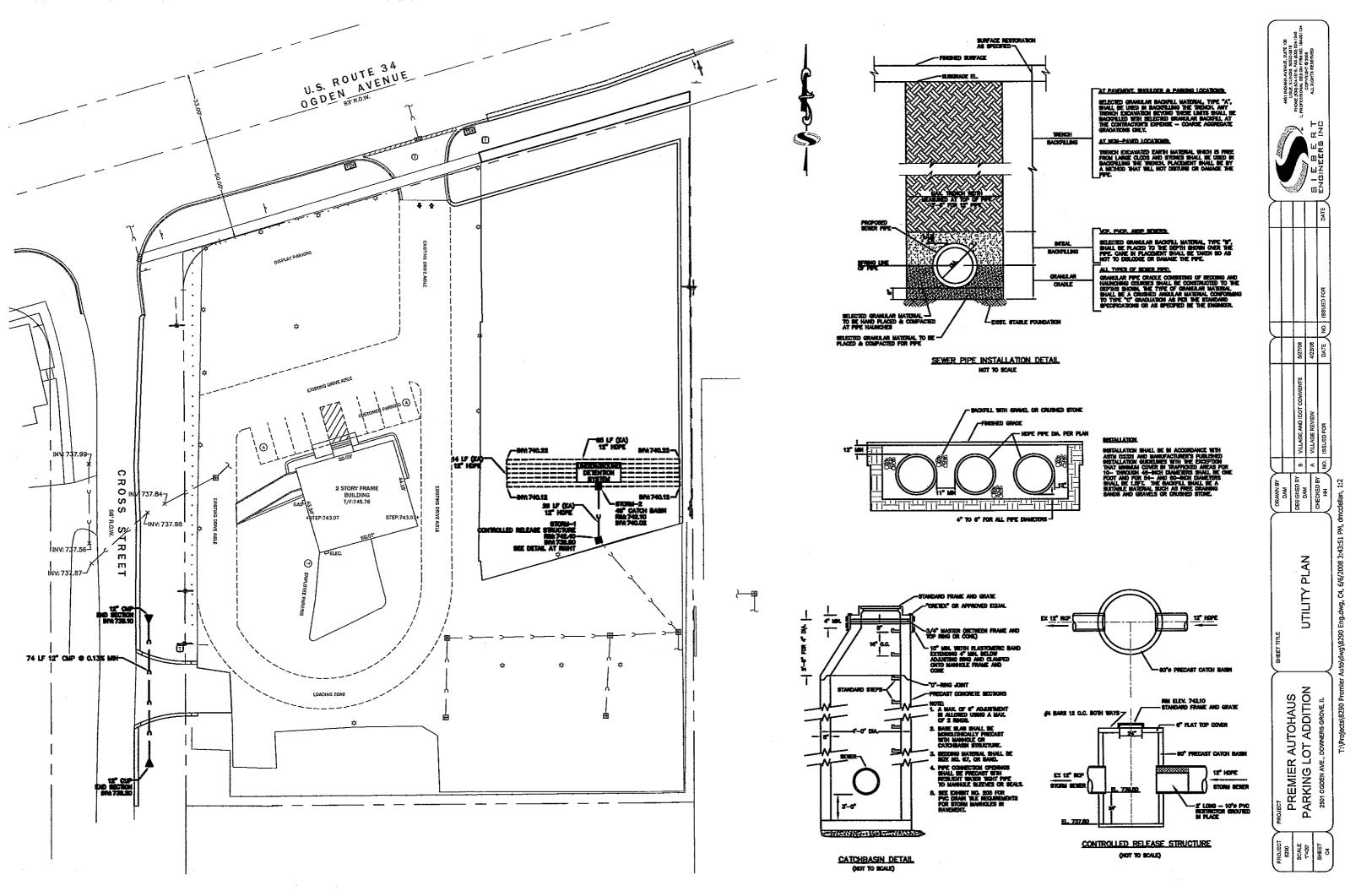
4851 INDANA AVENUE; SUITE 100
HOVE (030) 22-1515
IL PROFESSIONAL DESIDENT PRAN NO: 184-00
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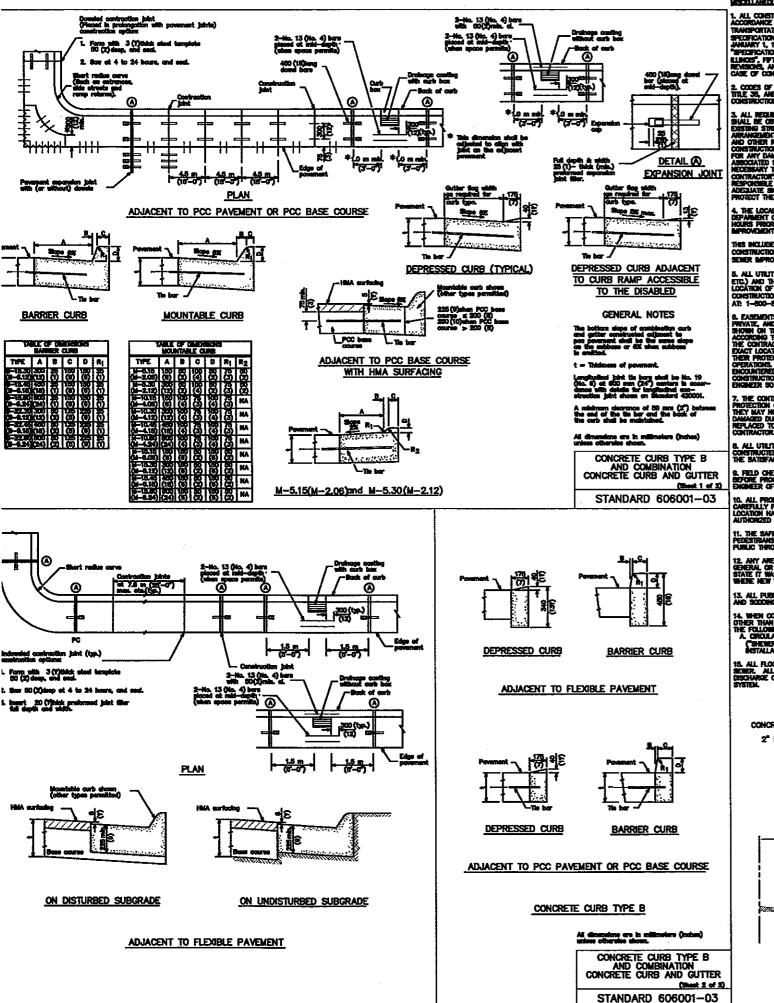
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PARKING LOT ADDITION

GRADING AND SION CONTROL I





1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ELLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD

TRANSPORTATION STANDARD
SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED
JAMUARY 1, 1997 AND ALL SUBSEQUENT REVISIONS AND THE
"REPERFICATIONS FOR WHER AND SHEER CONSTRUCTION IN
ELIBROS", FIFTH ESTION DATED MAY 1986 AND ALL SUBSEQUENT
REVISIONS, AND THE WILLAGE CODE OF GLERBALE HEIGHTS. IN
CASE OF COMPLET THE VILLAGE CODE SHALL TAKE PRECEDENCE.

L CODES OF THE ELLINOIS ENVIRONMENTAL PROTECTION AGENCY TRLE 3G, AND CLISHIA. SHALL BE ADMERED TO FOR THE CONSTRUCTION OF THIS PROJECT.

S. ALL REQUIRED PERMITS FROM THE PROPER GOVERNMO AGENCY SHALL BE CETAMED FOR CONSTRUCTION ALONG OR ACROSS EXESTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACHAL SECTING, SHOWN AND OTHER REQUIRED PROTECTION OF ALL ROADMAYS REPORTED TO THE STREETS OR ROADMAYS AND THE CONTRACTOR SHALL SE RESPONSED FOR ANY DAMAGE TO THE STREETS OR ROADMAYS AND ARROCKEDS TREMENTS AND SHALL MAKE REPARTS AS FOR ANY DAMAGE TO THE STREETS OR COUNTAINS AN ASSOCIATED STRUCTURES AND SHALL MAKE REPARTS AS RECESSARY TO THE SATEFACTION OF THE AGENCY, AT THE CONTRACTOR'S OWN DEPOMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTALLATION AND MAINTENANCE OF ADECLATE SHORS AND WARRING DEVICES TO INFORM AND PROTECT THE PUBLIC.

THIS INCLUDES ALL STREET AND DRAINAGE IMPROVEMENT CONSTRUCTION AND/OR TESTING WATER MAIN AND SANITARY SEWER REPROVEMENT CONSTRUCTION AND/OR TESTING.

S. ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE VILLAGE SHALL BE NOTIFED TO DETERMINE THE LOCATRON OF UNDERSKINDD UTILITIES PROOR TO THE START OF CONSTRUCTION IN ORDER TO AVOID CONFLICTS. (PHONE LULLE.

R. EASEMENTS FOR EIGHTMO LITELITES, SOTH PUBLIC AND PREVAIE, AND LITELITES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREVAIED BY THE PROJECT ENGNEER ACCURAGES TO REFORMATION AVAILABLE PROJECT ENGNEER THE CONTRACTION SHALL BE REPORTED FOR DETERMINE THE EXACT LOCATION IN THE PELD OF THESE LITELITY LINES AND FOR THEM PROJECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF DISTING UTLITY LINES OF ANY HATURE ARE ENGUNTIESTED WHICH CONFILICIT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTION SHALL MOTHEY THE PROJECT ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS, ANY UTILITY THAT IS DAMAGED DURBUS CONSTRUCTION SHALL BE REPARED OR REPLACED TO THE SATISFACTION OF THE UTILITY OWNER BY THE CONTRACTOR.

8. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.

FIELD CHECK ALL DIMENSIONS, COORDINATES, AND ELEVATIONS BEFORE PROCEEDING WITH NEW WORK, NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCES BANEZIATELY.

10. ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAMEFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITHESSED OR OTHERWISE TED IN BY AN AUTHORIZED AGENT OR SURVEYOR.

11. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE OPERATIONS ABUT PUBLIC THROUGH—FARES AND ADJACENT PROPERTY.

12. ANY AREA CUTSINE THE PROPERTY LINE USED BY THE GENERAL OR SUBCONTRACTORS SHALL BE RETURNED TO THE STATE IT WAS FOUND PROFIT ON NEW CONSTRUCTION, EXCEPT WHERE NEW WORK IS SHOWN.

13. ALL PUBLIC R.O.W. SHALL BE RESTORED WITH 4" TOP SOIL AND SCICOMA.

14. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS
OTHER THAN AN EXISTING WITE, TEE, OR AN EXISTING MAINCLE,
THE FOLLOWING METHOD SHALL BE USED:
A. CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS
("SHEWER-TAP", MICHIEL OR SAMLAR) AND PROPER
DISTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.

15. ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SENER. ALL FOOTING DRAINS AND DOWNSPOURS SHALL DISCHARGE ONTO THE GROUND OR INTO THE STORM SENER SYSTEM.

18. ALL SANTARY SEMENS, WATERMARCS AND STORM SEMENS MISTS BE PLACED ON PROPERTY COMPACTED BEDDING, BEDDING MATERIAL SHALL BE PLACED A MEMBRIM OF 4 NOVES THE UNDER THE BARREL OF THE PIPE AND FOR PIPE BALLERAL SHALL BE EXTENDED 6" OVER THE UTP OF PIPE, BEDDING MATERIAL SHALL BE CHASHED GRANEL OR STORE MEETING GRANDATION CA—6.

17. TRENCH BACKFIL MATERIAL (CA-5 CRUSHED STORE) SHALL BE FLACED TO EDDER THE SPRIKILINE OF THE PPE OR HALF THE DAMMETER OF THE PPE AND COMPACTED TO A MINIMUM OF SOR MODIFED PROCEDOR DENSITY (LAZILL D-1557) OVER ALL UNDERGROUND UTLITIES WHOCH AND CONSTRUCTED UNDER, OR WITHIN 2 FEET OF, ANY PROPOSED OR EXISTING PAYMENT, PARKING LOTS, SIDEMALIS, CURS, OR OTHER STRUCTURE.

18, NO SURBING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.

19. PROPOSED ELEVATIONS MOICATE FRISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAWNO (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS

20, PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS AS INDICATED BY SPOT ELEVATIONS, PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES, AVOID RODGES AND DEPOSEMBLES.

21. ALL TOP OF FRAMES FOR STORM AND SANTARY SEWERS AND VALVE VALLET COVERS ARE TO BE ADJUSTED TO MEET FINAL FRESH GRADE.

22. BEFORE INITIAL ACCEPTANCE BY THE OWNER/VILLAGE, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND WILLAGE OR HIS REPRESENTATIVES. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE AND SHALL BE HELD RESPONSIBLE FOR ANY DEPETIS IN MATERIAL OR DURINGUISHED OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.

23. ALL MATERIAL SKALL BE NEW WITH PRODUCTION DATES NOT MORE THAN ONE YEAR OLD AT INSTALLATION DATE.

1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS, AND ALL ROADWAY AND STREET CONSTRUCTION WITHIN THE LIAITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN LIABODS, AS ADDITED ANALARY 1, 1997 AND ALL REVISIONS THERETO, WITH THE "SPECIAL PROVISIONS" AND WITH THESE CONSTRUCTION NOTES AND IR ACCORDANCE WITH VILLAGE CODE. IN CASE OF CONFLICT, VILLAGE CODE SHALL GOVERN.

2. EARTH EXCAVATION SHALL INCLIDE CLEARING, STREPPING, AND STOOGPLING TOPPOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EIRAMOBERTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMBING TO THE LIVES, GRADES, AND GROSS SECTIONS SHOWN ON THE PLAYS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE PROVISIONS OF PERSONNO OF THE STRAMBARD SPECPICATIONS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF ON LOW AREAS OF THE STEE SHOWN ON THE FLAMS OR AS DRECTED BY THE PROJECT ENGINEER IN THE FIELD.

3. TOPSOIL EXCAVATED SHALL BE STOCKPILED ON THE SITE IN AMEAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING.

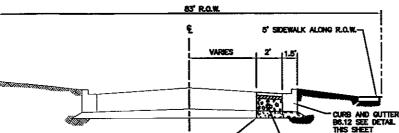
A THE SOLS INVESTIGATION REPORT FOR THE STIE AND ALL ADDRIVA THERETO ARE SUPPORTING DOCUMENTS TO THE PERMIT FOR THE PRODUCT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY MONOPORATED INTO THESE CONSTRUCTION MOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTIONS. THE GRADING OPPERATIONS ARE TO BE CLOSELY SUFFICIED AND INSPECTED, PARTICLARLY DURING THE REMOVAL OF UNSUITABLE MATERIA, AND THE CONSTRUCTION OF EMBANGMENTS OR BUILDING PAIDS, BY THE SOLS ENGINEER OR HIS REPRESENTATIVE, FURTHER CONSTRUCTION OPPERATIONS MILL NOT BE PERMITTED UNTIL THE SOLS ENGINEER SOLES A WRITEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTURELY PREPARED AND IS READLY FOR CONSTRUCTION.

8. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE OWNER.

6. THE CONTRACTOR SHALL USE CARE IN GRADING MEAR TREES SHRIBS, AND BUSIES WHICH ARE NOT TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.

7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAYATING NEAR ANY AND ALL DOSTING ITEMS WHICH ARE NOT MICHOLIED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING TELES BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY HIM AT HIS OWN EXPENSE.

1-1/2" BITUMINOUS CONCRETE SURFACE COURSE PRIME STONE BASE 2" BITUMINOUS CONCRETE BINDER COURSE 10° CA-6 TYPICAL PAVEMENT CROSS SECTION



NO SCALE

CROSS-SECTION: OCDEN AVENUE PAVEMENT REPLACEMENT

Suitable material to the limits approved by the project Engager.

2. REMOVED DRIVENAY PAVEMENT, SIDEMALK, CURES, CURE A QUITER, SHALL BE DISPOSED OF AT LOCATIONS PROVIDED BY CONTRACTOR, LOCATION OF DISPOSAL AREAS SHALL BE

10. STREET PAWNO AND CURBS TO REMAIN SHALL SE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL SE REPLACED PROMPTLY TO MEET STATE AND WILLAGE, STANDARD SPECIFICATIONS IN MATERIALS AND WORKGAMSHIP.

11. ALL CONCRETE POURED ON PUBLIC PROPERTY SHALL BE THE TYPE SPECIFED BY ARTICLE 1020 OF THE STANDARD SPECIFICATIONS.

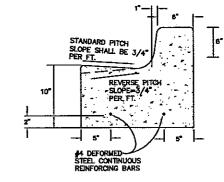
12. ALL CURBS CONSTRUCTED OVER A UTILITY TRENCH SHALL BE REMYCHOOD WITH 2 —  $\mu$  regards for a length of  $2\sigma'$  centered over trench, suchalls shall be treated in the same manner using 3 —  $g\sigma$  regards.

13. The grading and construction of the Street Reprovements shall not cause pointing of Store Water. All areas adjacent to these reprovements shall be graded to allow postine dividuals.

14. TRAFFIC CONTROL DEVICES SHALL SE IN CONFORMANCE TO THE ELBOS DEPARTMENT OF TRANSPORTATION, STANDARDS SHALL SE INSTALLED AND PROVIDED WIREVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS, ALSO, ORDINANCES OF THE GITY, COUNTRY OR STATE SHALL GOVERN THE TRAFFIC CONTROL.

15. ALL ROAD SIGNS, STREET SIGNS AND TRAFFIC SIGNS WHICH NEED TO SE RELOCATED OR MOVED DUE TO CONSTRUCTION SHALL BE TAKEN DOWN AND STORED SY THE CONTRACTOR. EXCEPT THOSE WHICH THE PROJECT ENGINERY SHALL DEEM NECESSARY FOR PROPER TRAFFIC CONTROL, WHICH SHALL BE TEMPORAPELY RESET UNTIL COMPLETION OF CONSTRUCTION OPERATIONS. AFTER COMPLETION OF THE WORK THE CONTRACTOR SHALL RESET ALL SAID SIGNS.

18. ALL DOSTING SIGNS AND LIGHT STANDARDS WHICH SITERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR REMOVAL AND DESPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR, ANY DAMAGE TO THESE ITEMS SHALL BE REPARED BY THE CONTRACTOR AT HIS OWN EXPENSE.

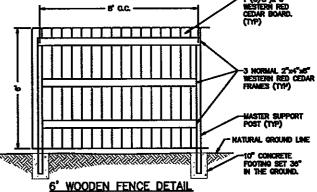


PROVIDE CONTROL JOINTS AT 15 FT. INTERVALS, AND EXPANSION JOINTS AT 60 FT. INTERVALS WITH 2# 6 BARS AT 24" LONG WITH SLEEVES.

B-6.12 CURB AND GUTTER NO SCALE

# 6' WOODEN FENCE SPECIFICATIONS

- 6° FOOT TALL CEDAR PRIVACY FENCE WITH
- NORMAL 1X8XS DOG EAR NO. 1 GRADE WESTERN RED CEDAR BOARDS. ACTUAL BOARD SIZE IS
- ALLMANIAM ZINC RING SHANK NAILS WILL BE USED TO PREVENT BLEEDING.
- . THREE 2X4X8 WESTERN RED CEDAR FRAMES.
- .120" WALL THICKNESS GALVANIZED STEEL POST MASTER POSTS. ACTUAL DIMENSIONS ARE
- ONE 30' WIDE DOUBLE SWING GATE.
   A. 8' SQUARE POSTS WITH CAPS SET 48" IN THE GROUND IN CONCRETE.
   DOUBLE FRAMES.
- WELDED BLOCK HINGES. TWO DROP ROOS ON EACH GATE.



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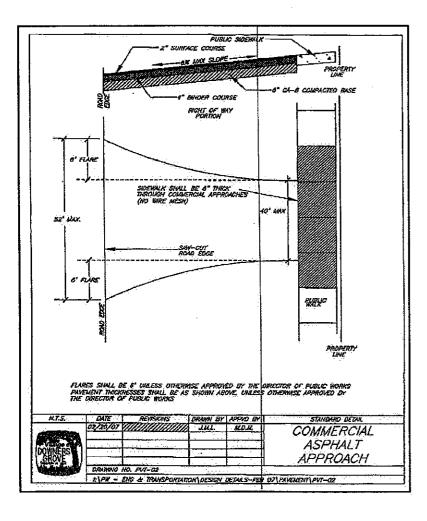
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NO SCALE

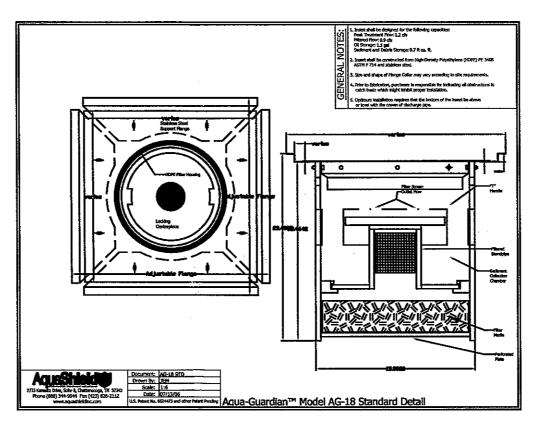


# NLET BASKET MAINTENANCE SCHEDULE:

- 1. INSPECT UNIT MONTHLY AND AFTER SIGNIFICANT STORM EVENTS.
- 2. CHECK ACCUMULATION OF OILS, SEDIMENTS AND FLOATING DEBRIS. USE A TAPE MEASURE TO GAUGE THE AMOUNT OF SEDIMENT IN THE COLLECTION AREA. WHEN SEDIMENT REACHES THE BOTTOM OF THE PERMETER FILTER SCREEN CUTLETS, THE UNIT SHALL BE SERVICED. REMOVE THE SEDIMENT AND DEBRIS ACCUMULATED INSIDE THE CHAMBER WITH A WET/DRY SHOP-VAC.

3. THE LOCKING CENTERPIECE ASSEMBLY IS REMOVED BY ROTATING THE ASSEMBLY WITH THE "T" HANDLE ON TOP OF FILTER SCREEN STANDPPE. ONCE THE CENTERPIECE ASSEMBLY IS REMOVED, THE FILTER BAG WILL BE VISIBLE SO THAT IT CAN BE PULLED FROM THE UNIT. CLEAN OUT RESIDUAL SEDIMENT IN THE FILTER AREA AND PLACE A NEW FILTER BAG IN THE UNIT. PRESS DOWN ON ALL SIDES OF THE NEWLY INSTALLED FILTER TO ENSURE GOOD CONTACT WITH THE OUTSIDE WALLS.

- 4. THE CENTERPIECE ASSEMBLY IS REPLACED AND ROTATED (OR LOCKED) UNDER THE FITTED GUIDES.
- 5. REPLACE THE SURFACE GRATE COVER TO ITS NORMAL POSITION.



NLET BASKET DETAIL

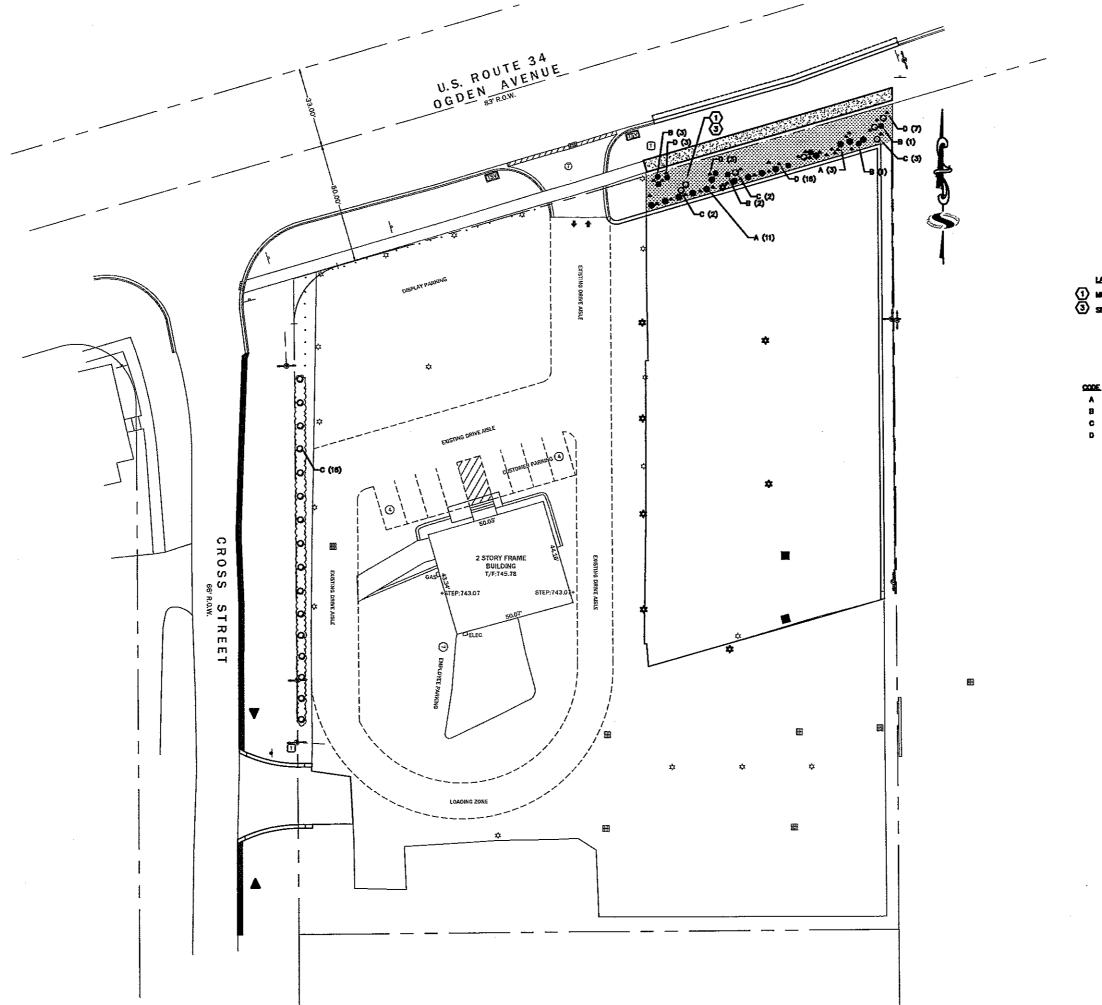
# **GENERAL LAYOUT NOTES**

- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EDSTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DESIGN ENGINEER OF DISCREPANCES.
- CONTRACTOR SHALL, BE RESPONSIBLE FOR VERFICATION OF SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- 3. CONTRACTOR SHALL MAINTAIN THE STEEN SUCH A MAINER SO THAT WORKING AND THE PUBLIC SHALL BE PROTECTED FROM BAJERY, AND THAT THE ADJORMO PROPERTY SHALL BE PROTECTED FORM DAMAGE.
- 4. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING ITEM AND/OR MATERIAL INSIDE OR CUTSIES CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
- THE CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AS DIRECTED DURING CONSTRUCTION.
- 6. STREETS SURFACES, DRIVEWAYS, CALVERTS, CURB AND GUTTER, ROADSDE DRAMAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MARKER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPARED IN KIND OR BETTER.

STANDARD

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PREMIER AUTOHAUS
PARKING LOT ADDITION
2501 00DEN AVE., DOWNERS GROVE, IL



LANDSCAPING KEYNOTES

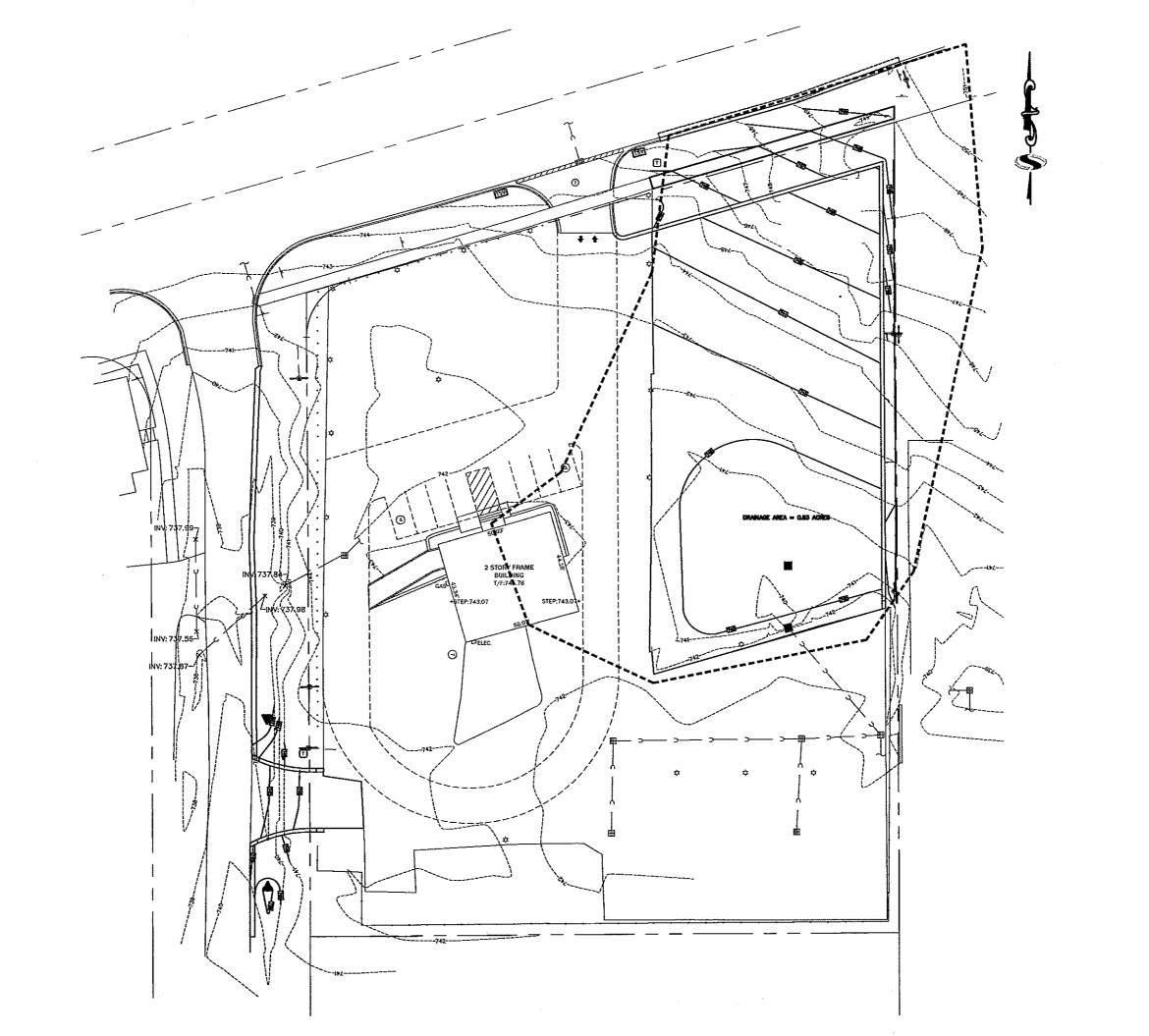
1 MULCH PLANTING AREA (TYP)
3 SEED BLANKET (TYP)

:	PLANT_NAME
	TECHNY ARBORVITAE
	DWARF BURNING BUSH
	CREEN VELVET BOXWOOD
	KARL FOERSTER GRASS

	DAM					
	DESIGNED BY	В	VILLAGE AND IDOT COMMENTS	6/6/08		
		٨	VILLAGE REVIEW	4/23/08		
_	THECKED BT	ğ	NO. ISSUED FOR	DATE	NO.	DATE NO. ISSUED FOR
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PROJECT
PREMIER AUTOHAUS
PARKING LOT ADDITION
2501 00DEN AVE., DOWNERS GROVE, IL

LANDSCAPE PLAN



PREMIER AUTOHAUS
PARKING LOT ADDITION
2501 00DEN AVE., DOWNERS GROVE, IL

DRAINAGE MAP