

**VILLAGE OF DOWNERS GROVE**  
**REPORT FOR THE VILLAGE COUNCIL WORKSHOP**  
**DECEMBER 9, 2008 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
Special Use with Variation 3910 Highland Avenue	Resolution ✓ Ordinance Motion Discussion Only	Tom Dabareiner, AICP Community Development Director

**SYNOPSIS**

A special use ordinance and zoning variation has been prepared for St. Luke's Presbyterian Church, located at 3910 Highland Avenue.

**STRATEGIC PLAN ALIGNMENT**

The Five Year Plan and Goals for 2007-2012 identified *Preservation of Our Residential Character*. Supporting this goal are the objectives *Tolerance of Neighborhood Private Redevelopment* and *Continuing Reinvestment in the Neighborhoods*.

**FISCAL IMPACT**

N/A.

**RECOMMENDATION**

Approval on the December 16, 2008 active agenda per the Plan Commission's recommendation.

**BACKGROUND**

The property, commonly known as 3910 Highland Avenue, is located at the intersections of 39<sup>th</sup> Street, Main Street and Highland Avenue. The 60,271 square foot lot is improved with a 12,030 square foot building home to St. Luke's Presbyterian Church. The property is zoned R-4 Single Family Residence District. The church is surrounded by Highland School to the east, Good Samaritan Hospital to the north, Fire Station 3 to the west, and single family residence to the south.

The petitioner is requesting Special Use approval to construct a 1,300 square foot addition on the north side of the building to expand the sanctuary. The addition will increase the seating within the sanctuary from 150 to 222 occupants. There will be minor site work associated with the addition but no other charges are proposed at this time.

The petitioner is also requesting a variation to install new air conditioning units within the front yard along Main Street to serve the new addition. Per Section 28.1304 of the Zoning Ordinance, air conditioning units may not be located in a front yard. The new units will serve the addition and the nave portion of the church while the existing roof top units will continue to serve the rest of the building.

The subject property is unique in that it is a pie-shaped lot with front yards west, north and east of the existing building. The gable roof of the addition and the property's front yards along Main Street and Highland Avenue create a physical hardship to install the air conditioning units serving the addition anywhere other than the front yard. As such the petitioner has proposed to install the new air conditioning units within the front yard along Main Street 45 feet from west property line. The air

conditioning units will be screened with four- and six-foot high landscaping. The proposed building expansion will meet all other setback and bulk requirements of the Zoning Ordinance as summarized in the table below:

<b>3910 Highland Avenue St. Luke's Presbyterian Church</b>	<b>Required</b>	<b>Proposed</b>
Front Setback (West-Ogden Avenue)	25 feet	59.56 feet
Front Setback (East- Highland Avenue)	25 feet	77.02 feet
Lot Coverage Maximum	24,108 sq. ft. (40%)	13,407 sq. ft. (22%)
<b>AC Setback</b>	<b>Not allowed within front yard</b>	<b>45 feet from front property line</b>
Height	33 feet	28 feet
Parking	89	111 - No change (including 94 spaces at Fire Station III)

The Future Land Use Plan designates the site as Residential with 0-6 DU/acre. The existing church has been in its current location since 1965 and has not had a diminishing value on the surrounding properties. The proposed Special Use for the 1,300 square foot building addition is consistent with the intent of the Future Land Use plan to maintain the area for residential use.

The Plan Commission considered the petition at their November 3, 2008 meeting and found the project met the standards for approval. Based on their findings, the Commission recommended unanimous approval of the Special Use with Zoning Variation. Staff concurs with the Plan Commission recommendation.

#### **ATTACHMENTS**

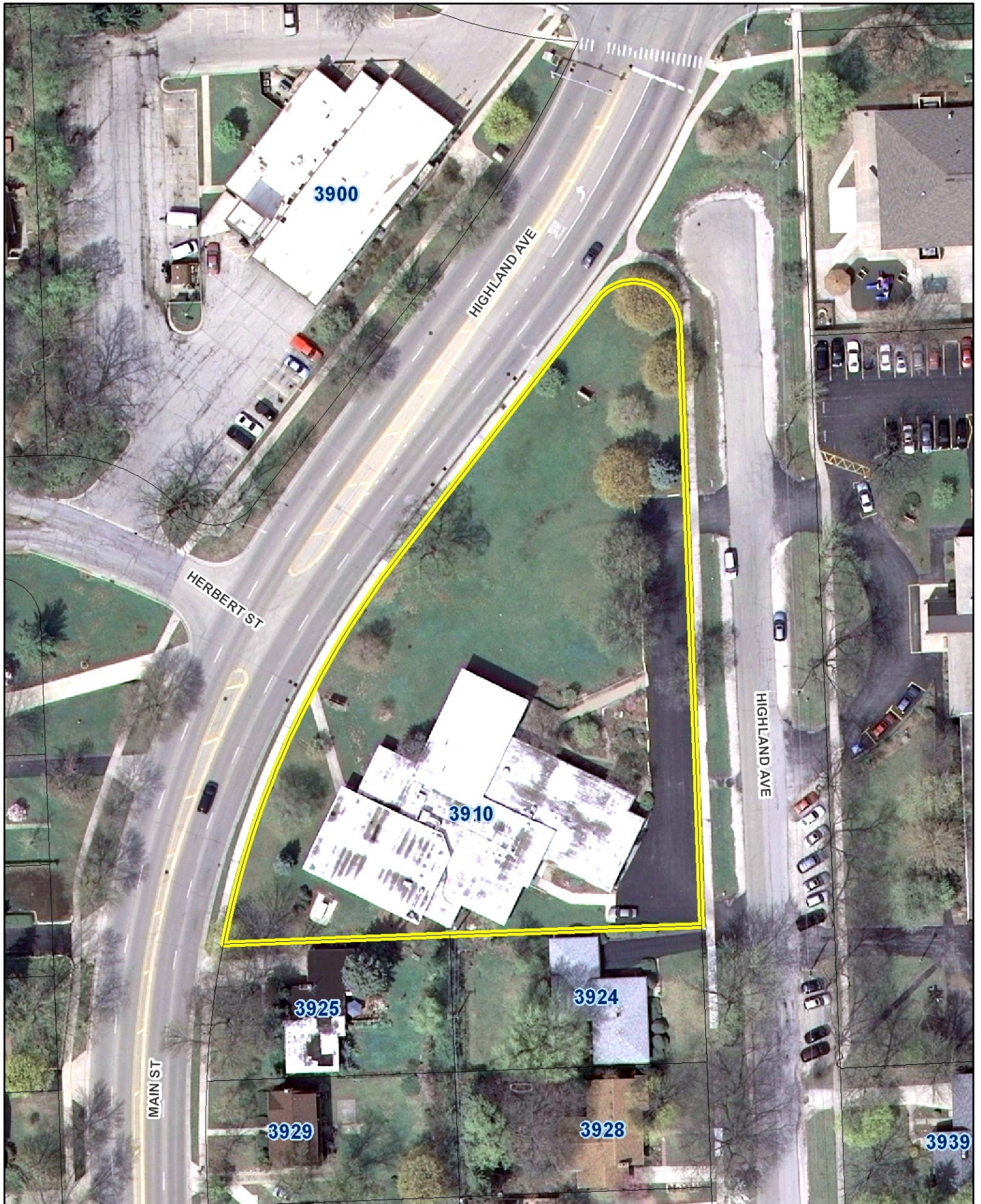
Aerial Map

Ordinance

Staff Report with attachments dated November 3, 2008

Minutes of the Plan Commission Hearing dated November 3, 2008





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Feet



**3910 HIGHLAND AVENUE**



**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AUTHORIZING A SPECIAL USE FOR  
3910 HIGHLAND AVENUE TO PERMIT A CHURCH IN THE R-4 SINGLE  
FAMILY RESIDENCE DISTRICT WITH A ZONING VARIATION**

WHEREAS, the following described property, to wit:

Lots One (1), Two (2), Three (3) and Eighteen (18) in Block Five (5) in Walter S. Anderson’s Resubdivision of Blocks 1, 2, 3, 4, 5 and 6 of Park Addition to Downers Grove, a subdivision situated in the Northwest Quarter of Section 5, Township 38 North, Range 11, East of the Third Principal Meridian, according to the plat of said Resubdivision recorded April 4, 1951 as Document 620063, as corrected by certificate recorded October 13, 1954 as Document 733302, in DuPage County, Illinois,

Commonly known as 3910 Highland Avenue, Downers Grove, IL (PIN 09-05-104-019)

(hereinafter referred to as the "Property") is presently zoned in the "*R-4, Single Family Residence District*" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28-508 of the Zoning Ordinance to allow a church in a residential zoning district including the following Zoning Variation:

1. Variation from Chapter 28, Section 28-1304; *Air Conditioning Units*, to allow air conditioning units to be located in the front yard.

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing on November 3, 2008 respecting said petition and has made its findings and recommendations, all in accordance with the laws of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the requested Special Use with Zoning Variation, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. The proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
2. The proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

3. The proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.
4. The proposed use is one of the special uses specifically listed for the district in which it is to be located and, if approved with restrictions as set forth in this ordinance, will comply with the provisions of the Downers Grove Zoning Ordinance regulating this Special Use.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

SECTION 1. That a Special Use of the Property is hereby granted to permit an addition to an existing church in a residential zoning district including the requested Variation as outlined above.

SECTION 2. This approval is subject to the following conditions:

1. The proposed Special Use with Zoning Variation for the air conditioning units shall substantially conform to building and engineering plans and specifications prepared by David F. Schultz Associates, Ltd. attached to the Staff Report dated November 3, 2008, except as such plans may be modified to conform to Village codes, ordinances, and policies.
2. A sprinkler system shall be installed in the entire building.
3. An automatic and manual detection system shall be installed in the entire building.

SECTION 3. The above conditions are hereby made part of the terms under which the Special Use with Zoning Variation is hereby granted. Violation of any or all of such conditions shall be deemed a violation of the Village of Downers Grove Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and or revocation of the Special Use granted herein.

SECTION 4. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

\_\_\_\_\_  
Mayor

Passed:

Published:

Attest: \_\_\_\_\_

Village Clerk

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**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE PLAN COMMISSION  
NOVEMBER 3, 2008 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
PC-12-08 3910 Highland Avenue	Special Use for a Church	Damir Latinovic, AICP Planner

**REQUEST**

The petitioner is requesting approval of a Special Use with a Zoning Variation to construct an addition to an existing church in the R-4 Single Family Residence district.

**NOTICE**

The application has been filed in conformance with applicable procedural and public notice requirements.

**GENERAL INFORMATION**

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**OWNER:** St. Luke Presbyterian Church  
3910 Highland Avenue  
Downers Grove, IL 60515

**APPLICANT:** James F. Russ, Jr., P.C.  
4915 Main Street,  
P.O. Box 578  
Downers Grove, IL 60515

**PROPERTY INFORMATION**

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**EXISTING ZONING:** R-4 Single Family Residence District  
**EXISTING LAND USE:** St. Luke Presbyterian Church  
**PROPERTY SIZE:** 60,287 square feet (1.384 acres)  
**PINS:** 09-05-104-019

**SURROUNDING ZONING AND LAND USES**

	<b>ZONING</b>	<b>FUTURE LAND USE</b>
<b>NORTH:</b>	R-4 Single Family Residence	Residential (0-6 DU/Acre)
<b>SOUTH:</b>	R-4 Single Family Residence	Residential (0-6 DU/Acre)
<b>EAST:</b>	R-4 Single Family Residence	Residential (0-6 DU/Acre)
<b>WEST:</b>	R-4 Single Family Residence	Residential (0-6 DU/Acre)

## ANALYSIS

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### SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Application/Petition for Public Hearing
2. Project Narrative
3. Plat of Survey
4. Building Plans
5. Engineering Plans

### PROJECT DESCRIPTION

The property, commonly known as 3910 Highland Avenue is located at the intersections of 39<sup>th</sup> Street, Main Street and Highland Avenue. The 60,271 square foot lot is zoned R-4 Single Family Residence District and is improved with a 12,030 square foot building home to St. Luke's Presbyterian Church. The existing use was established in 1965 before the first Zoning Ordinance of the Village went into effect.

The petitioner is requesting Special Use approval to construct a 1,300 square foot addition on the north side of the building to expand the sanctuary. The addition would increase the seating within the sanctuary from 150 to a total of 222 occupants.

The petitioner is also requesting a front yard setback variation to install one new air conditioning unit within the front yard along Main Street to serve the new addition. Per Section 28.1304 of the Zoning Ordinance, air conditioning units may not be located in a front yard. The new unit will serve the addition and the nave portion of the church while the existing roof top units will continue to serve the rest of the building. The gable roof of the addition and the property's unique pie-like shape with front yards along Main Street and Highland Avenue prevent installation of the new unit on the roof or outside front yards. The air conditioning unit will be screened with four-and six-foot high evergreen trees and other landscaping.

The existing parking lot will be resurfaced and re-stripped to match the existing parking lot layout. The property is required to provide 89 parking spaces. There are 17 on-site parking spaces including one handicapped space. Per the agreement with the Village, dated May 15, 1970, there are 94 parking spaces on the Fire Station III property available for church's use for a total of 111 parking spaces.

The bulk requirements of the Zoning Ordinance are summarized in the table below:

<b>3910 Highland Avenue St. Luke's Presbyterian Church</b>	<b>Required</b>	<b>Proposed</b>
Front Setback (West-Ogden Avenue)	25 feet	59.56 feet
Front Setback (East- Highland Avenue)	25 feet	77.02 feet
Lot Coverage Maximum	24,108 sq. ft. (40%)	13,407 sq. ft. (22%)
<b>AC Setback</b>	<b>Not allowed within front yard</b>	<b>45 feet from front property line</b>
Height	33 feet	28 feet
Parking	89	111 - No change (including 94 spaces at Fire Station III)

### **COMPLIANCE WITH FUTURE LAND USE PLAN**

The Future Land Use Plan designates the site as Residential with 0-6 DU/acre. The existing church has been in its current location since 1965 and has not had a diminishing value on the surrounding properties. The proposed Special Use for the 1,300 square foot building addition is consistent with the intent of the Future Land Use plan to maintain the area for residential use.

### **COMPLIANCE WITH ZONING ORDINANCE**

The property is zoned R-4 Single Family Residence District. A church is a permitted Special Use in this district. The existing building was constructed in 1965 and has never received a Special Use. Due to proposed building expansion, the property is required to obtain a Special Use approval.

As part of the approval, the petitioner is requesting a zoning variation to allow for installation of the new air conditioning units within the front yard. Per the Zoning Ordinance, air conditioning units are permitted in side and rear yards but are not allowed within the front yards. The subject property is unique in that it is a pie-shaped lot with front yards west, north and east of the existing building. With the proposed addition located north of the existing building, there is a physical hardship to install the air conditioning units serving the addition anywhere other than the front yard. As such the petitioner has proposed to install the new air conditioning units within the front yard along Main Street 45 feet from west property line. The units will be screened with four- and six-foot high landscaping. Staff believes there is a physical hardship and unique condition that warrant the requested variation

The proposed building expansion will meet all other setback and bulk requirements of the Zoning Ordinance.

### **ENGINEERING/PUBLIC IMPROVEMENTS**

The petitioner is proposing minor site and grading improvements to accommodate the addition. An on-site stormwater detention is not required. The parking lot improvements will be limited to resurfacing of the existing parking lot. The proposed parking lot re-striping will match existing parking lot configuration. The existing site access points will remain in their current configuration. No public improvements are required at this time as all public improvements are in place.

### **PUBLIC SAFETY REQUIREMENTS**

The Fire Prevention Division of the Fire Department has stated the property will continue to have adequate emergency access. As part of the renovation, the entire building will have to be sprinklered, and the petitioner will be required to install an automatic and manual detection system for the entire building.

### **NEIGHBORHOOD COMMENT**

*Staff has not received any written neighborhood comment regarding the proposal at this time.*

### **FINDINGS OF FACT**

Staff believes the standards for Special Use shown below have been met. The church is a permitted Special Use in the R-4 district. The existing St. Luke's Presbyterian church has been in the same location since 1965. The church provides a desirable service to the community and contributes to the general welfare of the neighborhood. The property will continue to have no detrimental effect on the health, safety or general welfare of the neighborhood.

As part of the approval, the petitioner is requesting a zoning variation to allow for installation of two new air conditioning units within the front yard. The variation request will not confer a special privilege to the property owner that is otherwise denied by the Zoning Ordinance to other land owners in the same district. The subject property is unique in that it is a pie-shaped lot with front yards west, north and east of



the existing building. With the proposed addition located north of the existing building, there is a physical hardship to install the air conditioners serving the new addition anywhere other than the front yard. The air conditioners will be screened with four- and six-foot high landscaping and will not negatively affect the essential character of the locality. The requested variation will not impair an adequate supply of light and air to adjacent properties, increase danger of fires or substantially diminish property values in the neighborhood. Due to the unique shape of the subject property, the requested variation would not be applicable to other properties in the same district. The proposed building addition will meet all other zoning requirements.

***Section 28.1902 Standards for Approval of Special Uses***

*The Village Council may authorize a special use by ordinance provided that the proposed Special Use is consistent and in substantial compliance with all Village Council policies and land use plans, including but not limited to the Comprehensive Plan, the Future Land Use Plan and Master Plans and the evidence presented is such as to establish the following:*

- (a) That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
- (b) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*
- (c) That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.*
- (d) That it is one of the special uses specifically listed for the district in which it is to be located.*

***Section 28.1803 Standards for granting a variation***

- (1) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.*
- (2) The plight of the owner is due to unique circumstances.*
- (3) The variation, if granted, will not alter the essential character of the locality.*
- (4) That the particular physical surroundings, shape, or topographical conditions of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.*
- (5) That the conditions upon which the requested variation is based would not be applicable, generally, to other properties within the same zoning classification.*
- (6) That the alleged difficulty or hardship has not resulted from the actions of the owner.*
- (7) That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.*
- (8) That the proposed variation will not alter the land use characteristics of the district.*
- (9) That the granting of the variation requested will not confer on the owner any special privilege that is denied by this Zoning Ordinance to other lands or structures in the same district.*

**RECOMMENDATIONS**

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The proposed Special Use with a Front Yard Setback Variation for the air conditioning units for the building addition to the existing church is compatible with surrounding zoning and land use classifications. Based on the findings listed above, staff recommends the Plan Commission make a positive recommendation to the Village Council regarding this petition subject to the following conditions:

1. The proposed Special Use with Zoning Variation for the air conditioning units shall substantially conform to building and engineering plans and specifications prepared by David F. Schultz Associates, Ltd. attached to this report except as such plans may be modified to conform to Village codes, ordinances, and policies.
2. A sprinkler system shall be installed in the entire building.
3. An automatic and manual detection system shall be installed in the entire building.

Staff Report Approved By:

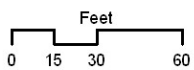
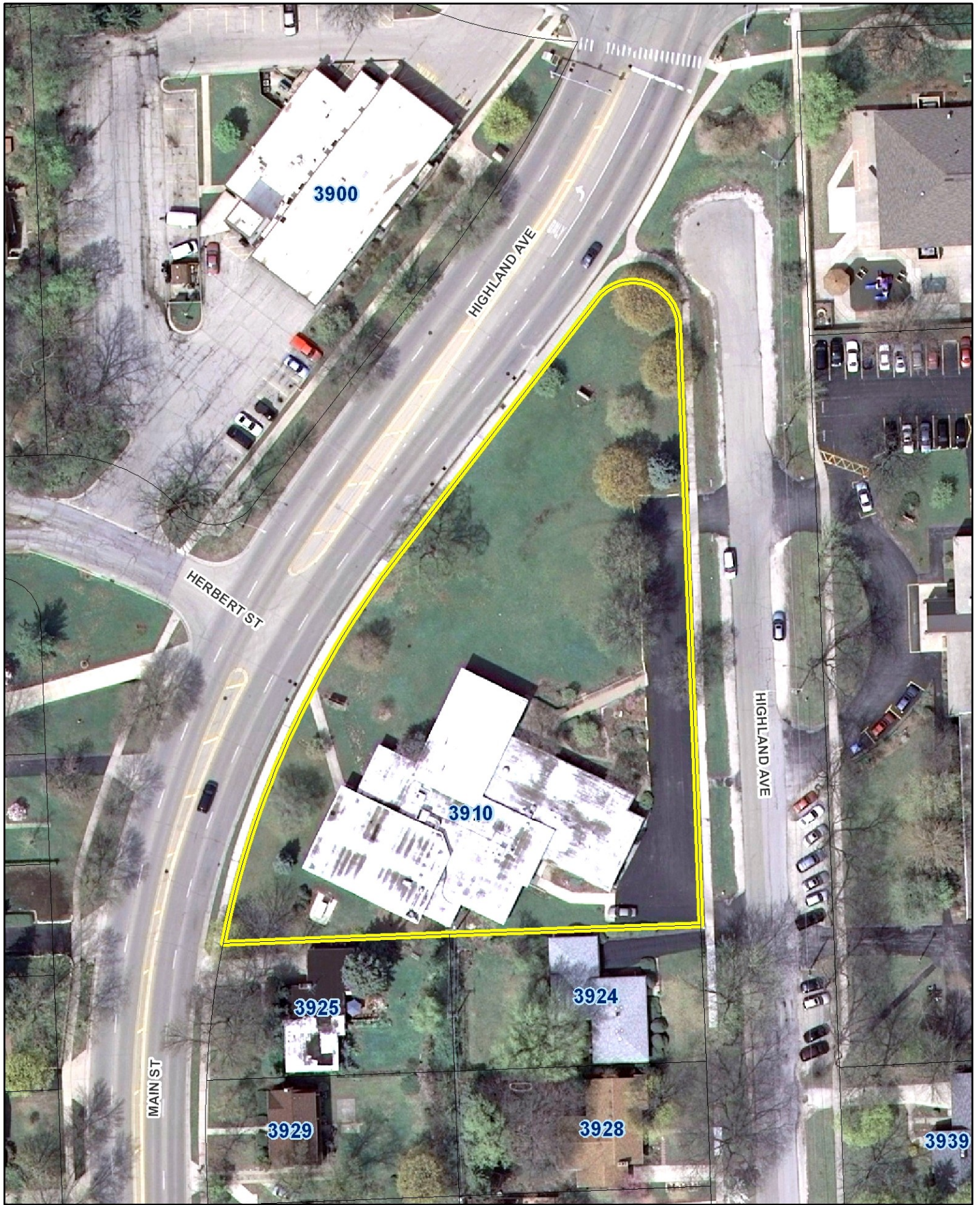
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Tom Dabareiner, AICP  
Director of Community Development

TD:dl  
-att

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PC-12-08.doc





**3910 HIGHLAND AVENUE**



# WIEDEL, HUDZIK, RUSS & PHILIPP

A Partnership of Professional Corporations

Attorneys & Counselors

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October 14, 2008

†Also Licensed in Wisconsin

\*Also Licensed in California

Mr. Alan Jirik, Chairman  
Village of Downers Grove Plan Commission  
801 Burlington  
Downers Grove, IL 60515-4776

Re: 3910 Highland Avenue, Downers Grove, IL 60515

Dear Chairman Jirik:

Please be advised that I represent St. Luke Presbyterian Church with regard to their Petition for a special use including a variation for the placement of an air conditioning unit within the designated front yard. St. Luke's Presbyterian Church has existed at its current location at 3910 Highland Avenue, Downers Grove, Illinois, since prior to the existing Zoning Ordinance. There has never been a special use granted for St. Luke's as the church was built prior to the current special use requirements. The current petition is a result of the need by St. Luke's to expand their sanctuary. St. Luke's is proposing a 1,300 square foot addition to the existing 12,030 square foot building. The addition will consist of additional sanctuary space.

The property is currently zoned Village R-4 for which a church is an authorized special use. Pursuant to Chapter 28.1902, the standards for approval of a special use are as follows:

A. That the proposed use at the particular location requested is necessary or desirable to provide service for a facility which is in the interest of public convenience and would contribute to the general welfare in the neighborhood or community.

St. Luke's has existed at this location for a substantial period of time and has been an integral part of the neighborhood and community.

B. That such use will not under the circumstances of this particular case be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

Again, as St. Luke's has existed at this location for a substantial period of time, it is proven that there is no detrimental effect to the health, safety, morals or general welfare of persons working or residing in the vicinity. The property values and improvements in this vicinity have not been injured by the existence of St. Luke's.

C. The proposed use will comply with the regulations specified in the zoning ordinance for the district in which the proposed use is located or will comply with any variations authorized pursuant to Section 28-1802.

The building addition will comply with the regulations specified in this zoning ordinance. The only exception is for the placement of an air conditioning unit within a front yard. Due to the unique nature of this parcel being on a triangle-shaped parcel of land, the property consists mainly of front yards and, therefore, the only logical location for the air conditioning unit is within a front yard as the only non-front yard is at the southern end of the property and the extreme opposite side of the building.

D. That it is one of the special uses specifically listed for the district in which it is to be located.

A church is a special use specifically listed within an R-4 zoning district.

Pursuant to Chapter 28.1304, an air conditioning unit may not be located within the front yard. Due to the triangular-shaped parcel that St. Luke's is located upon, the entire north, east and west sides of the parcel are considered front yard under the Village Ordinances. We are, therefore, seeking a variation to allow for the placement of the air conditioning unit within a front yard. Pursuant to Chapter 28.1803, the Zoning Board of Appeals is authorized to grant the variation to allow the placement of the air conditioning unit within a front yard setback if certain standards are met. Paragraph A of Chapter 28.1803 provides that the Plan omission shall require evidence that

(1) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

This property can yield a reasonable return and reasonable return is not an issue in this circumstance.

(2) The plight of the owner is due to unique circumstances.

We believe that the uniqueness of this situation is the shape of the parcel and the fact that there are roads on two of the three sides of this parcel of land. Because of the roads surrounding this parcel, all sides of the parcel with the exception of the southern portion of the property are



considered front yard.

- (3) The variation, if granted, will not alter the essential character of the locality.

This is a minor encroachment and will have no impact on the character of the locality as the placement of the air conditioning unit will be along Main Street, a major thoroughfare and will not be located adjacent to any of the residential uses south of this parcel of land.

The Plan Commission may supplement the above requirements in making their determination as to whether there are practical difficulties or particular hardships which will also be taken into consideration.

- (1) That the particular physical surroundings, shape, or topographical conditions of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

Again, due to the triangular shape of this parcel, this parcel has an extraordinary front yard compared to a normal parcel which would only consist of one front yard. In addition, the location of the building on the parcel is unique due to the shape of the parcel and does not allow for placement of this air conditioning unit in any other area other than a front yard.

- (2) That the conditions upon which the requested variation is based would not be applicable, generally, to other property within the same zoning classification.

This requested variation is not applicable, generally, as it is due to the uniqueness of the shape of this parcel that the variation is being requested.

- (3) That the alleged difficulty or hardship has not resulted from the actions of the owner.

This difficulty and/or hardship is not the result of the actions of the owner as the parcel was established long before the parcel was created as a result of the placement of the streets and was not the doing of the property owner. The mechanics of placing the air conditioning unit in a location other than a front yard are extremely difficult in this situation.

- (4) That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

The proposed variation will not impair the adequate supply of light or air to adjacent properties

as the air conditioning unit will be nowhere near adjacent properties. There will be no increase in congestion in the public streets, nor the danger of fire or public safety, nor will this variation substantially diminish or impair property values within the neighborhood. We do not believe that the placement of an air conditioning unit along the Main Street side of the building will have any impact on the surrounding neighborhood.

(5) That the proposed variation will not alter the land use characteristics of the district.

The proposed variation will not alter the land use. The variation requested has nothing to do with the land use and will have no effect on land use.

(6) That the granting of the variation requested will not confer on the owner any special privilege that is denied by this Zoning Ordinance to other lands or structures in the same district.

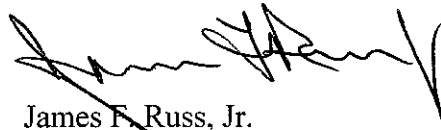
Due to the uniqueness of the shape of this parcel and the location of the streets on either side of this parcel, we do not believe that the request will confer any special privilege upon the owner.

We believe that the granting of this special use will bring this property within the current Special Use Ordinance. The addition, with the exception of the placement of the air conditioning unit, will meet all of the current zoning requirements of the R-4 Zoning District. We believe that the variation for the placement of the air conditioning unit is appropriate due to the uniqueness of this parcel and the non-effect it will have on the surrounding properties.

I look forward to presenting the details of this project to you and answering any questions you may have.

Sincerely,

WIEDEL, HUDZIK, RUSS & PHILIPP



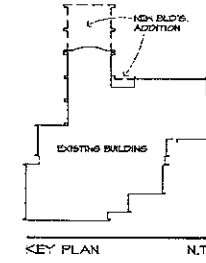
James F. Russ, Jr.

JFR/brd

# Addition and Remodeling for:

# ST. LUKE PRESBYTERIAN CHURCH

## Downers Grove,



### CODE DATA

The following building codes have been adopted for the Village of Downers Grove:

- 2000 International Building Code & Downers Grove Amendments
- 2000 International Fuel & Gas Code
- 2000 Energy Conservation Code
- 2000 International Mechanical Code
- 2000 International Fire Code & Downers Grove Amendments
- 2000 International Electric Code & Downers Grove Amendments
- 2003 L&B Safety Code WFA
- Current Downers Grove Zoning Ordinance
- Current State of Illinois Planning Code & Downers Grove Amendments
- Current State Accessibility Code

A spot survey is required and to be ready for any commencement and the Village of Downers Grove Community Development Department approves the submitted spot survey.

## Illinois

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E-21	FIRE ALARM SCHEDULES AND NOTES
E-22	ELECTRICAL SCHEDULES, FISER, AND NOTES
EL-10	ELECTRICAL LIGHT FIXTURE SCHEDULE, DETAILS, AND NOTES
EL-11	ELECTRICAL LIGHTING PLAN
EL-12	ELECTRICAL DIMMING SYSTEM
SPP-11	SPRINKLER PLAN AND DETAILS

LEGEND OF MATERIALS	
CONCRETE	BATT INSULATION
CONCRETE BLOCK	RIGID INSULATION
FACE BRICK	FRESH WOOD
EXTERIOR INSULATION FINISH SYSTEM	UNINTERRUPTED WOOD FRAMING
STONE	HYPERTREATED WOOD FRAMING
STRUCTURAL TILE	PLYWOOD
STEEL	PLASTIC LAMINATE
EARTH	ACOUSTICAL TILE
GRAVELLY FILL	MARBLE OR SLATE
STAINLESS STEEL	WOOD DECK

ABBREVIATIONS	
ASB	Asbestos
B	Brick
C	Concrete
C-1	Concrete Block
CL	Clay
CS	Cast Stone
D	Dimension
E	Elevation
F	Finish
F-1	Face Brick
F-2	Face Brick
F-3	Face Brick
F-4	Face Brick
F-5	Face Brick
F-6	Face Brick
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F-97	Face Brick
F-98	Face Brick
F-99	Face Brick
F-100	Face Brick

LEGEND OF SYMBOLS		
BUILDING SECTION	NAME	ROOM NUMBER
DETAIL DESIGNATION	CLASS TYPE	
ELEVATION POINT	FRAME TYPE	
HATCH LINE	WALL TYPE	
EXTERIOR ELEVATION	DOOR NUMBER	
INTERIOR ELEVATION	NOTE	
REFERENCE LINE	REVISION	

**REGISTRATION**

**CODE DATA**

SEE CODE DATA LISTED ON THIS SHEET ABOVE FOR ADDITIONAL CODE DATA REFER TO CCD-11

**GENERAL NOTES**

The Owner and Architect warrant that the project is in compliance with all applicable codes and regulations.

100% CONSTRUCTION DOCUMENTS

**ST. LUKE PRESBYTERIAN CHURCH**

DOWNERS GROVE, ILLINOIS

REVISIONS	

**FOR BID AND PERMIT**

DATE: SEPTEMBER 8, 2006

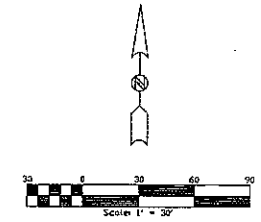
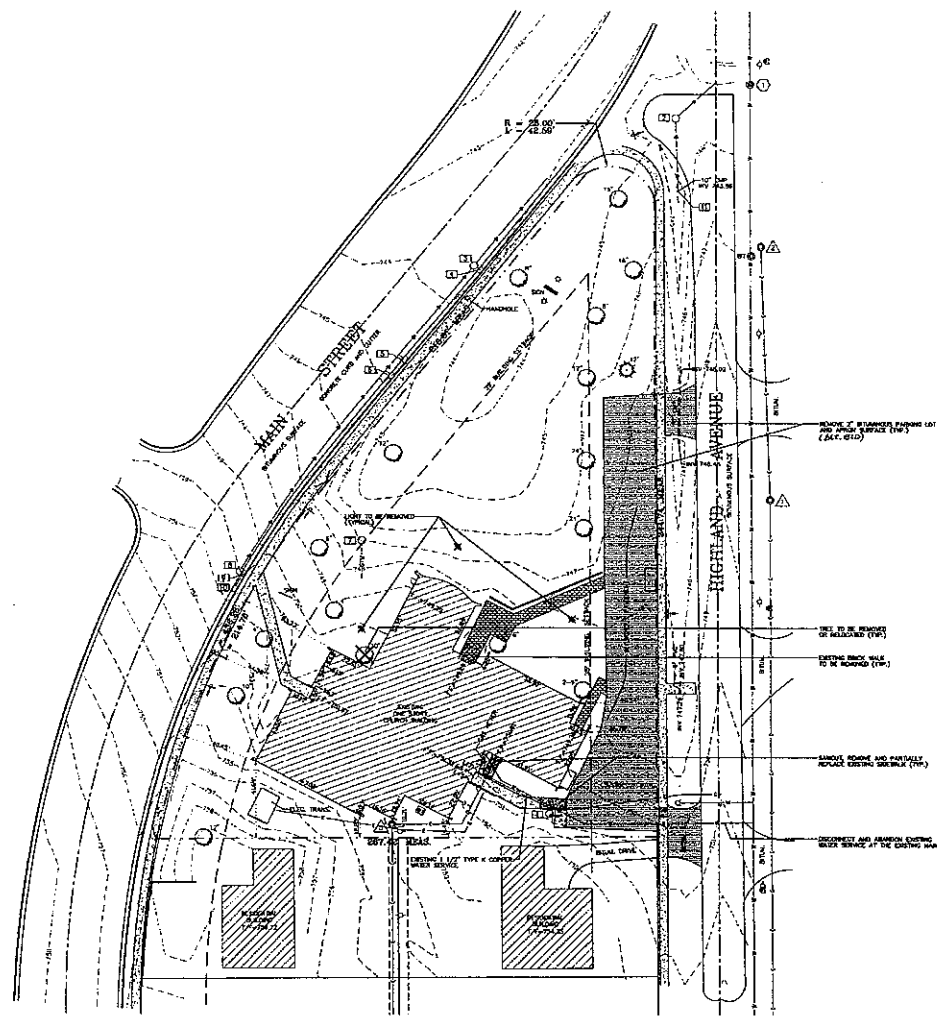
PROJECT NUMBER: 9900

SHEET NUMBER: T-11

David F. Schultz Associates, Ltd.

202 South Cook Street  
Suite 201  
Barrington, Illinois 60010  
Phone (815) 381-8508

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NOTE: ALL UTILITIES LOCATED AS SHOWN ON THIS PLAN. ALL UTILITIES TO BE REMOVED AT THE CONSTRUCTION SITE.

LEGEND	
EXISTING	PROPOSED
WATER	W
ELECTRIC	E
TELEPHONE	T
GAS	G
OVERHEAD WIRE	OW
SEWER	S
STORM SEWER	SS
DRAIN TILE	DT
MANHOLE	M
CATCH BASIN	CB
RAIL	R
FLANGED END SECTION	FES
CONIC HEADWALL FOR PIPE DRAIN	CH
WALK VALVE	WV
VALVE IN BOX	VIB
BURIED BOX	BB
COMPONENT	COMP
PIPE	P
HYDRANT	H
HANDICAPPED RAMP	HR
ELEVATION	E
CONTOUR	C
FLUM	FL
100' OR OVERFLOW	100'
UTILITY POLE	UP
DRY	D

SEWALK AND WALK TO BE REMOVED

SMALLEST STRUCTURES	STORM STRUCTURES
<ul style="list-style-type: none"> <li>SEWAGE MANHOLE</li> <li>SEWAGE MANHOLE</li> <li>SEWAGE MANHOLE</li> </ul>	<ul style="list-style-type: none"> <li>CATCH BASIN</li> <li>CATCH BASIN</li> <li>CATCH BASIN</li> <li>RAIL</li> <li>RAIL</li> <li>RAIL</li> </ul>

1 EXISTING CONDITIONS AND DEMOLITION PLAN

David F. Schultz Associates, Ltd.

ENGINEERING RESOURCE ASSOCIATES, INC.  
 100% CONSTRUCTION DOCUMENTS  
 100% CONSTRUCTION DOCUMENTS

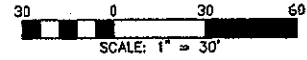
ST. LUKE PRESBYTERIAN CHURCH  
 DOWNERS GROVE, ILLINOIS

REVISIONS

FOR BID & PERMIT  
 DATE: SEPTEMBER 5, 2006  
 PROJECT NUMBER: 9006  
 SHEET NUMBER: C-11

2025 Fourth Cook Street  
 Suite 201  
 Barrington, Illinois 60010  
 Phone (847) 381-8808

# PLAT OF SURVEY



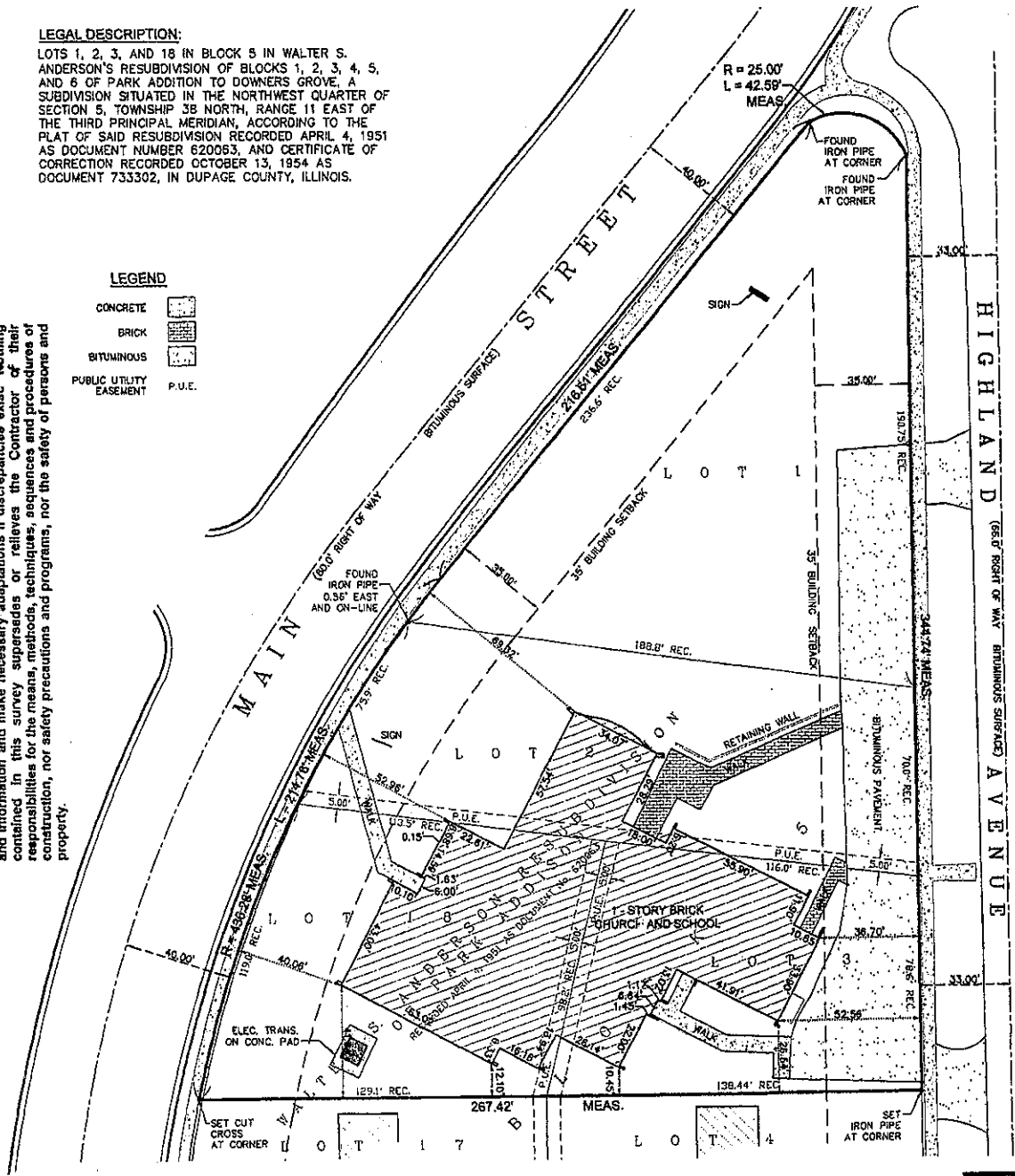
**LEGAL DESCRIPTION:**

LOTS 1, 2, 3, AND 18 IN BLOCK 8 IN WALTER S. ANDERSON'S RESUBDIVISION OF BLOCKS 1, 2, 3, 4, 5, AND 6 OF PARK ADDITION TO DOWNERS GROVE, A SUBDIVISION SITUATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED APRIL 4, 1951 AS DOCUMENT NUMBER 620053, AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 13, 1954 AS DOCUMENT 733302, IN DUPAGE COUNTY, ILLINOIS.

**LEGEND**

- CONCRETE
- BRICK
- BITUMINOUS
- PUBLIC UTILITY EASEMENT P.U.E.

**NOTE:**  
This survey is provided for reference only. Architect makes no warranty as to accuracy of information provided and it is expressly understood that Architect will not be responsible for interpretations or conclusions drawn therefrom by Contractor. Field verify all conditions. Contractor shall verify all such dimensions, elevations and information, and make necessary adjustments if discrepancies exist. Nothing contained in this survey supersedes or relieves the Contractor of their responsibilities for the means, methods, techniques, and procedures and construction, nor safety precautions and programs, nor the safety of persons and property.



**COMMON ADDRESS:**  
3910 HIGHLAND AVENUE  
DOWNERS GROVE, ILLINOIS 60515

**P.I.N.(S):** 09-05-104-019

**SURVEYOR'S NOTE:**  
THE PUBLIC UTILITY EASEMENTS BETWEEN LOTS 3 AND 18 AND ALONG THE SOUTH LINE OF LOT 2 DEDICATED PER DOCUMENT NUMBER 620053 HAVE BEEN VACATED PER DOCUMENT NUMBER R74-37677.

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) S.S.

SHEET NUMBER  
**PS - 1.1**

I, DONALD E. RERICKA, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED AT WARRENVILLE, IL. THIS 11TH DAY OF DECEMBER A.D. 2007

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3465  
EXPIRES: NOVEMBER 30, 2008

V:\05\271007 St. Luke Presbyterian\Survey\271007-PDS.dwg



**ENGINEERING RESOURCE ASSOCIATES, INC.**  
CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60555  
PHONE (630) 393-3060  
FAX (630) 393-2152

426 SOUTH THIRD STREET  
GENEVA, ILLINOIS 60134  
PHONE (630) 262-8689  
FAX (630) 262-8698

**TITLE:**  
**PLAT OF SURVEY**  
**ST. LUKE PRESBYTERIAN CHURCH**  
**DOWNERS GROVE, ILLINOIS 60515**

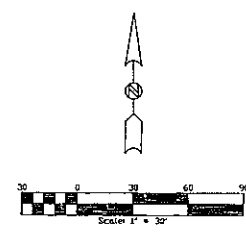
**SCALE:** 1" = 30'  
**DATE:** 12/11/07  
**JOB NO:** 271007  
**SHEET:** 1 OF 1





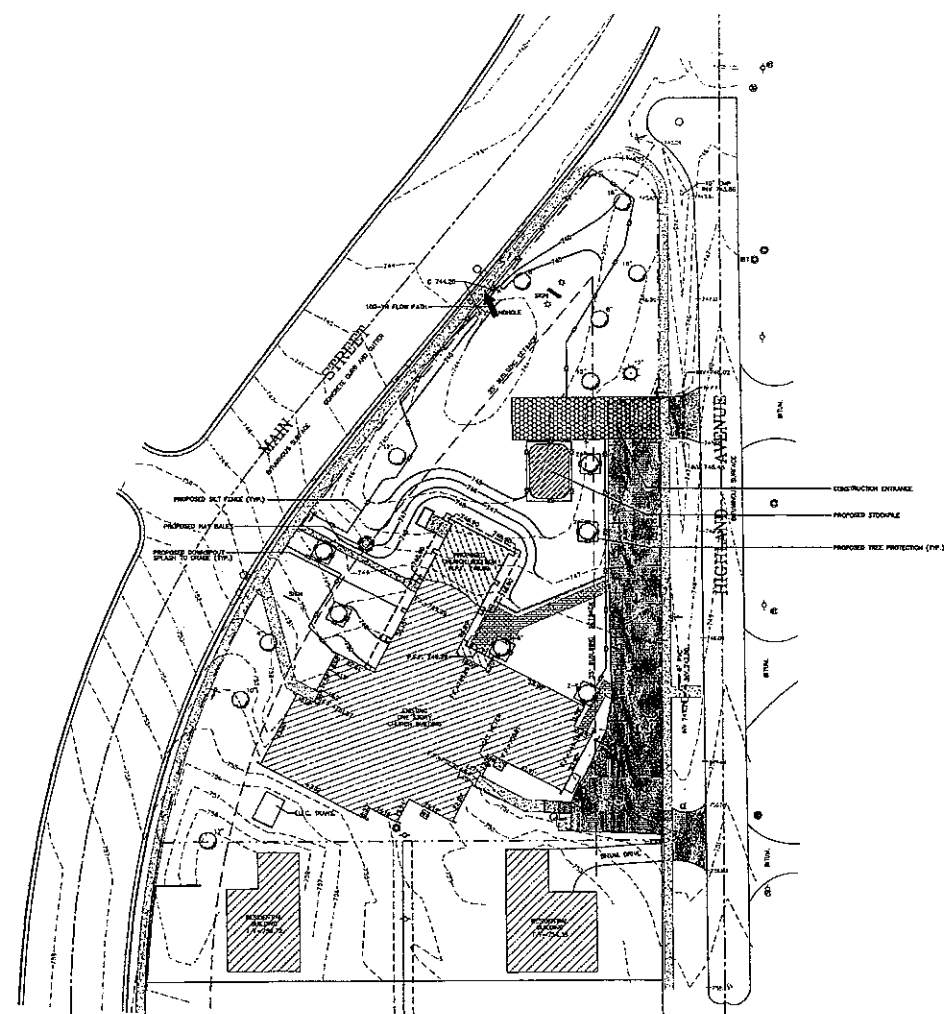
David F. Schultz Associates, Ltd.

202 South Cook Street  
Suite 201  
Barrington, Illinois 60010  
Phone (847) 391-8808



NOTES:  
WELL BILLS ON HYDRAULIC LOCATED AT THE  
CORNER OF ST. LUKE CHURCH, APPROXIMATELY  
10 FEET W. OF E.P. ON HIGHLAND AVE.  
ELECTRIC

	LEGEND	
	EXISTING	PROPOSED
BUILD CURB AND GUTTER		
WATER		
ELECTRIC		
TELEPHONE		
GAS		
CANADIAN WIRE		
SANITARY SEWER		
STORM SEWER		
SEWER IN		
MANHOLE		
CATCH BASIN		
WELT		
FLARED (NO SECTION)		
CONC. HEADWALL FOR PIPE DEAN		
VALVE VALET		
VALVE IN BOX		
BUFFERS BOX		
DOWNSPOUT		
SAE VALVE		
WINDRAST		
HANDICAPPED RAMP		
ELEVATION		
TYPEN		
100 IN OVERFLOW		
UTILITY POLE		
STN		



- NOTES:**
- AN EROSION CONTROL AND EROSION CONTROL MEASURES IS REQUIRED FROM THE START OF CONSTRUCTION. THE MEASURES SHALL BE INSTALLED AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. A PLAN OF THE MEASURES SHALL BE SUBMITTED IN WRITING TO THE TOWNSHIP OF DOWNERS GROVE.
  - THE MEASURES SHALL BE THE MINIMUM OF THE FIELD DURING THE CONSTRUCTION PERIOD. THE MEASURES SHALL BE SUBMITTED IN WRITING TO THE TOWNSHIP OF DOWNERS GROVE.
  - A FINAL EROSION CONTROL MEASURES IS REQUIRED AT THE COMPLETION OF THIS PROJECT. IT SHALL BE INSTALLED AT THE COMPLETION OF THE PROJECT. THE MEASURES SHALL BE SUBMITTED IN WRITING TO THE TOWNSHIP OF DOWNERS GROVE. THE MEASURES SHALL BE INSTALLED AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. A PLAN OF THE MEASURES SHALL BE SUBMITTED IN WRITING TO THE TOWNSHIP OF DOWNERS GROVE.
  - ALL NEW STRUCTURES OR IMPROVEMENTS SHALL BE INSTALLED ON THE FINAL GRADING SURFACE. THE MEASURES SHALL BE SUBMITTED IN WRITING TO THE TOWNSHIP OF DOWNERS GROVE. THE MEASURES SHALL BE INSTALLED AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. A PLAN OF THE MEASURES SHALL BE SUBMITTED IN WRITING TO THE TOWNSHIP OF DOWNERS GROVE.
  - EROSION CONTROL MEASURES SHALL BE INSTALLED AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE MEASURES SHALL BE SUBMITTED IN WRITING TO THE TOWNSHIP OF DOWNERS GROVE.

ENGINEERING RESOURCES, INC.  
CONSULTING ENGINEERS AND ARCHITECTS  
1234 WEST AVENUE, SUITE 100 W. STATE STREET, SUITE 100  
WARRICKVILLE, ILLINOIS 60093 WHEELING, ILLINOIS 60090  
PHONE (847) 391-8808 FAX (847) 391-8808

SRA NO. 278107

100% CONSTRUCTION DOCUMENTS  
**ST. LUKE PRESBYTERIAN CHURCH**  
DOWNERS GROVE, ILLINOIS

REVISIONS

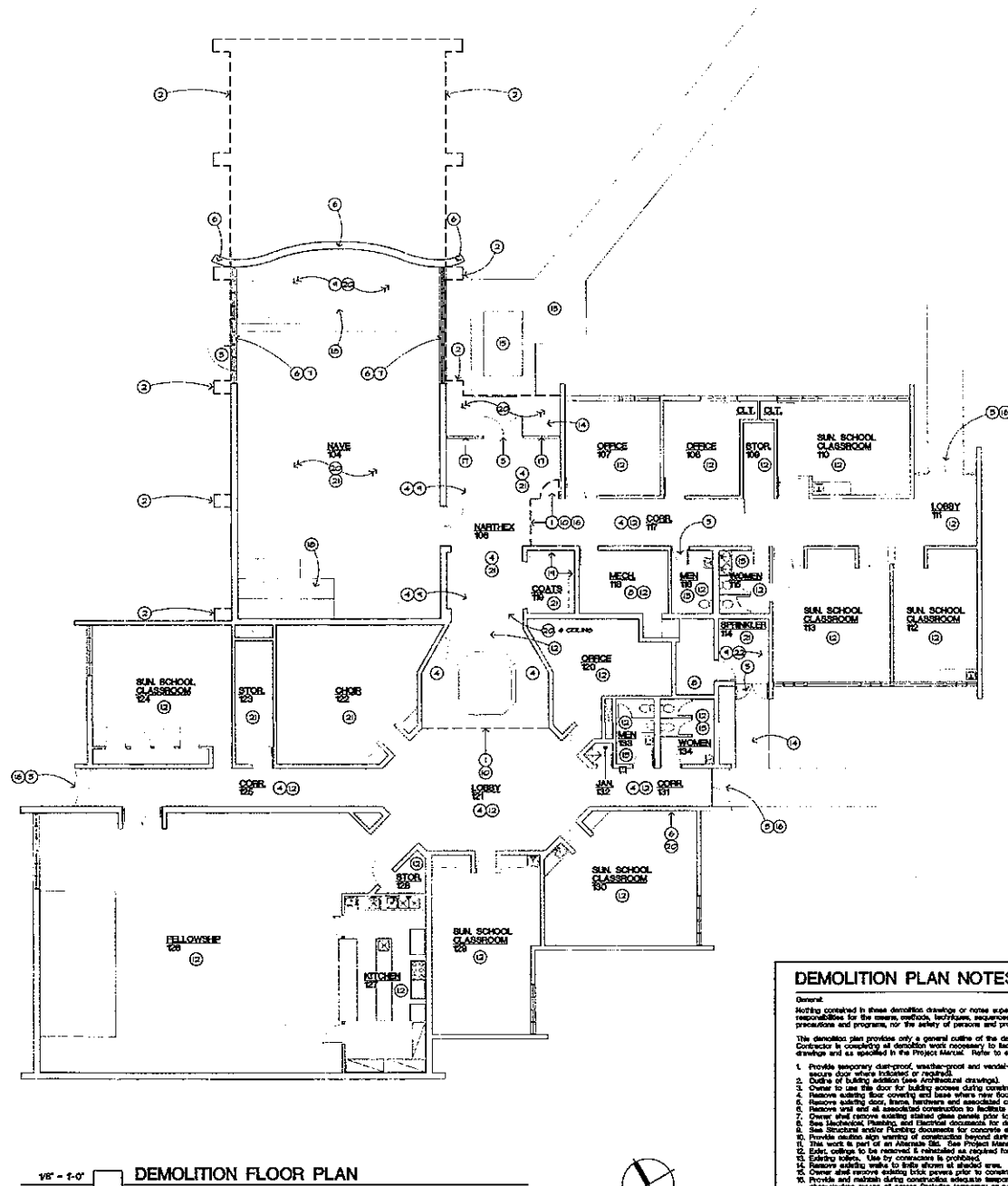
**FOR BID & PERMIT**  
DATE: SEPTEMBER 6, 2008  
PROJECT NUMBER: 0008  
SHEET NUMBER: C-3.1

1 GRADING AND EROSION CONTROL PLAN



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**DEMOLITION PLAN NOTES:**

General:

1. Verify contents in these demolition drawings or notes supersede or relieve the Contractor of their responsibilities for the means, methods, techniques, sequences and procedures of construction, site safety procedures and programs for the safety of persons and property.

The demolition plan provides only a general outline of the demolition requirements, and does not limit the Contractor to completing all demolition work necessary to facilitate completion of the work as shown in the drawings and as specified in the Project Manual. Refer to all Documents and G.C. for further information.

1. Provide temporary dust-proof, weather-proof and wind-proof partition wall during construction (provide where floor levels indicated or required).
2. Outline of building addition (see Architectural drawings).
3. Order to use the door for loading across during construction.
4. Remove existing floor covering and base where new floor covering is specified (N.B. 10).
5. Remove existing floor, beams, partitions and suspended construction and other to be shown by and noted.
6. Remove wall and all associated construction to facilitate new construction (typical at shaded areas).
7. Owner shall remove existing material, give credit prior to construction removal of existing where these.
8. See Architectural, Planning and Electrical documents for demolition work in this room.
9. See Structural and Floor Plans documents for concrete slab removal and replacement where required.
10. Provide weather sign warning of construction beyond during duration of construction.
11. This work is part of an Alternate Bid. Use Project Manual for details.
12. Refer to notes to be removed, it indicated as required for new work.
13. Existing ceiling. Use by contractor in projects.
14. Remove existing walls to limit extent of finished area. See Old Documents for further details also note this.
15. Owner shall remove existing brick piers prior to construction. See notes on sheet A-11.
16. Provide and maintain during construction adequate temporary or permanent emergency systems and safe, obstruction-free means of egress including temporary or permanent exit systems & smooth protected walkways.
17. Remove existing window and all associated construction to facilitate new construction.
18. Remove existing built-up channel flange or substructure of door.
19. Remove upper coil and coil (N.B. 10). If existing coil breaks below to remain.
20. Remove existing construction to facilitate new construction.
21. Remove existing ceiling in the space 10 and 11 to facilitate new construction.
22. Remove existing floor as required for new water service, floor drain and pits. Refer to match existing.

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Suite 201  
Barrington, Illinois 60010  
Phone (847) 381-8808

100% CONSTRUCTION DOCUMENTS

**ST. LUKE  
PRESBYTERIAN  
CHURCH**

DOWNERS GROVE, ILLINOIS

REVISIONS	

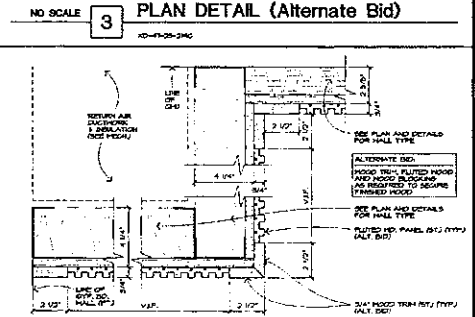
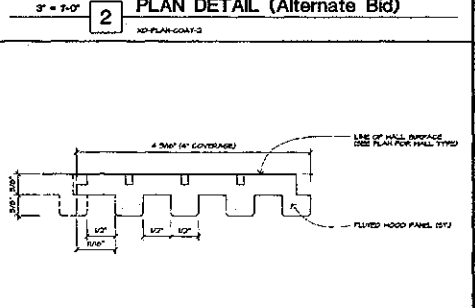
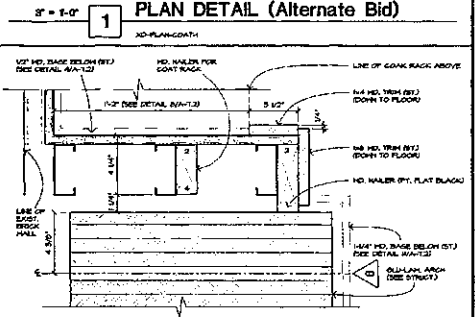
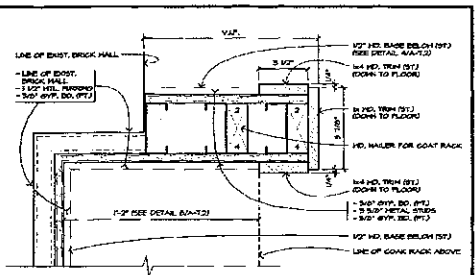
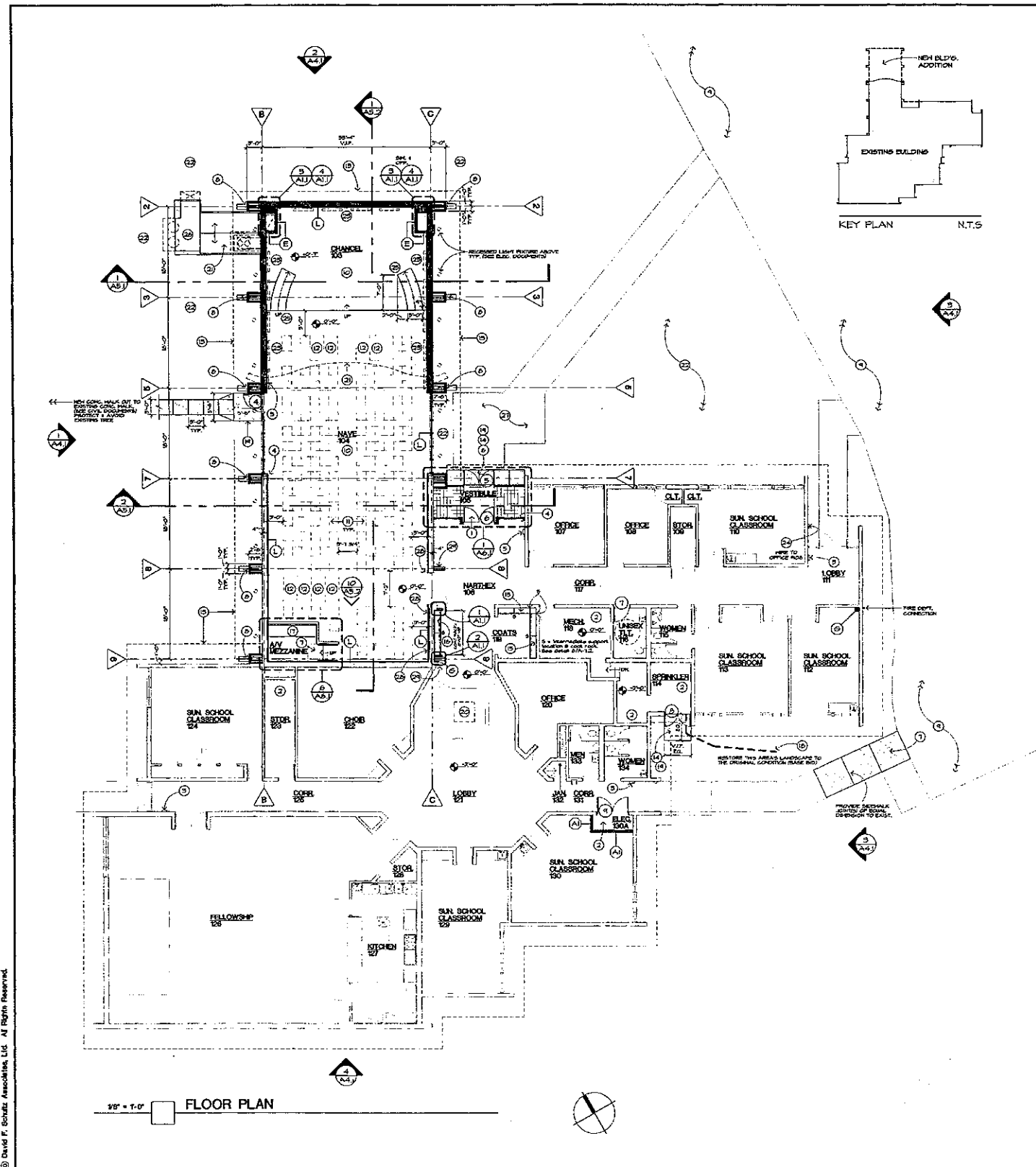
**FOR BID AND PERMIT**

DATE  
SEPTEMBER 6, 2005

PROJECT NUMBER  
9805

SHEET NUMBER  
D-11

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**FLOOR PLAN PLAN NOTES**

General:  
Nothing contained in these drawings or notes absolves or relieves the Contractor of their responsibility for the means, methods, techniques, sequences and procedures of construction, nor the safety precautions and programs, or the safety of persons and property. All construction shall be installed in accordance with all applicable provisions of the State Accessibility Code (most recent edition) and all other applicable codes.

1. 6'-0" wide x 1'-0" deep door opening with set. See detail 1-13 on sheet 1-12.
2. Existing fire extinguisher cabinet.
3. Existing fire extinguisher cabinet to be removed and replaced by that required.
4. New fire extinguisher cabinet to be provided and installed by the Contractor.
5. New fire extinguisher cabinet to be provided and installed by the Contractor.
6. New fire extinguisher cabinet to be provided and installed by the Contractor.
7. Existing fire extinguisher cabinet to be removed and replaced by that required.
8. New fire extinguisher cabinet to be provided and installed by the Contractor.
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17. New fire extinguisher cabinet to be provided and installed by the Contractor.
18. New fire extinguisher cabinet to be provided and installed by the Contractor.
19. New fire extinguisher cabinet to be provided and installed by the Contractor.
20. New fire extinguisher cabinet to be provided and installed by the Contractor.

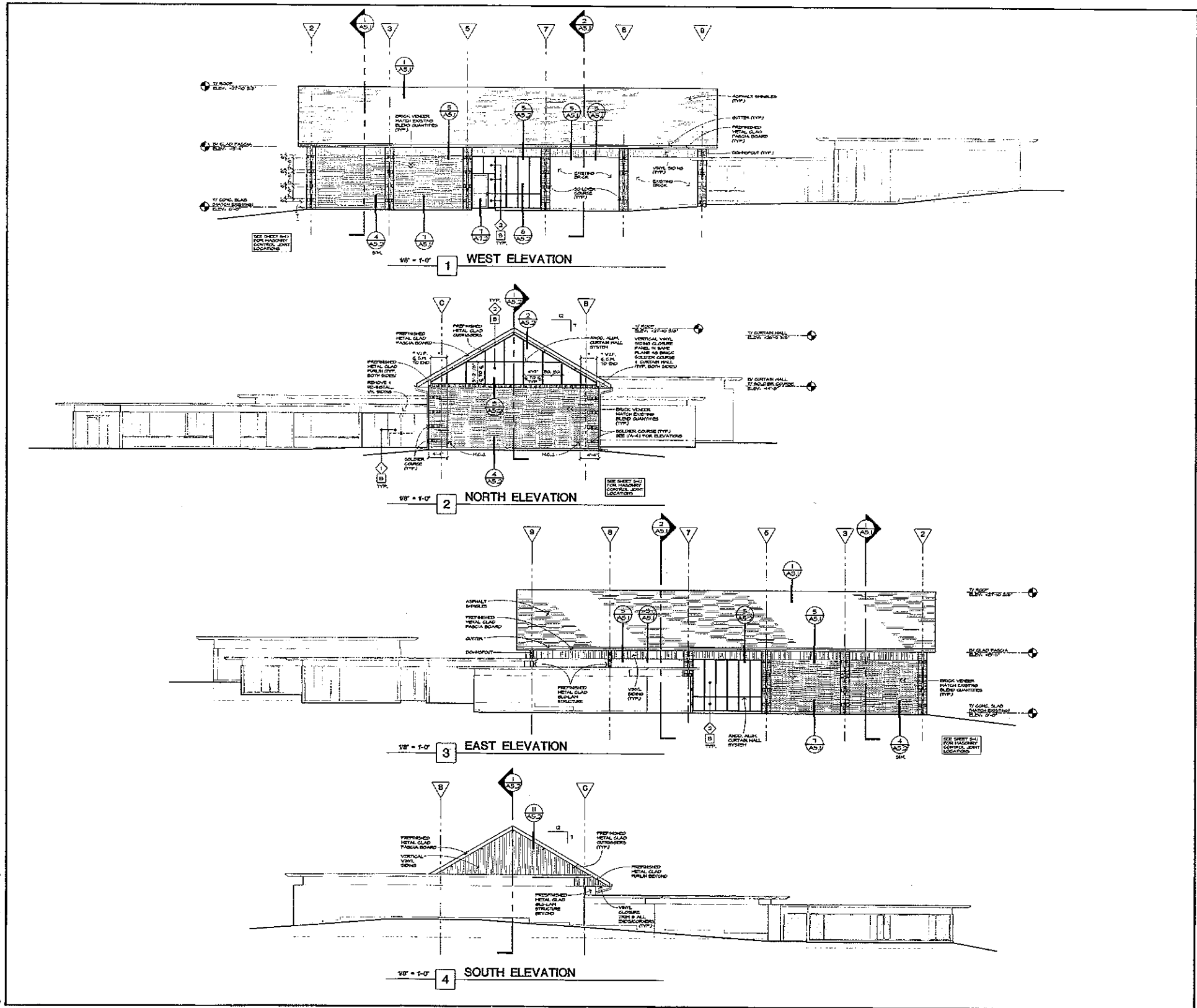
David F. Schultz Associates, Ltd.  
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Suite 201  
Barrington, Illinois 60010  
Phone (847) 381-8808

100% CONSTRUCTION DOCUMENTS  
**ST. LUKE  
PRESBYTERIAN  
CHURCH**  
DOWNS GROVE, ILLINOIS

NO.	REVISIONS

FOR BID AND PERMIT

DATE	SEPTEMBER 5, 2008
PROJECT NUMBER	9808
SHEET NUMBER	A-11



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ST. LUKE  
 PRESBYTERIAN  
 CHURCH  
 DOWNERS GROVE, ILLINOIS

REVISIONS	

FOR BID AND PERMIT

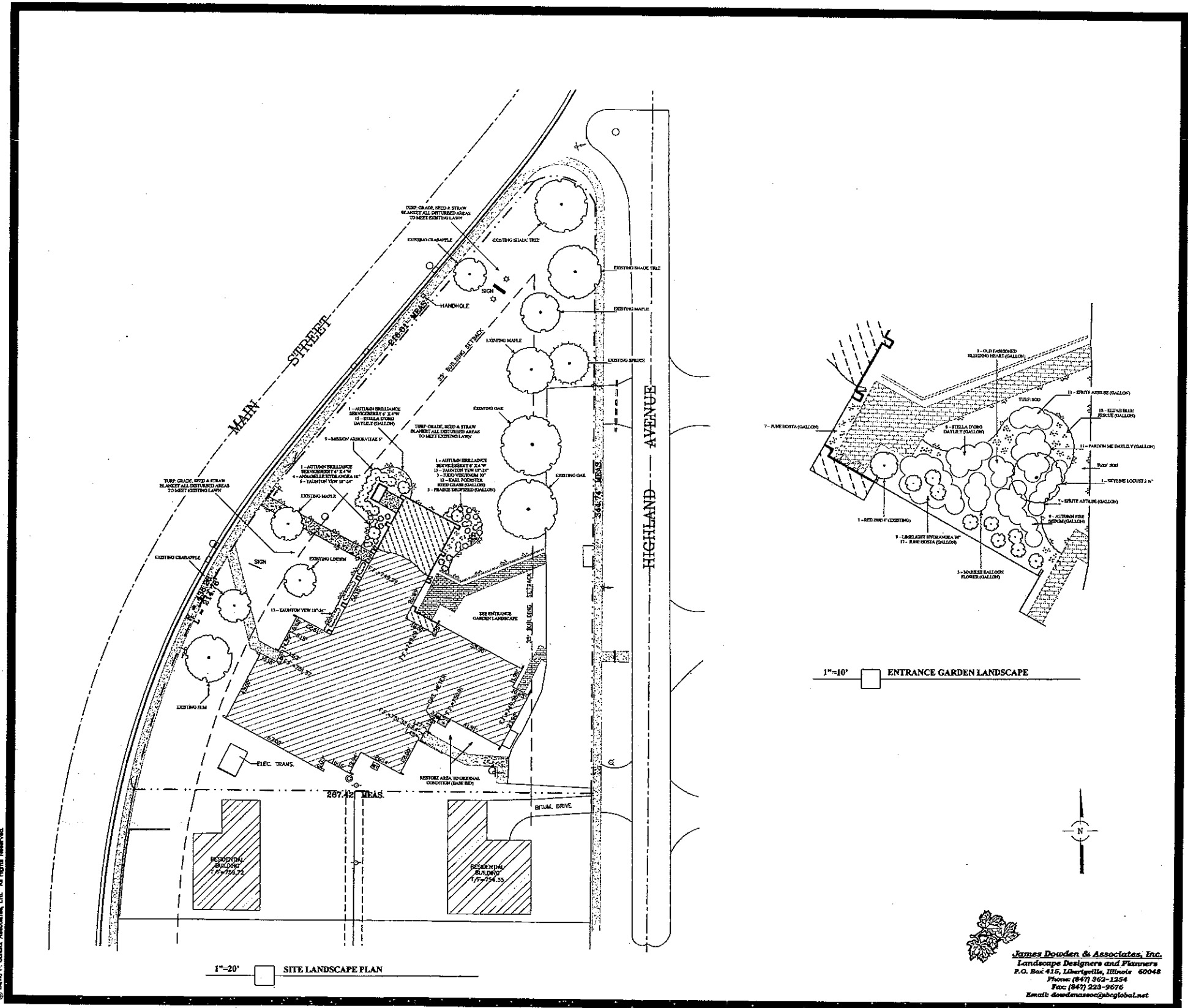
DATE  
 SEPTEMBER 6, 2008

PROJECT NUMBER  
 0008

SHEET NUMBER  
 A-4.1

202 South Cook Street  
 Suite 201  
 Barrington, Illinois 60010  
 Phone (847) 381-8808





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**James Dowden & Associates, Inc.**  
 Landscape Designers and Planners  
 P.O. Box 415, Libertyville, Illinois 60048  
 Phone: (847) 323-1254  
 Fax: (847) 323-9576  
 Email: dowdenassoc@bcglobe.net

David F. Schultz Associates, Ltd.

202 South Cook Street  
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 Barrington, Illinois 60010  
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100% CONSTRUCTION DOCUMENTS

**ST. LUKE  
 PRESBYTERIAN  
 CHURCH**

DOWNERS GROVE, ILLINOIS

FOR BID AND PERMIT

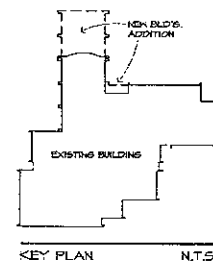
REVISIONS	

DATE	SEPTEMBER 5, 2008
PROJECT NUMBER	9906
SHEET NUMBER	L - 1.1

# Addition and Remodeling for:

# S.T. LUKE PRESBYTERIAN CHURCH

# Downers Grove,



**CODE DATA**  
 The following building codes have been adopted for the Village of Downers Grove:  
 - 2000 International Building Code & Downers Grove Amendments  
 - 2000 International Fuel & Gas Code  
 - 2000 Energy Conservation Code  
 - 2000 International Mechanical Code  
 - 2000 International Fire Code & Downers Grove Amendments  
 - 2000 International Electrical Code & Downers Grove Amendments  
 - 2003 LSA Safety Code 9394  
 - Current Downers Grove Zoning Ordinance  
 - Current State of Illinois Planning Code & Downers Grove Amendments  
 - Current State Accessibility Code

A spot survey is required and to be filed with any application with the Village of Downers Grove Community Development Department upon the submitted spot survey.

# Illinois

David F. Schultz Associates, Ltd.

202 South Cook Street  
 Suite 201  
 Barrington, Illinois 60010  
 Phone (847) 381-8808

**DRAWING INDEX**

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PS-11 PLAT OF SURVEY	9-12 ROOF FRAMING PLAN
L-11 LANDSCAPE PLAN	9-21 FOUNDATION DETAILS
C-11 EXISTING CONDITIONS AND DEMOLITION PLAN	9-22 FOUNDATION DETAILS
C-21 GEOMETRIC AND UTILITY PLAN	9-23 FOUNDATION DETAILS
C-31 GRADING AND EROSION CONTROL PLAN	9-31 ROOF LEVEL FRAMING DETAILS
C-41 CIVIL NOTES	9-32 ROOF LEVEL FRAMING DETAILS
C-51 CIVIL DETAILS	9-33 ROOF LEVEL FRAMING DETAILS
CCD-11 CODE COMPLIANCE DATA	
A-11 FLOOR PLAN	DMP-11 MECHANICAL AND PLUMBING DEMOLITION PLAN
A-21 REFLECTED CEILING PLAN	M-11 MECHANICAL PLAN
A-31 ROOF PLAN	M-20 MECHANICAL SCHEDULES
A-41 EXTERIOR ELEVATIONS	M-30 MECHANICAL DETAILS AND SYMBOLS
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A-81 LARGE SCALE PLANS, START DETAILS, AND SECTION DETAILS	E-10 ELECTRICAL POWER SITE PLAN
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	E-22 ELECTRICAL SCHEDULES, RISER, AND NOTES
	EL-10 ELECTRICAL LIGHT FIXTURE SCHEDULE, DETAILS, AND NOTES
	EL-11 ELECTRICAL LIGHTING PLAN
	EL-12 ELECTRICAL DRAWING SYSTEM
	SPR-11 SPRINKLER PLAN AND DETAILS

**LEGEND OF MATERIALS**

CONCRETE	BATT INSULATION
CONCRETE BLOCK	ROCK INSULATION
FACE BRICK	FRESH WOOD
EXTERIOR INSULATION FINISH SYSTEM	UNINTERRUPTED WOOD FRAMING
STONE	INTERRUPTED WOOD FRAMING
STRUCTURAL TILE	PLYWOOD
STEEL	PLASTIC LAMINATE
EARTH	ACOUSTICAL TILE
GRAVEL FILL	MARBLE OR SLATE
STAINLESS STEEL PAVING	WOOD DECK

**ABBREVIATIONS**

SYMBOL	ABBREVIATION	DESCRIPTION
[Symbol]	AP	APPLY
[Symbol]	ASB	ASBESTOS
[Symbol]	B	BATT INSULATION
[Symbol]	BR	BRICK
[Symbol]	BRO	BROWN OXIDATION
[Symbol]	C	CONCRETE
[Symbol]	CB	CONCRETE BLOCK
[Symbol]	CE	CEILING
[Symbol]	CH	CHIMNEY
[Symbol]	CIS	CORROSION RESISTANT SURFACE
[Symbol]	CL	CEMENT LATH
[Symbol]	CLC	CEMENT LIGHT CURING CURABLE
[Symbol]	CLF	CEMENT FLOURED SAND
[Symbol]	CLG	CERAMIC TILE
[Symbol]	CLS	CERAMIC TILE SURFACE
[Symbol]	CLT	CERAMIC TILE TILE
[Symbol]	CLV	CERAMIC TILE VENEER
[Symbol]	CLW	CERAMIC TILE WALL
[Symbol]	CLX	CERAMIC TILE FLOOR
[Symbol]	CLY	CERAMIC TILE YIELD
[Symbol]	CLZ	CERAMIC TILE ZONE
[Symbol]	CL1	CERAMIC TILE 1
[Symbol]	CL2	CERAMIC TILE 2
[Symbol]	CL3	CERAMIC TILE 3
[Symbol]	CL4	CERAMIC TILE 4
[Symbol]	CL5	CERAMIC TILE 5
[Symbol]	CL6	CERAMIC TILE 6
[Symbol]	CL7	CERAMIC TILE 7
[Symbol]	CL8	CERAMIC TILE 8
[Symbol]	CL9	CERAMIC TILE 9
[Symbol]	CL10	CERAMIC TILE 10
[Symbol]	CL11	CERAMIC TILE 11
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[Symbol]	CL14	CERAMIC TILE 14
[Symbol]	CL15	CERAMIC TILE 15
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[Symbol]	CL99	CERAMIC TILE 99
[Symbol]	CL100	CERAMIC TILE 100

**LEGEND OF SYMBOLS**

SYMBOL	NAME	ROOM NUMBER
[Symbol]	BUILDING SECTION	000
[Symbol]	DETAIL DESIGNATION	
[Symbol]	ELEVATION POINT	
[Symbol]	MATCH LINE	
[Symbol]	EXTERIOR ELEVATION	
[Symbol]	INTERIOR ELEVATION	
[Symbol]	REFERENCE LINE	
[Symbol]	GLASS TYPE	
[Symbol]	FRAME TYPE	
[Symbol]	WALL TYPE	
[Symbol]	DOOR NUMBER	
[Symbol]	NOTE	
[Symbol]	REVISION	

**REGISTRATION**

**CODE DATA**  
 SEE CODE DATA LISTED ON THIS SHEET ABOVE FOR ADDITIONAL CODE DATA REFER TO CCD-11

**GENERAL NOTES**

1. All work shall be in accordance with the specifications of the State of Illinois and the specifications of the Village of Downers Grove, Illinois.

2. All work shall be in accordance with the specifications of the State of Illinois and the specifications of the Village of Downers Grove, Illinois.

3. All work shall be in accordance with the specifications of the State of Illinois and the specifications of the Village of Downers Grove, Illinois.

**100% CONSTRUCTION DOCUMENTS**

**ST. LUKE PRESBYTERIAN CHURCH**

DOWNERS GROVE, ILLINOIS

**REVISIONS**

NO.	DESCRIPTION

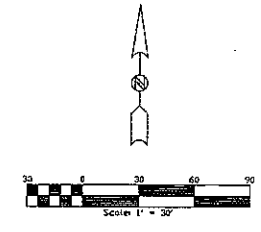
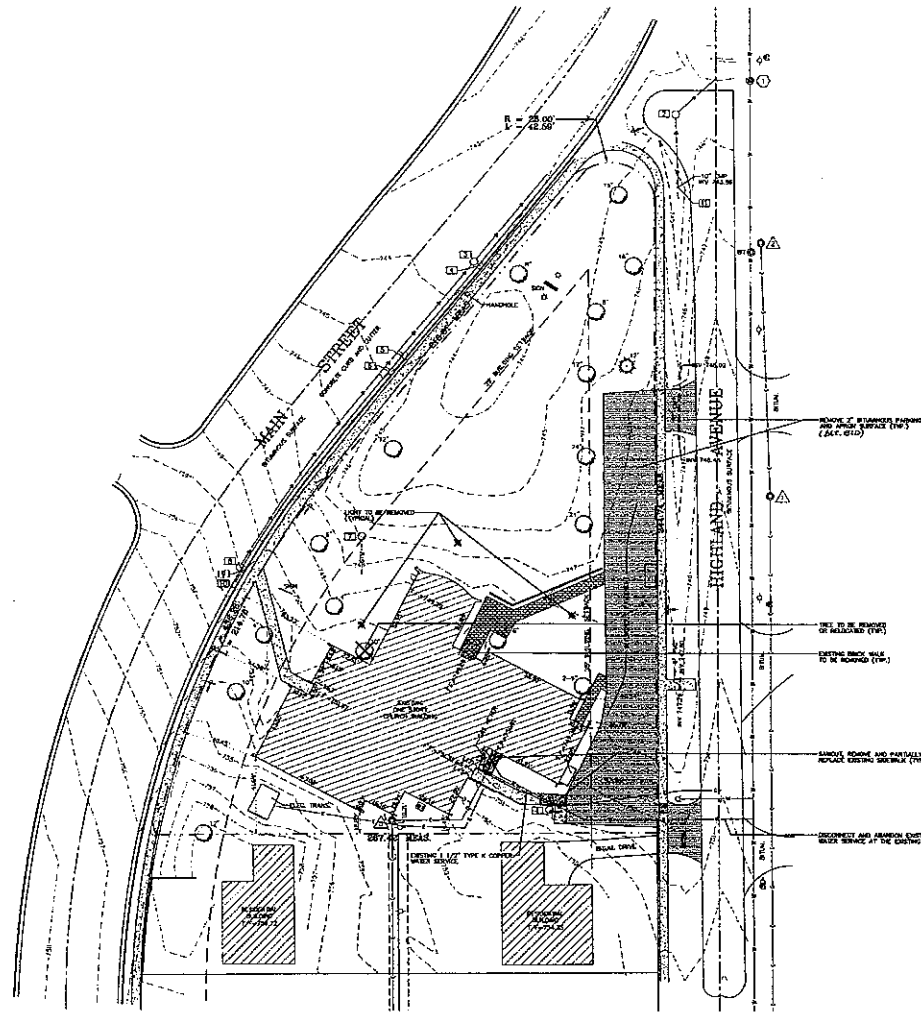
**FOR BID AND PERMIT**

DATE: SEPTEMBER 8, 2006  
 PROJECT NUMBER: 9900  
 SHEET NUMBER: T-11

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**NOTICE**  
 THIS PLAN OR ANY PART THEREOF IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.  
 DATE: 08/24/06

LEGEND	
EXISTING	PROPOSED
MULTI COLOR AND ALTERN.	---
WATER	W
ELECTRIC	E
TELEPHONE	T
GAS	G
OVERHEAD WIRES	OW
SEWER	S
STORM SEWER	SS
DRAIN TILE	DT
MANHOLE	M
CHUTE BASH	CB
PILE	P
FLANGED END SECTION	FES
CONC. JOINT FOR PIPE DRAIN	CJ
WALK VAULT	WV
VALVE IN BOX	VIB
BURIED BOX	BB
COMPONENT	COMP
GIS WALK	GW
HYDRANT	H
HANDICAPPED RAMP	HR
ELEVATION	+ 000'
CONTOUR	---
FLUM	FL
100' OR OVERFLOW	100' O/O
UTILITY POLE	UP
DRY	D

SIDEWALK AND WALK TO BE REMOVED

- |   |   |
|---|---|
| <b>SMALLEY STRUCTURES</b>   | <b>STORM STRUCTURES</b>   |
| <ul style="list-style-type: none"> <li>▲ SANITARY MANHOLE<br/>                     10" DIA.<br/>                     INV. 724.45 S</li> <li>▲ SANITARY MANHOLE<br/>                     10" DIA.<br/>                     INV. 724.45 S</li> <li>▲ SANITARY MANHOLE<br/>                     10" DIA.<br/>                     INV. 724.45 S</li> </ul> | <ul style="list-style-type: none"> <li>□ CATCH BASIN<br/>                     10" DIA.<br/>                     INV. 742.00 S</li> <li>□ CATCH BASIN<br/>                     10" DIA.<br/>                     INV. 742.00 S</li> <li>□ CATCH BASIN<br/>                     10" DIA.<br/>                     INV. 742.00 S</li> <li>□ WALK VAULT<br/>                     10" DIA.<br/>                     INV. 742.00 S</li> </ul> |

1 EXISTING CONDITIONS AND DEMOLITION PLAN

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**ENGINEERING RESOURCE ASSOCIATES, INC.**  
 100% CONSTRUCTION DOCUMENTS  
 100% CONSTRUCTION DOCUMENTS

**ST. LUKE PRESBYTERIAN CHURCH**  
 DOWNERS GROVE, ILLINOIS

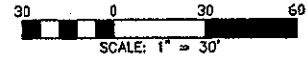
REVISIONS

**FOR BID & PERMIT**

DATE: SEPTEMBER 6, 2006  
 PROJECT NUMBER: 9006  
 SHEET NUMBER: C-11

2025 South Cook Street  
 Suite 201  
 Barrington, Illinois 60010  
 Phone (847) 381-8808

# PLAT OF SURVEY



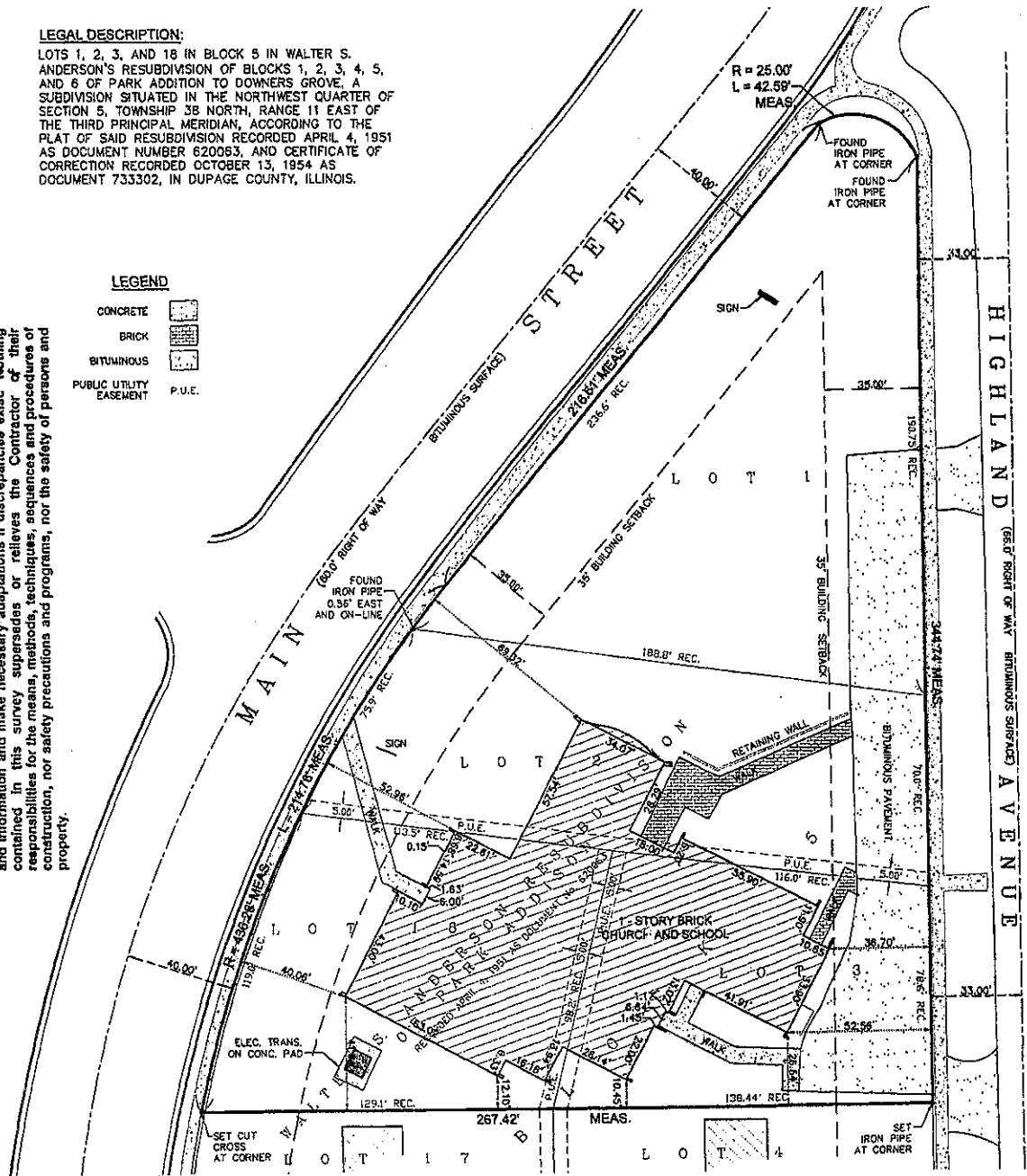
**LEGAL DESCRIPTION:**

LOTS 1, 2, 3, AND 18 IN BLOCK 8 IN WALTER S. ANDERSON'S RESUBDIVISION OF BLOCKS 1, 2, 3, 4, 5, AND 6 OF PARK ADDITION TO DOWNERS GROVE, A SUBDIVISION SITUATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED APRIL 4, 1951 AS DOCUMENT NUMBER 620053, AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 13, 1954 AS DOCUMENT 733302, IN DUPAGE COUNTY, ILLINOIS.

**LEGEND**

- CONCRETE
- BRICK
- BITUMINOUS
- PUBLIC UTILITY EASEMENT P.U.E.

**NOTE:**  
This survey is provided for reference only. Architect makes no warranty as to accuracy of information provided and it is expressly understood that Architect will not be responsible for interpretations or conclusions drawn therefrom by Contractor. Field verify all conditions. Contractor shall verify all such dimensions, elevations and information, and make necessary adjustments if discrepancies exist. Nothing contained in this survey supersedes or relieves the Contractor of their responsibilities for the means, methods, techniques, and procedures and construction, nor safety precautions and programs, nor the safety of persons and property.



**COMMON ADDRESS:**  
3910 HIGHLAND AVENUE  
DOWNERS GROVE, ILLINOIS 60515

**P.I.N.(S):** 09-05-104-019

**SURVEYOR'S NOTE:**  
THE PUBLIC UTILITY EASEMENTS BETWEEN LOTS 3 AND 18 AND ALONG THE SOUTH LINE OF LOT 2 DEDICATED PER DOCUMENT NUMBER 620053 HAVE BEEN VACATED PER DOCUMENT NUMBER R74-37677.

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) S.S.

SHEET NUMBER  
**PS - 1.1**

I, DONALD E. RERICKA, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED AT WARRENVILLE, IL. THIS 11TH DAY OF DECEMBER A.D. 2007

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3465  
EXPIRES: NOVEMBER 30, 2008

V:\05\271007 St. Luke Presbyterian\Survey\271007-PDS.dwg



**ENGINEERING RESOURCE ASSOCIATES, INC.**  
CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

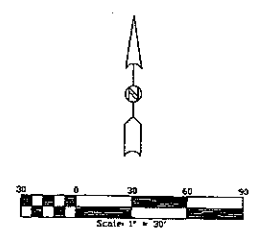
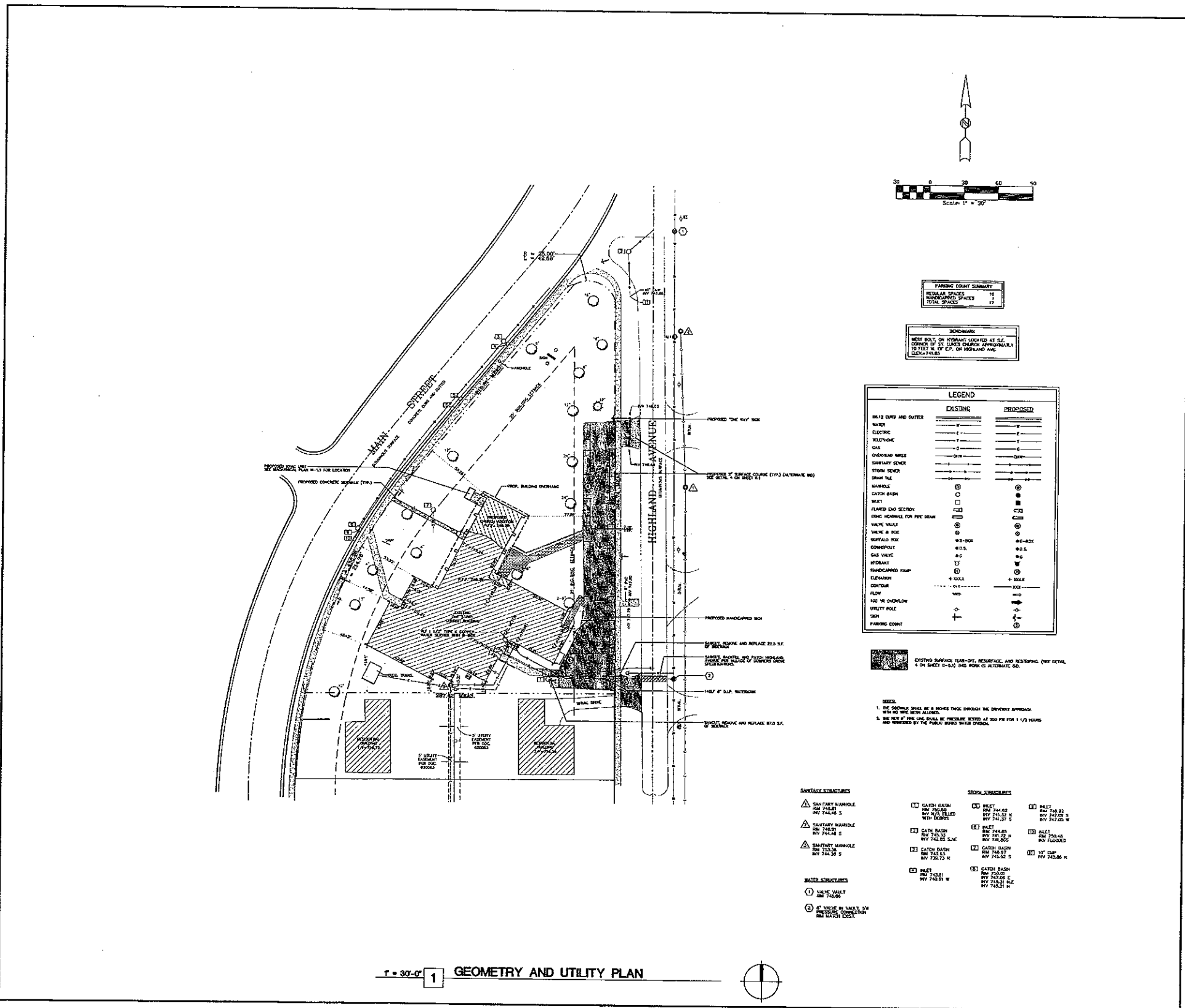
35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60555  
PHONE (630) 393-3060  
FAX (630) 393-2152

426 SOUTH THIRD STREET  
GENEVA, ILLINOIS 60134  
PHONE (630) 262-8689  
FAX (630) 262-8698

**TITLE:**  
**PLAT OF SURVEY**  
**ST. LUKE PRESBYTERIAN CHURCH**  
**DOWNERS GROVE, ILLINOIS 60515**

**SCALE:** 1" = 30'  
**DATE:** 12/11/07  
**JOB NO:** 271007  
**SHEET:** 1 OF 1

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**PARKING COUNT SUMMARY**

REGULAR SPACES	15
MANICURED SPACES	1
TOTAL SPACES	16

**BENCHMARK**  
 BENCH MARK ON HYDRAULIC LOGGED AT S.E. CORNER OF S.L. CHURCH (EAST) APPROXIMATELY 10 FEET N. OF E.P. OR HIGHLAND AVE. LONG-DURATION

**LEGEND**

	EXISTING	PROPOSED
WALL CURB AND GUTTER	—	—
WATER	—	—
ELECTRIC	—	—
TELEPHONE	—	—
GAS	—	—
OVERHEAD WIRES	—	—
SEWER	—	—
STORM SEWER	—	—
MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
WELT	⊙	⊙
FLARED END SECTION	⊙	⊙
CONC. MANHOLE FOR PIPE BEAM	⊙	⊙
VALVE WELT	⊙	⊙
VALVE & BOX	⊙	⊙
WATERFALL BOX	⊙	⊙
COMPOUND	⊙	⊙
GAS VALVE	⊙	⊙
HYDRANT	⊙	⊙
MANICURED RAMP	⊙	⊙
ELEVATOR	⊙	⊙
CONDUIT	⊙	⊙
POLE	⊙	⊙
NO. 10 OVERFLOW	⊙	⊙
UTILITY POLE	⊙	⊙
SIGN	⊙	⊙
PARKING COUNT	⊙	⊙

EXISTING SURFACE, SEASIDE, RESURFACE, AND RESTORING (SEE DETAIL 4 ON SHEET C-2.1) THIS WORK IS ALTERNATE NO. 1

- NOTES:**
- SEE DETAIL 4 ON SHEET C-2.1 FOR THE WORK TO BE DONE THROUGH THE DRIVEWAY APPROACH.
  - SEE DETAIL 4 ON SHEET C-2.1 FOR THE WORK TO BE DONE THROUGH THE DRIVEWAY APPROACH.

**SANITARY STRUCTURES**

▲ SANITARY MANHOLE NO. 7424.5 S	▲ SANITARY MANHOLE NO. 7424.5 S	▲ SANITARY MANHOLE NO. 7424.5 S
------------------------------------	------------------------------------	------------------------------------

**WATER STRUCTURES**

⊙ VALVE WELT NO. 7424.5 S	⊙ VALVE WELT IN VALVE BOX NO. 7424.5 S
------------------------------	---

**STREET STRUCTURES**

⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S
⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S
⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S	⊙ CATCH BASIN NO. 7424.5 S

2022 South Cook Street  
 Suite 201  
 Barrington, Illinois 60010  
 Phone (847) 381-1808

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 15761 WEST AVENUE, SUITE 100 WILMINGTON, ILLINOIS 60491  
 PHONE (815) 375-2000 FAX (815) 375-2112  
 201 W. STATE STREET, SUITE 1000 CHICAGO, ILLINOIS 60601  
 PHONE (312) 321-1800 FAX (312) 321-1808

ERA NO. 279007

100% CONSTRUCTION DOCUMENTS

**ST. LUKE PRESBYTERIAN CHURCH**  
 DOWNERS GROVE, ILLINOIS

**REVISIONS**

NO.	DATE	DESCRIPTION

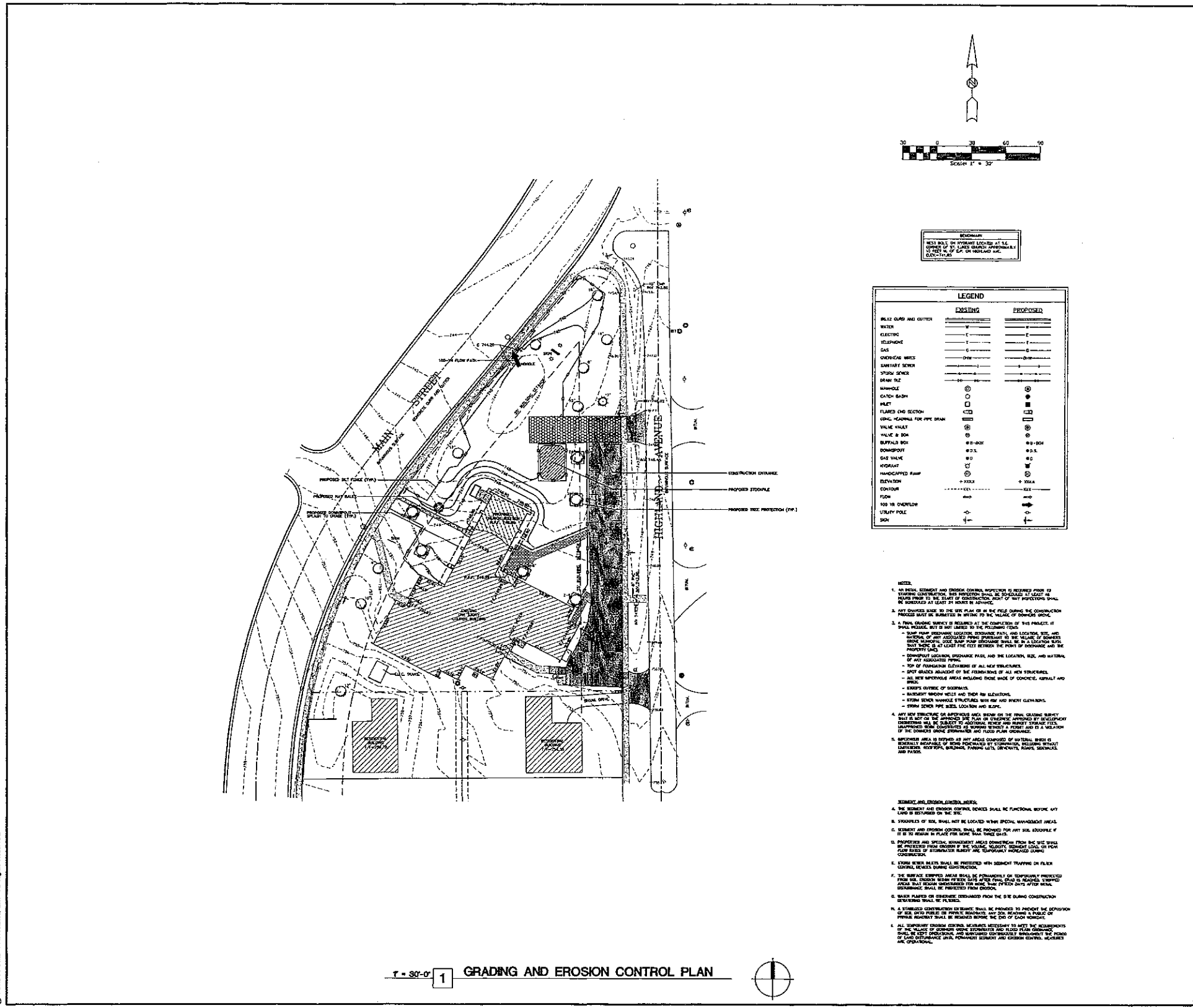
**FOR BID AND PERMIT**

DATE  
 SEPTEMBER 5, 2006

PROJECT NUMBER  
 9908

SHEET NUMBER  
 C-2.1





**LEGEND**

	EXISTING	PROPOSED
BUILD CURB AND GUTTER	---	---
WATER	—W—	—PW—
ELECTRIC	—E—	—PE—
TELEPHONE	—T—	—PT—
GAS	—G—	—PG—
CANOE/CAN WIRE	—C—	—PC—
SANITARY SEWER	—S—	—PS—
STORM SEWER	—ST—	—PST—
SEWER IN	—SI—	—PSI—
MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
WELT	⊙	⊙
FLARED (END SECTION)	⊙	⊙
CONC. HEADWALL FOR PIPE DEAM	⊙	⊙
VALVE VALVE	⊙	⊙
VALVE IN BOX	⊙	⊙
BUFFERS BOX	⊙	⊙
DOWNSPOUT	⊙	⊙
ONE VALVE	⊙	⊙
WELT	⊙	⊙
HANDICAPPED RAMP	⊙	⊙
ELEVATION	+XXX.X	+XXX.X
CONTOUR	---XX---	---XX---
TOWN	---	---
100' IN OVERFLOW	---	---
UTILITY POLE	⊙	⊙
SIGN	⊙	⊙

- NOTES:**
- AN EROSION ESTIMATE AND EROSION CONTROL MEASURES IS REQUIRED FROM THE START OF CONSTRUCTION. THE EROSION CONTROL MEASURES SHALL BE INSTALLED AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. ANY OF THE MEASURES SHALL BE INSTALLED AT LEAST 24 HOURS IN ADVANCE.
  - ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY MEASURES THAT ARE DAMAGED OR REMOVED SHALL BE REINSTALLED IMMEDIATELY.
  - A FINAL EROSION CONTROL MEASURES PLAN IS REQUIRED AT THE COMPLETION OF THIS PROJECT. IT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:
    - TOP OF FOUNDATION ELEVATION OF ALL NEW STRUCTURES
    - SPOT GRADE MEASUREMENTS OF THE FOUNDATION OF ALL NEW STRUCTURES
    - ALL NEW IMPERVIOUS AREAS INCLUDING THOSE MADE OF CONCRETE, ASPHALT AND BRICK
    - EXPOSED SURFACE OF EXCAVATIONS
    - SEWER MANHOLE WELLS AND THEIR NO. ELEVATIONS
    - EXISTING SEWER MANHOLE STRUCTURES WITH NO. AND WELLS ELEVATIONS
    - EXISTING SEWER PIPE SIZES, LOCATION AND SLOPE
  - ALL NEW EXCAVATIONS OR EXCAVATIONS MADE SHALL BE PROTECTED FROM THE FINAL EROSION CONTROL MEASURES PLAN BY THE PROPOSED MEASURES APPROVED BY THE ENGINEER. THE MEASURES SHALL BE INSTALLED IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION. THE MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
  - SEWERAGE AREAS IS REQUIRED AS ANY AREAS COMPOSED OF MATERIALS WHICH IS PERVIOUS TO WATER SHALL BE PROTECTED BY EROSION CONTROL MEASURES WITHOUT DELAY. SUCH AREAS INCLUDE, BUT NOT BE LIMITED TO, DRIVEWAYS, SIDEWALKS, PATHS AND PAVES.

**ENGINEERING RESOURCES, INC.**  
 CONSULTING ENGINEERS ARCHITECTS & SURVEYORS  
 1230 WEST AVENUE, SUITE 100 W. STATE STREET, SUITE 100  
 WARRAVILLE, ILLINOIS 60090 DECATUR, ILLINOIS 62521  
 PHONE (618) 791-3000 PHONE (618) 791-3000  
 FAX (618) 791-3112 FAX (618) 791-3112

SRA NO. 27307

**100% CONSTRUCTION DOCUMENTS**

**ST. LUKE PRESBYTERIAN CHURCH**

DOWNS GROVE, ILLINOIS

**REVISIONS**

NO.	DATE	DESCRIPTION

**FOR BID & PERMIT**

DATE  
 SEPTEMBER 6, 2008

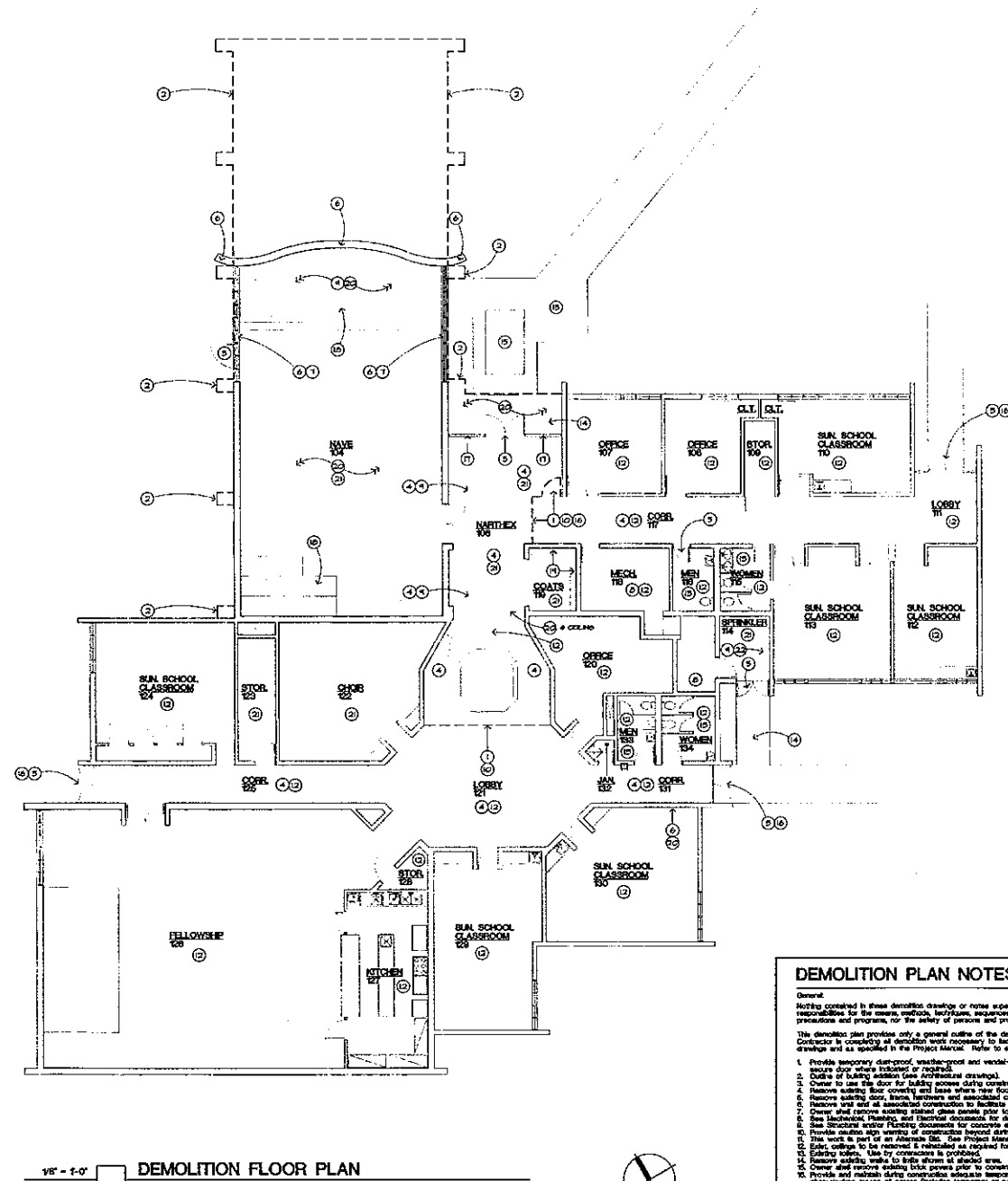
PROJECT NUMBER  
 0008

SHEET NUMBER  
 C-3.1

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1 GRADING AND EROSION CONTROL PLAN

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**DEMOLITION PLAN NOTES:**

General:

1. Verify contents in these demolition drawings or notes supersede or relieve the Contractor of their responsibility for the means, methods, techniques, sequences and procedures of construction, site safety procedures and programs for the safety of persons and property.

The demolition plan provides only a general outline of the demolition requirements, and does not limit the Contractor to completing all demolition work necessary to facilitate completion of the work as shown in the drawings and as specified in the Project Manual. Refer to all Documents and G.C. for further information.

1. Provide temporary dust-proof, weather-proof and wind-proof partition wall during construction (provide where floor levels indicated or required).
2. Outline of building addition (see Architectural drawings).
3. Outline of use the floor for loading access during construction.
4. Remove existing floor covering and base where new floor covering is specified (N.B. 10).
5. Remove existing floor, beams, partitions and suspended ceiling and other to be shown by and noted.
6. Remove wall and all associated construction to facilitate new construction (typical at shaded areas).
7. Owner shall remove existing material, give credit prior to construction removal of existing where these.
8. See Architectural, Planning and Electrical documents for demolition work in this room.
9. See Structural and Floor Plans documents for concrete slab removal and replacement where required.
10. Provide weather sign warning of construction beyond during duration of construction.
11. This work is part of an Alternate Bid. See Project Manual for details.
12. Refer to drawings to be removed, it indicated as required for new work.
13. Existing ceiling, floor, etc. by contractor to provide.
14. Remove existing walls to 1/2\"/>

David F. Schultz Associates, Ltd.

202 South Cook Street,  
Suite 201  
Barrington, Illinois 60010  
Phone (847) 381-8808

100% CONSTRUCTION DOCUMENTS

**ST. LUKE  
PRESBYTERIAN  
CHURCH**

DOWNERS GROVE, ILLINOIS

REVISIONS	

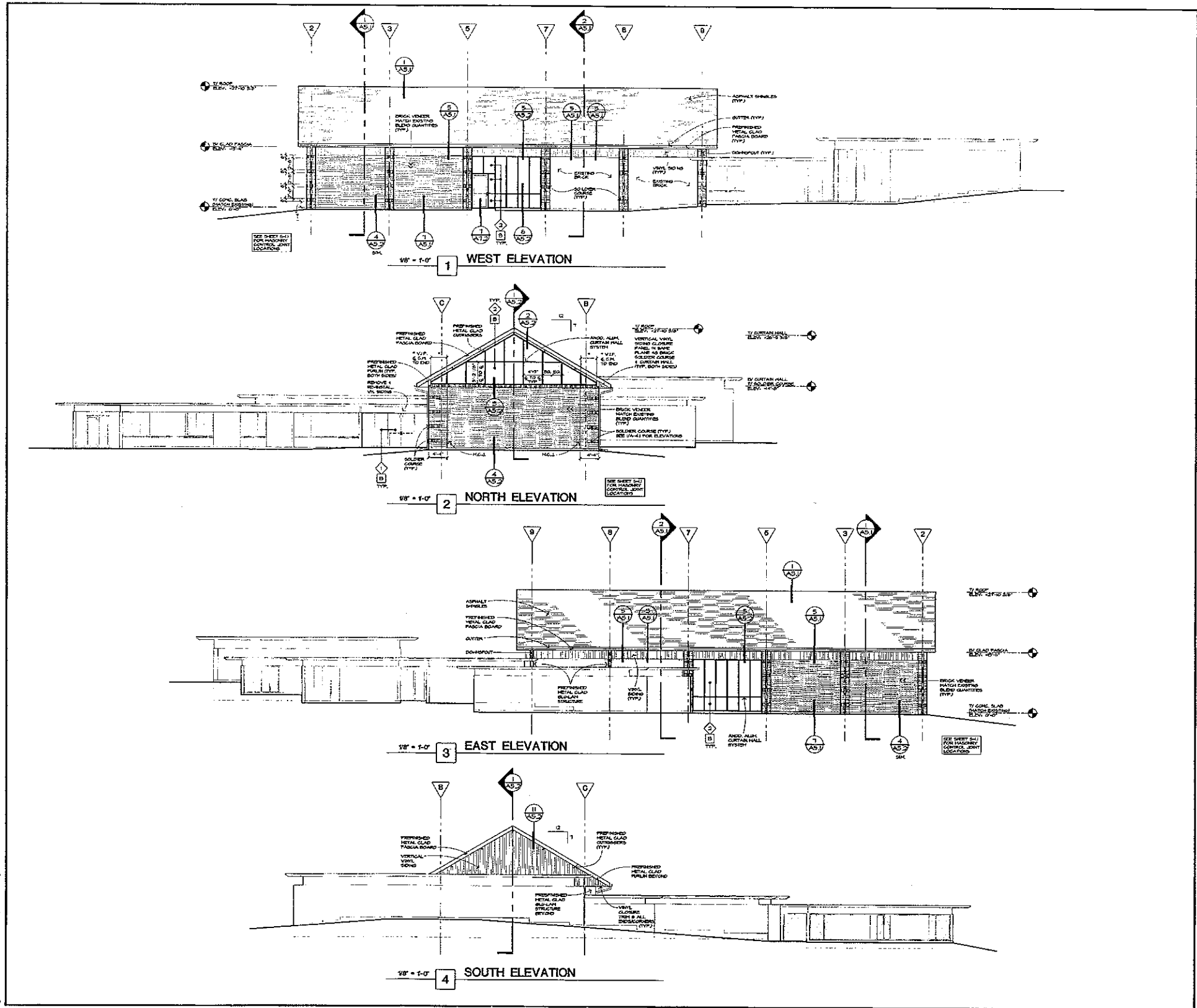
**FOR BID AND PERMIT**

DATE  
SEPTEMBER 6, 2005

PROJECT NUMBER  
9805

SHEET NUMBER  
D-11





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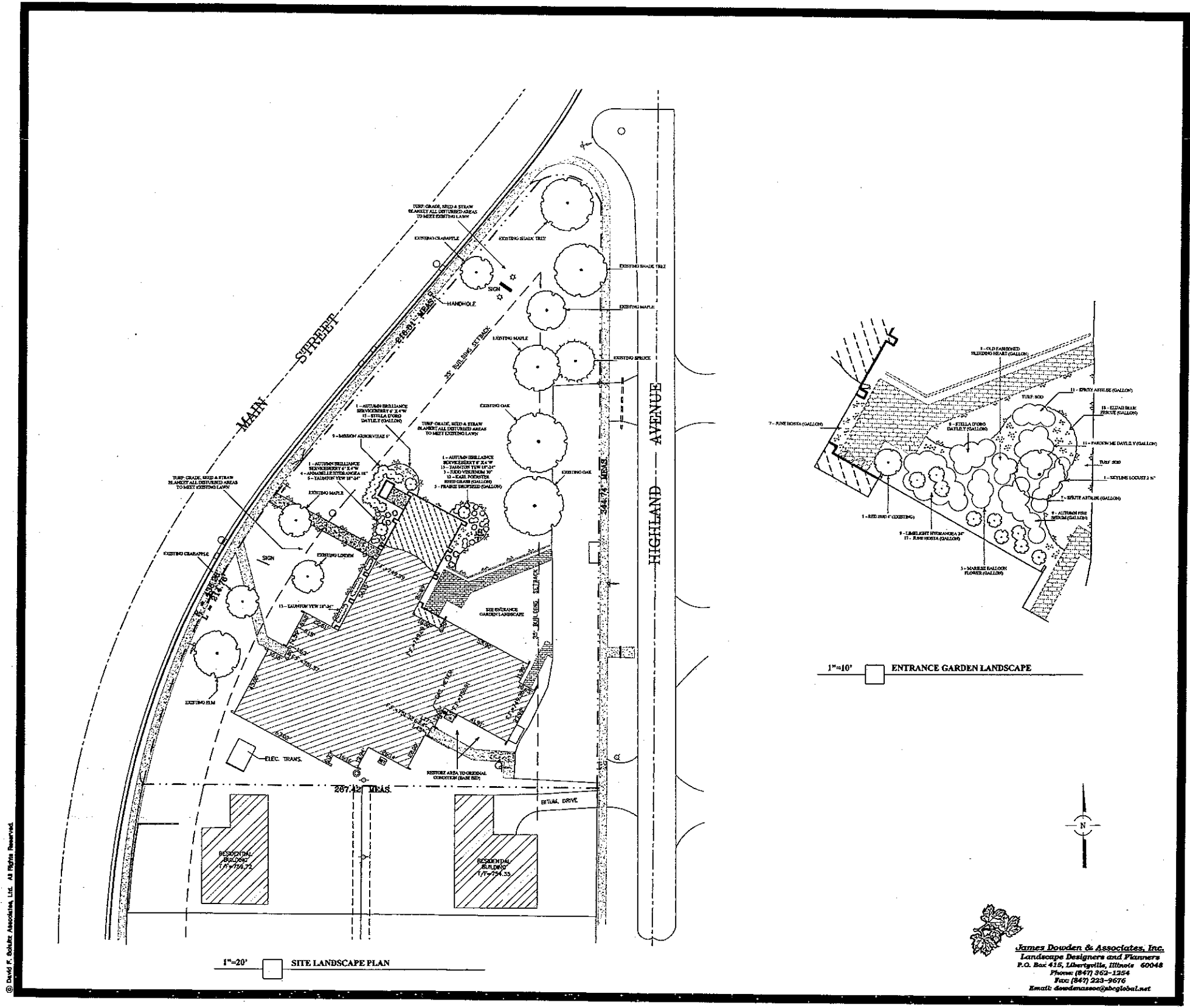
**ST. LUKE PRESBYTERIAN CHURCH**  
 DOWNERS GROVE, ILLINOIS

NO.	REVISIONS

**FOR BID AND PERMIT**

DATE	SEPTEMBER 6, 2008
PROJECT NUMBER	0008
SHEET NUMBER	A-4.1

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 Barrington, Illinois 60010  
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**James Dowden & Associates, Inc.**  
 Landscape Designers and Planners  
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**ST. LUKE  
 PRESBYTERIAN  
 CHURCH**

DOWNERS GROVE, ILLINOIS

FOR BID AND PERMIT

REVISIONS	

DATE	SEPTEMBER 5, 2008
PROJECT NUMBER	9906
SHEET NUMBER	L - 1.1



**PC-12-08** A petition seeking 1) Special Use for a church in a residential district; 2) Front Yard Setback Variation for a an air conditioning unit for the property located at the intersection of Highland Avenue, Main and 39<sup>th</sup> Streets, commonly known as St. Luke's Presbyterian Church, 3910 Highland Avenue, Downers Grove, IL (PIN 09-05-104-019); James F. Russ, Jr., Attorney/Petitioner; St. Luke's Presbyterian Church, Owner

Chairman Jirik swore in those individuals who would be speaking on Petition PC-12-08.

Mr. Damir Latinovic, Village Planner, discussed the 60,271 sq. foot property zoned R-4 Single-Family Residential District located at the intersection of 39<sup>th</sup> Street, Main Street, and Highland Avenue. Currently, the 12,030 square foot building is home to St. Luke's Presbyterian Church, and it was established in 1965 before the Village's current Zoning Ordinance went into effect. The petitioner is seeking a request for Special Use approval to construct a 1,300 square-foot addition on the north side of the building. In order to complete the addition, he explained the petitioner is required to obtain a Special Use. The addition will increase the seating within the sanctuary from 150 occupants to 222 occupants. All zoning requirements will be met except for the proposed air conditioner, which will serve the addition.

A front yard setback variation is being requested to install a new air conditioner in the front yard along Main Street to serve the new addition. The pie-shape property, with front yards along Main Street and Highland Avenue presents a hardship to the owner. The new air conditioning unit would be screened with four-foot and six-foot high landscaping. The existing parking lot will be resurfaced, and the 17 on-site parking spaces, including one handicapped space, will remain. Mr. Latinovic explained per a May 15, 1970 agreement with the Village, there are 94 parking spaces on Fire Station 3 property available for the church's use, for total of 111 parking spaces. With the proposed expansion, the church would be required to provide 89 parking spaces. The petitioner meets the parking requirement.

Mr. Latinovic explained the Future Land Use Plan designates the site as Residential, and the church has been in its current location since 1965. The proposed Special Use for the 1,300 square foot building addition is consistent with the intent of the Future Land Use plan to maintain the area for residential use. The petitioner is requesting a zoning variation to allow for installation of the new air conditioning units on the west side of the building within the front yard. The Zoning Ordinance, however, does not allow air conditioning units within front yards.

The proposed building expansion will meet all other setback and bulk requirements of the Zoning Ordinance and will not diminish adjacent property values.

Mr. Latinovic relayed that the church is a permitted Special Use in the R-4 District; the church is part of the community and contributes to the general welfare of the community.

The property will continue to have no detrimental effect on the health, safety or general welfare of the neighborhood.

Lastly, he reported staff finds the proposed expansion to the existing church meets all standards for a Special Use, and the proposed variation for the new air conditioning unit meets all standards for granting the variation. Staff recommended a positive recommendation to Village Council.

Per questions from the commissioners, Mr. Latinovic included the location of the new air conditioner on the plans and clarified the front yard setback variation being requested was 45 feet from the west property line. Asked about increased use of the church, Mr. Latinovic explained from his conversations with the petitioner, the expansion will only increase the capacity during church service time, primarily on the weekends, and the petitioner is not proposing to expand any other service the church provides. As to the bulk requirements listed on Page 2 of staff's report, Mr. Latinovic stated the front yard setback was for the setback from Main Street.

Mr. James Russ, Jr. 4915 Main Street, Downers Grove, speaking on behalf of St. Luke's Church, reiterated the issue in regards to the requested variation for the new air conditioning unit was the uniqueness of the property. The request being sought was straight-forward. He noted the site carried two front yards and had no rear yard. He further noted there was no opportunity to put the new air conditioning unit in the side yard. The gabled roof prevented the unit being placed on the top roof, especially for a prominent-type building when entering the village. He agreed no detrimental effect to the neighborhood would take place, and the air conditioning unit would be screened with four- and six-foot evergreens for year-round screening. He asked to incorporate his responses from his letter to the particulars.

Regarding the Special Use, he explained the church has been at its location since 1965, which was prior to the current Zoning Ordinance, and a special use had never been granted for the parcel. The parcel was a Permitted Use in the R-4 zoning district. Mr. Russ also stated that other than the new air conditioner, the petitioner would comply with all of the bulk requirements. Mr. Russ explained that prior to construction of the Fire Station III, the church owned that land and that property was donated to the Village by the church. As an accommodation for donating that land, the parking arrangement was made with the church.

Regarding the screened landscaping, Mr. Waechter suggested the petitioner speak with the Village Forester on the type of landscaping to be used, wherein, Mr. Russ stated as part of staff's review during building permit review process the landscaping plan is submitted to the Village's Forester.

Chairman Jirik opened up the meeting to public comment. No public comments received. Chairman Jirik declared public comment closed.

No further comments from the petitioner were received.

**WITH RESPECT TO FILE NO. PC-12-08, MR. MATEJCZYK MOVED THAT THE PLAN COMMISSION MAKE A POSITIVE RECOMMENDATION TO THE VILLAGE COUNCIL REGARDING THIS PETITION SUBJECT TO THE FOLLOWING CONDITIONS LISTED ON PAGE 5 OF STAFF'S REPORT:**

- 1. THE PROPOSED SPECIAL USE WITH ZONING VARIATION FOR THE AIR CONDITIONING UNIT SHALL SUBSTANTIALLY CONFORM TO BUILDING AND ENGINEERING PLANS AND SPECIFICATIONS PREPARED BY DAVID F. SCHULTZ ASSOCIATES, LTD. ATTACHED TO THIS REPORT EXCEPT AS SUCH PLANS MAY BE MODIFIED TO CONFORM TO VILLAGE CODES, ORDINANCES, AND POLICIES.**
- 2. A SPRINKLER SYSTEM SHALL BE INSTALLED IN THE ENTIRE BUILDING; AND**
- 3. AN AUTOMATIC AND MANUAL DETECTION SYSTEM SHALL BE INSTALLED IN THE ENTIRE BUILDING.**

**MRS. HAMERNIK SECONDED THE MOTION.**

**ROLL CALL:**

**AYE: MR. MATEJCZYK, MRS. HAMERNIK, MR. BEGGS, MR. COZZO, MR. QUIRK, MR. WAECHTLER, MR. WEBSTER, CHAIRMAN JIRIK**

**NAY: NONE**

**MOTION CARRIED. VOTE: 8-0**