

**VILLAGE OF DOWNERS GROVE**  
**REPORT FOR THE VILLAGE COUNCIL WORKSHOP**  
**FEBRUARY 24, 2009 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
Planned Development Amendment to Planned Development #9 and two Special Uses	Resolution ✓ Ordinances Motion Discussion Only	Tom Dabareiner, AICP Community Development Director

**SYNOPSIS**

An ordinance has been prepared for a Planned Development Amendment to Planned Development #9, The Grove Shopping Center located at the northwest corner of 75<sup>th</sup> and Lemont Road. A Special Use Ordinance has been prepared to permit the following items: 1) a service station in the B-2 zoning district and 2) a car wash in the B-2 zoning district.

**STRATEGIC PLAN ALIGNMENT**

The Five Year Plan and Goals for 2008-2013 identified *Vibrant Major Corridors*. Supporting these goals are the objectives *More Attractive Commercial Corridors* and *More Contribution to Local Economy*.

**FISCAL IMPACT**

N/A.

**RECOMMENDATION**

Approval on the March 3, 2009 active agenda per the Plan Commission's recommendation.

**BACKGROUND**

The petitioner is proposing a comprehensive redevelopment of the BP service station site at the northwest corner of 75<sup>th</sup> Street and Lemont Road, commonly known as 1200 75<sup>th</sup> Street. The property is zoned B-2 General Retail Business and is surrounded by large community shopping centers. The proposed redevelopment will be consistent with the existing uses.

The comprehensive redevelopment includes the removal of the existing convenience store, gas pump islands, canopy and underground storage tanks. In its place, the petitioner will construct a new 2,900 square foot convenience store, car wash, five fuel dispensing islands and a canopy and install new underground storage tanks.

The convenience store will be located along the north property line and will be clad with brick, exterior insulation finishing system (EIFS), fabric awnings and a cornice. Fuel dispensing stations will be located underneath a canopy immediately south of the store in the center of the site. The car wash is located along the west property line and will be constructed with materials to match the proposed convenience store. Traffic will flow counterclockwise through the car wash.

The proposal complies with all zoning requirements and is also consistent with the Future Land Use plan to maintain the area for commercial use. The bulk characteristics of the development are summarized in the table below:

Zoning Requirements	Required	Provided		
		Convenience Store	Car Wash	Canopy
East Setback (Front)	25'	39'	172'	36'
South Setback (Front)	25'	114'	64'	40'
West Setback (Side)	0'	81'	3'	46'
North Setback (Rear)	0'	6.7'	48'	95'
Building Height	60'	19'	14.5'	19'
Parking Spaces	12	12		
Floor Area Ratio	0.75 (max)	0.12		
Open Space (Total)	4,803 s.f.	7,940 s.f.		

The petitioner proposes to remove the two existing Lemont Road curb cuts and install one new curb cut onto Lemont Road. The easternmost curb cut onto 75<sup>th</sup> Street will be closed and not replaced. The existing westernmost curb cut onto 75<sup>th</sup> Street will remain and be slightly modified to provide a larger turning radius. Curbed medians within both Lemont Road and 75<sup>th</sup> Street will limit each access point to right-in/right-out only. The ability of fuel and refuse trucks to enter and exit the site prohibit the placement of traffic islands within both entrances. The existing access drive at the southwest corner of the site connecting to the larger shopping center will remain.

Stormwater detention will be provided through existing detention basins serving the Planned Development. Best management practices for stormwater will be installed per Village requirements.

Staff believes the Planned Development Standards for Approval per Section 28.1607 of the Zoning Ordinance have been met. The proposed development meets all bulk requirements and conforms to the planning objectives of the Village. The requested amendment is desirable and will contribute to the general welfare of the Village. The development will not be detrimental to the health, safety or morals of the community. The proposed service station and car wash are in harmony with surrounding commercial developments and will not impede the development of the adjoining land.

Staff believes the Special Use Standards for Approval per Section 28.1902 of the Zoning Ordinance have been met. The proposed Special Uses will provide a desirable service. The uses will not be detrimental to the health, safety, morals or general welfare of the community and will not be injurious to property values. The proposed Special Uses meet all bulk Zoning Ordinance requirements and are listed as allowable Special Uses in Section 28.606 of the Zoning Ordinance.

The Plan Commission considered the petition at their February 2, 2009 meeting. The Plan Commission found that the request met the Standards for Approval of Planned Developments (Section 28.1607) and the Standards for Approval of Special Uses (Section 28.1902). The Plan Commission unanimously recommended approval of the Planned Development Amendment and Special Uses for a service station and car wash. Staff concurs with the Plan Commission recommendation.

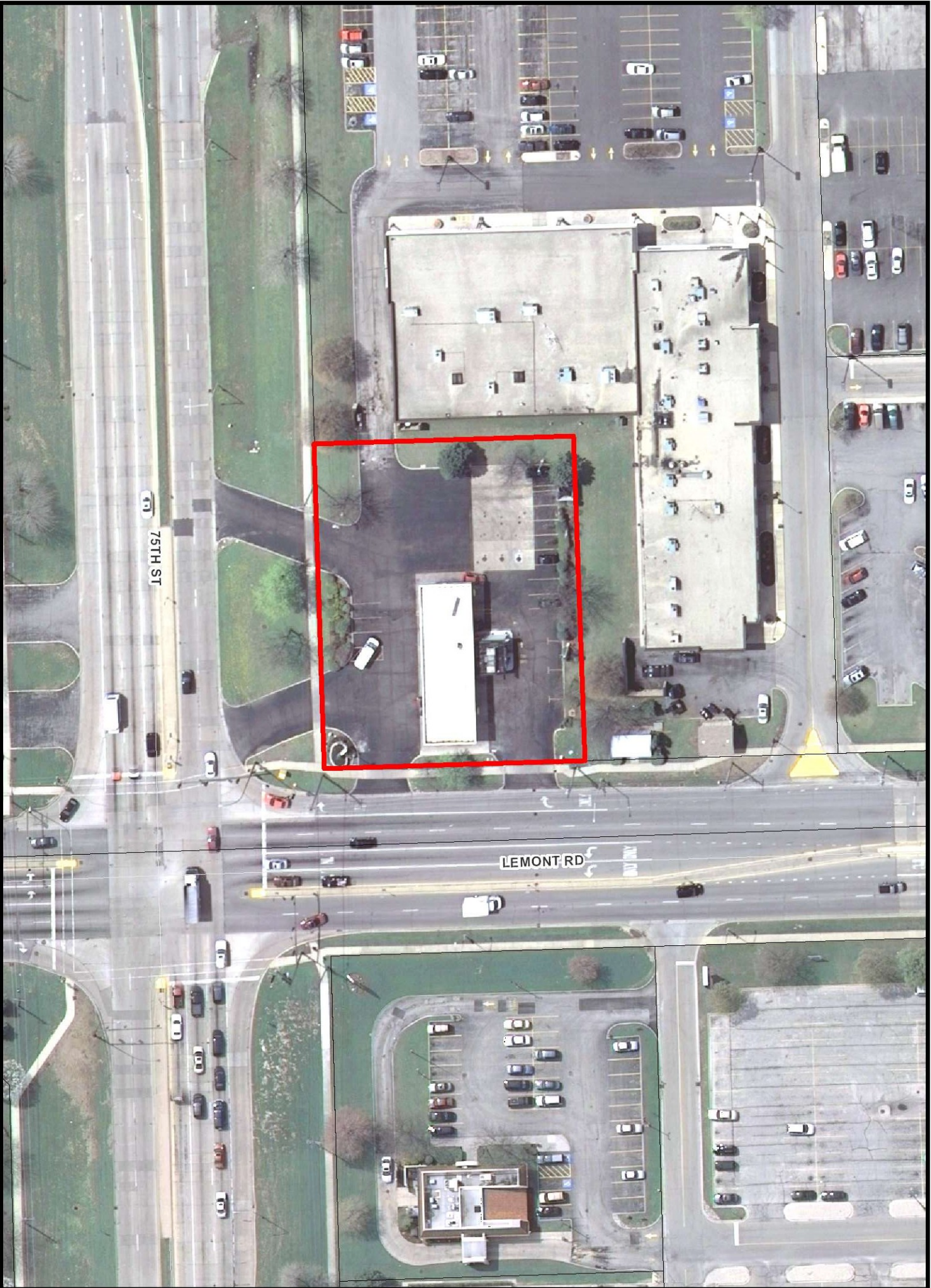
## **ATTACHMENTS**

Aerial Map

Ordinances

Staff Report with attachments dated February 2, 2009

Minutes of the Plan Commission Hearing dated February 2, 2009



0 50 100 150 200 Feet

75TH ST

LEMONT RD

# 1200 75th Street Location Map



**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE APPROVING A PLANNED  
DEVELOPMENT AMENDMENT TO PLANNED DEVELOPMENT #9,  
FOR THE CONSTRUCTION OF A  
SERVICE STATION WITH CONVENIENCE STORE AND CAR WASH**

WHEREAS, the Village Council has previously adopted Ordinance No. 1676 on November 13, 1972, designating the property described therein as Planned Development #9; and,

WHEREAS, the Owners have filed with the Director of Community Development, a written petition conforming to the requirements of the Comprehensive Zoning Ordinance and requesting an amendment to Planned Development #9 to approve the construction of a service station with convenience store and car wash on the property located at 1200 75<sup>th</sup> Street; and,

WHEREAS, such request was referred to the Plan Commission of the Village of Downers Grove, and the Plan Commission has given the required public notice, conducted a public hearing for the petition on February 2, 2009, and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission had recommended approval of the requested petition, subject to certain conditions; and,

WHEREAS, the Village Council has considered the record before the Plan Commission, as well as the recommendations of Plan Commission.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, DuPage County, Illinois, as follows:

SECTION 1. That the provisions of the preamble are incorporated into and made a part of this ordinance as if fully set forth herein.

SECTION 2. That a Planned Development Amendment is hereby authorized to approve construction of a service station with convenience store and car wash on the property located at 1200 75<sup>th</sup> Street.

SECTION 3. That approval set forth in Section 2 of this ordinance is subject to the following conditions:

1. The Planned Development Amendment and Special Uses shall substantially conform to the preliminary architecture and engineering plans prepared by WD Partners dated October 22, 2008 and revised on November 17, 2008 and December 22, 2008; proposed building elevations prepared by WD Partners dated December 19, 2008; and the canopy plans prepared by McGee Corporation dated May 25, 2004, except as such plans may be modified to conform to Village Codes and Ordinances.
2. A description of best management practices for stormwater that are incorporated into the site design and how they will function shall be prepared and submitted. The applicable design criteria such as

soil type, vegetation, and land cover conditions draining to the best management practice along with appropriate calculations shall be included.

3. The proposed building shall have a manual and automatic fire detection system installed throughout in a manner acceptable to the Village. All areas of the building shall be protected.
4. The proposed building shall have a complete automatic sprinkler system installed throughout in a manner acceptable to the Village. All areas of the building shall be protected.
5. All proposed signage shall comply with the Village's Sign Ordinance.
6. Prior to the issuance of any building permits, the petitioner shall submit material samples of the proposed exterior building materials for review by the Department of Community Development.

SECTION 5. That the general retail planned development is consistent with and complimentary to the overall planned development site plan and with the requirements of the "B-2, *General Retail Business*" zoning district.

SECTION 6. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 7. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

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Mayor

Passed:

Published:

Attest: \_\_\_\_\_

Village Clerk

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AUTHORIZING SPECIAL USES FOR 1200 75<sup>TH</sup> STREET  
TO PERMIT A SERVICE STATION WITH CONVENIENCE STORE AND CAR WASH**

WHEREAS, the following described property, to wit:

That part of the Southeast Quarter of the Northeast Quarter of Section 30, Township 38 North, Range 11, East of the Third Principal Meridian, bounded and described as follows: Beginning at the intersection of the northerly line of 75<sup>th</sup> Street as improved and occupied (said northerly line being 100.00 feet North of and parallel with the South line of said Northeast Quarter) with the westerly line of Lemont Road as improved and occupied (said westerly line being 66.00 feet West of and parallel with the East line of said Northeast Quarter); thence westerly along said northerly line of 75<sup>th</sup> Street 200.00 feet; thence northerly and parallel with said westerly line of Lemont Road, 160.00 feet; thence easterly and parallel with said northerly line of 75<sup>th</sup> Street 200.00 feet, to said westerly line of Lemont Road; thence southerly along said westerly line 160.00 feet to the place of beginning, in DuPage County, Illinois.

Commonly known as 1200 75<sup>th</sup> Street, Downers Grove, IL (PIN 09-30-201-002)

(hereinafter referred to as the "Property") is presently zoned in the "*B-2, General Retail Business District*" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28-606 of the Zoning Ordinance be granted to allow a service station with convenience store and a Special Use per Section 28-606 of the Zoning Ordinance be granted to allow a car wash; and,

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove on February 2, 2009, and said Plan Commission has given the required public notice, has conducted a public hearing respecting said petition and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the two requested Special Uses, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. The proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
2. The proposed use will not, under the circumstances of the particular case, be detrimental to the

health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

3. The proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located.
4. The proposed use is one of the special uses specifically listed for the district in which it is to be located and, if approved with restrictions as set forth in this ordinance, will comply with the provisions of the Downers Grove Zoning Ordinance regulating this Special Use.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

SECTION 1. That Special Use of the Property is hereby granted to permit a service station with convenience store and that Special Use of the Property is hereby granted to permit a car wash.

SECTION 2. This approval is subject to the following conditions:

1. The Planned Development Amendment and Special Uses shall substantially conform to the preliminary architecture and engineering plans prepared by WD Partners dated October 22, 2008 and revised on November 17, 2008 and December 22, 2008; proposed building elevations prepared by WD Partners dated December 19, 2008; and the canopy plans prepared by McGee Corporation dated May 25, 2004, except as such plans may be modified to conform to Village Codes and Ordinances.
2. A description of best management practices for stormwater that are incorporated into the site design and how they will function shall be prepared and submitted. The applicable design criteria such as soil type, vegetation, and land cover conditions draining to the best management practice along with appropriate calculations shall be included.
3. The proposed building shall have a manual and automatic fire detection system installed throughout in a manner acceptable to the Village. All areas of the building shall be protected.
4. The proposed building shall have a complete automatic sprinkler system installed throughout in a manner acceptable to the Village. All areas of the building shall be protected.
5. All proposed signage shall comply with the Village's Sign Ordinance.
6. Prior to the issuance of any building permits, the petitioner shall submit material samples of the proposed exterior building materials for review by the Department of Community Development.

SECTION 3. The above conditions are hereby made part of the terms under which the Special Use for a service station with convenience store and Special Use for a car wash are granted. Violation of any or all of such conditions shall be deemed a violation of the Village of Downers Grove Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and or revocation of the two Special Uses granted herein.

SECTION 4. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

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Mayor

Passed:

Published:

Attest: \_\_\_\_\_  
Village Clerk

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**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE PLAN COMMISSION  
FEBRUARY 2, 2009 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
PC-02-09 1200 75 <sup>th</sup> Street	Planned Development Amendment to Planned Development #9, Special Uses for a Service Station and Car Wash	Stan Popovich, AICP Planner

**REQUEST**

The petitioner is requesting approval of a Planned Development Amendment to Planned Development #9, The Grove Shopping Center. The petitioner is also requesting approval of two Special Uses: 1) to allow a service station and 2) to allow a car wash.

**NOTICE**

The application has been filed in conformance with applicable procedural and public notice requirements.

**GENERAL INFORMATION**

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**OWNER\APPLICANT:** BP Products North America, Inc.  
1323 Bond Street  
Naperville, IL 60563

**PROPERTY INFORMATION**

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**EXISTING ZONING:** B2, General Retail Business  
**EXISTING LAND USE:** Gas Station & Convenience Store  
**PROPERTY SIZE:** 0.735 acres (32,017 square feet)  
**PINS:** 09-30-201-002

**SURROUNDING ZONING AND LAND USES**

	<b>ZONING</b>	<b>FUTURE LAND USE</b>
<b>NORTH:</b>	B2, General Retail Business	Commercial
<b>SOUTH:</b>	B2, Community Shopping District (Woodridge) B3, Highway and Service Business District (Woodridge)	N/A
<b>EAST:</b>	B2, General Retail Business	Commercial
<b>WEST:</b>	B2, General Retail Business	Commercial

**ANALYSIS**

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**SUBMITTALS**

This report is based on the following documents, which are on file with the Department of Community Development:

1. Application/Petition for Public Hearing
2. Project Summary
3. Preliminary Architectural Plans
4. Preliminary Engineering Plans
5. Preliminary Landscape Plans
6. Preliminary Photometric Plan
7. Auto-turn exhibits

**PROJECT DESCRIPTION**

The petitioner is requesting approval of a Planned Development Amendment and two Special Uses to construct a 2,900 square foot service station with convenience store and a car wash. The property at 1200 75<sup>th</sup> Street is located at the northwest corner of 75<sup>th</sup> Street and Lemont Road and is zoned B2, General Retail Business. A small convenience store, two gas pump islands and canopy currently occupy the site.

The petitioner is proposing a comprehensive redevelopment of the site. All existing structures will be demolished and the existing underground storage tanks will be removed. The two existing Lemont Road curb cuts will be replaced with one new curb cut. The easternmost curb cut onto 75<sup>th</sup> Street will be closed and not replaced. The existing westernmost curb cut onto 75<sup>th</sup> Street will remain, as will the existing access drive at the southwest corner of the site which connects to the larger shopping center.

The comprehensive redevelopment includes a new convenience store located along the north property line. The convenience store will be clad with brick, exterior insulation finishing system (EIFS), fabric awnings and a cornice. Five fuel dispensing stations will be located underneath a canopy immediately south of the store in the center of the site. The car wash is located along the west property line and will be clad with matching brick and EIFS. Traffic will flow counterclockwise through the car wash. A screened trash enclosure will be located between the store and car wash. Immediately east of the car wash is an air and vacuum stand.

The two buildings and canopy meet all setback and height requirements. The buildings have a floor area ratio (FAR) of 0.12 with a total of 7,940 square feet of open space surrounding the site. As required, twelve parking spaces are provided. The proposal complies with the bulk requirements of the Zoning Ordinance as outlined in the table below:

Zoning Requirements	Required	Provided		
		Convenience Store	Car Wash	Canopy
East Setback (Front)	25'	39'	172'	36'
South Setback (Front)	25'	114'	64'	40'
West Setback (Side)	0'	81'	3'	46'
North Setback (Rear)	0'	6.7'	48'	95'
Building Height	60'	19'	18.5'	19'
Parking Spaces	12	12		
Floor Area Ratio	0.75	0.12		
Open Space (Total)	4,803 s.f.	7,940 s.f.		

**COMPLIANCE WITH FUTURE LAND USE PLAN**

The Future Land Use Plan designates the site as Commercial. The proposed service station and car wash is a commercial use and is consistent with the existing land use. Staff believes the proposed development is consistent with the intent of the Future Land Use Plan.

### **COMPLIANCE WITH ZONING ORDINANCE**

The property is zoned B2, General Retail Business. The proposed service station and car wash are allowable Special Uses in the B2 zoning district. The proposed development meets all bulk zoning requirements including setbacks, open space, building height and parking.

The petitioner has proposed a single monument sign at the southeast corner of the site. Wall signage will be located on the south and east facades of the convenience store and canopy and the east side of the car wash. The proposed signage meets the requirements of the Sign Ordinance.

### **ENGINEERING/PUBLIC IMPROVEMENTS**

The existing site has two curb cuts onto Lemont Road and two onto 75<sup>th</sup> Street. The petitioner is proposing to remove both existing Lemont Road curb cuts and construct one new curb cut along Lemont Road. Along 75<sup>th</sup> Street, the petitioner is proposing to maintain the westernmost curb cut while permanently closing the easternmost curb cut. Curbed medians within both Lemont Road and 75<sup>th</sup> Street will limit each access point to right-in/right-out only. The ability of fuel and refuse trucks to enter and exit the site prohibit the placement of traffic islands within both entrances. The petitioner has proposed to install 'No Left Turn' signs at each egress point.

The existing access drive that connects the site to the larger shopping center will remain. The proposed car wash will exit onto this access drive. To assist in creating a safe intersection at this location, a speed hump will be installed to slow traffic along the access drive.

Stormwater detention will be provided through the existing detention basins serving the Planned Development. New storm sewers will be installed throughout the site to accommodate the new site layout. Best management practices for stormwater will be installed per Village requirements and the development will be required to meet the Village's Stormwater Management Ordinance.

The petitioner will install new utility services, including water, sanitary sewer, storm sewer, electric and telephone. The Downers Grove Sanitary District has provided conceptual approval of the petitioner's request for service.

### **PUBLIC SAFETY REQUIREMENTS**

The Fire Prevention Division of the Fire Department has reviewed the proposed plans and determined that the site provides sufficient access for emergency vehicles. The building will be equipped with a manual and automatic fire detection system and sprinkler system.

### **NEIGHBORHOOD COMMENT**

Staff has not received any written neighborhood comment regarding the proposal at this time.

### **FINDINGS OF FACT**

Staff believes the standards for a Planned Development Amendment, as shown below, have been met. The proposed development meets all bulk requirements of the Zoning Ordinance and conforms to the planning objectives of the Village. The developer has made provisions for common open space, public services, parking, utilities, access roads and stormwater management. The requested amendment is desirable and will contribute to the general welfare of the Village. The development will not be detrimental to the health, safety, morals or general welfare of the community. The proposed development is in harmony with other surrounding developments and will not impede the development of the adjoining land.

Staff believes the standards for Special Use approval, as shown below, have also been met. The proposed service station and car wash are providing a desirable service and will contribute to the general welfare of the community. The Special Uses are not detrimental to the health, safety, morals or general welfare of the community and will not be injurious to property values. The proposed Special Uses comply with the bulk regulations of the B2 zoning district as outlined in the Zoning Ordinance and shown above. Both requested Special Uses are listed as allowable Special Uses in Section 28.606 of the Zoning Ordinance.

***Section 28.1607 Standards for Approval of Planned Developments***

*The Plan Commission may recommend a planned development designation, plan or amendment based upon the following findings:*

- (1) The extent to which the planned development meets the standards of this Article.*
- (2) The extent to which the planned development departs from the zoning and subdivision regulations otherwise applicable to the subject property, including but not limited to, the density, dimension, area, bulk, and use, and the reasons why such departures are deemed to be in the public interest.*
- (3) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.*
- (4) Conformity with the planning objectives of the Village.*

*The Village Council may authorize a planned development designation, plan or amendment with findings such as, but not limited to, the following:*

- (1) That the planned development at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
- (2) That the planned development will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*
- (3) That the planned development is specifically listed as a special use in the district in which it is to be located.*
- (4) That the location and size of the planned development, the nature and intensity of the operation involved in or conducted in connection with said planned development, the size of the subject property in relation to the intensity of uses proposed, and the location of the site with respect to streets giving access to it, shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located.*
- (5) That the planned development will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood.*
- (6) That the nature, location, and size of the structures involved with the establishment of the planned development will not impede, substantially hinder, or discourage the development and use of adjacent land and structures in accord with the zoning district in which it is located.*
- (7) That adequate utilities, access roads, drainage, and other necessary facilities have been or will be provided for the planned development.*
- (8) That parking areas shall be of adequate size for that particular planned development, which areas shall be properly located and suitably screened from adjoining residential uses.*
- (9) That the planned development shall in all other respects conform to the applicable regulations of the zoning district in which it is located.*

***Section 28.1902 Standards for Approval of Special Uses***

*The Village Council may authorize a special use by ordinance provided that the proposed Special Use is consistent and in substantial compliance with all Village Council policies and land use plans, including but*

*not limited to the Comprehensive Plan, the Future Land Use Plan and Master Plans and the evidence presented is such as to establish the following:*

- (a) That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
- (b) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*
- (c) That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.*
- (d) That it is one of the special uses specifically listed for the district in which it is to be located.*

## **RECOMMENDATIONS**

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The proposed Planned Development Amendment and two Special Uses are compatible with surrounding zoning and land use classifications. Based on the findings listed above, staff recommends the Plan Commission make a positive recommendation to the Village Council regarding this petition subject to the following conditions:

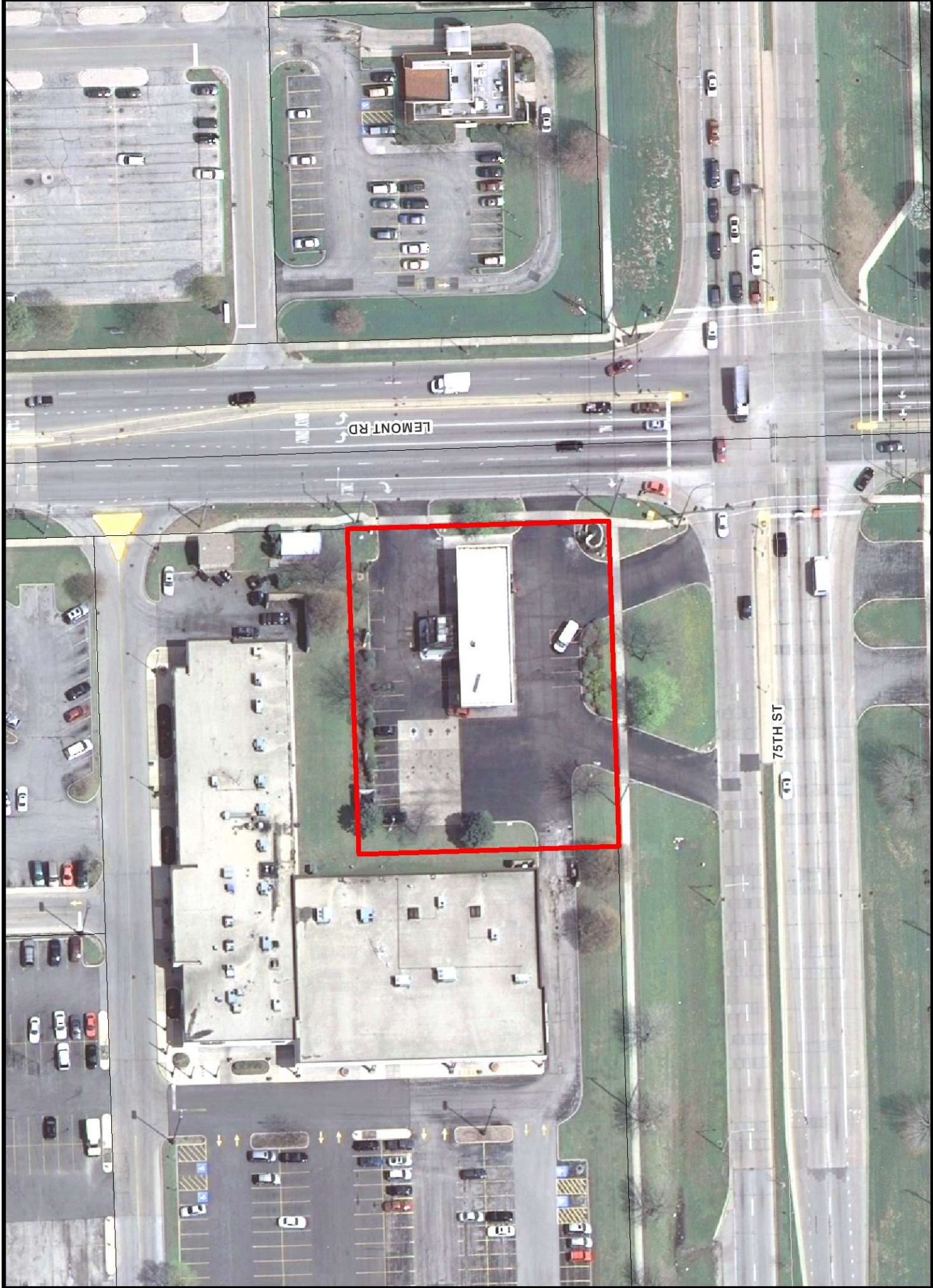
1. The Planned Development Amendment and Special Uses shall substantially conform to the preliminary architecture and engineering plans prepared by WD Partners dated October 22, 2008 and revised on November 17, 2008 and December 22, 2008; proposed building elevations prepared by WD Partners dated December 19, 2008; and the canopy plans prepared by McGee Corporation dated May 25, 2004, except as such plans may be modified to conform to Village Codes and Ordinances.
2. A description of best management practices for stormwater that are incorporated into the site design and how they will function shall be prepared and submitted. The applicable design criteria such as soil type, vegetation, and land cover conditions draining to the best management practice along with appropriate calculations shall be included.
3. The proposed building shall have a manual and automatic fire detection system installed throughout in a manner acceptable to the Village. All areas of the building shall be protected.
4. The proposed building shall have a complete automatic sprinkler system installed throughout in a manner acceptable to the Village. All areas of the building shall be protected.
5. All proposed signage shall comply with the Village's Sign Ordinance.
6. Prior to the issuance of any building permits, the petitioner shall submit material samples of the proposed exterior building materials for review by the Department of Community Development.

Staff Report Approved By:

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Tom Dabareiner, AICP  
Director of Community Development

TD:sp  
-att



# 1200 75th Street Location Map



ATLANTA  
BOSTON  
CHICAGO  
COLUMBUS  
DALLAS  
KUALA LUMPUR  
LOS ANGELES  
MIAMI  
MUMBAI  
ORLANDO  
SACRAMENTO

## Project Summary/Narrative Letter for Planning Commission Petition

The existing BP Station site located at 1200 West 75<sup>th</sup> Street sits on approximately 0.73 acres and includes a kiosk building, a four dispenser canopy, and underground storage tanks. Approximately 0.58 acres of the existing site is covered by impervious areas, such as asphalt, concrete, and buildings. The existing site includes two entrances along Lemont Road, two entrances along 75<sup>th</sup> Street, and one cross-access drive to the parcel west of the site.

The proposed improvements at the site, as seen on sheet C1, include a 2,900 SF convenience store, five dispenser canopy, carwash, and underground storage tanks. Approximately 0.56 acres of the proposed site is covered by impervious surfaces. Access to the proposed site is provided by one entrance along Lemont Road, one entrance along 75<sup>th</sup> Street, and one cross-access drive to the parcel west of the site.

The proposed improvements conform to the requirements set in the Planned Development Standards and Special Use Standards for Approval. See below for our responses to each issue within these standards:

### A. Planning Commission

1. The extent to which the planned development meets the standards of this Article.

**Response: The proposed site meets the standards set forth in this article with the exception of fuel sales and car wash which are allowed with the attainment of a special use permit.**

2. The extent to which the planned development departs from the zoning and subdivision regulations otherwise applicable to the subject property, including but not limited to, the density, dimension, area, bulk, and use, and the reasons why such departures are deemed to be in the public interest.

**Response: The proposed site layout was based on the requirements set forth in the zoning code. The use will remain the same for the proposed convenience store with fuel sales except for the addition of the car wash.**

3. The method, by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

**Response: The proposed site improves off-site traffic by eliminating the two entrances nearest the intersection of 75th and Lemont. By redeveloping this site we will be increasing the green space by approximately 3%. Building aesthetics will be improved by the proposed materials and colors.**

4. Conformity with the planning objectives of the Village.

**Response: The proposed site conforms to the planning objectives of the City. Property is zoned B-2 Commercial Planned Development and use is existing.**



WDPARTNERS.COM  
7007 DISCOVERY BLVD  
DUBLIN OH 43017

614.634.7000 T  
614.634.7777 F

## B. Village Council

1. That the planned development at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

**Response: The proposed site will provide the neighborhood with a convenience store, fuel sales, and a carwash which currently existing. The proposed development will enhance the aesthetics of overall site and increase the accessibility of the station for the community.**

2. That the planned development will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

**Response: The proposed redevelopment of the site will improve the accessibility and increase the property value of the site.**

3. That the planned development is specifically listed as a special use in the district in which it is to be located.

**Response: The carwash and fuel sales will be considered as a special use. The proposed convenience store conforms to the existing commercial planned development (B2) zoning.**

4. That the location and size of the planned development, the nature and intensity of the operation involved in or conducted in connection with said planned development, the size of the subject property in relation to the intensity of uses proposed, and the location of the site with respect to streets giving access to it, shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located.

**Response: The nature and size of the proposed development is appropriate at this location.**

5. That the planned development will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood.

**Response: The proposed development will not cause harm or injury to other properties or businesses within the area as this is a redevelopment of an existing similar use.**

6. That the nature, location, and size of the structures involved with the establishment of the planned development will not impede, substantially hinder, or discourage the development and use of adjacent land and structures in accord with the zoning district in which it is located.



**Response: The structures onsite will not impede, hinder, or discourage the development of the adjacent parcels.**

7. That adequate utilities, access roads, drainage, and other necessary facilities have been or will be provided for the planned development.

**Response: Adequate utilities have been designed and will be provided to the site.**

8. That parking areas shall be of adequate size for that particular planned development, which areas shall be properly located and suitably screened from adjoining residential uses.

**Response: Adequate parking is provided onsite. The required number of parking spaces per the zoning code has been provided. No residential uses are adjacent.**

9. That the planned development shall in all other respects conform to the applicable regulations of the zoning district in which it is located.

**Response: The proposed site layout has been based on the requirements set forth in the zoning code. The site meets the applicable regulations.**

#### **Special Use Standards for Approval**

- a) That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

**Response: The redevelopment of this site is being done in the interest of public convenience as it serves the community. Upgrades to the site will help enhance the aesthetics of the area, traffic flow, and provide a necessary service option to those located near the site.**

- b) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

**Response: Proposed site improvements will enhance traffic ingress/egress into the site as well as traffic movement at the intersection of 75<sup>th</sup> and Lemont. This will increase safety from existing conditions. In addition the construction of a new convenience store will enhance the visual appearance at this intersection.**

- c) That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section

28-1802.

**Response: The proposed use will comply with the regulation specified in the zoning ordinance.**

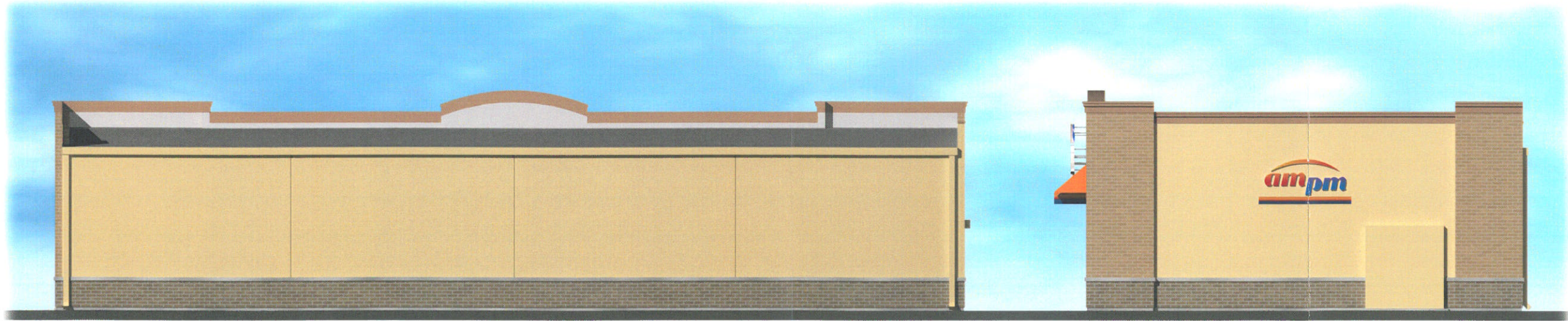
- d) That it is one of the special uses specifically listed for the district in which it is to be located.

**Response: Per Section 28.606(e) and 28.1018 the uses proposed by this site are specifically allowed within a B-2 Commercial district.**



SOUTH ELEVATION

WEST ELEVATION



NORTH ELEVATION

EAST ELEVATION



EIFS Painted to Match ICI "Indian Corn"



Summitville Brick "Georgetown #27"



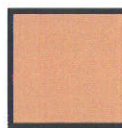
EIFS Painted to Match ICI "Indian Legend"



Fabric Awning Sunbrella Orange



Summitville Brick "Williamstown #96"



ICI Paint "Onionskin Tan"

NOTE: CONSTRUCTION TYPE = 2B

BUILDING TO HAVE A FULL FIRE SPRINKLER SYSTEM



**Proposed C-Store Elevations**

75th Street and Lemont Road  
Downers Grove, Illinois



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EAST ELEVATION

SOUTH ELEVATION



WEST ELEVATION

NORTH ELEVATION



EIFS Painted to Match  
ICI "Indian Corn"



Summitville Brick  
"Williamstown #96"

**NOTE:**  
CONSTRUCTION TYPE = 2B

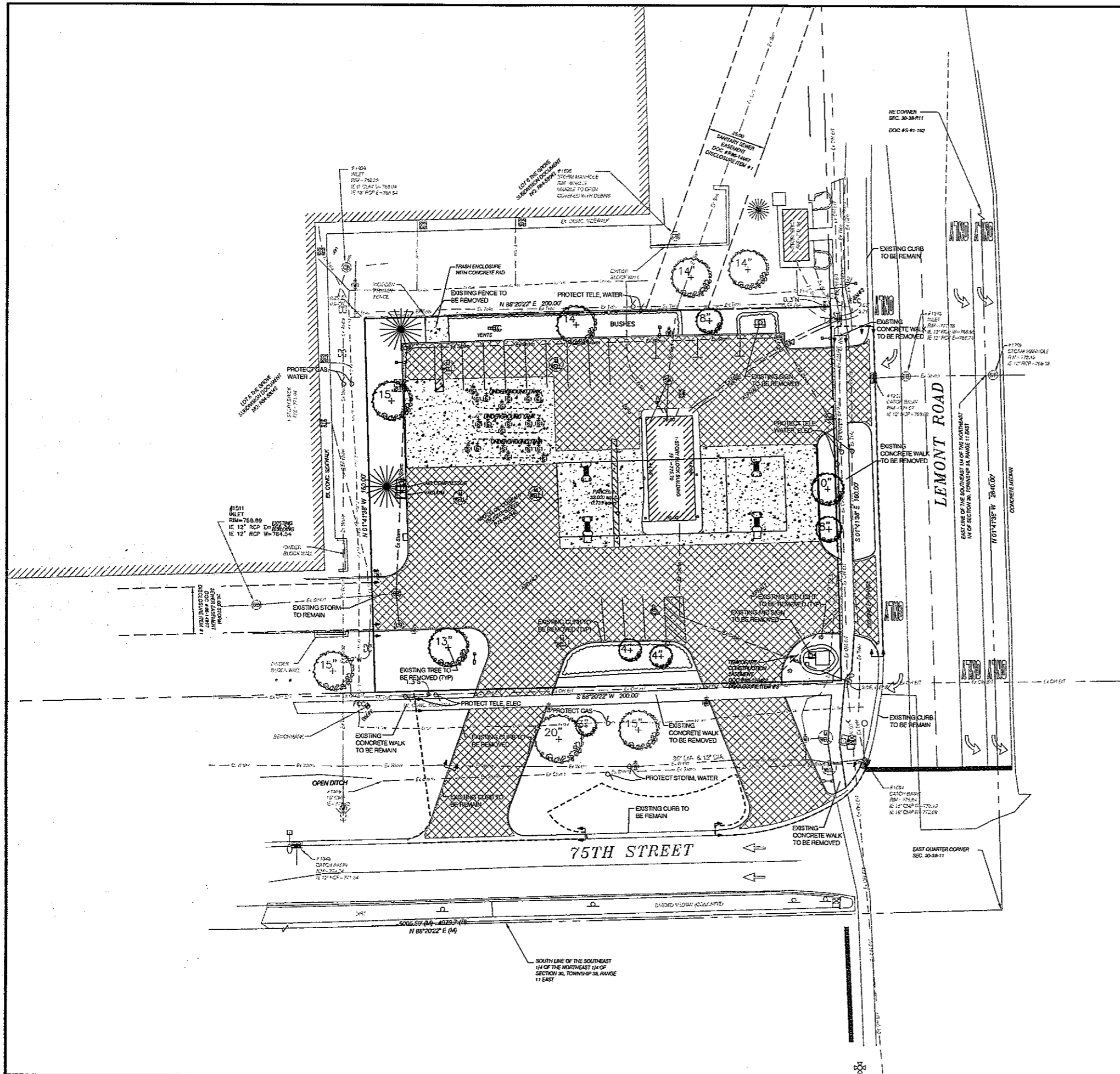


**Proposed Car Wash Elevations**

75th Street and Lemont Road  
Downers Grove, Illinois



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**LIMIT OF DEMOLITION AREA. COMPLETELY REMOVE THE EXISTING ITEMS LISTED BELOW IF BOLD AND LOCATED WITHIN THE DEMOLITION AREA (UNLESS OTHERWISE NOTED). DO NOT DISTURB UTILITIES LOCATED IN THE R.O.W. UNLESS SPECIFICALLY NOTED.**

- FULL DEPTH CURB, CONCRETE & ASPHALT PAVEMENT
- BUILDING, FOUNDATION, AND RELATED STRUCTURES
- CANOPY, CANOPY PAD, CANOPY FOUNDATION, LISTS, DISPENSERS, FUEL PIPING, AND RELATED STRUCTURES
- TREES AND STUMPS
- BOLLARDS
- PAY PHONE
- AIR STAND
- SITE LIGHTS
- SIDEWALK
- UTILITIES SERVING THE EXISTING BUILDING
- BUMPER BLOCKS
- OTHER SITE ITEMS CONFLICTING WITH PROPOSED DESIGN.

VERIFY ITEMS TO BE REMOVED THAT ARE NOT LISTED WITH OWNERS REPRESENTATIVE PRIOR TO REMOVAL.

**LEGEND**

- Ex. Util. --- EXISTING UTILITY TO BE REMOVED
- Ex. Util. --- EXISTING UTILITY TO REMAIN
- LIMITS OF REMOVAL
- ASPHALT TO BE REMOVED

**BP ADA NOTE**  
 CONTRACTOR TO REFERENCE BP ADA PROTOTYPICAL ACCESSIBLE SITE DRAWINGS AND DETAILS AND COORDINATE WITH BP/GLOBAL ALLIANCE REPRESENTATIVE. BP ADA PROTOTYPICAL ACCESSIBLE SITE DRAWINGS AND DETAILS MAY BE FOUND ON THE GLOBAL ALLIANCE PORTAL (GAP).

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**SITE ADDRESS:**  
 75TH STREET & LEMONT ROAD  
 DOWNERS GROVE, IL  
 1200 W. 75TH STREET

DATE:	10-22-08	ALLIANCE TAG:	BT
DESIGNED BY:	SP	BP ADA:	BT
DRAWN BY:	SP	ALLIANCE PA:	BT
VERSION:	V1.0	PROJECT NO.:	BPAG10002

**SITE DEMOLITION PLAN**

SHEET NO.

**C0**

**PLAN NOTES**

1. INSTALL ON-SITE CURB RAMP PER SITE DETAILS WITH STAMPED CONCRETE PER BP ADA PROTOTYPICAL ACCESSIBLE SITE DRAWINGS.



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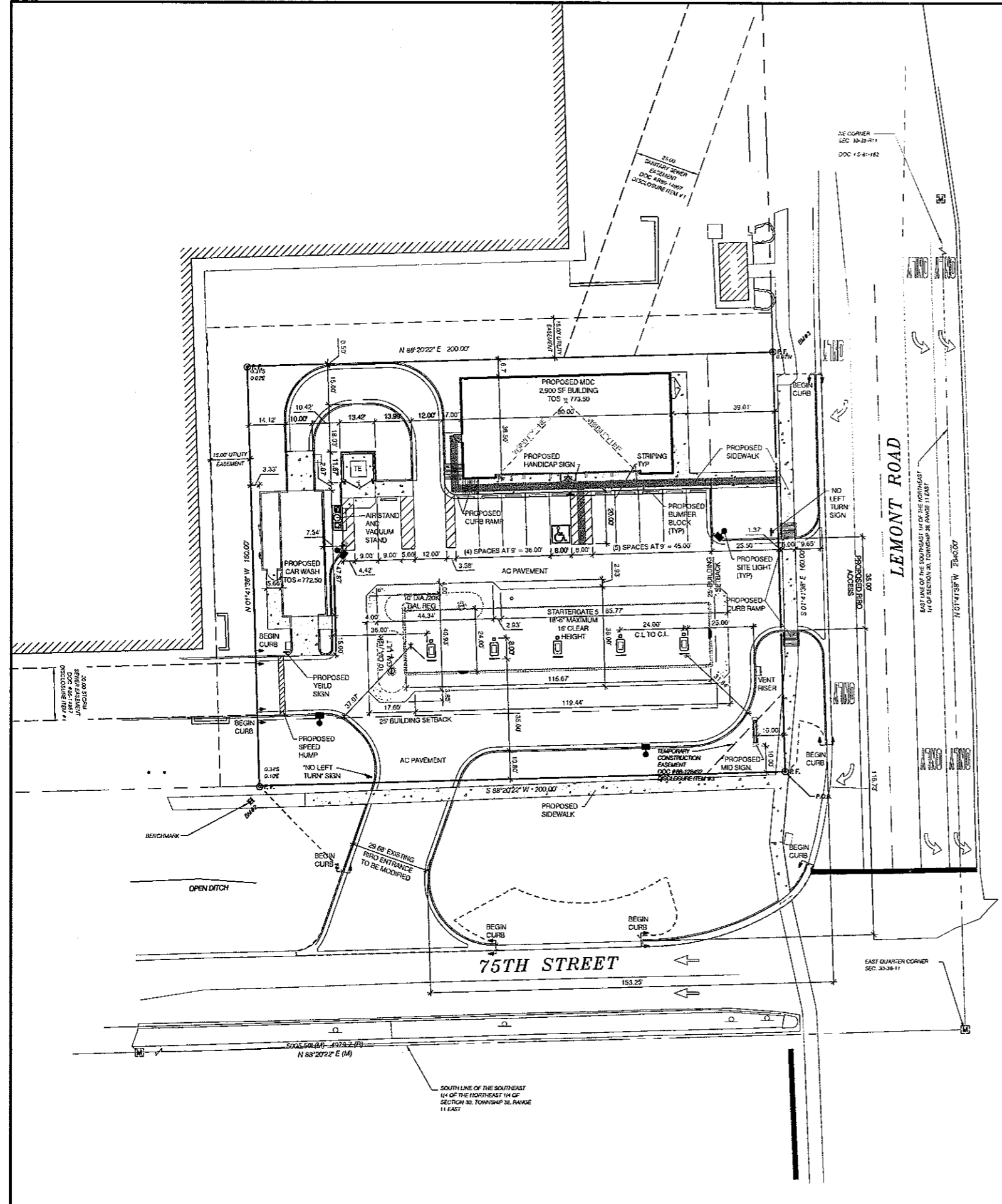
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DOWNERS GROVE, IL  
1200 W. 75TH STREET

DATE:	10-22-08
DESIGNED BY:	BP
CHECKED BY:	SA
DRAWN BY:	SA
PROJECT NO.:	BPAG10002

**DRAWING TITLE:**  
**SITE IMPROVEMENT PLAN**

**SHEET NO.:**  
**C1**



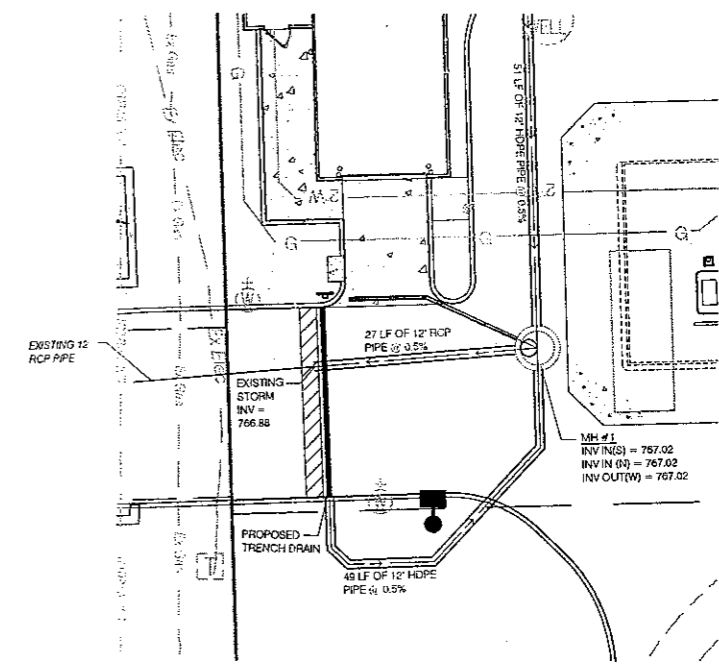
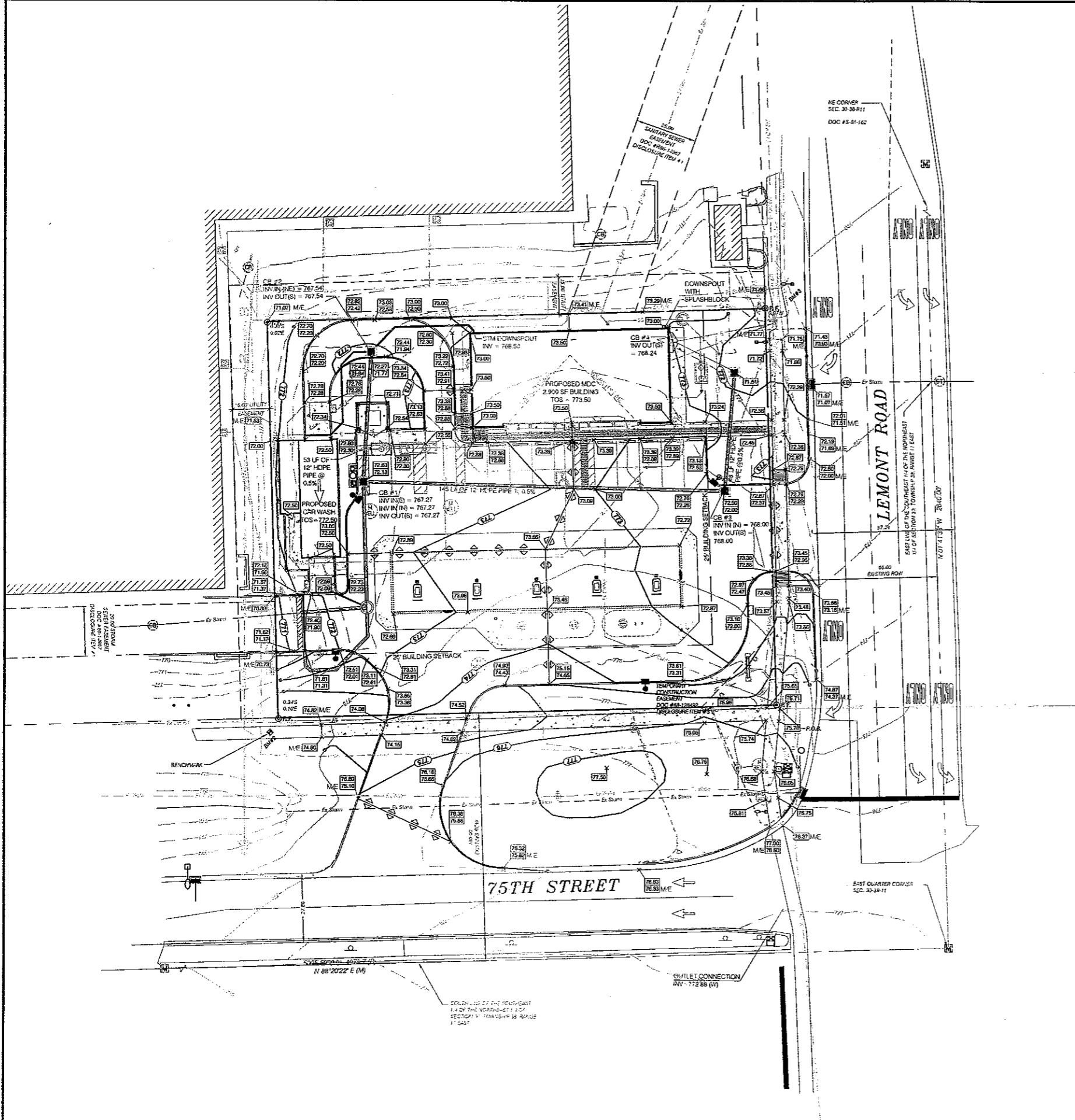
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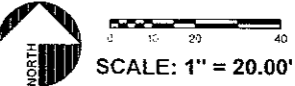
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**DESIGNED BY:** SF ALLIANCE TADM: RT  
**DRAWN BY:** SJ BP ADM: BL  
**GRAB BY:** SF ALLIANCE PM: RT  
**VERSION:** V1.0 PROJECT NO: BPAG10002

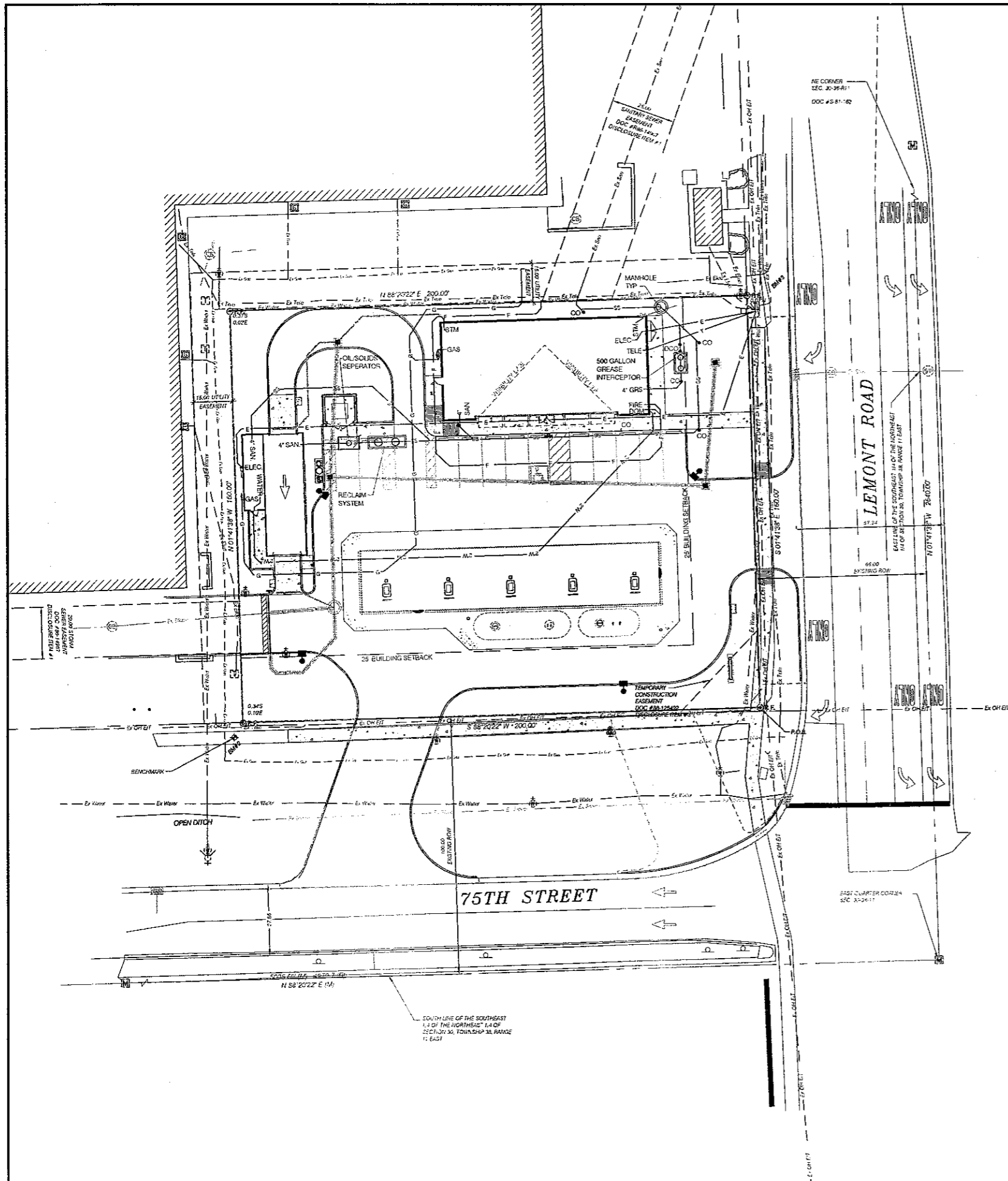
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SITE GRADING & DRAINAGE PLAN  
**SHEET NO.:**

**C2**

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 LEMONT ROAD  
 DOWNERS GROVE, IL  
 1200 W. 75TH STREET

DATE: 10-22-08  
 DESIGNED BY: SF  
 CHECKED BY: SJ  
 DRAWN BY: SF  
 VERSION: V1.0  
 PROJECT NO: BPAG10002

**DRAWING TITLE:**  
 SITE UTILITY  
 PLAN

SHEET NO:  
**C4**

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# LANDSCAPE CODE REQUIREMENTS

**OPEN SPACE - LANDSCAPED GREEN SPACE**  
 B-2 DISTRICT: A MINIMUM OF TEN PERCENT (10%) OF THE LOT AREA SHALL BE LANDSCAPED GREEN SPACE OF WHICH A MINIMUM OF FIFTY PERCENT (50%) SHALL BE LOCATED IN THE FRONT YARD. ALL INTERIOR LANDSCAPED ISLANDS AND DIVIDERS MEASURING 500 SQUARE FEET AND MORE MAY BE CALCULATED AS CONTRIBUTING TO THE OPEN LANDSCAPED GREEN SPACE REQUIREMENTS. INTERIOR LANDSCAPED ISLANDS AND DIVIDERS MEASURING LESS THAN 500 SQUARE FEET MAY NOT BE CALCULATED AS CONTRIBUTING TO THE OPEN LANDSCAPED GREEN SPACE REQUIREMENTS.

32,000 S.F. LOT X 10% = 3,200 S.F. LANDSCAPED GREEN SPACE REQUIRED  
 7,511 S.F. LANDSCAPED GREEN SPACE PROVIDED  
 3,200 S.F. X 50% = 1,600 S.F. FRONT YARD LANDSCAPED GREEN SPACE REQUIRED  
 4,587 S.F. FRONT YARD LANDSCAPED GREEN SPACE PROVIDED

**PERIMETER PARKING LOT LANDSCAPING AND SCREENING**  
 FRONT YARDS - WHERE A PARKING LOT IS LOCATED ACROSS A STREET FROM A NON-RESIDENTIALLY ZONED PROPERTY, LANDSCAPING AND SCREENING SHALL BE PROVIDED AS FOLLOWS:  
 (A) LANDSCAPING SHALL BE PROVIDED ALONG FIFTY PERCENT (50%) OF THE PARKING LOT PERIMETER, EXCLUSIVE OF DRIVEWAYS OR OTHER APPURTENANCES. TO A MINIMUM HEIGHT OF THIRTY INCHES (30") AT MATURITY. LANDSCAPING SHALL BE PROVIDED IN PLANT GROUPINGS OF NO LESS THAN THREE (3) LIVE PLANTS. LANDSCAPING MAY CONSIST OF DECIDUOUS AND EVERGREEN SHRUBS, ORNAMENTAL GRASSES AND TREES, AND PERENNIALS, SHRUBS, GRASSES AND PERENNIALS SHALL BE A MINIMUM TWELVE INCHES (12") IN HEIGHT AT TIME OF INSTALLATION. ORNAMENTAL TREES SHALL BE A MINIMUM OF FOUR FEET (4') IN HEIGHT AT TIME OF INSTALLATION.  
 (B) SHADE OR ORNAMENTAL TREES SHALL BE PROVIDED WITHIN THE LANDSCAPED AREA AT A RATE OF NOT LESS THAN ONE (1) TREE PER FORTY FEET (40') OF FRONTAGE. ADJACENT TO THE NEAREST WHOLE NUMBER. SHADE TREES SHALL HAVE A MINIMUM OF TWO INCH (2") CALIPER AT TIME OF INSTALLATION. IF PARKWAY TREES EXIST OR ARE REQUIRED, SUCH PARKWAY TREES MAY BE COUNTED TOWARD COMPLIANCE WITH THE PERIMETER LANDSCAPING REQUIREMENTS.

LEMONT ROAD (99 L.F. PARKING LOT - 35 L.F. DRIVE - 64 L.F.)  
 32 L.F. LANDSCAPING AND SCREENING REQUIRED  
 32 L.F. LANDSCAPING AND SCREENING PROVIDED  
 2 TREES PROVIDED  
 75TH STREET (160 L.F. PARKING LOT - 33 L.F. DRIVE - 127 L.F.)  
 64 L.F. LANDSCAPING AND SCREENING REQUIRED  
 64 L.F. LANDSCAPING AND SCREENING PROVIDED  
 3 TREES PROVIDED  
 3 TREES PROVIDED (EXISTING IN PARKWAY)

**REAR AND SIDE YARDS -** WHERE A PARKING LOT IS LOCATED ADJACENT TO A NON-RESIDENTIALLY ZONED PROPERTY, LANDSCAPING SHALL BE PROVIDED AS FOLLOWS:  
 (A) LANDSCAPING SHALL BE PROVIDED ALONG FIFTY PERCENT (50%) OF THE PARKING LOT PERIMETER TO A MINIMUM HEIGHT OF THREE FEET (3') AT MATURITY. LANDSCAPING SHALL BE PROVIDED IN PLANT GROUPINGS OF NO LESS THAN THREE (3) LIVE PLANTS. LANDSCAPING SHALL CONSIST OF ANY COMBINATION OF SHADE AND ORNAMENTAL TREES, DECIDUOUS AND EVERGREEN SHRUBS, AND OTHER LIVE PLANT MATERIALS, SHRUBS, GRASSES AND PERENNIALS SHALL BE A MINIMUM TWELVE INCHES (12") IN HEIGHT AT TIME OF INSTALLATION. ORNAMENTAL TREES SHALL BE A MINIMUM OF FOUR FEET (4') IN HEIGHT AT TIME OF INSTALLATION.  
 NORTH: 160 L.F. PARKING LOT - 80 L.F. BUILDING - 13 L.F. TRASH ENCLOSURE = 67 L.F.  
 34 L.F. LANDSCAPING AND SCREENING REQUIRED  
 34 L.F. LANDSCAPING AND SCREENING PROVIDED  
 WEST: 99 L.F. PARKING LOT - 23 L.F. DRIVE - 45 L.F. CAR WASH - 31 L.F.  
 16 L.F. LANDSCAPING AND SCREENING REQUIRED  
 16 L.F. LANDSCAPING AND SCREENING PROVIDED

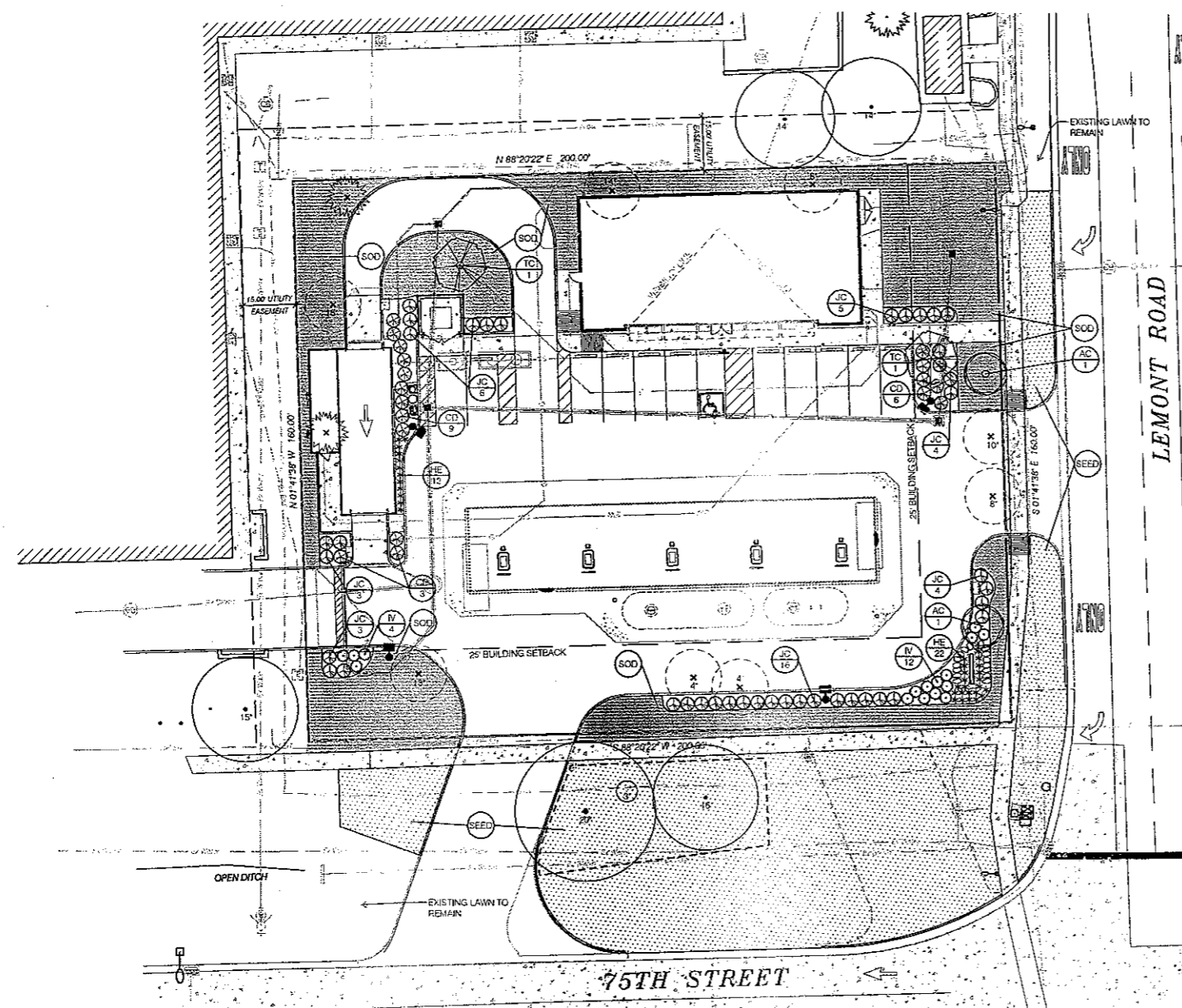
**INTERIOR PARKING LOT LANDSCAPING**  
 LANDSCAPE ISLANDS SHALL BE LOCATED AT THE END OF EACH PARKING ROW AND PROVIDED WITHIN THE PARKING LOT TO DIVIDE A PARKING ROW SO THAT NO MORE THAN TWENTY (20) ADJACENT PARKING SPACES ARE LOCATED IN ANY LENGTH OF A SINGLE ROW WITHOUT A LANDSCAPE ISLAND. ALL LANDSCAPED ISLANDS SHALL EITHER BE CROWNED TO PROVIDE POSITIVE DRAINAGE OR COMPLY WITH THE VILLAGE'S BEST MANAGEMENT PRACTICES FOR STORMWATER. LANDSCAPE ISLANDS SHALL BE A MINIMUM OF ONE HUNDRED TWENTY (120) SQUARE FEET IN AREA AND SHALL BE A MINIMUM OF SEVEN (7) FEET IN WIDTH, AS MEASURED FROM THE BACK OF CURB TO BACK OF CURB. ONE SHADE TREE OF A MINIMUM TWO INCH (2") CALIPER SHALL BE PROVIDED FOR EACH ONE HUNDRED TWENTY (120) SQUARE FEET OF LANDSCAPE ISLAND, ROUNDED TO THE NEAREST WHOLE NUMBER.

292 S.F. LANDSCAPE ISLANDS / 120 S.F. = 2 SHADE TREES REQUIRED  
 1 REQUIRED SHADE TREE HAS BEEN PROVIDED IN GREEN SPACE NORTH OF TRASH ENCLOSURE DUE TO CONFLICTS AND LACK OF SPACE IN NARROW CORNER ISLAND ADJACENT TO CAR WASH WITH PROPOSED AIR STAND AND VACUUM STAND.

PLANTING SCHEDULE					TOTAL NUMBER OF PLANTS SHALL BE VERIFIED ON THE LANDSCAPE PLAN. IF PLAN TOTAL DIFFERS FROM THIS SCHEDULE, THE PLAN SHALL GOVERN.	
SYMBOL	KEY	QTY.	BOTANICAL NAME COMMON NAME	SIZE CONDITION	COMMENTS	
	TC	2	TILIA CORDATA CHANCELLOR LITTLELEAF LINDEN	2' CAL	B&B 6" CLEAR TRUNK	
	AC	2	AMELANCHIER CANADENSIS DOWNY SERVICEBERRY	5'-6" HT MIN. 2' CAL	B&B MULTI-TRUNK, 3 TRUNKS MIN.	
	JC	41	JUNIPERUS CHINENSIS 'SEA GREEN' SEA GREEN JUNIPER	30' HT	CONT DENSE, FULL TO GROUND, 4' O.C.	
	HE	24	HEMEROCALLIS 'HAPPY RETURNS' HAPPY RETURNS DAYLILY	12' HT/SPP	CONT 3 FANS MIN. YELLOW BLOOMS.	
	IV	16	ITEA VIRGINICA HENRY'S GARNET HENRY'S GARNET SWEETSPICE	18' HT/SPP	CONT DENSE, FULL TO GROUND	
	CD	18	COTONEASTER DAMMERI 'CORAL B' CORAL BEAUTY COTONEASTER	18' SPP	CONT DENSE, FULL TO GROUND	
			LOCALLY AVAILABLE BLUEGRASS/FESCUE BLEND		2 SHADE TREES PROVIDED	
			LOCALLY AVAILABLE BLUEGRASS/FESCUE BLEND			
			PROPOSED FLAGSTONE STEPPING STONES MIN. 12" X 15". SET TOP OF STONE FLUSH WITH FINISHED GRADE.			

TYPE OF EXISTING PLANT MATERIAL	EXISTING TO REMAIN	EXISTING TO BE REMOVED
DECIDUOUS TREE		
EVERGREEN TREE		
TREE PRESERVATION FENCINGS		

- NOTES**
- GENERAL CONTRACTOR SHALL PROVIDE TREE PROTECTION AND MAINTAIN EXISTING TREES TO REMAIN WITHIN LIMITS OF PROPOSED CONSTRUCTION PRIOR TO BEGINNING DEMOLITION OR GRADING ACTIVITY. SEE TREE PRESERVATION FENCINGS DETAIL.
  - GENERAL CONTRACTOR SHALL REMOVE STUMP AND NEARBY NUTS TO A DEPTH OF 18" FOR EXISTING PLANT MATERIAL TO BE REMOVED.



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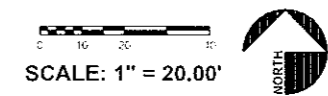
LANDSCAPE CONTRACTOR TO VERIFY CONDITION OF LAWN IN ROW. IF THIS AREA IS IN AN UNACCEPTABLE CONDITION PER CLIENT REPRESENTATIVE, PROVIDE BID ALTERNATIVE FOR SEED OR SOG WITHIN THE ROW. BID SHALL INCLUDE ALL AREAS BETWEEN THE PROPERTY LINE AND EDGE OF ROADWAY PAVEMENT.

THIS REQUEST DOES NOT PROVIDE ANY APPROVAL FROM GOVERNING AGENCIES HAVING JURISDICTION OVER THIS AREA. IF REQUIRED, CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING PERMIT OR APPROVAL FOR THIS WORK.

**IRRIGATION SYSTEM NOTE**

IRRIGATION SYSTEM TO BE BID AS DESIGN BUILT. THE CONTRACTOR IS RESPONSIBLE FOR BOTH THE DESIGN AND THE CONSTRUCTION OF THE IRRIGATION SYSTEM.

LIMITS OF PROPOSED CONSTRUCTION



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**DEVELOPMENT INFORMATION:**

2,900 S.F. BUILDING & STARTERGATE 5 CANOPY

**SITE ADDRESS:**

75TH STREET & LEMONT ROAD  
 DOWNERS GROVE, IL  
 1200 W. 75TH STREET

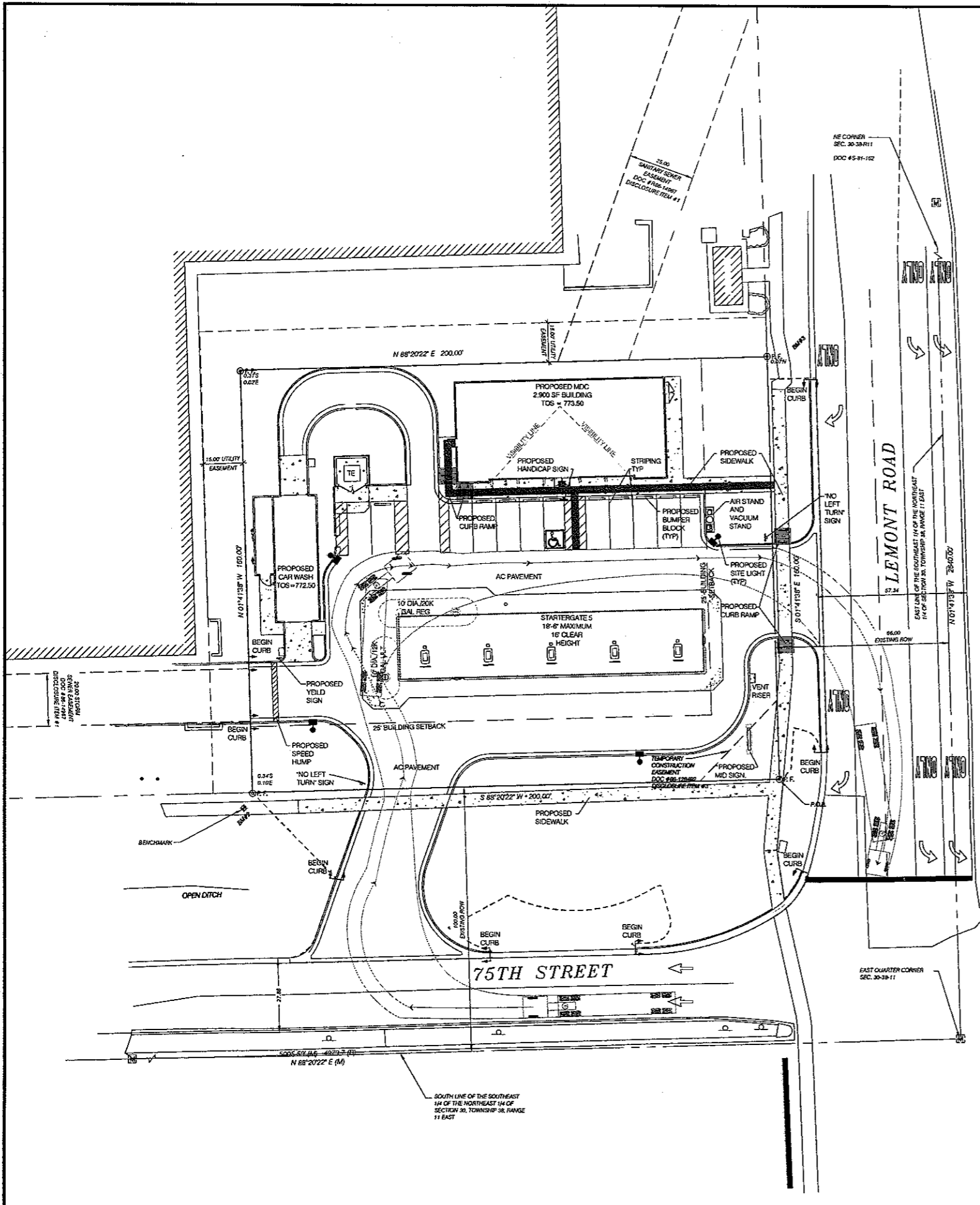
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DESIGNED BY:	SF ALLIANCE JADA RT
CHECKED BY:	SJ SF AOK: BL
DRAWN BY:	SF ALLIANCE PA RT
VERSION:	V1.0 PROJECT NO. BPAG10002

**DRAWING TITLE:**

LANDSCAPE PLAN

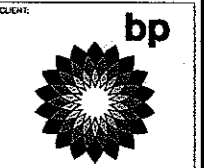
SHEET NO.

**L1**



**PLAN NOTES**

- 1. INSTALL ON-SITE CURB RAMP PER SITE DETAILS WITH STAMPED CONCRETE PER BP ADA PROTOTYPICAL ACCESSIBLE SITE DRAWINGS.
- 2. THE MAJORITY OF THE EXISTING SITE HAS BEEN DEMOLISHED. CONTRACTOR SHALL INCLUDE IN BID ANY REMAINING DEMOLITION REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS.



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DEVELOPMENT INFORMATION:

**2,900 S.F. BUILDING & STARTERGATE 5 CANOPY**

SITE ADDRESS:

**75TH STREET & LEMONT ROAD**  
**DOWNS GROVE, IL**

1200 W. 75TH STREET

DATE:	10-22-08	DATE:	
DESIGNED BY:	SP	ALLIANCE ZONE:	RT
CHECKED BY:	SL	BP ADA:	RT
DRAWN BY:	SP	ALLIANCE PAL:	RT
VERSION:	V1.0	PROJECT NO.:	BPAG10002

DRAWING TITLE:  
**FUEL TRUCK EXHIBIT**

SHEET NO.:

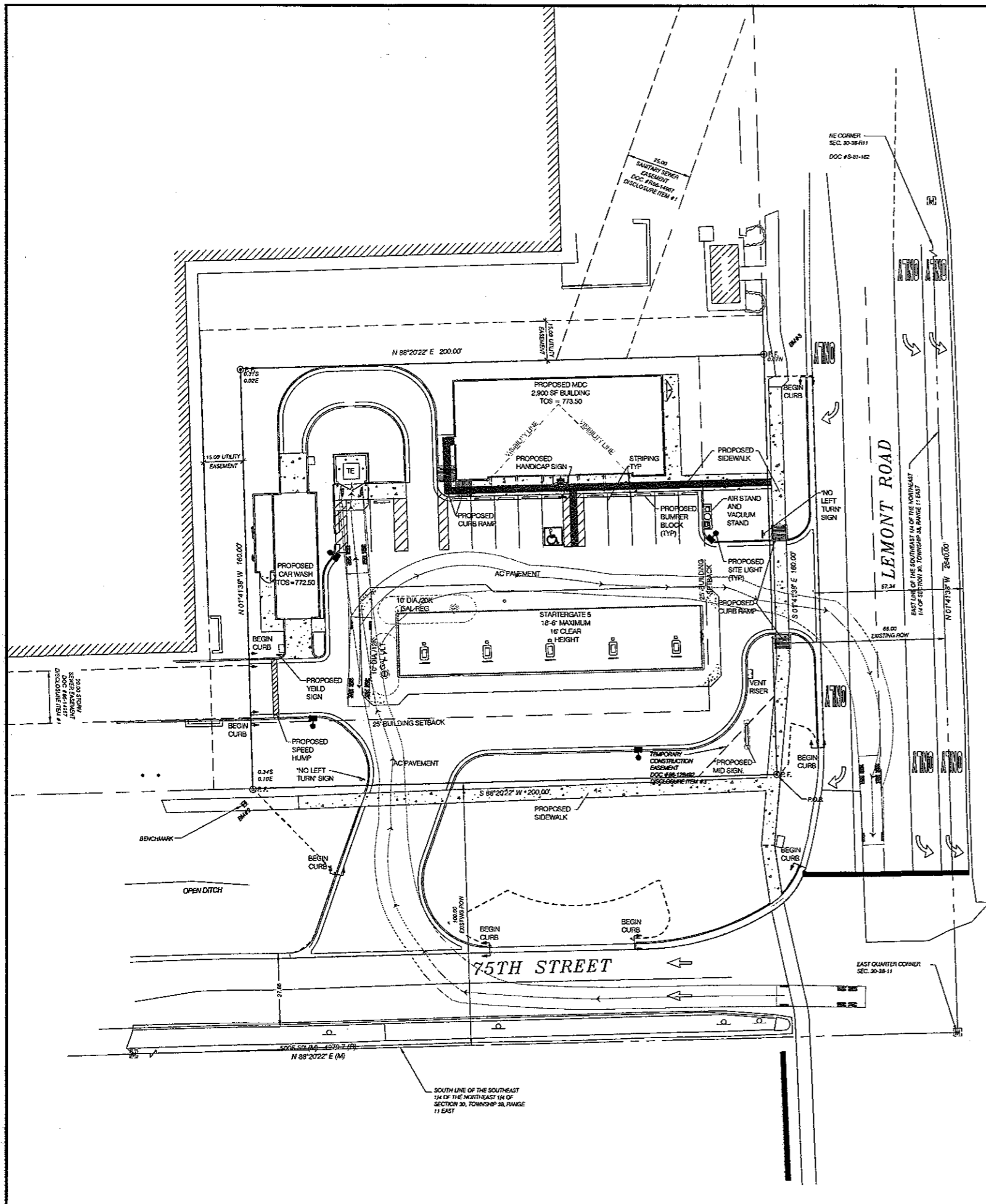
**EX-FUEL**

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SCALE: 1" = 20.00'

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**PLAN NOTES**

1. INSTALL ON-SITE CURB RAMP PER SITE DETAILS WITH STAMPED CONCRETE PER BP ADA PROTOTYPICAL ACCESSIBLE SITE DRAWINGS.
2. THE MAJORITY OF THE EXISTING SITE HAS BEEN DEMOLISHED. CONTRACTOR SHALL INCLUDE IN BID ANY REMAINING DEMOLITION REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS.



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 wdpartners.com

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NO.	DATE	REVISION DESCRIPTION
11.17.06		PLANNING SUBMITTAL
12.22.06		PLANNING SUBMITTAL

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DEVELOPMENT INFORMATION:  
**2,900 S.F. BUILDING & STARTERGATE 5 CANOPY**

SITE ADDRESS:  
**75TH STREET & LEMONT ROAD**  
**DOWNERS GROVE, IL**

1200 W. 75TH STREET

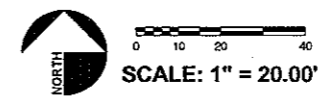
DATE:	10-22-08
DESIGNED BY:	SP ALLIANCE LEADS RT
CHECKED BY:	BJ BP ADA BL
DRAWN BY:	BP ALLIANCE PM: RT
VERSION:	V1.0 PROJECT NO: BPAG10002

DRAWING TITLE:  
**TRASH TRUCK EXHIBIT**

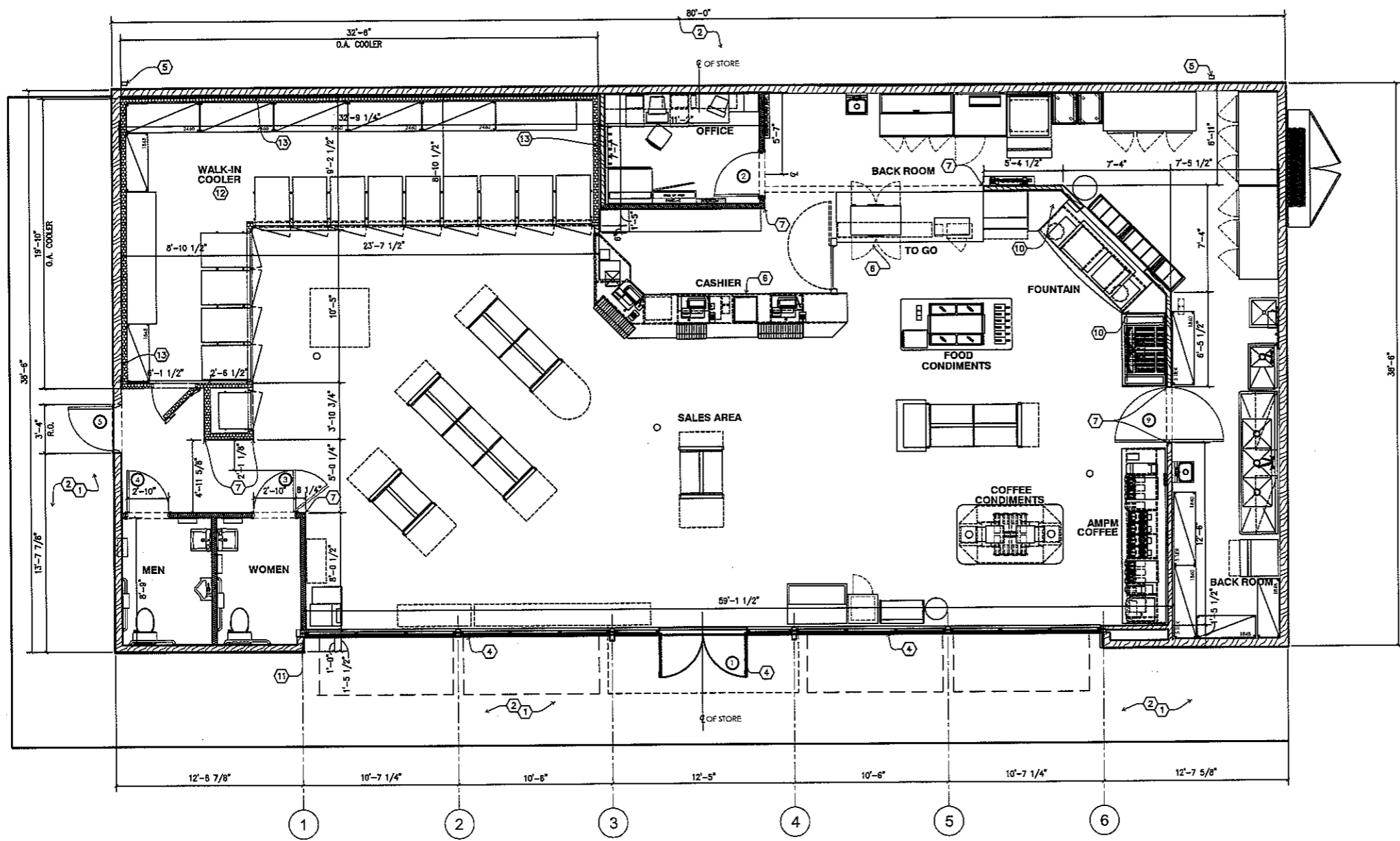
SHEET NO:  
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**CONSTRUCTION FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

- GENERAL NOTES:**  
 A. DIMENSION LINES ARE FROM FACE OF FRAMING OR FOUNDATION UNLESS NOTED OTHERWISE.  
 B. FACE OF SHEATHING ON EXTERIOR WALL IS SAME AS OUTSIDE FACE OF FOUNDATION WALL.  
 C. METAL STUDS MAY BE USED IN PLACE OF WOOD STUDS.  
 D. MOISTURE RESISTANT GYPSUM TO BE USED IN TOILET ROOMS, BEHIND MAP SINK, AND ADJACENT TO COOLERS. FOR SPECIFIC SUBSTRATE REQUIREMENTS, REFER TO INTERIOR ELEVATIONS.  
 E. PROVIDE BLOCKING AS REQ'D FOR ALL EQUIPMENT AND ACCESSORIES.  
 F. PROVIDE CLEAR SILICONE SEALANT FOR ALL WALL TRANSITIONS.  
 G. FOR FLOORING LAYOUT REFER TO SHEET A1.2  
 H. FOR CEILING LAYOUT REFER TO SHEET A1.3  
 I. FOR FINISH MATERIAL REFER TO INTERIOR ELEVATIONS SHEETS A2.3, A2.4, AND A2.5.  
 J. FOR INTERIOR GRAPHIC ELEVATIONS REFER TO SHEET A2.6.  
 K. FOR DOOR AND WINDOW DETAILS REFER TO SHEET A5.2.  
 L. FOR EQUIPMENT REFER TO SHEET Q1.1.  
 M. ALL MATERIALS AND APPLICATION TO MEET OR EXCEED LOCAL OR STATE REQUIREMENTS.

**KEYED NOTES:**

- KEYED NOTES:**  
 1. SLOPE SIDEWALK AWAY FROM DOOR 1/8" / FOOT  
 2. CONCRETE PAVING, SEE CIVIL  
 3. NOT USED  
 4. ALUMINUM ENTRANCE AND STOREFRONT SYSTEM. REFER TO A, 5.2 & SPEC.  
 5. DOWNSPOUT CONNECT TO STORM SYSTEM, SEE CIVIL.  
 6. ELECTRONIC CONTROL FOR ELECTRONICALLY OPERATED DOOR  
 7. CLEAR PLASTIC CORNER GUARDS  
 8. NOT USED  
 9. NOT USED  
 10. PROVIDE FILLER COUNTER AND MILLWORK FOR GAP WITH FINISHES TO MATCH  
 11. RECESSED KNOX BOX. INSTALL PER MANUFACTURERS SPECIFICATIONS  
 12. FOR COOLER AND FREEZER INFORMATION AND DIMENSIONS, REFER TO SHEET Q.4.1  
 13. MAINTAIN MINIMUM 1" AIR GAP BEHIND COOLERS AND FREEZERS ADJACENT TO WALLS. CLOSE SPACE AT ENDS WITH 2"x2" ALUMINUM ANGLE.

**WALL LEGEND:**

- WALL LEGEND:**  
 ■■■■■ METAL STUD FRAMED WALL  
 ■■■■■ PREFABRICATED COOLER UNIT  
 - - - - - LOW (HALF) WALL (METAL FRAMED)  
 ■■■■■ WALL WITH SOUND BATT INSULATION

- NOTE:**  
 1. BUILDING IS TO BE TYPE 2B CONSTRUCTION.  
 2. BUILDING IS TO HAVE A FULL FIRE SPRINKLER SYSTEM.



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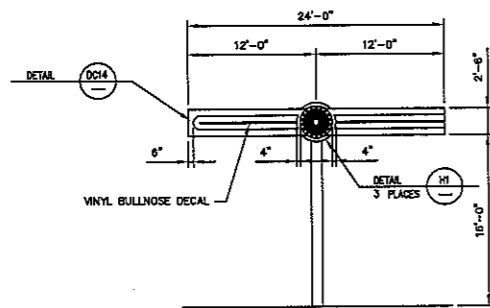
**DEVELOPMENT INFORMATION:**  
 NEW BUILD (STICK)  
 2900 SERIES AM/PM  
 CENTER CASHIER  
 TO GO DELI

**SITE ADDRESS:**  
 75TH AND LEMONT  
 DOWNERS GROVE, IL  
 SS#

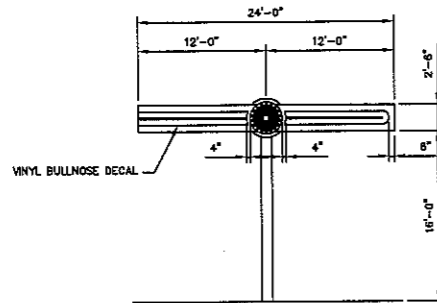
DESIGNED BY:	ALLIANCE ZONE
CHECKED BY:	SP. REVIEW
DRAWN BY:	ALLIANCE P/E
VERSION:	MDC PROJECT NO. BPAG10002

**DRAWING TITLE:**  
 CONSTRUCTION FLOOR PLAN

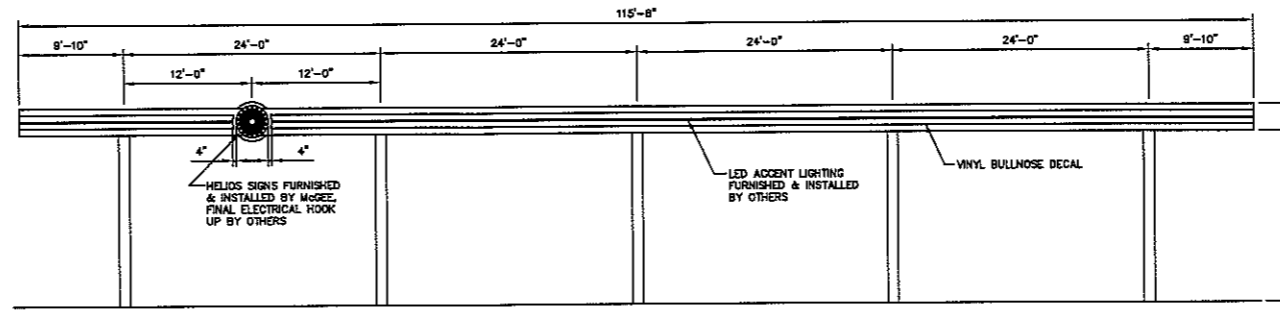
**SHEET NO.:**  
 SB35  
 A.1.1



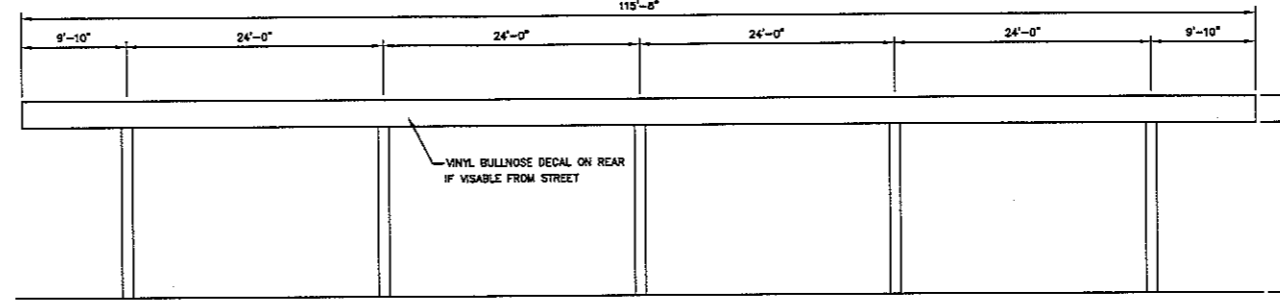
**LEFT SIDE ELEVATION**



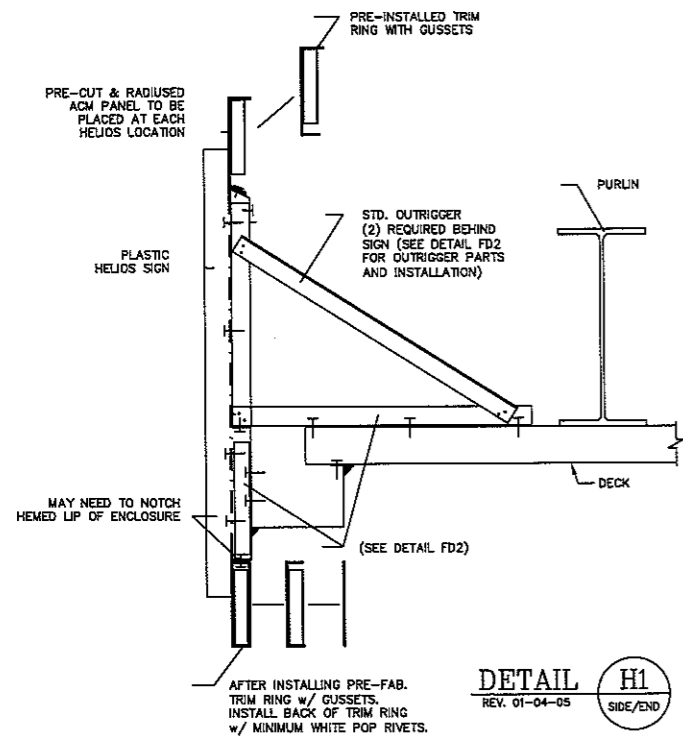
**RIGHT SIDE ELEVATION**



**FRONT ELEVATION**

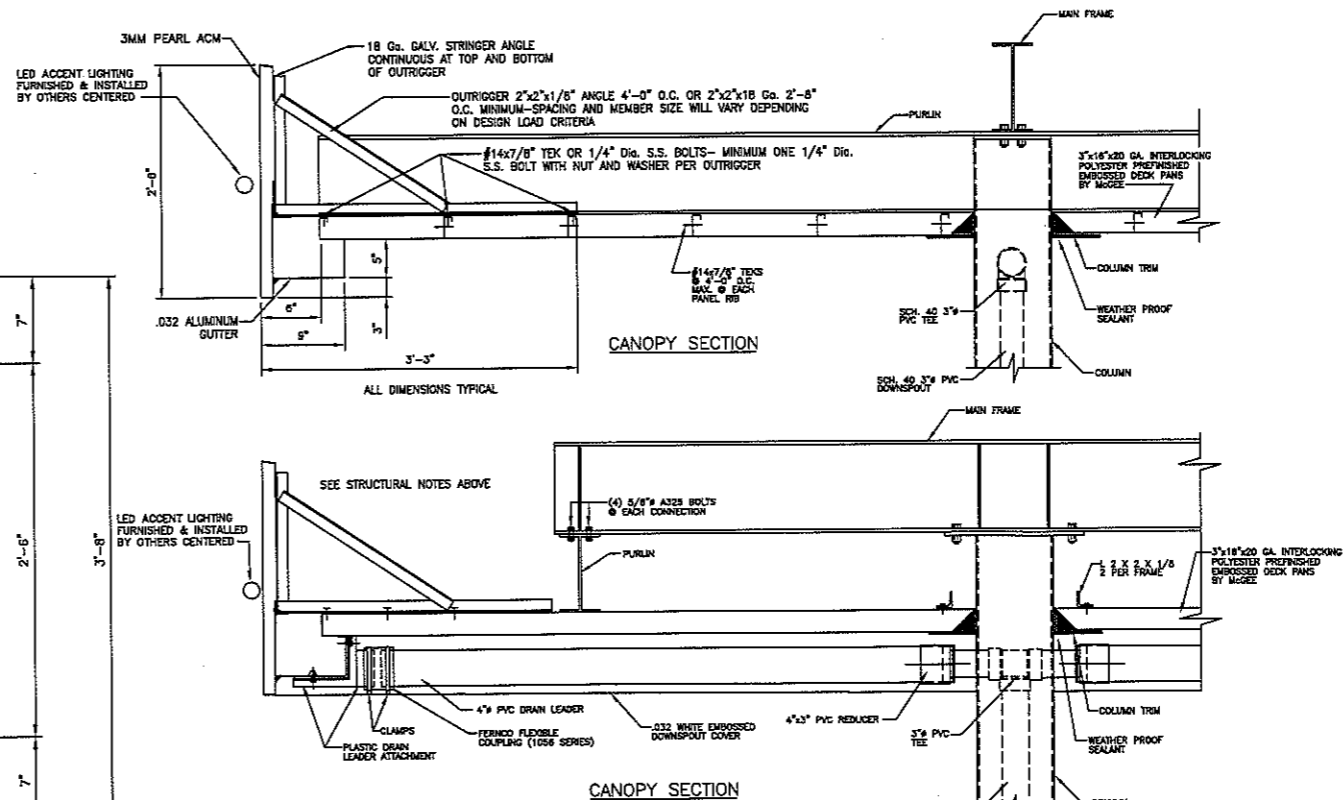
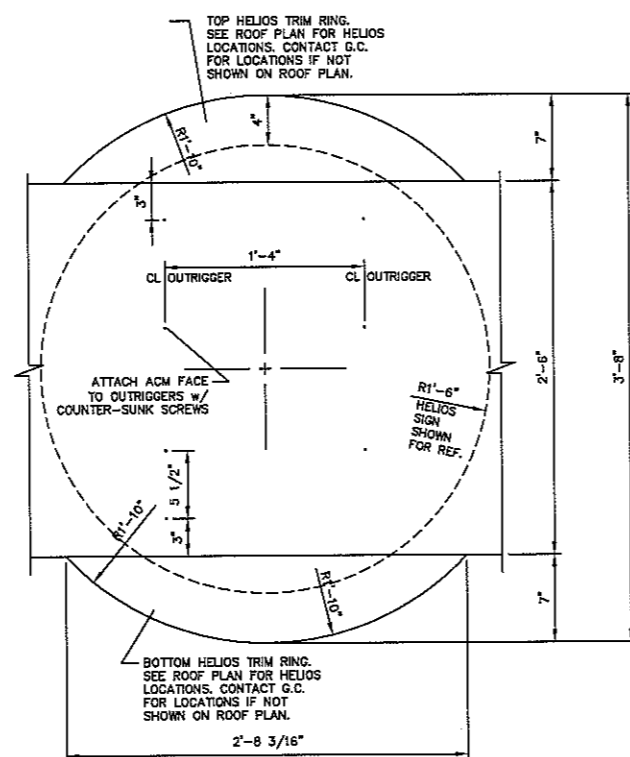


**REAR ELEVATION**



**DETAIL H1**  
REV. 01-04-05  
SIDE/END

**HELIOS TRIM BOX**  
INSTALLATION FOR END & SIDE  
(FOR A 30" HIGH FASCIA)



**CLIENT**

28100 TORCH PARKWAY  
WARRENVILLE, ILLINOIS 60555

**MCGEE CORPORATION**  
12701 E. Independence Blvd.  
P.O. Box 1375  
Mothman, N.C. 28106-1375  
Phone: 704-882-1500  
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**DEVELOPMENT INFORMATION**  
**V5 FLAT DECK CANOPY**  
STARTER GATE 5  
24'-0" x 115'-8"

SITE ADDRESS:  
  
**S.S.# XXXXX**  
SCALE: 1/8"=1'-0" ALLIANCE ZONE:  
DATE: 5/25/04 BP REPRESENTATIVE:  
DESIGNED BY: ALLIANCE PROJECT MANAGER:  
DRAWN BY: JWG FILE NAME:  
CHECKED BY: POXXXXX

### SITE SIGNAGE TABLE

#### CONVENIENCE STORE SIGNAGE

TOTAL SIGNAGE ALLOWED:  
1.5 SF/ LINEAR FT OF BUILDING FRONTAGE = 176.97 SF

PROPOSED SIGNAGE FACING 75TH STREET:

AMP/PM (BUILDING)	1	@ 61.50 SF =	61.50 SF
HELIOS (CANOPY)	1	@ 7.10 SF =	7.10 SF
<b>TOTAL</b>			<b>68.60 SF</b>

PROPOSED SIGNAGE FACING LEMONT ROAD:

AMP/PM (BUILDING)	1	@ 42.70 SF =	42.70 SF
HELIOS (CANOPY)	1	@ 7.10 SF =	7.10 SF
<b>TOTAL</b>			<b>49.80 SF</b>

PROPOSED CARWASH SIGNAGE FACING LEMONT ROAD:

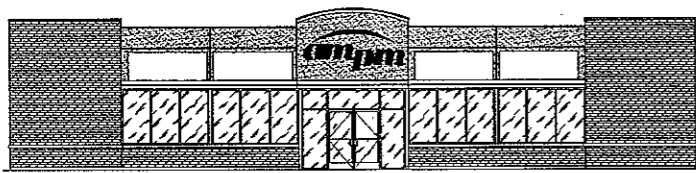
CAR WASH	1	@ 23.07 SF =	23.07 SF
	1	@ 0.89 SF =	0.89 SF
	1	@ 1.48 SF =	1.48 SF
<b>TOTAL</b>			<b>25.44 SF</b>

PROPOSED MID SIGNAGE:

MID SIGN	1	@ 35.00 SF =	35.00 SF
<b>TOTAL</b>			<b>35.00 SF</b>

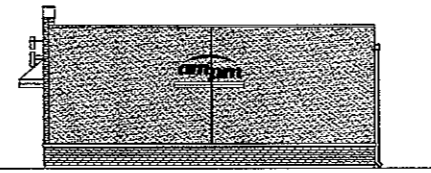
TOTAL PROPOSED AREA = 178.84 SF

NOTE:  
ALL ELEVATIONS SHOWN ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES ONLY.



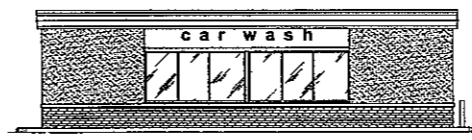
**BUILDING ELEVATION 75TH STREET**

SCALE: NONE



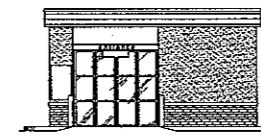
**BUILDING ELEVATION FACING LEMONT ROAD**

SCALE: NONE



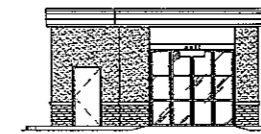
**CAR WASH ELEVATION FACING LEMONT ROAD**

SCALE: NONE



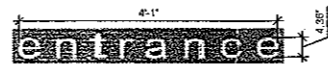
**CAR WASH ELEVATION ENTRANCE**

SCALE: NONE

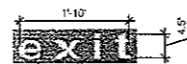


**CAR WASH ELEVATION EXIT**

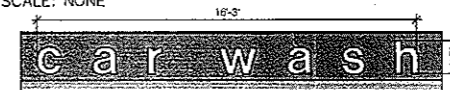
SCALE: NONE



**SN1.0-01 CARWASH SIGNAGE**  
SCALE: NONE



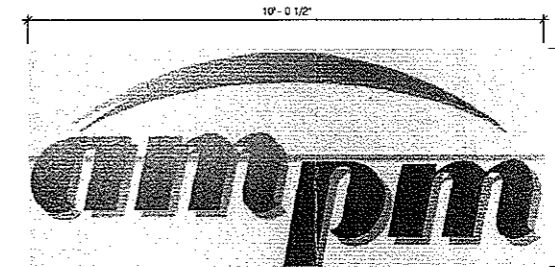
**SN1.0-02 CARWASH SIGNAGE**  
SCALE: NONE



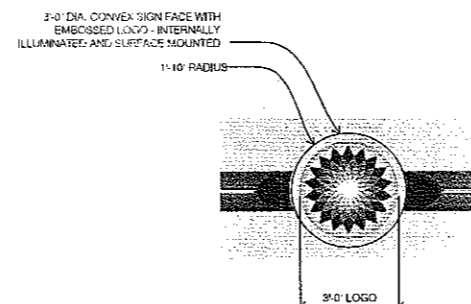
**SN1.0-03 CARWASH SIGNAGE**  
SCALE: NONE AREA: 23.07 SF



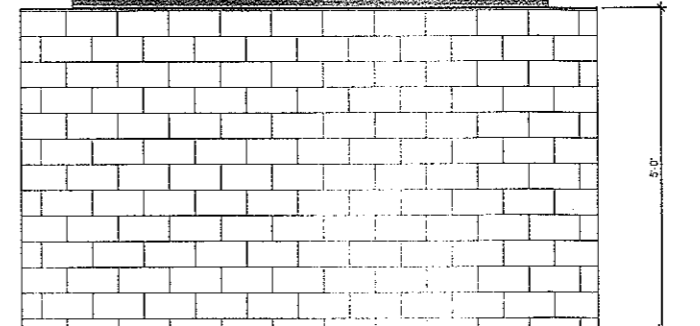
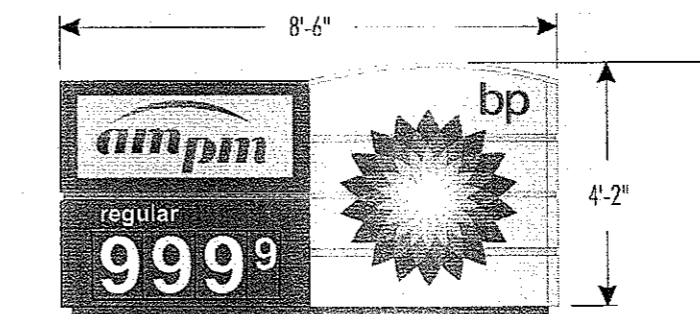
**SN1.0-04 BUILDING CHANNEL LETTERS**  
SCALE: NONE AREA: 61.5 SF



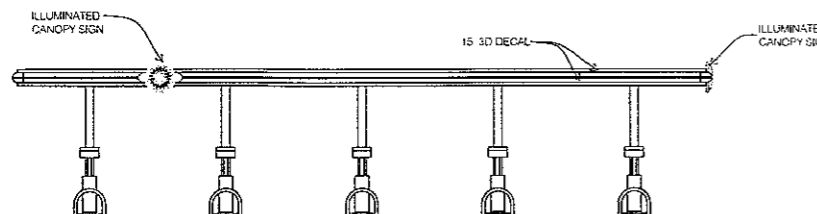
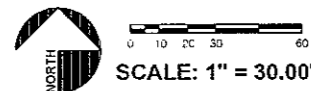
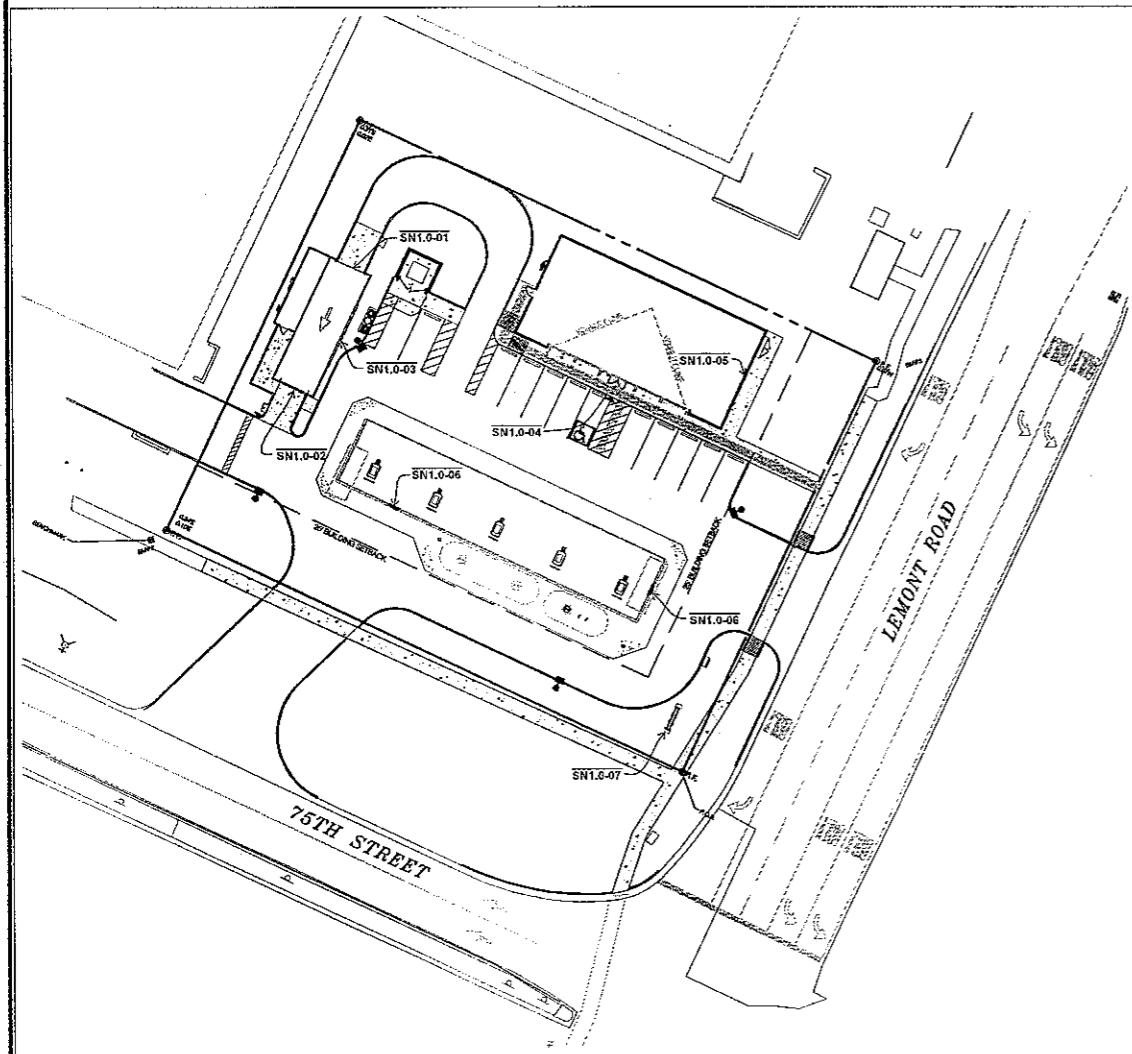
**SN1.0-05 BUILDING CHANNEL LETTERS**  
SCALE: NONE AREA: 42.7 SF



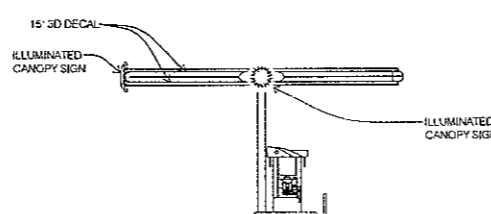
**SN1.0-06 CANOPY HELIOS**  
SCALE: NONE AREA: 7.1 SF



**SN1.0-07 BUILDING CHANNEL LETTERS**  
SCALE: NONE AREA: 35 SF



**CANOPY ELEVATION ALONG 75TH STREET**  
SCALE: NONE



**CANOPY ELEVATION ALONG LEMONT ROAD**  
SCALE: NONE



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DEVELOPMENT INFORMATION:

2,900 S.F. BUILDING &  
STARTERGATE 5 CANOPY

SITE ADDRESS:

75TH STREET &  
LEMONT ROAD  
DOWNERS GROVE, IL

1200 W. 75TH STREET

DATE: 10-22-08

DESIGNED BY:	SF	ALLIANCE TASK:	RT
CHECKED BY:	SJ	BY ADM:	BL
DRAWN BY:	SF	ALLIANCE PM:	RT
WORKSET:	V1.0	PROJECT NO.:	BPAG10002

DRAWING TITLE:  
**SITE SIGNAGE PLAN**

SHEET NO.:

**SN1**

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VILLAGE OF DOWNERS GROVE  
PLAN COMMISSION MEETING FEBRUARY 2, 2009, 7:00 P.M.

Chairman Jirik called the February 2, 2009 meeting of the Plan Commission to order at 7:00 p.m. and asked for a roll call:

**PRESENT:** Chairman Jirik, Mr. Beggs, Mr. Cozzo, Mr. Matejczyk, Mrs. Rabatah, Mr. Waechtler, Mr. Webster

**ABSENT:** Mrs. Hamernik, Mr. Quirk

**STAFF PRESENT:** Mr. Jeff O'Brien, Planning Manager, Mr. Stan Popovich, Village Planner and April Holden, Village Clerk

**VISITORS:** Mr. Andrew Barnett, WD Partners, 7007 Discovery Blvd., Dublin, OH; Mr. Vitas Maciukevicius, BP, 801 Warrenville Road, Lisle, IL

Chairman Jirik led the Plan Commissioners in the recital of the Pledge of Allegiance.

**MINUTES OF THE JANUARY 5, 2009 MEETING - MR. WAECHTLER MADE A MOTION TO APPROVE THE MINUTES AS PREPARED, SECONDED BY MRS. RABATAH. MOTION CARRIED BY VOICE VOTE OF 7-0.**

Chairman Jirik reviewed the meeting's protocol for the public and petitioners.

**PC-02-09** A petition seeking an Amendment to P.D. #9 The Grove for a Special Use for a Service Station and a Special Use for a Car Wash. The subject property is located at the Northwest corner of 75<sup>th</sup> Street and Lemont Road, Downers Grove, commonly known as 1200 75<sup>th</sup> Street, Downers Grove (PIN-09-30-201-002); P. W. Brasse, Petitioner; BP Products North America, Inc., Owner

Chairman Jirik swore in those individuals who would be speaking on PC-02-09.

Stan Popovich, Village Planner, reviewed the petitioner's request before the Plan Commission. He explained the petitioner was seeking approval of an Amendment to Planned Development No. 9 - the Grove Shopping Center and two Special Uses -- one for a service station and one for a car wash. The property, zoned as B2, General Retail Business, is located at the northwest corner of 75<sup>th</sup> Street and Lemont Road. Currently a convenience store and canopy with gas pump islands exist on the site.

Turning commissioners' attention to the overhead, Mr. Popovich explained the petitioner plans to completely redevelop the site and the two existing curb cuts on Lemont Road will be replaced with one new curb cut. On 75<sup>th</sup> Street, the far eastern curb cut be closed in its entirety but the far western curb cut on 75<sup>th</sup> Street will be slightly modified and remain, as will the connection to the adjacent shopping center.

Mr. Popovich reviewed the development to take place; i.e., a new 2,900 sq. ft. convenience store along the north property line; a car wash on the western property line, and five proposed fueling

stations under a new canopy in the middle of the site. A fully enclosed trash dumpster will be located to the east and north of the car wash. Landscaping will be incorporated and used to screen certain parts of the development. Materials of the convenience store followed; i.e., brick and EIFS. Mr. Popovich indicated Staff was comfortable with the materials presented by the petitioner.

As currently proposed, Mr. Popovich stated the buildings meet the setback and height requirements for the B-2 District as well as the bulk requirements under the Zoning Ordinance. Staff believes the proposed development is consistent with the Village's Future Land Use Plan.

The petitioner is proposing a single monument sign at the southeast corner of the site. Wall signage will be located on the south and east facades of the convenience store and canopy at the east side of the car wash. All proposed signage meets the requirements of the Sign Ordinance.

Again, Mr. Popovich reviewed the curb cut changes to occur, noting the curb cuts to Lemont Road and 75<sup>th</sup> Street will limit turning movements to right-in/right-out only. Mr. Popovich indicated there will not be physical restrictions in the driveways, but there are barrier medians along both Lemont Road and 75<sup>th</sup> Street that will eliminate left turns to and from the site. The petitioner is also proposing to install "No Left Turn" signs at each egress point. Since the road access to the shopping center will remain and allow for vehicles exiting the car wash, a speed hump will be installed to slow traffic along that access drive.

Stormwater detention will be provided through the existing detention basins, and per staff, best management practices for stormwater will be installed per Village requirements. The installation of new utility services is planned as well. Sufficient access to the site has been confirmed by the Fire Department, and the buildings will be equipped with a manual and automatic fire detection system and sprinkler system.

To date, staff has not received any written neighborhood comments on the proposal and believes the standards for a Planned Development Amendment and Special Uses have been met. Mr. Popovich summarized that the proposal provides open space, parking, and stormwater management, is desirable, will not be detrimental to the health, safety, morals and general welfare of the community and the development is in keeping with the surrounding character of the area.

Based on the findings discussed by staff, staff recommended that the Plan Commission forward a positive recommendation to the Village Council regarding this petition based on the conditions listed on page 5 of staff's report.

Mr. Matejczyk voiced concern about the speed bump after leaving the car wash area and recommended moving the speed bump further west. Mr. Popovich stated the speed bump could probably be located further west. As to Mrs. Rabatah's question about best management practices for stormwater being followed, Mr. Popovich explained the Village's Development Engineer would review and approve the plans prior to a permit being issued. As to Mr. Cozzo's question about the request for the Special Use when gas pumps currently operate and exist on the site, Mr. Popovich believed the site may have not received a Special Use permit prior and, therefore, the Special Use had to be approved. In addition, the services were being expanded on the site. Per staff, existing tanks will be removed and replaced with tanks that are more current.



Staff explained to Mr. Waechtler how the petitioner met the zoning requirements for the floor area ratio.

Petitioner, Mr. Andrew Barnett, with WD Partners, 254 Frankfort Square, Columbus, Ohio, introduced himself and BP representative, Mr. Vitas Maciukevicius. Mr. Barnett concurred with staff's summarization, stating basically, the station will be upgraded similar to the one at Main and Ogden. Materials will be upgraded and green space will be increased. Mr. Barnett stated he and staff reviewed a "pork chop" access for the site and agreed that it would not work well with the service deliveries.

Mr. Cozzo asked about vehicle queuing for the car wash to which Mr. Barnett stated that six vehicles will be allowed. As to the operation of the actual car wash and how the vehicles move through the wash, Mr. Maciukevicius explained the equipment would move around the car, allowing two vehicles to be in the stall simultaneously -- one exiting the drying area while one pulls into the wash area. The driver would have complete control over his/her vehicle. Per Mr. Barnett, no tables or chairs are proposed in the convenience store.

Mr. Waechtler inquired about the fuel truck route, referencing the fuel truck route at Main and Ogden. Mr. Barnett explained he did submit the proposed route to the Village. The route will not travel through the shopping center. Mr. Waechtler cautioned staff regarding the fuel truck turning north at the Main and Ogden intersection. However, he appreciated the curb cut improvements being proposed at this site. Mr. Barnett assumed the 75<sup>th</sup> Street curb cut would probably be modified to allow a tanker to get into the site. Mr. Barnett also confirmed that low groundcover landscaping was being planned immediately north of the speed bump. Per Mr. Maciukevicius, the site would be a franchisee operation. Lastly, asked if future consideration of alternative fuel storage was thought by the petitioner, Mr. Barnett explained some of the challenges for such type of fuel system. Lastly, it was noted the hours of operation would be 24 hours/7 days.

Chairman Jirik opened up the meeting to public comment. No comments. Public comment was closed.

Commissioner Waechtler noted the significant improvements to the site and the good traffic flow being proposed. Mr. Matejczyk agreed it was a well thought-out proposal and after hearing the explanation about the speed bump location, his initial concern was alleviated. Chairman Jirik added and agreed with staff that the findings for approval were met for Planned Development and Special Use and believed the proposal would contribute to more economic development in the area. Asked if there was an access easement west from the car wash area, Mr. Barnett stated there was an existing ingress/egress easement.

**WITH RESPECT TO FILE PC- 02-09, MRS. RABATAH MADE A MOTION THAT THE PLAN COMMISSION FORWARD A POSITIVE RECOMMENDATION TO THE VILLAGE COUNCIL SUBJECT TO THE FOLLOWING SIX (6) CONDITIONS:**

**1. THE PLANNED DEVELOPMENT AMENDMENT AND SPECIAL USES SHALL SUBSTANTIALLY CONFORM TO THE PRELIMINARY ARCHITECTURE AND ENGINEERING PLANS PREPARED BY WD PARTNERS DATED OCTOBER 22, 2008 AND REVISED ON NOVEMBER 17, 2008 AND DECEMBER 22, 2008; PROPOSED BUILDING ELEVATIONS PREPARED BY WD PARTNERS DATED DECEMBER 19,**

**2008; AND THE CANOPY PLANS PREPARED BY MCGEE CORPORATION DATED MAY 25, 2004, EXCEPT AS SUCH PLANS MAY BE MODIFIED TO CONFORM TO VILLAGE CODES AND ORDINANCES.**

- 2. A DESCRIPTION OF BEST MANAGEMENT PRACTICES FOR STORMWATER THAT ARE INCORPORATED INTO THE SITE DESIGN AND HOW THEY WILL FUNCTION SHALL BE PREPARED AND SUBMITTED. THE APPLICABLE DESIGN CRITERIA SUCH AS SOIL TYPE, VEGETATION, AND LAND COVER CONDITIONS DRAINING TO THE BEST MANAGEMENT PRACTICE ALONG WITH APPROPRIATE CALCULATIONS SHALL BE INCLUDED.**
- 3. THE PROPOSED BUILDING SHALL HAVE A MANUAL AND AUTOMATIC FIRE DETECTION SYSTEM INSTALLED THROUGHOUT IN A MANNER ACCEPTABLE TO THE VILLAGE. ALL AREAS OF THE BUILDING SHALL BE PROTECTED.**
- 4. THE PROPOSED BUILDING SHALL HAVE A COMPLETE AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGHOUT IN A MANNER ACCEPTABLE TO THE VILLAGE. ALL AREAS OF THE BUILDING SHALL BE PROTECTED.**
- 5. ALL PROPOSED SIGNAGE SHALL COMPLY WITH THE VILLAGE'S SIGN ORDINANCE.**
- 6. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE PETITIONER SHALL SUBMIT MATERIAL SAMPLES OF THE PROPOSED EXTERIOR BUILDING MATERIALS FOR REVIEW BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT.**

**MR. COZZO SECONDED THE MOTION.**

**ROLL CALL:**

**AYE: MRS. RABATAH, MR. COZZO, MR. BEGGS, MR. MATEJCZYK, MR. WAECHTLER, MR. WEBSTER, CHAIRMAN JIRIK**

**NAY: NONE**

**MOTION CARRIED. VOTE: 7-0**

**PC-04-09** A petition seeking an amendment to Chapter 28 of the Municipal Code – Zoning Ordinance Article X - Use Regulations to modify the Village's Temporary Use Regulations; Village of Downers Grove, Petitioner

Chairman Jirik swore in those individuals who would be speaking on PC-04-09.

Jeff O'Brien, Planning Manager was requesting a text amendment as it relates to the Village's outdoor and temporary use regulations. Staff was asking that the Plan Commission remove the