

**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE VILLAGE COUNCIL MEETING  
APRIL 10, 2012 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
Zoning Ordinance Map Amendment and Final Plat of Subdivision - Atwood Subdivision	<ul style="list-style-type: none"> <li>✓ Resolution</li> <li>Ordinance</li> <li>Motion</li> <li>Discussion Only</li> </ul>	Tom Dabareiner, AICP Community Development Director

**SYNOPSIS**

An ordinance has been prepared for the Zoning Ordinance Map Amendment to rezone a portion of the property from R-1 to R-3 Single Family Residence. A resolution for a Final Plat of Subdivision has been prepared to subdivide the property into 13 new single family lots and one outlot. The property is located at 6622, 6650 and 6700 Fairview Avenue.

**STRATEGIC PLAN ALIGNMENT**

The goals for 2011-2018 identified *Exceptional Municipal Services*.

**FISCAL IMPACT**

N/A.

**UPDATE & RECOMMENDATION**

This item was discussed at the April 3, 2012 Village Council meeting. At the Village Council meeting, the Council asked staff to provide more information on the depth of the basin. The detention pond is 7 feet deep and no fence is required or proposed. The Atwood facility has an adequate slope that does not require a fence. Staff recommends approval on the April 10, 2012 Active Agenda.

**BACKGROUND**

The property, commonly known as 6622, 6650 and 6700 Fairview Avenue, is located on the west side of Fairview Avenue between 66<sup>th</sup> Street and 67<sup>th</sup> Court. The property is improved with three single family homes. Single family residences are located to the west and south of the property. Oak Trace retirement community is located to the east and Downers Grove Community Church is located to the north. The petitioner is requesting approval of the Zoning Ordinance Map Amendment to rezone a portion of the property from R-1 to R-3 and approval of the Final Plat of Subdivision to subdivide the parcels into 13 single family lots and one outlot.

The petitioner is proposing to demolish the existing three homes and construct a new street (Atwood Court) with new residential lots on both sides of the cul-de-sac. The proposed subdivision would have 13 single family lots and one lot designated for the stormwater detention facility in the northwest corner of the site. The petitioner is not requesting any exceptions from the Subdivision Ordinance. All required public utility and drainage easement along side and rear lot lines will be provided while a blanket stormwater detention easement will be placed on the entire Lot 14 designated for stormwater detention facility.

The petitioner is required to pay park and school donations for the new single family homes. All proposed public improvements will meet the requirements of the Subdivision Ordinance. The petitioner will create a homeowners association responsible for maintenance of the detention facility. If the homeowners association fails to maintain the detention facility, a Special Service Area will allow the Village to levy a special tax on the property owners for the maintenance of the facility. The Village would then maintain the detention facilities. The SSA will appear on a future Council agenda.

The proposed lots will meet all minimum lot dimension requirements for the R-3 Single Family Residence district per Sections 28.1103(c) and 28.1104(c) of the Zoning Ordinance and Sections 20.101 and 20.301 of the Subdivision Ordinance. The dimensions for the new lots are outlined in the attached table.

The Residential Area Plan section of the Comprehensive Plan recommends residential areas provide a variety of housing and dwelling unit types and densities, generally organized by dwelling types and lot sizes as identified in the Land Use Plan. The proposed 13-lot subdivision is consistent with the Comprehensive Plan.

The standards for approval of amendments to the Zoning Ordinance have been met. The rezoning of the portion of the property will allow for consistent zoning classification on the entire property and is consistent with the surrounding uses and zoning classifications.

The Plan Commission considered the petition at their March 5, 2012 meeting. Several residents expressed the following concerns:

- Traffic  
The residents were concerned the additional traffic generated from the subdivision will have a negative effect on existing traffic on Fairview Avenue. Each single family home on average generates one trip during the morning and evening peak hours. As such, it is expected, 13 additional homes in the proposed subdivision will add approximately 13 new trips during each peak hour. According to the 2010 data from the DuPage County, Fairview Avenue carries approximately 498 vehicles during morning peak hour and 756 vehicles during evening peak hour. As such, 13 additional trips during peak hours will have minimal impact on existing traffic patterns in the area.
- Stormwater  
The residents were concerned the proposed development will change existing overland flow routes and increase stormwater runoff on adjacent properties. The petitioner submitted site engineering plans for the development. New storm sewer utility structures will be installed on each lot and will be connected to the detention facility on Lot 14. All stormwater runoff from the property will be collected in the proposed detention facility before discharging into public sewer system. The development meets all requirements of the stormwater ordinance.
- Trees  
The residents expressed concern the tree clearance on the property will negatively affect the existing character of the neighborhood. The petitioner submitted a tree-preservation and tree survey plan. The plan indicates a majority of the trees on site will be removed to allow installation of public improvements and stormwater utility structures. The plan also indicates most of the trees on the site are low quality trees. The petitioner stated all efforts will be made to preserve as many trees as possible.

The Plan Commission found that the request met the standards of the Subdivision and Zoning Ordinances. Based on their findings, the Plan Commission recommended unanimous approval of the Zoning Ordinance Text Amendment and the Final Plat of Subdivision. Staff concurs with the Plan Commission recommendation.

**ATTACHMENTS**

Aerial Map

Ordinance and Resolution

Lot Dimensions

Staff Report with attachments dated March 5, 2012

Minutes of the Plan Commission Hearing dated March 5, 2012

VILLAGE OF DOWNERS GROVE  
COUNCIL ACTION SUMMARY

**INITIATED:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
Applicant \_\_\_\_\_ April 10, 2012  
(Name)

**RECOMMENDATION FROM:** \_\_\_\_\_ **FILE REF:** \_\_\_\_\_  
PC-5-12  
(Board or Department)

**NATURE OF ACTION:**

**STEPS NEEDED TO IMPLEMENT ACTION:**

- Ordinance  
 Resolution  
 Motion  
 Other

Motion to Adopt "A RESOLUTION APPROVING THE FINAL PLAT OF SUBDIVISION FOR 6622, 6650 AND 6700 FAIRVIEW AVENUE", as presented.

**SUMMARY OF ITEM:**

Adoption of the attached ordinance will approve the final plat of subdivision for the Atwood Resubdivision located at 6622, 6650 and 6700 Fairview Avenue.

**RECORD OF ACTION TAKEN:**

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**RESOLUTION \_\_\_\_\_**

**A RESOLUTION APPROVING THE FINAL PLAT OF SUBDIVISION  
FOR 6622, 6650 AND 6700 FAIRVIEW AVENUE**

WHEREAS, application has been made pursuant to the provisions of Chapter 20 of the Downers Grove Municipal Code for the approval of the Final Plat of Subdivision to subdivide five parcels into 13 lots and one out lot for Atwood Resubdivision, located on the west side of Fairview Avenue approximately 365 feet south of 66<sup>th</sup> Street, commonly known as 6622, 6650 and 6700 Fairview Avenue, Downers Grove, Illinois, legally described as follows:

Parcel 1:

Lot 3 of Janda's Subdivision of the North ½ of the South ½ of the Southeast ¼ of the Southeast ¼ of the Northeast ¼ and the South ½ of the North ½ of the Southeast ¼ of the Southeast ¼ of the Northeast ¼ of Section 20, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded October 27, 1952 as Document 665991, in DuPage County, Illinois.

Parcel 2:

The South ½ of the South ½ of the Southeast ¼ of the Southeast ¼ of the Northeast ¼ of Section 20, Township 38 North, Range 11 East of the Third Principal Meridian, excepting therefrom the easterly 50 feet thereof, in DuPage County, Illinois.

Parcel 3:

That part of the North ½ of the East ½ of the Southeast ¼ of Section 20, Township 38 North, Range 11 East of the Third Principal Meridian, described as follows: beginning at a point in the east line of the said Southeast ¼, which is 2 rods south of the northeast corner of said Southeast ¼; thence southerly along said east line, a distance of 100 feet; thence westerly on a line parallel with the north line of the said Southeast ¼, a distance of 433 feet; thence northerly along a line parallel with the east line of said Southeast ¼, a distance of 433 feet; thence northerly along a line parallel with the east line of said Southeast ¼, a distance of 100 feet to the southerly line of the strip of land described in a warranty deed dated January 1, 1866 and recorded February 22, 1866 in Book 30 of deeds page 453 to Henry Lehman and Jacob Veith; thence easterly along said southerly line of said strip of land, a distance of 433 feet to the point of beginning, (excepting therefrom the easterly 50 feet thereof conveyed to the Village of Downers Grove by warranty deed recorded March 23, 1998 as Document R98-052174), in DuPage County, Illinois.

Parcel 4:

That part of the north 33 feet of the Northeast ¼ of the Southeast ¼ of Section 20, Township 38 North, Range 11 East of the Third Principal Meridian, lying east of the southerly extension of the east line of the Southwest Quarter of the Southeast Quarter of the Northeast ¼ of Section 20, all in DuPage County, Illinois.

Parcel 5:

The South 130.00 feet of Lot 1 in Janda's Subdivision being a subdivision of the north half of the south half of the Southeast Quarter of the Southeast Quarter of the Northeast Quarter and the South Half of the North Half of the Southeast Quarter of the Southeast Quarter of the Northeast Quarter of Section 20, Township 38 North, Range 11 east of the Third Principal Meridian, according to the plat thereof recorded October 27, 1952 as Document Number 665991, in DuPage County, Illinois.

Commonly known as 6622, 6700 and 6650 Fairview Avenue, Downers Grove, IL 60516 (PIN #'s 09-20-211-012, -013, -018; 09-20-408-020, -021)

WHEREAS, notice has been given and a public hearing held on March 5, 2012 regarding this plat application pursuant to the requirements of the Downers Grove Municipal Code; and,

WHEREAS, the Plan Commission has recommended approval of the Final Plat of Subdivision for the Atwood Resubdivision, located at 6622, 6700 and 6650 Fairview Avenue, as requested, subject to certain conditions.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of the Village of Downers Grove that the Final Plat of Subdivision for the Atwood Resubdivision, located at 6622, 6700 and 6650 Fairview Avenue, be and is hereby approved subject to the following condition:

1. The final plat of subdivision shall substantially conform to the Final Plat of Atwood Resubdivision prepared by C. M. Lavoie & Associates. Inc., dated December 02, 2011, last revised February 8, 2012, Proposed Site Improvements for Atwood Subdivision prepared by C. M. Lavoie & Associates. Inc., dated December 11, 2011, last revised February 7, 2012, EX07 Tree Removal Plan, prepared by C. M. Lavoie & Associates. Inc., dated October 26, 2011, last revised February 8, 2012 and Boundary & Topography Survey prepared by C. M. Lavoie & Associates. Inc., dated October 26, 2011, except as such plans may be modified to conform to the Village Codes and Ordinances.
2. The Home Owners Association Declaration of Restrictive Covenants document for the Atwood subdivision shall be recorded with the plat of subdivision.
3. The Final Plat of Atwood Resubdivision shall be revised to indicate the depth of proposed public utility and drainage easements along rear lot lines of Lots 9-13.
4. Upon completion of all remaining public improvements for the entire Atwood Subdivision, the petitioner shall submit record drawings for approval by the Village Council. Along with the record drawings, the petitioner shall submit a guarantee security in the amount of 20% of the total cost of the public improvements, which shall expire no earlier than two years after acceptance of such public improvements by the Village Council.
5. The petitioner shall pay \$53,993.06 for park and school donations (\$25,024.93 for the Park District, \$19,480.93 for School District 58 and \$ 9,487.20 for School District 99) prior to Village executing the plat.
6. A fee in lieu payment for 20 new parkway trees (\$500 per tree, total payment \$10,000) must be submitted prior to issuance of the construction permit.
7. The approval from the Downers Grove Sanitary District shall be submitted prior to issuance of construction permits.
8. The approval from the DuPage County for Impact Fees and the DuPage County Health Department for the removal of existing wells on the property shall be submitted prior to issuance of the construction permits.

BE IT FURTHER RESOLVED, that the Mayor and Village Clerk are authorized to sign the final plat.

BE IT FURTHER RESOLVED, that this resolution shall be in full force and effect from and after its

adoption in the manner provided by law.

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Mayor

Passed:

Attest: \_\_\_\_\_

Village Clerk

P.I.Nos  
 09-20-211-012  
 09-20-211-013  
 09-20-211-018  
 09-20-211-020  
 09-20-211-021

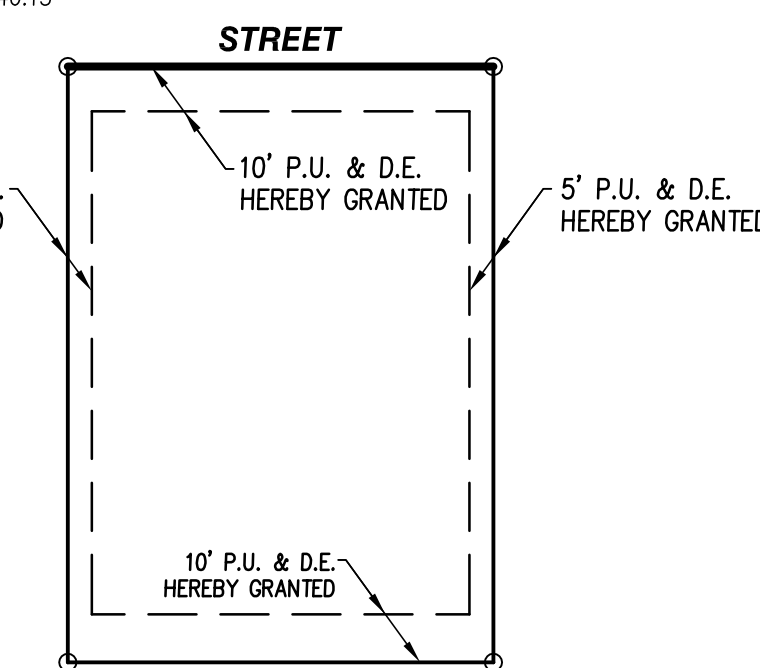
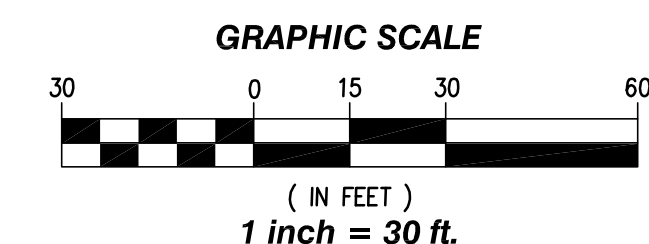
# FINAL PLAT

## ATWOOD RESUBDIVISION

BEING A PART OF NORTHEAST QUARTER AND SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DuPAGE COUNTY, ILLINOIS

**LEGEND**

- 0.00' MEASURED DATA
- (0.00') RECORDED DATA
- LIMIT OF SURVEY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- SECTION LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED EASEMENT LINE (HEREBY GRANTED)
- P.U. & D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
- SET 5/8" DIAMETER x 24" LENGTH IRON ROD
- SET 4" SQUARE x 24" LENGTH CONCRETE MONUMENT
- C1 15.06'
- L1 N 51°15'26" W, 46.66'
- L2 S 51°15'26" E, 46.15'



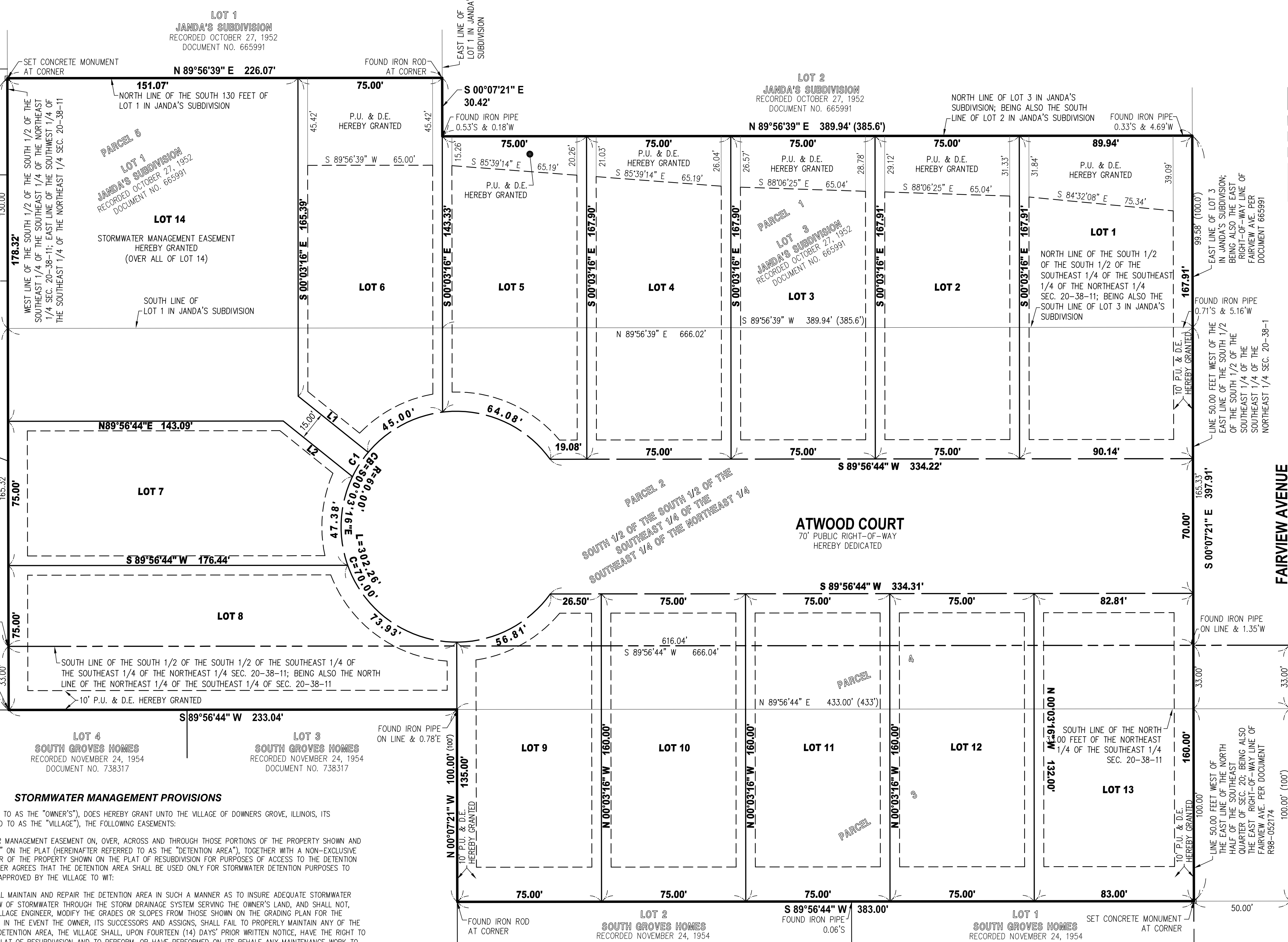
**TYPICAL LOT EASEMENT DIMENSIONS**  
 PUBLIC UTILITY AND DRAINAGE EASEMENTS (P.U. & D.E.) ARE HEREBY GRANTED PER THIS RESUBDIVISION PLAT AND AS SHOWN HEREON. ALL P.U. & D.E.'S ARE SUBJECT TO THE FOLLOWING DIMENSIONS, UNLESS OTHERWISE NOTED.

**LOT AREA**

- LOT 1 ~ 15,119 SQUARE FEET OR 0.347 ACRES +/-
- LOT 2 ~ 12,593 SQUARE FEET OR 0.289 ACRES +/-
- LOT 3 ~ 12,593 SQUARE FEET OR 0.289 ACRES +/-
- LOT 4 ~ 12,593 SQUARE FEET OR 0.289 ACRES +/-
- LOT 5 ~ 11,561 SQUARE FEET OR 0.265 ACRES +/-
- LOT 6 ~ 13,545 SQUARE FEET OR 0.311 ACRES +/-
- LOT 7 ~ 12,705 SQUARE FEET OR 0.292 ACRES +/-
- LOT 8 ~ 15,826 SQUARE FEET OR 0.363 ACRES +/-
- LOT 9 ~ 11,163 SQUARE FEET OR 0.256 ACRES +/-
- LOT 10 ~ 12,000 SQUARE FEET OR 0.275 ACRES +/-
- LOT 11 ~ 12,000 SQUARE FEET OR 0.275 ACRES +/-
- LOT 12 ~ 12,000 SQUARE FEET OR 0.275 ACRES +/-
- LOT 13 ~ 13,265 SQUARE FEET OR 0.305 ACRES +/-
- LOT 14 ~ 27,559 SQUARE FEET OR 0.633 ACRES +/-

**SURVEYOR'S NOTES**

1. DIMENSIONS SHOWN THUS: 50.25' ARE FEET AND DECIMAL PARTS THEREOF. ANGULAR DATA SHOWN THUS: 90°00'00" INDICATES DEGREES, MINUTES AND SECONDS.
2. A BLANKET EASEMENT IS HEREBY GRANTED OVER ALL OF LOT 14 IN THIS RESUBDIVISION FOR STORMWATER MANAGEMENT PURPOSES.
3. ALL P.U.&D AND STORMWATER MANAGEMENT EASEMENTS WITHIN THIS SUBDIVISION ARE SUBJECT TO THE RULES AND REGULATIONS AS OUTLINED IN THE DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR THE HOMEOWNERS' ASSOCIATION FOR ATWOOD RESUBDIVISION.



**STORMWATER MANAGEMENT PROVISIONS**

GREENSCAPE HOMES, LLC (HEREINAFTER REFERRED TO AS THE "OWNER'S"), DOES HEREBY GRANT UNTO THE VILLAGE OF DOWNERS GROVE, ILLINOIS, ITS SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS THE "VILLAGE"), THE FOLLOWING EASEMENTS:

1. A NON-EXCLUSIVE AND PERPETUAL STORMWATER MANAGEMENT EASEMENT ON, OVER, ACROSS AND THROUGH THOSE PORTIONS OF THE PROPERTY SHOWN AND MARKED AS "STORMWATER MANAGEMENT EASEMENT" ON THE PLAT (HEREINAFTER REFERRED TO AS THE "DETENTION AREA"), TOGETHER WITH A NON-EXCLUSIVE AND PERPETUAL EASEMENT ACROSS THE REMAINDER OF THE PROPERTY SHOWN ON THE PLAT OF RESUBDIVISION FOR PURPOSES OF ACCESS TO THE DETENTION AREA FOR THE PURPOSE SET FORTH HEREIN. OWNER AGREES THAT THE DETENTION AREA SHALL BE USED ONLY FOR STORMWATER DETENTION PURPOSES TO SERVE THE OWNER'S LAND AND FOR OTHER USES APPROVED BY THE VILLAGE TO WIT:
  - THE OWNERS, ITS SUCCESSORS AND ASSIGNS, SHALL MAINTAIN AND REPAIR THE DETENTION AREA IN SUCH A MANNER AS TO INSURE ADEQUATE STORMWATER STORAGE AND THE FREE AND UNINTERRUPTED FLOW OF STORMWATER THROUGH THE STORM DRAINAGE SYSTEM SERVING THE OWNER'S LAND, AND SHALL NOT, WITHOUT THE PRIOR WRITTEN APPROVAL OF THE VILLAGE ENGINEER, MODIFY THE GRADES OR SLOPES FROM THOSE SHOWN ON THE GRADING PLAN FOR THE OWNER'S PROPERTY APPROVED BY THE VILLAGE OR IN THE EVENT THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL FAIL TO PROPERLY MAINTAIN ANY OF THE STORMWATER MANAGEMENT FACILITIES WITHIN THE DETENTION AREA, THE VILLAGE SHALL, UPON FOURTEEN (14) DAYS' PRIOR WRITTEN NOTICE, HAVE THE RIGHT TO ENTER UPON THE OWNER'S LAND SHOWN ON THE PLAT OF RESUBDIVISION AND TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF ANY MAINTENANCE WORK TO OR UPON THE DETENTION AREA, AS THE CASE MAY BE, REASONABLY NECESSARY TO INSURE ADEQUATE STORMWATER STORAGE AND FREE FLOW OF STORMWATER THROUGH THE STORM DRAINAGE SYSTEM SERVING THE OWNER'S LAND. AFTER RECEIVING SUCH NOTICE FROM THE VILLAGE, OWNER SHALL FOR TEN (10) DAYS RETAIN THE OPTION OF PERFORMING ANY MAINTENANCE WORK ITSELF. VILLAGE AGREES, BY THE ACCEPTANCE OF THIS EASEMENT THAT IT WILL INDEMNIFY, DEFEND AND HOLD THE OWNER, ITS SUCCESSORS AND ASSIGNS, HARMLESS FROM AND AGAINST ANY AND ALL COST, DAMAGES, CLAIMS, EXPENSES, LIABILITIES AND JUDGMENTS (INCLUDING REASONABLY ATTORNEY'S FEES) FOR PROPERTY DAMAGE AND PERSONAL INJURY, INCLUDING DEATH, ARISING OUT OF OR RELATED TO THE VILLAGE'S ACTS AND OMISSIONS PURSUANT TO THIS EASEMENT CONVEYANCE, OWNER, AND ITS SUCCESSORS AND ASSIGNS, RETAINS THE RIGHT TO USE THE EASEMENT PREMISES FOR ANY USE NOT INCONSISTENT WITH THE GRANTING OF THE EASEMENT PREMISES HEREIN.
  - THE VILLAGE MAY, WITHOUT PRIOR NOTICE, ENTER THE EASEMENT AREA FOR PURPOSES OF INSPECTING THE STORM SEWERS FOR PROPER MAINTENANCE AND COMPLIANCE WITH APPLICABLE WASTE QUALITY REGULATIONS.

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**GREENSCAPE VENTURES, LLC**

Fairview Avenue at 66th Street  
 Downers Grove, Illinois

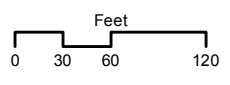
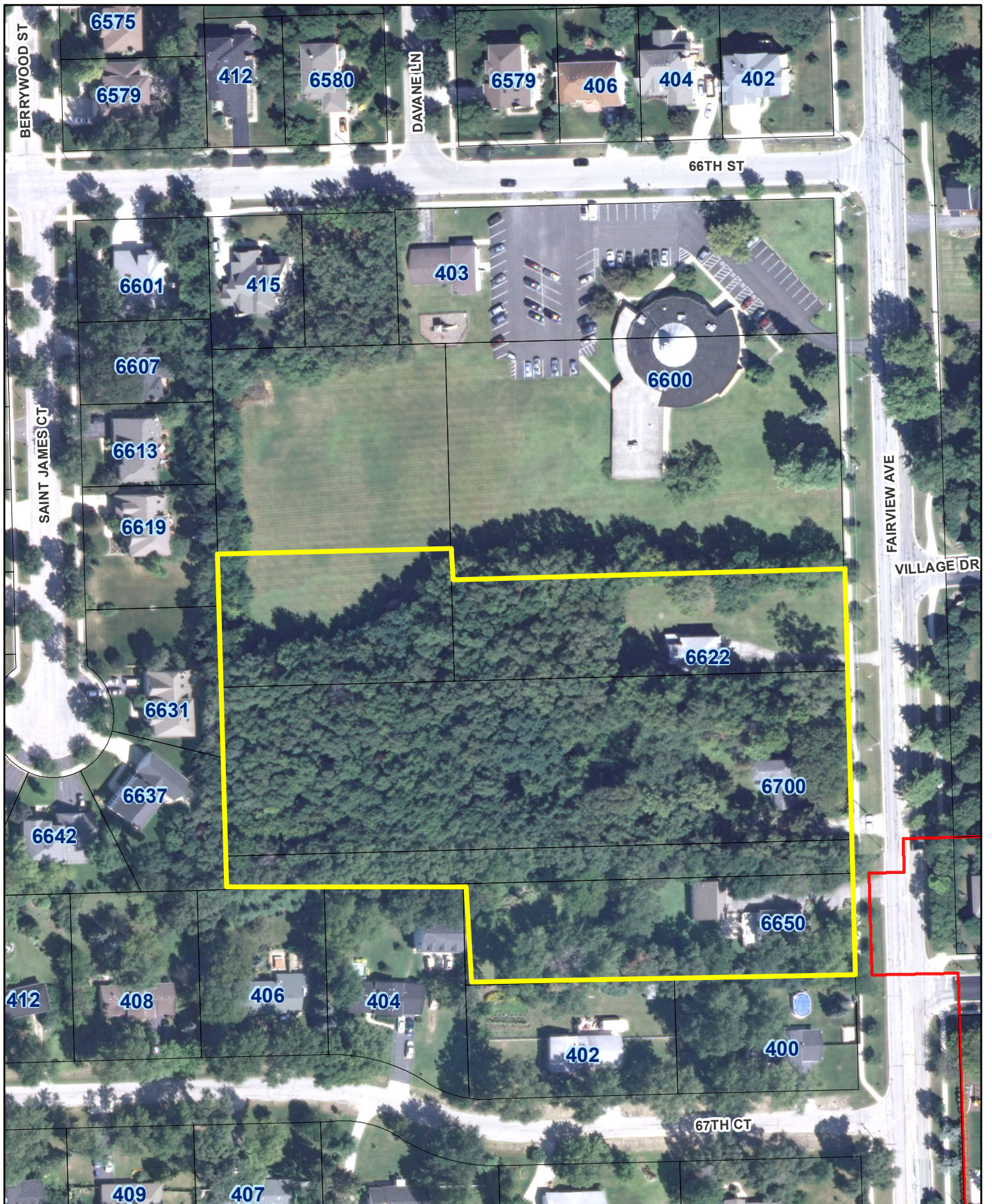
<b>PLAT OF RESUBDIVISION</b>		DRAWN BY: JCB	CHECKED BY: KEB
JOB NUMBER: 11-157		SCALE: 1"=30'	DATE: 12/2/11
SHEET: 1 OF 2			

**CM**  
 Consulting Civil Engineering  
 Land Planning & Surveying  
 1050 State Route 126  
 Plainfield, Illinois 60544  
 voice 815-254-0505  
 fax 815-436-5158

#	DATE	DESCRIPTION
1	01/17/12	REVISE PER VILLAGE LTR DTD 1/9/12
2	02/08/12	REVISE PER VILLAGE LTD DTD 2/3/12
3		
4		
5		
6		
7		
8		







**6622 - 6650  
Fairview Avenue**



**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE PLAN COMMISSION  
MARCH 5, 2012 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
PC-05-12 6622, 6650 and 6700 Fairview Avenue	Final Plat of Subdivision	Damir Latinovic, AICP Planner

**REQUEST**

The petitioner is requesting approval of the Zoning Ordinance Map Amendment to rezone a portion of the property from R-1 Single Family Residence to R-3 Single Family Residence district and a final plat of subdivision approval to subdivide five existing parcels into 13 lots and one outlot.

**NOTICE**

The application has been filed in conformance with applicable procedural and public notice requirements.

**GENERAL INFORMATION**

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**OWNER:** Greenscape Homes, LLC.  
4355 Weaver Parkway  
Warrenville, IL 60555

**APPLICANT:** Tim Hejny  
C. M. Lavoie & Associates, Inc.  
1050 West Route 126  
Plainfield, IL 60544

**PROPERTY INFORMATION**

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**EXISTING ZONING:** R1 and R-3, Single Family Residential  
**EXISTING LAND USE:** Residential  
**PROPERTY SIZE:** 5.25 acres  
**PINS:** 09-20-211-012, -013, -018; 09-20-408-020, -021

**SURROUNDING ZONING AND LAND USES**

	<b>ZONING</b>	<b>FUTURE LAND USE</b>
<b>NORTH:</b>	R-1, Single Family Residence	Institutional
<b>SOUTH:</b>	R-1, Single Family Residence	Single Family Residential
<b>EAST:</b>	R-5A, Townhouse Residence & PD #32	Multi-Family Residential
<b>WEST:</b>	R-3, Single Family Residence	Single Family Residential

## **ANALYSIS**

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### **SUBMITTALS**

This report is based on the following documents, which are on file with the Department of Community Development:

1. Application/Petition for Public Hearing
2. Project Narrative
3. Plat of Survey
4. Plat of Subdivision
5. Site Engineering Plans

### **PROJECT DESCRIPTION**

The petitioner is requesting approval of the Zoning Ordinance Map Amendment to rezone a portion of the property from R-1 to R-3 Single Family Residence and approval of the Final Plat of Subdivision to resubdivide five existing parcels on the property into 13 lots and one outlot. The property, commonly known as 6622, 6650 and 6700 Fairview Avenue, is located on the west side of Fairview Avenue between 66<sup>th</sup> Street and 67<sup>th</sup> Court. The property is improved with three single family homes. Two of the homes (6622 and 6700 Fairview Avenue) are currently vacant and are zoned R-1 Single Family Residence. The third home is used as a single family residence and is zoned R-3 Single Family Residence

The petitioner is proposing to construct a new street (Atwood Court) with new lots on both sides of the cul-de-sac. The proposed subdivision would have 13 single family lots and one lot designated for the stormwater detention facility in the northwest corner of the site. The proposed rezoning will allow for subdivision of property into 75-foot wide lots. All new single family homes will meet the requirements of the R-3 zoning district.

The petitioner owns the entire property and plans to construct all single family homes in the subdivision.

### **COMPLIANCE WITH COMPREHENSIVE PLAN**

Staff believes the proposed 13 lot subdivision is consistent with the Comprehensive Plan. The existing neighborhood is a single family residential neighborhood. The proposed subdivision will allow for 13 new single family homes which meets the Plan's goal to ensure quality housing stock remains a staple of the community. The Residential Area Plan section of the Comprehensive Plan recommends residential areas provide a variety of housing and dwelling unit types and densities, generally organized by dwelling types and lot sizes as identified in the Land Use Plan.

Per the Comprehensive Plan, when redevelopment occurs, it should be sensitive to and consistent with existing neighborhood character with additional trees planted to complement adjacent neighborhoods. The petitioner will preserve 30 existing trees. Additionally, the proposed lot sizes are consistent in width and area with other lots in the R-3 district.

### **COMPLIANCE WITH ZONING ORDINANCE**

The property is zoned R-1 and R-3 Single Family Residence District. The property is improved with three single family homes. The proposed subdivision complies with Sections 28.1103(c) and 28.1104(c) of the Zoning Ordinance. If the subdivision is approved, the petitioner will demolish three existing homes and construct 13 new homes. All new homes will meet all Zoning Ordinance bulk and setback requirements for the R-3 district.

### **COMPLIANCE WITH THE SUBDIVISION ORDINANCE**

The 13 residential lots will meet the minimum lot dimension requirements for the R-3 zoning district and

per Section 20.301 of the Subdivision Ordinance. The lot dimensions are specified in the table below:

<b>Atwood Subdivision</b>	<b>Lot Width (req. 75 ft.)</b>	<b>Lot Depth (req. 140 ft.)</b>	<b>Lot Area (req. 10, 500 sq. ft.)</b>
Lot 1	90.14 ft	167.91 ft	15,119 sq. ft.
Lot 2	75 ft.	167.91 ft.	12,593 sq. ft.
Lot 3	75 ft.	167.90 ft.	12,593 sq. ft.
Lot 4	75 ft.	167.90 ft.	12,593 sq. ft.
Lot 5	75 ft.	147 ft.	11,561 sq. ft.
Lot 6	75 ft.	182 ft.	13,545 sq. ft.
Lot 7	75 ft.	174 ft.	12,705 sq. ft.
Lot 8	75 ft.	197 ft.	15,826 sq. ft.
Lot 9	75 ft.	147 ft.	11,163 sq. ft.
Lot 10	75 ft.	160 ft.	12,000 sq. ft.
Lot 11	75 ft.	160 ft.	12,000 sq. ft.
Lot 12	75 ft.	160 ft.	12,000 sq. ft.
Lot 13	82.81 ft.	160 ft.	13,265 sq. ft.
Lot 14 Stormwater Detention Lot	15 ft.	214 ft.	27,559 sq. ft.

The petitioner has not requested any exceptions from the Subdivision Ordinance. The required five-foot wide public utility and drainage easements will be provided along all new side lot lines. The public utility and drainage easement along rear lot lines will vary from 10 feet wide to 45.42 feet to accommodate the proposed stormwater utility lines. A blanket stormwater detention easement will be placed on the entire Lot 14 designated for stormwater detention facility. All proposed easements will satisfy the public utility and drainage easement requirements per the Subdivision Ordinance.

The petitioner is required to pay park and school donations for the new single family homes. The petitioner will receive credit for the three existing homes on the property (two three-bedroom homes and one two-bedroom home) to be demolished. The total amount of \$53,993.06 (\$25,024.93 for the Park District, \$19,480.93 for School District 58 and \$ 9,487.20 for School District 99) will have to be paid prior to Village executing the plat.

**ENGINEERING/PUBLIC IMPROVEMENTS**

All proposed public improvements will meet the requirements of the Subdivision Ordinance. The 452-foot long cul-de-sac will include a 31-foot wide street with 15-foot wide parkways and five-foot wide public sidewalk on both sides of the street. A new stop sign will be installed at the intersection of Atwood Court and Fairview Avenue. The petitioner will install two new street lights and is required to pay a fee-in-lieu for 20 new parkway trees. The Village will install the trees at the time of construction of individual single family homes.

All required public utility infrastructure will be constructed within the street right-of-way or the designated public utility and drainage easements. The stormwater runoff from the entire subdivision will be collected in the proposed stormwater detention facility located on Lot 14. The petitioner will create a homeowners association which will be responsible for maintenance of the detention facility. The

detention facility meets all requirements of the Village's Stormwater Ordinance.

#### **NEIGHBORHOOD COMMENT**

Notice was provided to all property owners within 250 feet of the entire property. In addition, the notice was posted on the site and published in the Downers Grove Reporter. Staff has not received any neighborhood comment regarding the proposal at this time.

#### **FINDINGS OF FACT**

Staff believes the proposed Final Plat of Subdivision to resubdivide five existing parcels into 13 new lots and one outlot meets the standards of Sections 28.1103(c) and 28.1104(c) of the Zoning Ordinance and Sections 20.101 and 20.301(b) of the Subdivision Ordinance. The proposal is consistent with surrounding uses and zoning classifications. Staff believes the request is consistent with the Comprehensive Plan and meets the requirements of the Zoning and Subdivision Ordinances of the Village.

Staff believes standards for approval of amendments to the Zoning Ordinance have been met. The petitioner is requesting Zoning Ordinance Map Amendment to rezone a portion of the property from R-1 to R-3 Single Family Residence district. Specifically, properties at 6622 and 6700 Fairview Avenue are zoned R-1. The rezoning of this portion of the property will match the R-3 zoning classification on the remainder of the property (6650 Fairview Avenue) and enable the petitioner to subdivide and improve the property. The standards for approval of the rezoning are outlined below.

#### ***Section 28.1702 Standards for Approval of Amendments to the Zoning Ordinance***

*Village Council and Plan Commission consideration and approval of any amendment, whether text or map, is a matter of legislative discretion that is not controlled by any one standard. However, in making its decisions and recommendations regarding map amendments, the Village Council and Plan Commission shall consider the following factors:*

*(1) The existing uses and zoning of nearby property;*

Single family homes are located west and south of the subject property while a multi-family senior housing development Oak Trace (formerly known as Fairview Village) is located to the east. Downers Grove Community Church occupies the property to the north. Properties to the north and south are zoned R-1 Single Family Residence while properties to the west are zoned R-3 Single Family Residence. The Oak Trace community to the east is zoned R5A Townhouse Residence district and is part of Planned Development #32. Based on the proposed lot dimensions that meet or exceed minimum requirements for the R-3 district and the location of the property adjacent to the R-3 district to the west, staff believes the proposed rezoning is consistent with the surrounding uses and zoning classifications.

*(2) The extent to which the particular zoning restrictions affect property values;*

The two existing single family homes zoned R-1 (6622 and 6700 Fairview Avenue) have been vacant for several years. The 6622 Fairview Avenue property is 38,507 sq. ft. in area and the property at 6700 Fairview Avenue is 2.8 acres. Both properties are primarily covered with large wooded areas. The combination of the property size and wooded characteristics along with the most restrictive bulk restrictions for the R-1 district have likely prevented redevelopment of these properties. The proposed rezoning of this portion of the property to R-3 is consistent with surrounding properties and will enable the petitioner to subdivide and improve the entire property.

- (3) *The extent to which any determination in property value is offset by an increase in the public health, safety and welfare;*

The two existing single family homes zoned R-1 have been vacant for several years. Rezoning of the property will enable the petitioner to subdivide and improve the property. The new subdivision will not have any negative affect on public health, safety, and welfare of the area.

- (4) *The suitability of the subject property for the zoned purposes;*

A portion of the property (6650 Fairview Avenue) is already zoned R-3 Single Family Residence. Additionally, properties immediately to the west are also zoned R-3. The proposed subdivision will meet all minimum lot dimension requirements for the R-3 zoning district. Staff believes the subject property and the proposed subdivision is well suited for the proposed R-3 zoning classification.

- (5) *The length of time that the subject property has been vacant as zoned, considering the context of land development in the vicinity;*

The two single family homes zoned R-1 have been vacant for several years. The 6622 Fairview Avenue property is 38,507 sq. ft. in area and the property at 6700 Fairview Avenue is 2.8 acres. The single family lots to the west are approximately 10,500 sq. ft. in area and are zoned R-3. The single family lots zoned R-1 immediately south of the subject property are much smaller and more typical size for the R-1 district ranging from 18,527 sq. ft. to 25,019 sq. ft. in area. The combination of the properties' size and wooded characteristics along with the most restrictive bulk restrictions for the R-1 district have likely prevented redevelopment of these properties.

- (6) *The value to the community of the proposed use;*

The proposed rezoning will enable the petitioner to subdivide and improve the property with 13 new single family homes. The proposed subdivision will meet the Comprehensive Plan's goal to ensure quality housing stock remains a staple of the community.

- (7) *The standard of care with which the community has undertaken to plan its land use development.*

Staff believes the proposed rezoning is consistent with the Comprehensive Plan. The Plan identified the need for a variety of housing and dwelling unit types and densities, generally organized by dwelling types and lot sizes as identified in the Land Use Plan. The proposed rezoning and subdivision includes 13 new single family homes to replace the three existing vacant or underutilized properties. The proposed lot sizes are also consistent in width and area with other lots in the R-3 district.

## **RECOMMENDATIONS**

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The proposed final plat of subdivision and zoning ordinance map amendment to rezone a portion of the property from R-1 to R-3 is compatible with the surrounding zoning and land use classifications. Based on the findings listed above, staff recommends that the Plan Commission make a positive recommendation associated with PC-05-12 to the Village Council subject to the following conditions:

1. The final plat of subdivision shall substantially conform to the Final Plat of Atwood Resubdivision prepared by C. M. Lavoie & Associates. Inc., dated December 02, 2011, last revised February 8, 2012, Proposed Site Improvements for Atwood Subdivision prepared by C. M. Lavoie & Associates. Inc., dated December 11, 2011, last revised February 7, 2012, EX07 Tree Removal Plan, prepared by C. M. Lavoie & Associates. Inc., dated October 26, 2011, last revised February 8, 2012 and Boundary & Topography Survey prepared by C. M. Lavoie & Associates. Inc., dated October 26, 2011, except as such plans may be modified to conform to the Village Codes and Ordinances.

2. The Home Owners Association Declaration of Restrictive Covenants document for the Atwood subdivision shall be recorded with the plat of subdivision.
3. The Final Plat of Atwood Resubdivision shall be revised to indicate the depth of proposed public utility and drainage easements along rear lot lines of Lots 9-13.
4. Upon completion of all remaining public improvements for the entire Atwood Subdivision, the petitioner shall submit record drawings for approval by the Village Council. Along with the record drawings, the petitioner shall submit a guarantee security in the amount of 20% of the total cost of the public improvements, which shall expire no earlier than two years after acceptance of such public improvements by the Village Council.
5. The petitioner shall pay \$53,993.06 for park and school donations (\$25,024.93 for the Park District, \$19,480.93 for School District 58 and \$ 9,487.20 for School District 99) prior to Village executing the plat.
6. A fee in lieu payment for 20 new parkway trees (\$500 per tree, total payment \$10,000) must be submitted prior to issuance of the construction permit.
7. The approval from the Downers Grove Sanitary District shall be submitted prior to issuance of construction permits.
8. The approval from the DuPage County for Impact Fees and the DuPage County Health Department for the removal of existing wells on the property shall be submitted prior to issuance of the construction permits.

Staff Report Approved By:

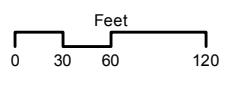
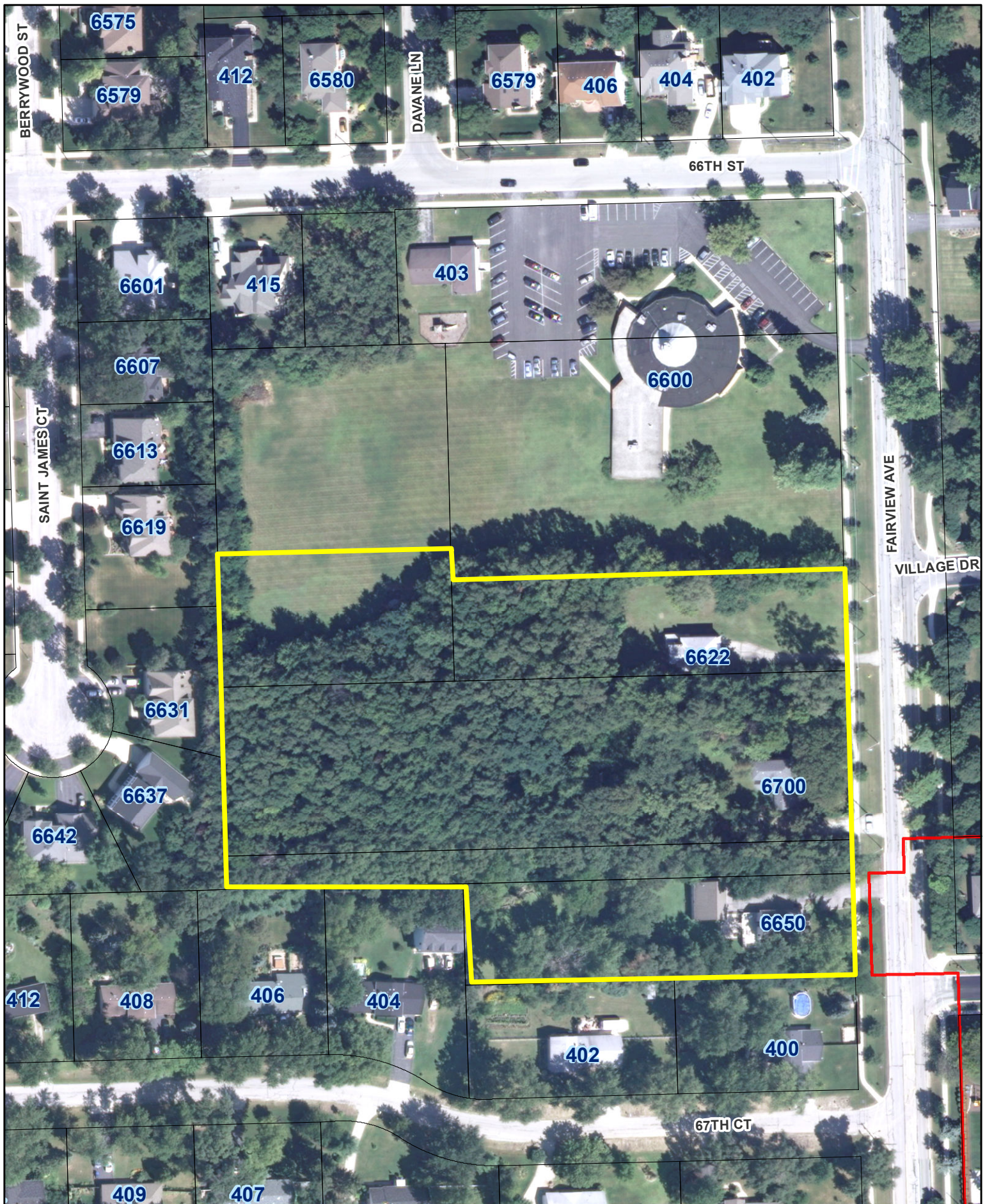
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Tom Dabareiner, AICP  
Director of Community Development

TD:dl  
-att

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**6622 - 6650  
Fairview Avenue**



**GREENSCAPE  
HOMES, LLC**

December 16, 2011

Mr. Jeff O'Brien  
Village of Downers Grove  
Department of Community Development  
801 Burlington Avenue  
Downers Grove, IL 60515

Dear Mr. O'Brien:

Subject: Authorization for Owner's designated agent – Greenscape Homes

Please accept this letter of authorization appointing CM Lavoie & Associates to act as Greenscape Homes' designated agent for the subdivision process for the Village of Downers Grove for the following property:

Property Located at Fairview Avenue Between 66<sup>th</sup> Street & 67<sup>th</sup> Court  
PIN(s) #09-20-211-012; #09-20-211-013; #09-20-211-018; #09-20-211-020;  
#09-20-211-021

If you have any questions or need additional information, please don't hesitate to contact me at 630/281-2039.

Sincerely,

Kathleen Washko  
Chief Financial Officer

cc: Ken Neumann



## **C. M. Lavoie & Associates, Inc.**

**Consulting Civil Engineering  
Land Planning & Surveying**

1050 State Route 126 • Plainfield, IL 60544  
815.254.0505 • Fax: 815.436.5158

December 16, 2011

### **GREENSCAPE VENTURES SUBDIVISION PROJECT SUMMARY**

The proposed Greenscape Ventures Subdivision encompasses approximately 5.25 acres on the west side of Fairview Avenue, between 66<sup>th</sup> Street and 67<sup>th</sup> Court. The subject site currently has three single family homes with outbuildings located on it. The subject site is border by a church to the north, the Fairview ROW to the east and residential subdivisions to the west and south.

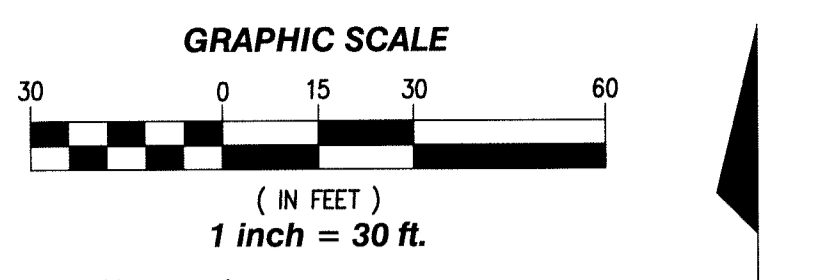
The proposed development consists of demolishing the existing buildings on the site, and subdividing the parcels into fourteen total lots, thirteen single family residential lots and one lot that is to be exclusively used for stormwater management purposes.

Improvements associated with the proposed development include one east-west residential street with a cul-de-sac turnaround, sidewalks, watermain extension, water services, fire hydrants, sanitary sewer, sanitary sewer services, street lights and storm sewer.

The purpose of the Greenscape Ventures Subdivision is to subdivide the existing parcels into fourteen separate lots. In addition to subdividing the parcels, we will be rezoning the entire development to R-3 Zoning. The current parcels are zoned R-1 and R-3.

All thirteen proposed residential lots conform to all of the Village of Downers Grove zoning requirements for R-3 zoning including square footage, width, depth and setbacks as stipulated in the current Zoning Ordinance. The proposed development will be designed and constructed in accordance with the Village of Downers Grove and the DuPage County Ordinances.

- LEGEND**
- 0.00' MEASURED DATA
  - (0.00') RECORD DATA
  - LIMIT OF SURVEY
  - SECTION LINE
  - EXISTING RIGHT-OF-WAY LINE
  - EXISTING EASEMENT LINE
  - EXISTING CONTOUR LINE
  - EXISTING UNDERGROUND SANITARY LINE
  - EXISTING UNDERGROUND STORM LINE
  - EXISTING UNDERGROUND WATER LINE
  - EXISTING MONUMENTATION
  - EXISTING CATCH BASIN
  - EXISTING FIRE HYDRANT
  - EXISTING GUY WIRE
  - EXISTING LIGHT STANDARD
  - EXISTING MAILBOX
  - EXISTING MANHOLE
  - EXISTING POWER POLE
  - EXISTING POWER POLE W/ TRANSFORMER
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING WATER VALVE



# BOUNDARY & TOPOGRAPHIC SURVEY

**PARCEL 1:** THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE SOUTH 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 27, 1952 AS DOCUMENT 665991, IN DUPAGE COUNTY, ILLINOIS.

**PARCEL 2:** THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE SOUTH 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE EASTERLY 50 FEET THEREOF, IN DUPAGE COUNTY, ILLINOIS.

**PARCEL 3:** THAT PART OF THE NORTH 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EAST LINE OF SAID SOUTHWEST 1/4, WHICH IS 2 RODS SOUTH OF SAID SOUTHWEST 1/4; THENCE SOUTHERLY ALONG SAID EAST LINE, A DISTANCE OF 100 FEET; THENCE WESTERLY ON A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 433 FEET; THENCE NORTHERLY ALONG A LINE PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 433 FEET; THENCE NORTHERLY ALONG A LINE PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 100 FEET TO THE SOUTHERLY LINE OF THE STRIP OF LAND DESCRIBED IN A WARRANTY DEED DATED JANUARY 1, 1866 AND RECORDED FEBRUARY 22, 1866 IN BOOK 30 OF DEEDS PAGE 453 TO HENRY LEHMAN AND JACOB VEITH; THENCE EASTERLY ALONG SAID SOUTHERLY LINE OF SAID STRIP OF LAND, A DISTANCE OF 433 FEET TO THE POINT OF BEGINNING, (EXCEPTING THEREFROM THE EASTERLY 50 FEET THEREOF CONVEYED TO THE VILLAGE OF DOWNERS GROVE BY WARRANTY DEED RECORDED MARCH 23, 1998 AS DOCUMENT R98-052174), IN DUPAGE COUNTY, ILLINOIS.

**PARCEL 4:** THAT PART OF THE NORTH 33 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING SOUTH 89 DEGREES 56 MINUTES 44 SECONDS WEST.

**PARCEL 5:** THE SOUTH 130.00 FEET OF LOT 1 IN JANDA'S SUBDIVISION BEING A SUBDIVISION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 27, 1952 AS DOCUMENT NUMBER 665991, IN DUPAGE COUNTY, ILLINOIS.

SAID PARCELS OF LAND CONTAINING 228,693 SQUARE FEET OR 5.250 ACRES, MORE OR LESS.

**SURVEYOR'S NOTES**

- DIMENSIONS SHOWN THUS: 50.25' ARE FEET AND DECIMAL PARTS THEREOF. ANGULAR DATA SHOWN THUS: 90°00'00" INDICATES DEGREES, MINUTES AND SECONDS.
- NORTH ARROW AND BEARINGS BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20-38-11 BEING SOUTH 89 DEGREES 56 MINUTES 44 SECONDS WEST.
- IMPROVEMENT LOCATIONS ARE BASED ON A FIELD SURVEY BY C.M. LAVOIE AND ASSOCIATES, INC. ON SEPTEMBER 2, 2011.
- COMPARE YOUR POINTS BEFORE USING SAME AND REPORT ANY DIFFERENCES IMMEDIATELY.
- CHECK LEGAL DESCRIPTION WITH DEED OR TITLE POLICY AND REPORT ANY DISCREPANCY IMMEDIATELY. BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE AS SHOWN ON THE RECORDED SUBDIVISION OR AS INDICATED.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND COMPILED FROM FIELD SURFACE OBSERVATIONS, UTILITY MARKINGS LOCATED IN THE FIELD AND UTILITY ATLASES. SOME OF THE PROVIDED ATLASES INDICATE LOCATIONS BY GRAPHIC REPRESENTATION ONLY AND THESE ARE SHOWN TO THE BEST OF OUR ABILITY. UNDERGROUND UTILITIES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. ANY CONTRACTOR CONTEMPLATING WORK ON THIS SITE SHOULD CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.

STATE OF ILLINOIS )  
 COUNTY OF KENDALL )

WE, C.M. LAVOIE AND ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-003041, HEREBY CERTIFY THAT THE PLAT DRAIN HEREON AND THE SURVEY THAT IT REPRESENTS, WERE PREPARED AND PERFORMED BY US, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

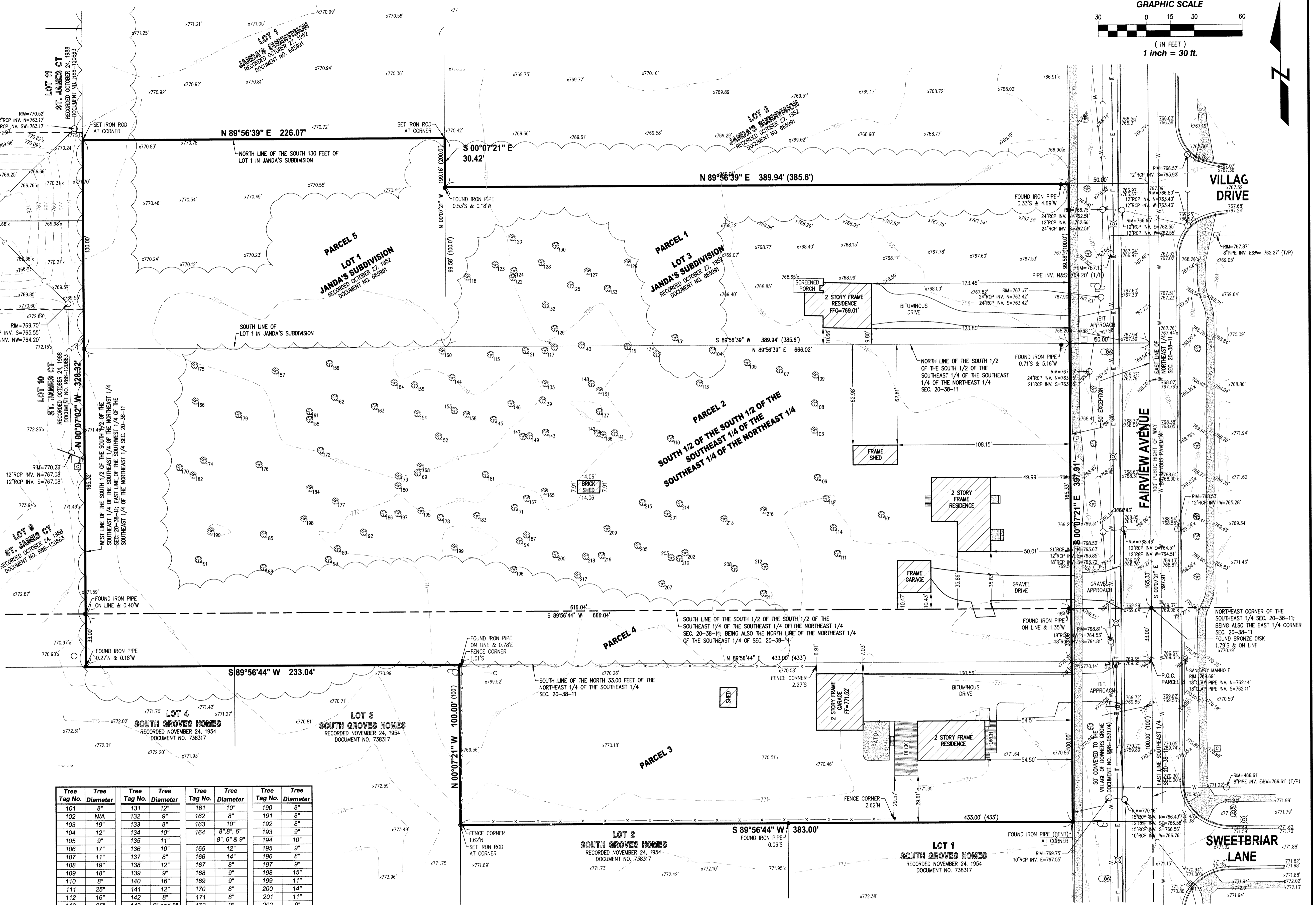
DATED AT DOWNERS GROVE, ILLINOIS THIS 17th DAY OF JANUARY, 2012.

*[Signature]*  
 KEITH E. BOLLINGER  
 PLAINFIELD, ILLINOIS  
 LICENSE EXPIRES 11-30-2012

PROFESSIONAL LAND SURVEYOR  
 No. 035-3592  
 KEITH E. BOLLINGER  
 PLAINFIELD, ILLINOIS  
 LICENSE EXPIRES 11-30-2012

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Tree Tag No.	Tree Diameter	Tree Tag No.	Tree Diameter	Tree Tag No.	Tree Diameter	Tree Tag No.	Tree Diameter
101	8"	131	12"	161	10"	190	8"
102	N/A	132	9"	162	8"	191	8"
103	19"	133	8"	163	10"	192	8"
104	12"	134	10"	164	8", 8", 6"	193	9"
105	9"	135	11"	165	8", 6" & 9"	194	10"
106	17"	136	10"	166	12"	195	9"
107	11"	137	8"	167	14"	196	8"
108	19"	138	12"	168	8"	197	9"
109	18"	139	9"	169	9"	198	15"
110	8"	140	16"	170	8"	199	11"
111	25"	141	12"	171	8"	200	14"
112	16"	142	8"	172	8"	201	11"
113	25"	143	6" and 8"	173	9"	202	9"
114	18"	144	8"	174	8"	203	8"
115	14"	145	15"	175	15"	204	N/A
116	8"	146	10"	176	8"	205	12"
117	13"	147	8"	177	8"	206	N/A
118	9"	148	10"	178	17"	207	9"
119	15"	149	11"	179	12"	208	8"
120	9"	150	N/A	180	8"	209	11"
121	8"	151	8"	181	8"	210	11"
122	8"	152	15"	182	18"	211	10"
123	8"	153	8"	183	12"	212	9"
124	8"	154	9"	184	10"	213	11"
125	8"	155	8"	185	11"	214	8"
126	9"	156	8"	186	8"	215	11"
127	9"	157	13"	187	10"	216	13"
128	8"	158	11"	188	9"	217	11"
129	8"	159	10"	189	15"	218	11"
130	9"	160	9"	189	8"	219	9"



**GREENSCAPE HOMES, LLC**  
 6618, 6622, 6650 AND 6700 FAIRVIEW AVENUE  
 DOWNERS GROVE, ILLINOIS

**BNDRY & TOPOGRAPHIC SURVEY**

DRAWN BY: TCB    CHECKED BY: KEB  
 SCALE: 1"=30'    DATE: 10/26/11  
 JOB NUMBER: 11-157    SHEET: 1 OF 1

**C.M. Lavoie & Associates, INC.**  
 Consulting Civil Engineering  
 Land Planning & Surveying  
 1050 State Route 126  
 Plainfield, Illinois 60544  
 voice 815-254-0505  
 fax 815-436-5158

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

**BENCHMARKS**  
 DUPAGE COUNTY BENCHMARK:  
 DGN07001 - BRONZE DISK IN CONCRETE BASE OF TRAFFIC CONTROL BOX AT THE NORTHWEST CORNER OF MAPLE AVENUE AND 55TH STREET.  
 ELEVATION...743.51' NGVD29

P.I.Nos  
 09-20-211-012  
 09-20-211-013  
 09-20-211-018  
 09-20-211-020  
 09-20-211-021

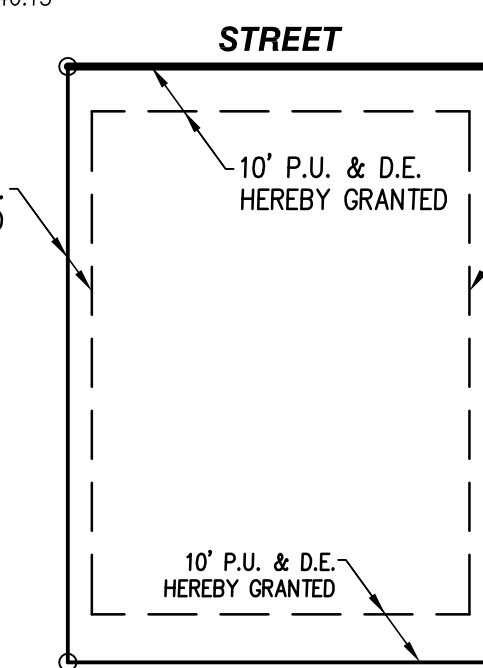
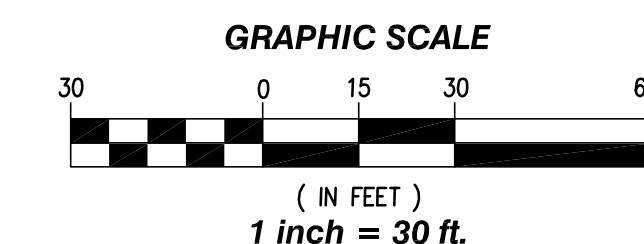
# FINAL PLAT

## ATWOOD RESUBDIVISION

BEING A PART OF NORTHEAST QUARTER AND SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DuPAGE COUNTY, ILLINOIS

**LEGEND**

- 0.00' MEASURED DATA
- (0.00') RECORDED DATA
- LIMIT OF SURVEY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- SECTION LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED EASEMENT LINE (HEREBY GRANTED)
- P.U. & D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
- SET 5/8" DIAMETER x 24" LENGTH IRON ROD
- SET 4" SQUARE x 24" LENGTH CONCRETE MONUMENT
- C1 15.06'
- L1 N 51°15'26" W, 46.66'
- L2 S 51°15'26" E, 46.15'



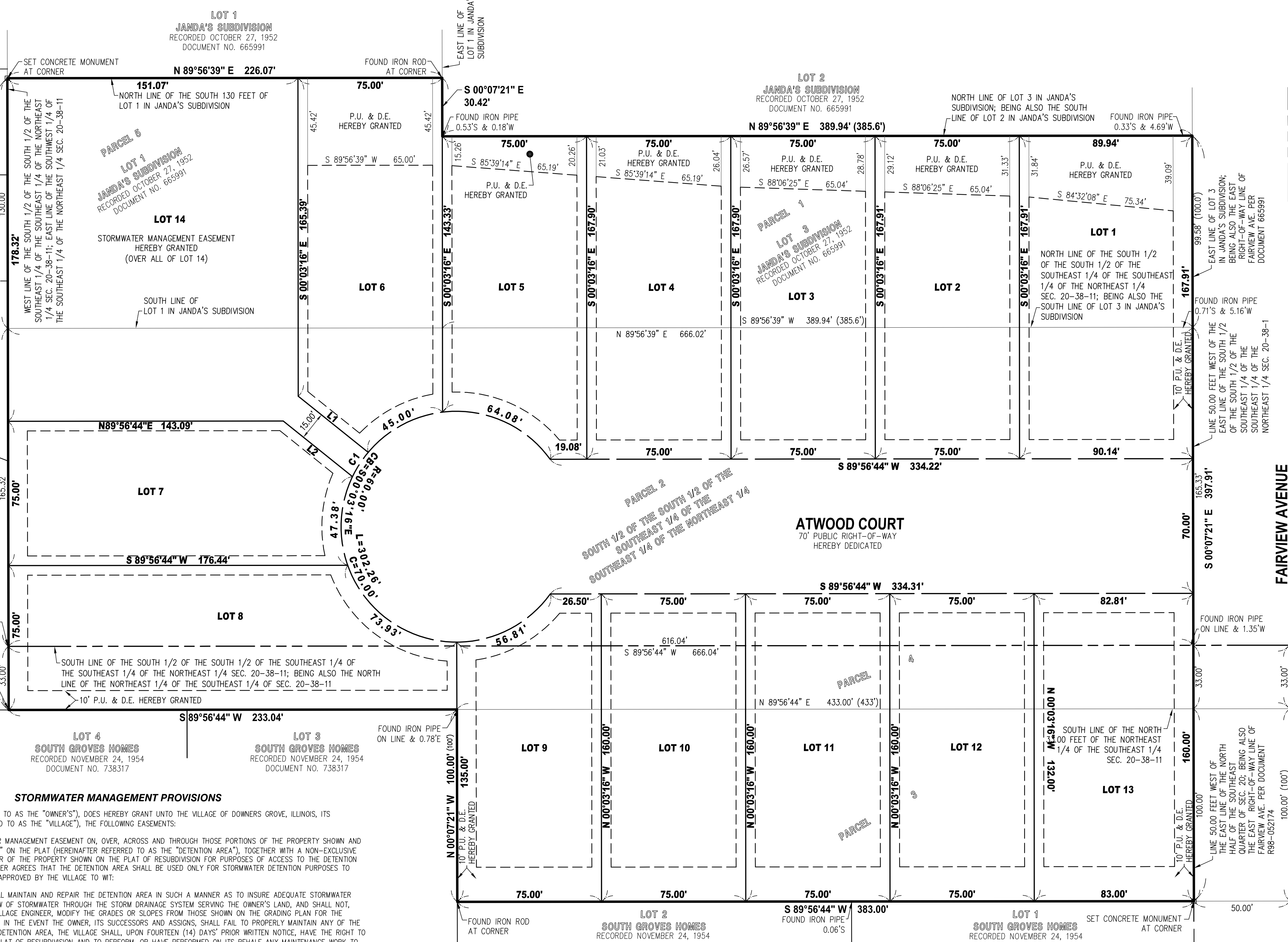
**TYPICAL LOT EASEMENT DIMENSIONS**  
 PUBLIC UTILITY AND DRAINAGE EASEMENTS (P.U. & D.E.) ARE HEREBY GRANTED PER THIS RESUBDIVISION PLAT AND AS SHOWN HEREON. ALL P.U. & D.E.'S ARE SUBJECT TO THE FOLLOWING DIMENSIONS, UNLESS OTHERWISE NOTED.

**LOT AREA**

- LOT 1 ~ 15,119 SQUARE FEET OR 0.347 ACRES +/-
- LOT 2 ~ 12,593 SQUARE FEET OR 0.289 ACRES +/-
- LOT 3 ~ 12,593 SQUARE FEET OR 0.289 ACRES +/-
- LOT 4 ~ 12,593 SQUARE FEET OR 0.289 ACRES +/-
- LOT 5 ~ 11,561 SQUARE FEET OR 0.265 ACRES +/-
- LOT 6 ~ 13,545 SQUARE FEET OR 0.311 ACRES +/-
- LOT 7 ~ 12,705 SQUARE FEET OR 0.292 ACRES +/-
- LOT 8 ~ 15,826 SQUARE FEET OR 0.363 ACRES +/-
- LOT 9 ~ 11,163 SQUARE FEET OR 0.256 ACRES +/-
- LOT 10 ~ 12,000 SQUARE FEET OR 0.275 ACRES +/-
- LOT 11 ~ 12,000 SQUARE FEET OR 0.275 ACRES +/-
- LOT 12 ~ 12,000 SQUARE FEET OR 0.275 ACRES +/-
- LOT 13 ~ 13,265 SQUARE FEET OR 0.305 ACRES +/-
- LOT 14 ~ 27,559 SQUARE FEET OR 0.633 ACRES +/-

**SURVEYOR'S NOTES**

1. DIMENSIONS SHOWN THUS: 50.25' ARE FEET AND DECIMAL PARTS THEREOF. ANGULAR DATA SHOWN THUS: 90°00'00" INDICATES DEGREES, MINUTES AND SECONDS.
2. A BLANKET EASEMENT IS HEREBY GRANTED OVER ALL OF LOT 14 IN THIS RESUBDIVISION FOR STORMWATER MANAGEMENT PURPOSES.
3. ALL P.U.&D AND STORMWATER MANAGEMENT EASEMENTS WITHIN THIS SUBDIVISION ARE SUBJECT TO THE RULES AND REGULATIONS AS OUTLINED IN THE DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR THE HOMEOWNERS' ASSOCIATION FOR ATWOOD RESUBDIVISION.



**STORMWATER MANAGEMENT PROVISIONS**

GREENSCAPE HOMES, LLC (HEREINAFTER REFERRED TO AS THE "OWNER'S"), DOES HEREBY GRANT UNTO THE VILLAGE OF DOWNERS GROVE, ILLINOIS, ITS SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS THE "VILLAGE"), THE FOLLOWING EASEMENTS:

1. A NON-EXCLUSIVE AND PERPETUAL STORMWATER MANAGEMENT EASEMENT ON, OVER, ACROSS AND THROUGH THOSE PORTIONS OF THE PROPERTY SHOWN AND MARKED AS "STORMWATER MANAGEMENT EASEMENT" ON THE PLAT (HEREINAFTER REFERRED TO AS THE "DETENTION AREA"), TOGETHER WITH A NON-EXCLUSIVE AND PERPETUAL EASEMENT ACROSS THE REMAINDER OF THE PROPERTY SHOWN ON THE PLAT OF RESUBDIVISION FOR PURPOSES OF ACCESS TO THE DETENTION AREA FOR THE PURPOSE SET FORTH HEREIN. OWNER AGREES THAT THE DETENTION AREA SHALL BE USED ONLY FOR STORMWATER DETENTION PURPOSES TO SERVE THE OWNER'S LAND AND FOR OTHER USES APPROVED BY THE VILLAGE TO WIT:

THE OWNERS, ITS SUCCESSORS AND ASSIGNS, SHALL MAINTAIN AND REPAIR THE DETENTION AREA IN SUCH A MANNER AS TO INSURE ADEQUATE STORMWATER STORAGE AND THE FREE AND UNINTERRUPTED FLOW OF STORMWATER THROUGH THE STORM DRAINAGE SYSTEM SERVING THE OWNER'S LAND, AND SHALL NOT, WITHOUT THE PRIOR WRITTEN APPROVAL OF THE VILLAGE ENGINEER, MODIFY THE GRADES OR SLOPES FROM THOSE SHOWN ON THE GRADING PLAN FOR THE OWNER'S PROPERTY APPROVED BY THE VILLAGE OR IN THE EVENT THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL FAIL TO PROPERLY MAINTAIN ANY OF THE STORMWATER MANAGEMENT FACILITIES WITHIN THE DETENTION AREA, THE VILLAGE SHALL, UPON FOURTEEN (14) DAYS' PRIOR WRITTEN NOTICE, HAVE THE RIGHT TO ENTER UPON THE OWNER'S LAND SHOWN ON THE PLAT OF RESUBDIVISION AND TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF ANY MAINTENANCE WORK TO OR UPON THE DETENTION AREA, AS THE CASE MAY BE, REASONABLY NECESSARY TO INSURE ADEQUATE STORMWATER STORAGE AND FREE FLOW OF STORMWATER THROUGH THE STORM DRAINAGE SYSTEM SERVING THE OWNER'S LAND. AFTER RECEIVING SUCH NOTICE FROM THE VILLAGE, OWNER SHALL FOR TEN (10) DAYS RETAIN THE OPTION OF PERFORMING ANY MAINTENANCE WORK ITSELF. VILLAGE AGREES, BY THE ACCEPTANCE OF THIS EASEMENT THAT IT WILL INDEMNIFY, DEFEND AND HOLD THE OWNER, ITS SUCCESSORS AND ASSIGNS, HARMLESS FROM AND AGAINST ANY AND ALL COST, DAMAGES, CLAIMS, EXPENSES, LIABILITIES AND JUDGMENTS (INCLUDING REASONABLY ATTORNEY'S FEES) FOR PROPERTY DAMAGE AND PERSONAL INJURY, INCLUDING DEATH, ARISING OUT OF OR RELATED TO THE VILLAGE'S ACTS AND OMISSIONS PURSUANT TO THIS EASEMENT CONVEYANCE, OWNER, AND ITS SUCCESSORS AND ASSIGNS, RETAINS THE RIGHT TO USE THE EASEMENT PREMISES FOR ANY USE NOT INCONSISTENT WITH THE GRANTING OF THE EASEMENT PREMISES HEREIN.

THE VILLAGE MAY, WITHOUT PRIOR NOTICE, ENTER THE EASEMENT AREA FOR PURPOSES OF INSPECTING THE STORM SEWERS FOR PROPER MAINTENANCE AND COMPLIANCE WITH APPLICABLE WASTE QUALITY REGULATIONS.

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**GREENSCAPE VENTURES, LLC**

Fairview Avenue at 66th Street  
 Downers Grove, Illinois

<b>PLAT OF RESUBDIVISION</b>		DRAWN BY: JCB	CHECKED BY: KEB
		SCALE: 1"=30'	DATE: 12/2/11
		JOB NUMBER: 11-157	SHEET: 1 OF 2

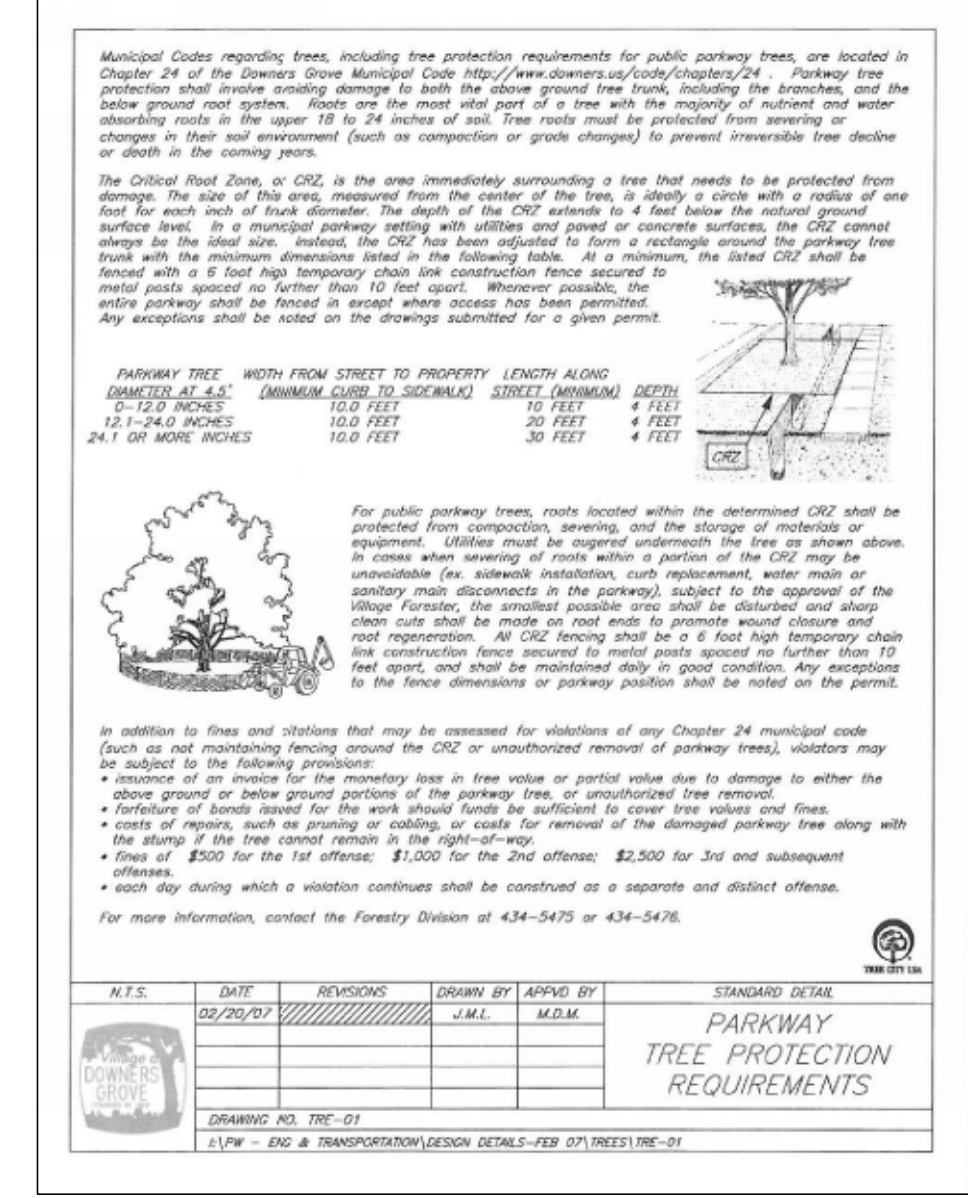
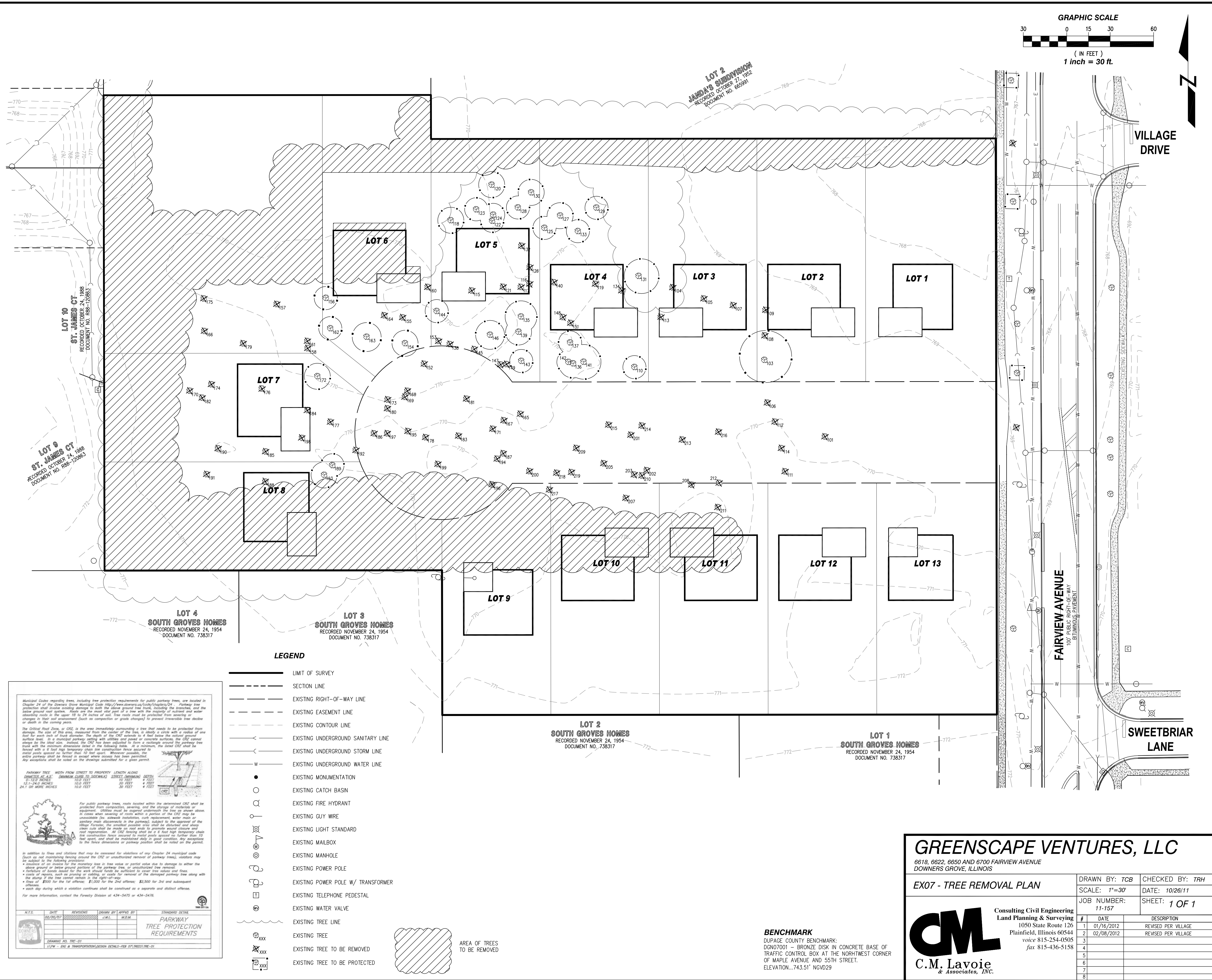
**CM**  
 Consulting Civil Engineering  
 Land Planning & Surveying  
 1050 State Route 126  
 Plainfield, Illinois 60544  
 voice 815-254-0505  
 fax 815-436-5158

#	DATE	DESCRIPTION
1	01/17/12	REVISE PER VILLAGE LTR DTD 1/9/12
2	02/08/12	REVISE PER VILLAGE LTD DTD 2/3/12
3		
4		
5		
6		
7		
8		



Tree Tag No.	Tree Diameter	Tree Species	Common Name	Tree Quality
101	8"	Juniper virginiana	Juniper	Fair
102	N/A	N/A	N/A	N/A
103	19"	Acer saccharinum	Silver Maple	Poor
104	12"	Ulmus pumila	Siberian Elm	Poor
105	9"	Acer saccharinum	Silver Maple	Fair
106	17"	Acer saccharinum	Silver Maple	Good
107	11"	Acer saccharinum	Silver Maple	Poor
108	19"	Acer saccharinum	Silver Maple	Fair
109	18"	Acer saccharinum	Silver Maple	Poor
110	8"	Malus species	Apple Species	Poor
111	25"	Acer saccharinum	Silver Maple	Good
112	16"	Acer saccharinum	Silver Maple	Good
113	25"	Acer saccharinum	Silver Maple	Fair
114	18"	Acer saccharinum	Silver Maple	Good
115	14"	Ulmus pumila	Siberian Elm	Poor
116	8"	Ulmus pumila	Siberian Elm	Poor
117	13"	Ulmus pumila	Siberian Elm	Poor
118	9"	Ulmus pumila	Siberian Elm	Poor
119	15"	Acer saccharinum	Silver Maple	Poor
120	9"	Fraxinus pennsylvanica	Green Ash	Poor
121	8"	Ulmus pumila	Siberian Elm	Poor
122	8"	Ulmus pumila	Siberian Elm	Poor
123	8"	Ulmus pumila	Siberian Elm	Poor
124	8"	Ulmus pumila	Siberian Elm	Poor
125	8"	Ulmus pumila	Siberian Elm	Poor
126	9"	Ulmus pumila	Siberian Elm	Poor
127	9"	Ulmus pumila	Siberian Elm	Poor
128	8"	Ulmus pumila	Siberian Elm	Poor
129	8"	Ulmus pumila	Siberian Elm	Poor
130	9"	Ulmus pumila	Siberian Elm	Poor
131	12"	Acer saccharinum	Silver Maple	Poor
132	9"	Fraxinus pennsylvanica	Green Ash	Poor
133	8"	Ulmus pumila	Siberian Elm	Poor
134	10"	Ulmus pumila	Siberian Elm	Poor
135	11"	Ulmus pumila	Siberian Elm	Poor
136	10"	Ulmus pumila	Siberian Elm	Poor
137	8"	Ulmus pumila	Siberian Elm	Poor
138	12"	Acer saccharinum	Silver Maple	Fair
139	9"	Ulmus pumila	Siberian Elm	Poor
140	16"	Acer saccharinum	Silver Maple	Poor
141	12"	Ulmus pumila	Siberian Elm	Poor
142	8"	Ulmus pumila	Siberian Elm	Poor
143	6" and 8"	Ulmus pumila	Siberian Elm	Poor
144	8"	Ulmus pumila	Siberian Elm	Poor
145	15"	Ulmus pumila	Siberian Elm	Poor
146	10"	Ulmus pumila	Siberian Elm	Pair
147	8"	Acer saccharinum	Silver Maple	Fair
148	10"	Ulmus pumila	Siberian Elm	Poor
149	11"	Ulmus pumila	Siberian Elm	Poor
150	N/A	N/A	N/A	N/A
151	8"	Ulmus pumila	Siberian Elm	Poor
152	15"	Acer saccharinum	Silver Maple	Poor
153	8"	Fraxinus pennsylvanica	Green Ash	Poor
154	9"	Ulmus pumila	Siberian Elm	Poor
155	8"	Fraxinus pennsylvanica	Green Ash	Poor
156	8"	Ulmus pumila	Siberian Elm	Poor
157	13"	Ulmus pumila	Siberian Elm	Poor
158	11"	Ulmus pumila	Siberian Elm	Poor
159	10"	Ulmus pumila	Siberian Elm	Poor
160	9"	Ulmus pumila	Siberian Elm	Poor
161	10"	Ulmus pumila	Siberian Elm	Poor
162	8"	Ulmus pumila	Siberian Elm	Poor
163	10"	Ulmus pumila	Siberian Elm	Poor
164	8", 8", 6", 6", 6" & 9"	Acer saccharinum	Silver Maple	Poor
165	12"	Ulmus pumila	Siberian Elm	Poor
166	14"	Acer saccharinum	Silver Maple	Fair
167	8"	Ulmus americana	American Elm	Good
168	9"	Acer saccharinum	Silver Maple	Poor
169	9"	Acer saccharinum	Silver Maple	Fair
170	8"	Acer saccharinum	Silver Maple	Fair
171	8"	Ulmus americana	American Elm	Fair
172	9"	Fraxinus pennsylvanica	Green Ash	Poor
173	8"	Ulmus pumila	Siberian Elm	Poor
174	15"	Ulmus pumila	Siberian Elm	Poor
175	8"	Fraxinus pennsylvanica	Green Ash	Poor
176	8"	Ulmus pumila	Siberian Elm	Poor
177	17"	Acer saccharinum	Silver Maple	Fair
178	12"	Acer saccharinum	Silver Maple	Fair
179	8"	Ulmus pumila	Siberian Elm	Poor
180	8"	Ulmus pumila	Siberian Elm	Poor
181	18"	Acer saccharinum	Silver Maple	Fair
182	12"	Ulmus pumila	Siberian Elm	Poor
183	10"	Acer saccharinum	Silver Maple	Fair
184	11"	Ulmus pumila	Siberian Elm	Poor
185	8"	Ulmus pumila	Siberian Elm	Poor
186	10"	Acer saccharinum	Silver Maple	Poor
187	9"	Fraxinus pennsylvanica	Green Ash	Fair
188	15"	Fraxinus pennsylvanica	Green Ash	Poor
189	8"	Ulmus pumila	Siberian Elm	Poor
190	8"	Fraxinus pennsylvanica	Green Ash	Poor
191	8"	Fraxinus pennsylvanica	Green Ash	Poor
192	8"	Fraxinus pennsylvanica	Green Ash	Poor
193	9"	Fraxinus pennsylvanica	Green Ash	Poor
194	10"	Acer saccharinum	Silver Maple	Fair
195	9"	Fraxinus pennsylvanica	Green Ash	Poor
196	8"	Acer saccharinum	Silver Maple	Fair
197	9"	Fraxinus pennsylvanica	Green Ash	Poor
198	15"	Acer saccharinum	Silver Maple	Fair
199	11"	Acer saccharinum	Silver Maple	Good
200	14"	Acer saccharinum	Silver Maple	Fair
201	11"	Fraxinus pennsylvanica	Green Ash	Poor
202	9"	Ulmus pumila	Siberian Elm	Poor
203	8"	Ulmus americana	American Elm	Fair
204	N/A	N/A	N/A	N/A
205	12"	Acer saccharinum	Silver Maple	Good
206	N/A	N/A	N/A	N/A
207	9"	Acer saccharinum	Silver Maple	Fair
208	8"	Ulmus pumila	Siberian Elm	Poor
209	11"	Fraxinus pennsylvanica	Green Ash	Poor
210	11"	Ulmus americana	American Elm	Fair
211	10"	Ulmus pumila	Siberian Elm	Poor
212	9"	Acer saccharinum	Silver Maple	Good
213	11"	Acer saccharinum	Silver Maple	Poor
214	8"	Acer saccharinum	Silver Maple	Poor
215	11"	Acer saccharinum	Silver Maple	Poor
216	13"	Ulmus americana	American Elm	Good
217	11"	Acer saccharinum	Silver Maple	Fair
218	11"	Acer saccharinum	Silver Maple	Fair
219	9"	Acer saccharinum	Silver Maple	Fair

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### GREENSCAPE VENTURES, LLC

6618, 6622, 6650 AND 6700 FAIRVIEW AVENUE  
DOWNERS GROVE, ILLINOIS

**EX07 - TREE REMOVAL PLAN**

DRAWN BY: TCB | CHECKED BY: TRH  
SCALE: 1"=30' | DATE: 10/26/11  
JOB NUMBER: 11-157 | SHEET: 1 OF 1

#	DATE	DESCRIPTION
1	01/16/2012	REVISED PER VILLAGE
2	02/08/2012	REVISED PER VILLAGE
3		
4		
5		
6		
7		
8		

**BENCHMARK**  
DUPAGE COUNTY BENCHMARK:  
D6N07001 - BRONZE DISK IN CONCRETE BASE OF TRAFFIC CONTROL BOX AT THE NORTHWEST CORNER OF MAPLE AVENUE AND 55TH STREET.  
ELEVATION...743.51' NCV029

**C.M. Lavoie & Associates, INC.**

PROPOSED SITE IMPROVEMENTS  
FOR  
**ATWOOD SUBDIVISION**

FAIRVIEW AVENUE BETWEEN 66TH STREET AND 67TH COURT  
DOWNERS GROVE, ILLINOIS

INDEX OF PLAN SHEETS

1. COVER
2. GENERAL NOTES
- 3-5. DETAILS
6. EXISTING CONDITIONS AND DEMOLITION PLAN
7. GEOMETRY PLAN
8. GRADING PLAN
9. UTILITY PLAN
- 10-11. PLAN AND PROFILES
12. SWPPP

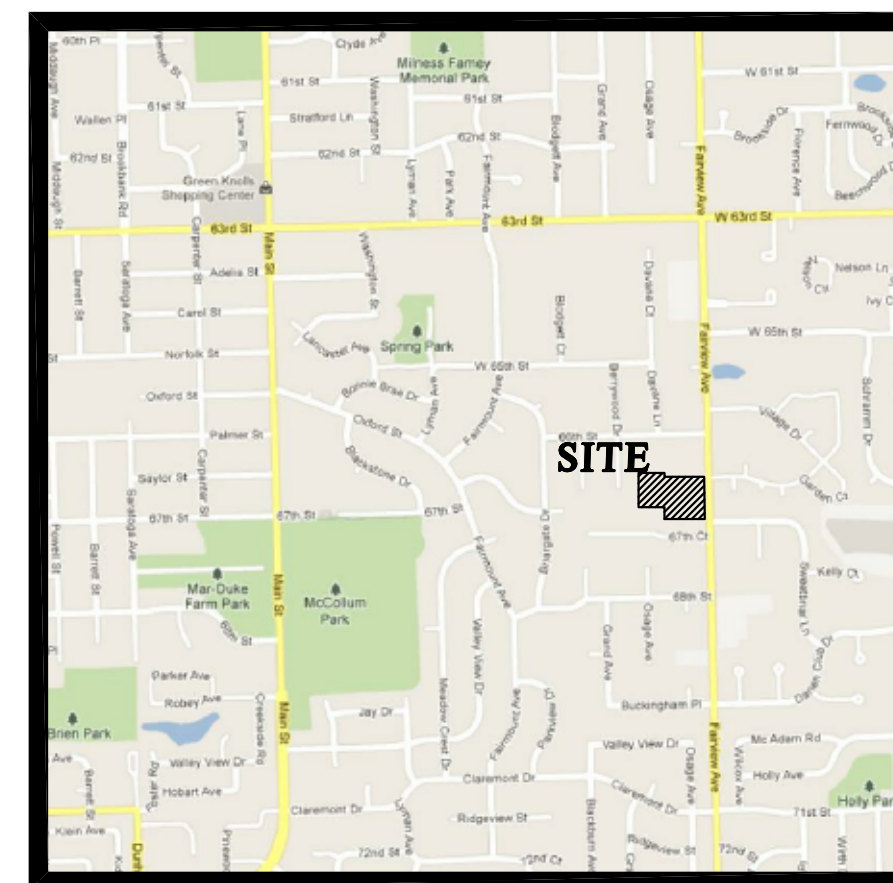
NGS BENCHMARKS

DUPAGE COUNTY BENCHMARK:  
DGN07001 - BRONZE DISK IN CONCRETE BASE OF  
TRAFFIC CONTROL BOX AT THE NORTHWEST CORNER  
OF MAPLE AVENUE AND 55TH STREET.  
ELEVATION 743.51' NGVD29

LEGAL DESCRIPTION

BEING A PART OF NORTHEAST QUARTER AND SOUTHEAST  
QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11  
EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DuPAGE  
COUNTY, ILLINOIS

2012



SITE LOCATION

PLANS PREPARED FOR:

GREENSCAPE HOMES, LLC  
4355 WEAVER PARKWAY, SUITE 120  
WARRENVILLE, ILLINOIS 60555

PLANS PREPARED BY:

**C.M.**  
C.M. Lavoie  
& Associates, Inc.

Consulting Civil Engineering  
Land Planning & Surveying  
1050 State Route 126  
Plainfield, Illinois 60544  
voice 815-254-0505  
fax 815-436-5158

LEGEND

◄	PROPOSED FLARED END SECTION
△	EXISTING FLARED END SECTION
⊙	PROPOSED STORM MANHOLE
⊙	EXISTING STORM MANHOLE
◻	PROPOSED INLET
◻	EXISTING INLET
●	PROPOSED FIRE HYDRANT
○	EXISTING FIRE HYDRANT
⊙	PROPOSED VALVE AND VAULT
⊙	EXISTING VALVE AND VAULT
●	PROPOSED CATCH BASIN
○	EXISTING CATCH BASIN
⊙	PROPOSED SANITARY MANHOLE
⊙	EXISTING SANITARY MANHOLE
●	PROPOSED VALVE BOX
○	EXISTING VALVE BOX
— s'w —	PROPOSED WATERMAIN
— s'w —	EXISTING WATERMAIN
— >—	PROPOSED SANITARY SEWER
— >—	EXISTING SANITARY SEWER
— >—	PROPOSED STORM SEWER
— >—	EXISTING STORM SEWER
—HWL—	HIGH WATER LEVEL
—NWL—	NORMAL WATER LEVEL
---6.32---	EXISTING CONTOUR
---6.32---	PROPOSED CONTOUR
--- ---	PROPOSED SILT FENCE
--- ---	STRAW BALES
→	EMERGENCY FLOOD ROUTE
▨	STORMWATER INFILTRATION SWALE

CURRENT REVISION DATE: \_\_\_\_\_

I, TIMOTHY R. HEJNY, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY C.M. LAVOIE AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION.

ILLINOIS PROFESSIONAL ENGINEER NO.  
0062-059133

EXPIRES 11/30/13

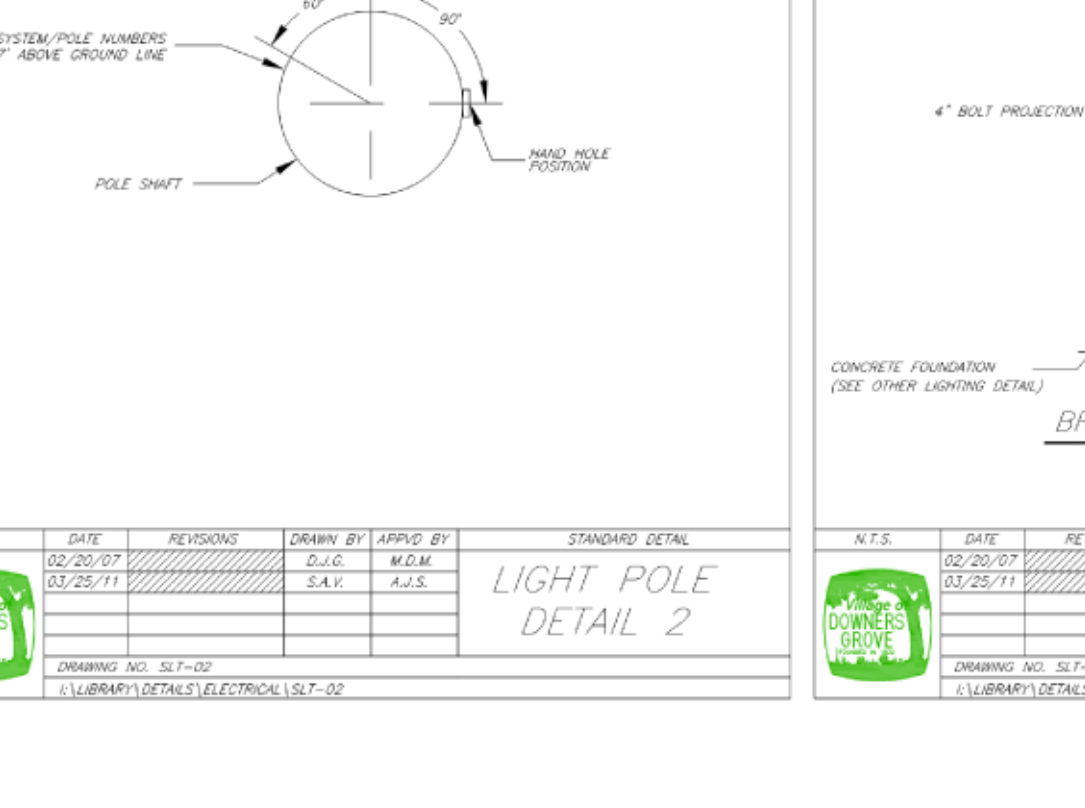
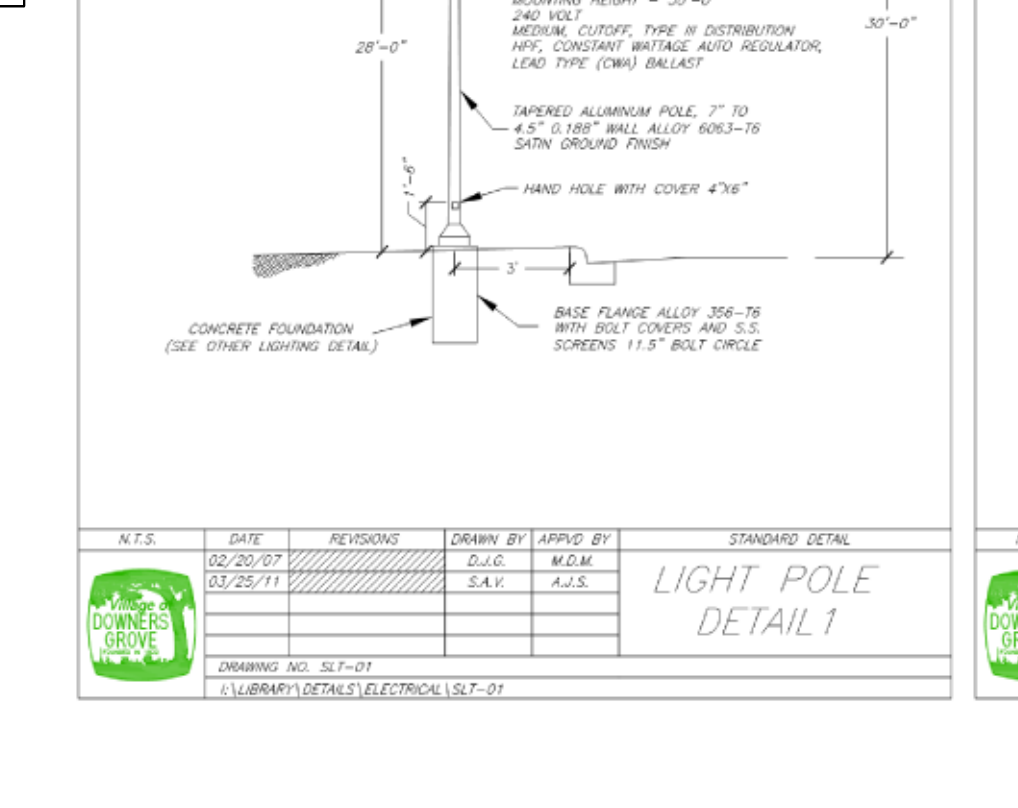
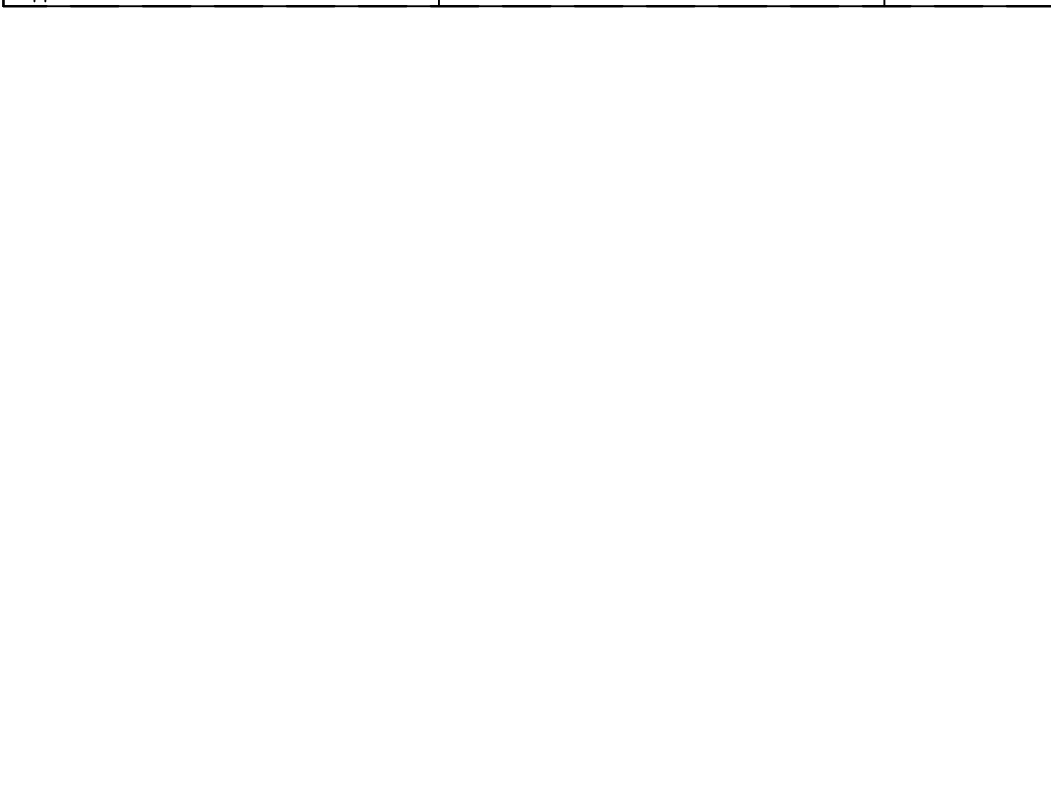
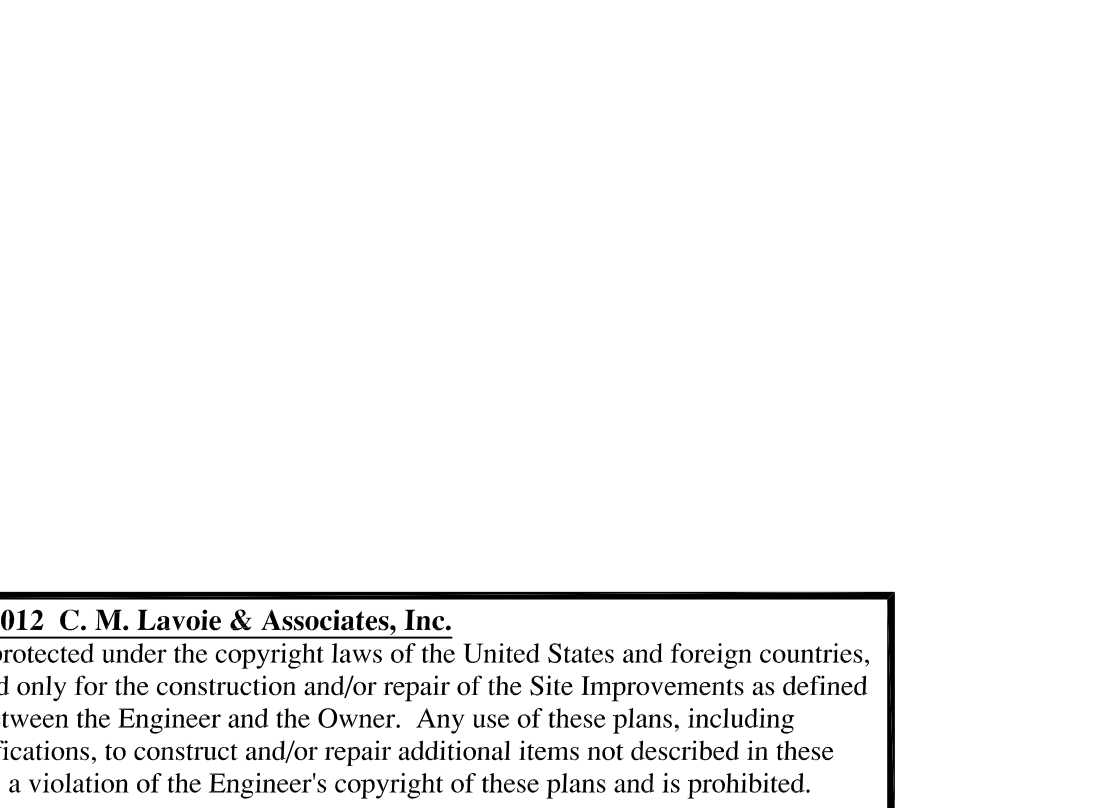
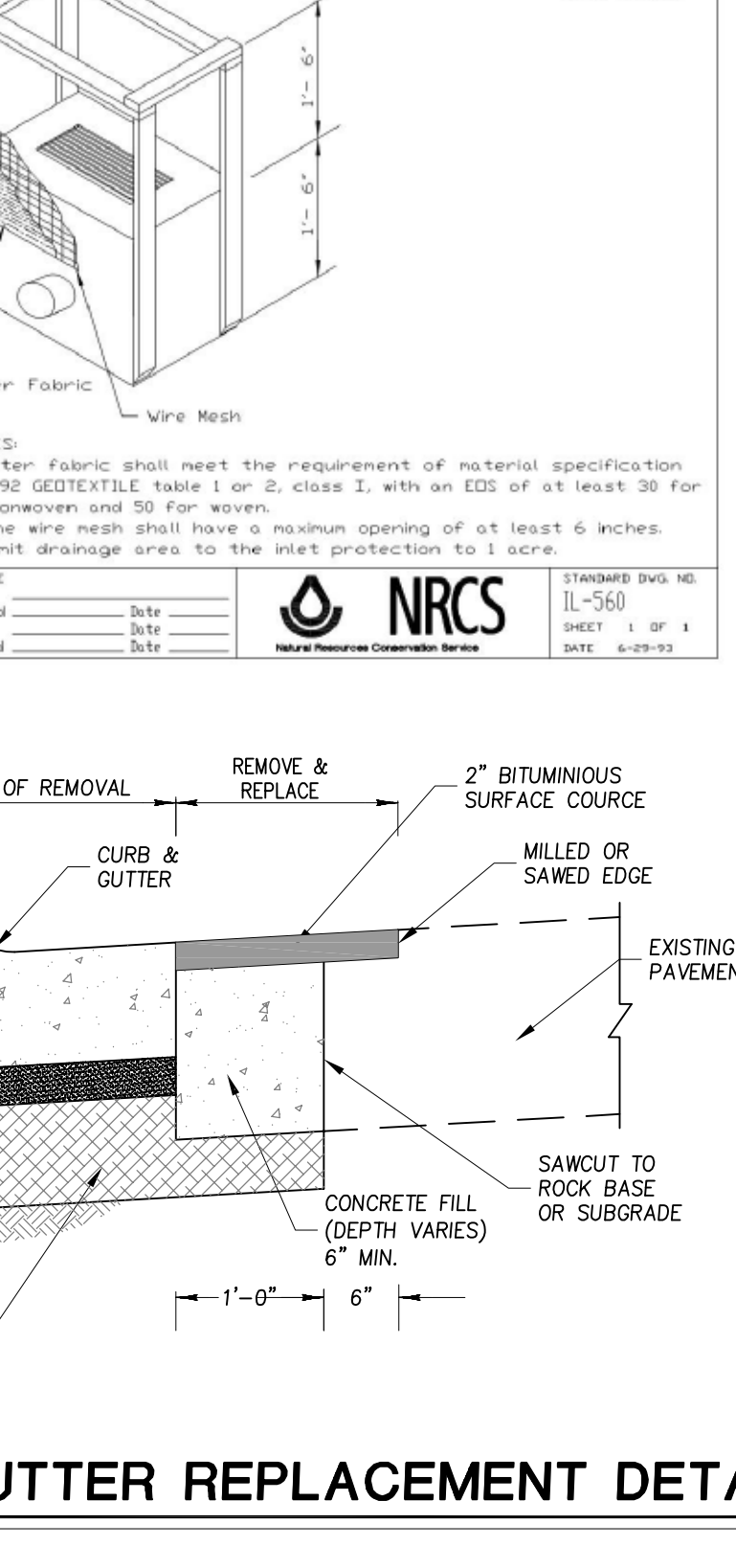
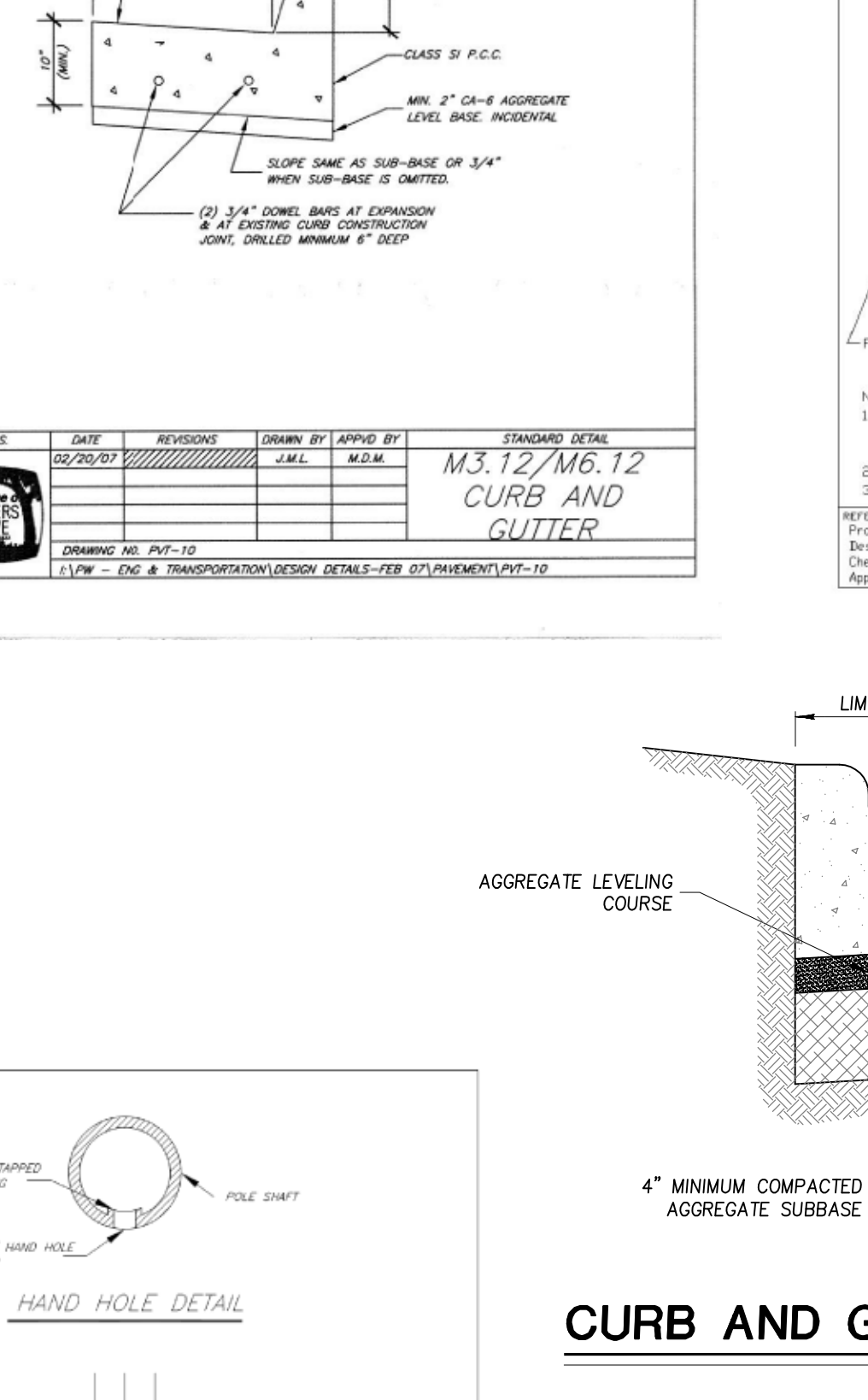
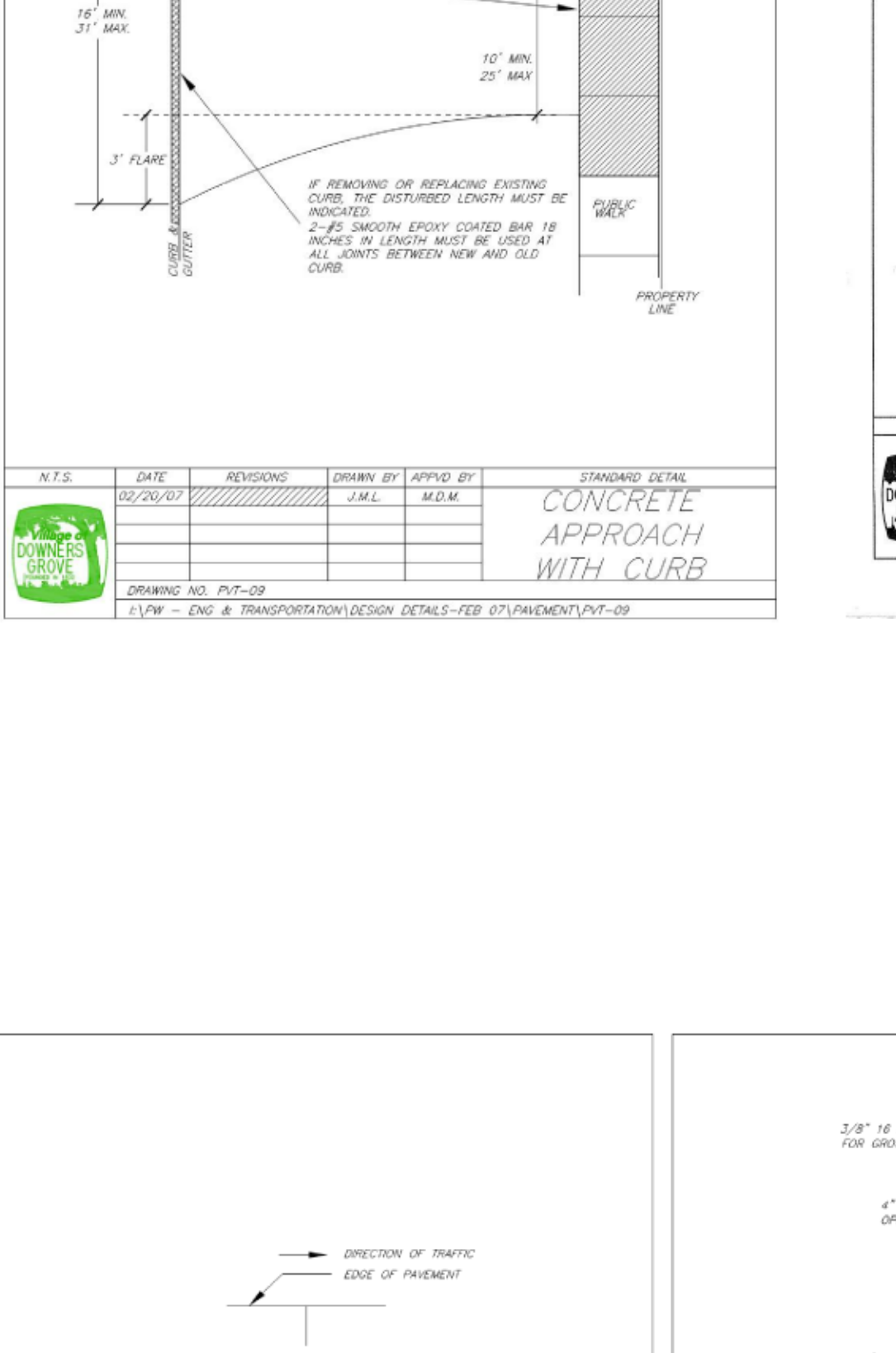
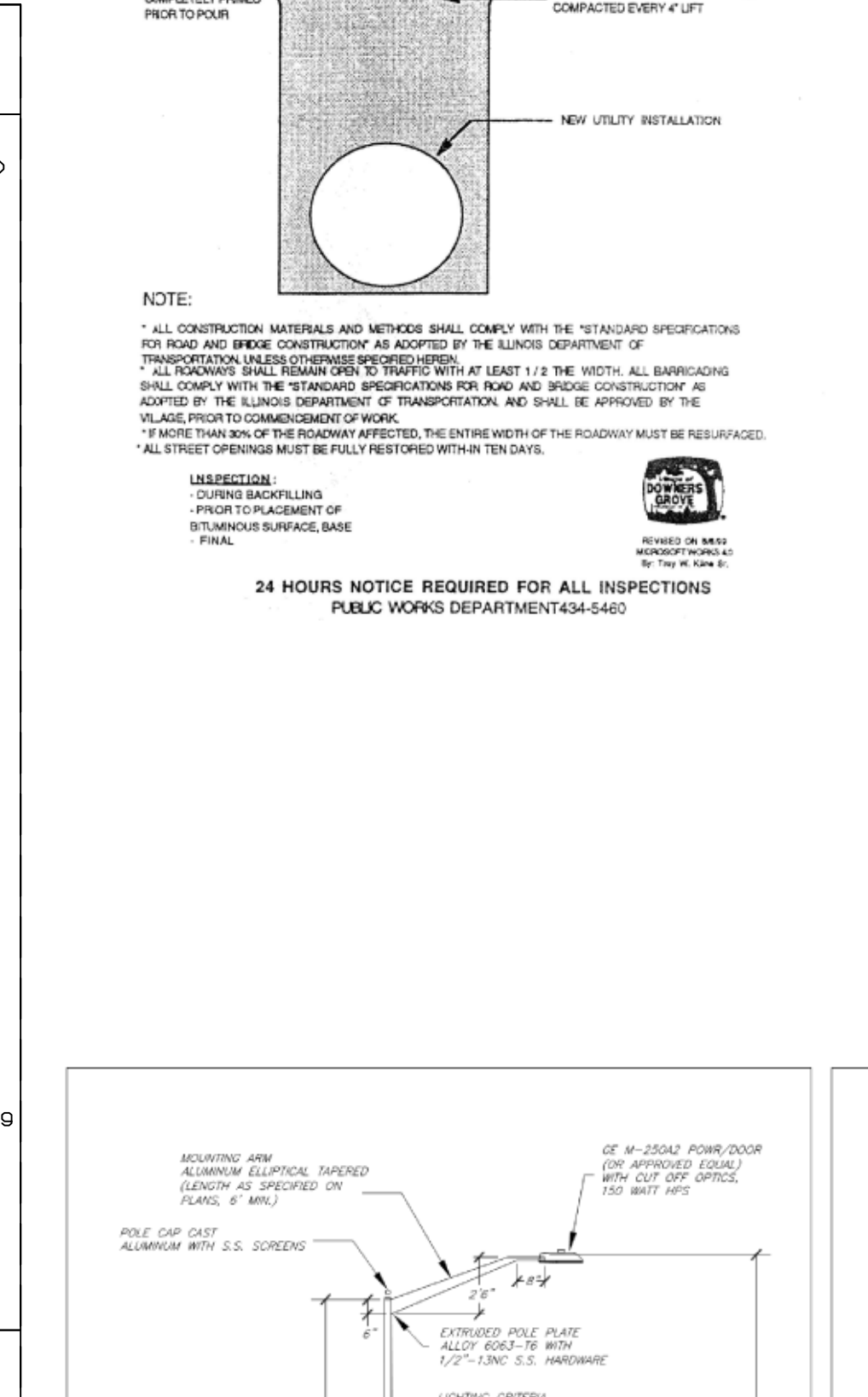
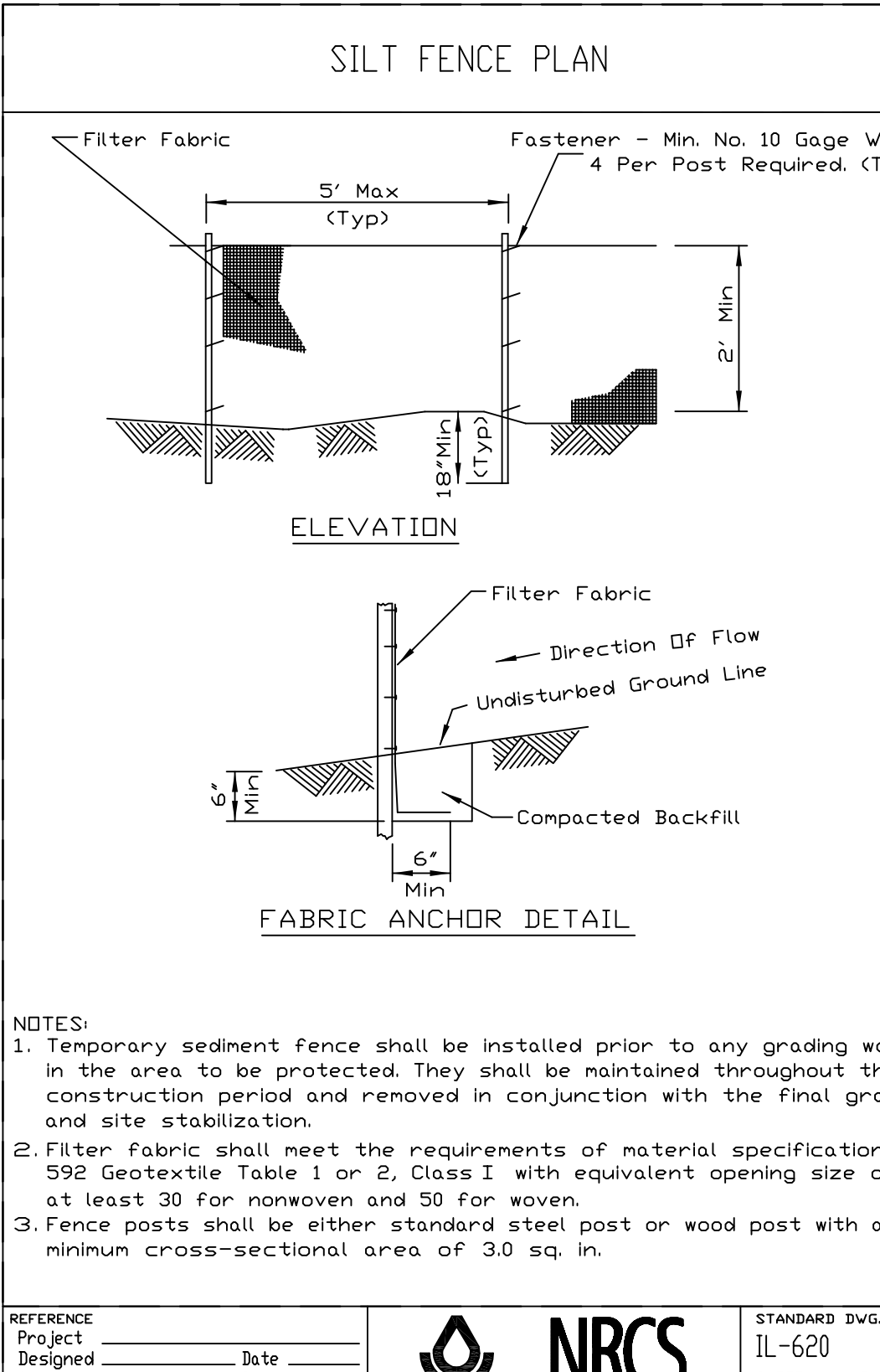
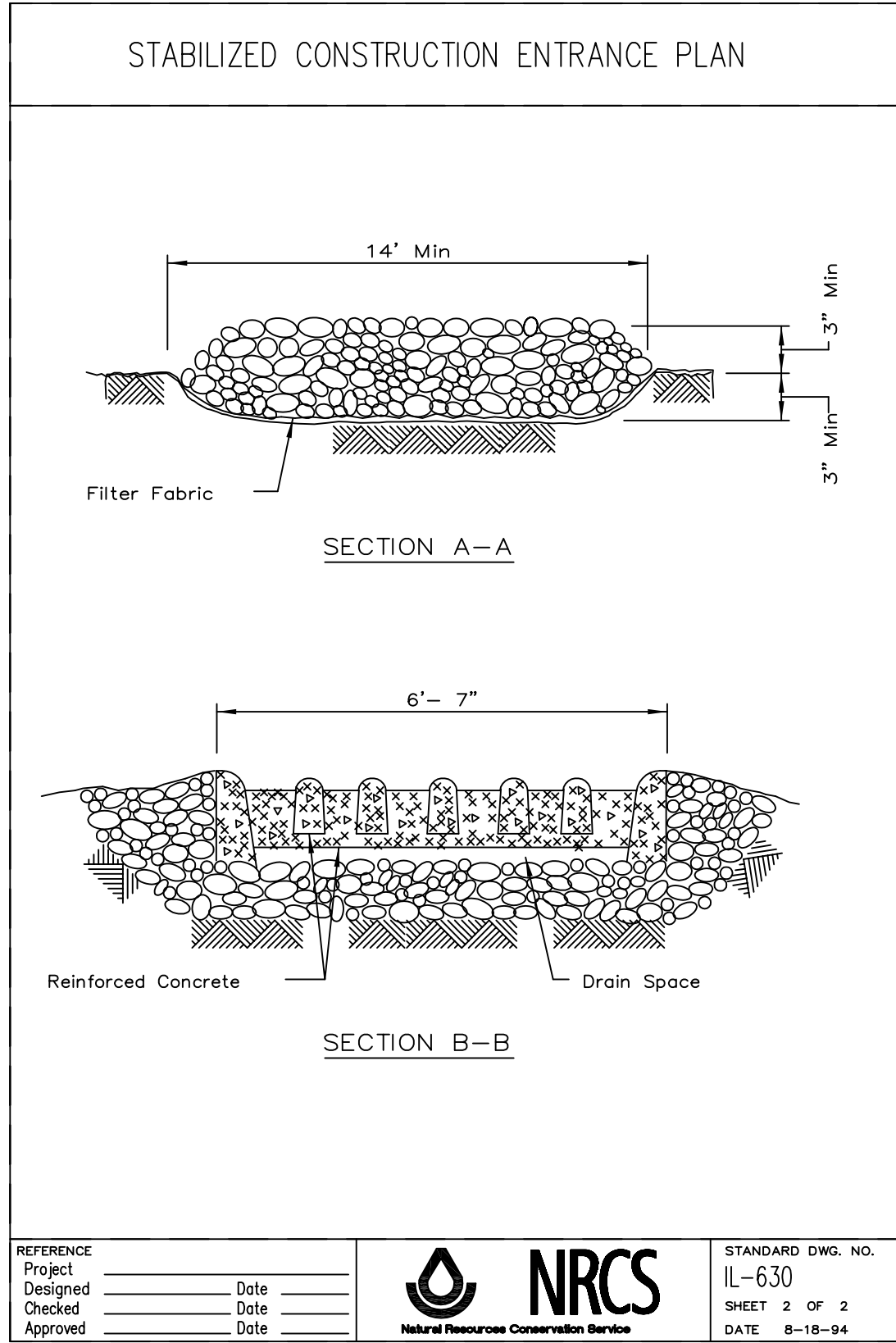
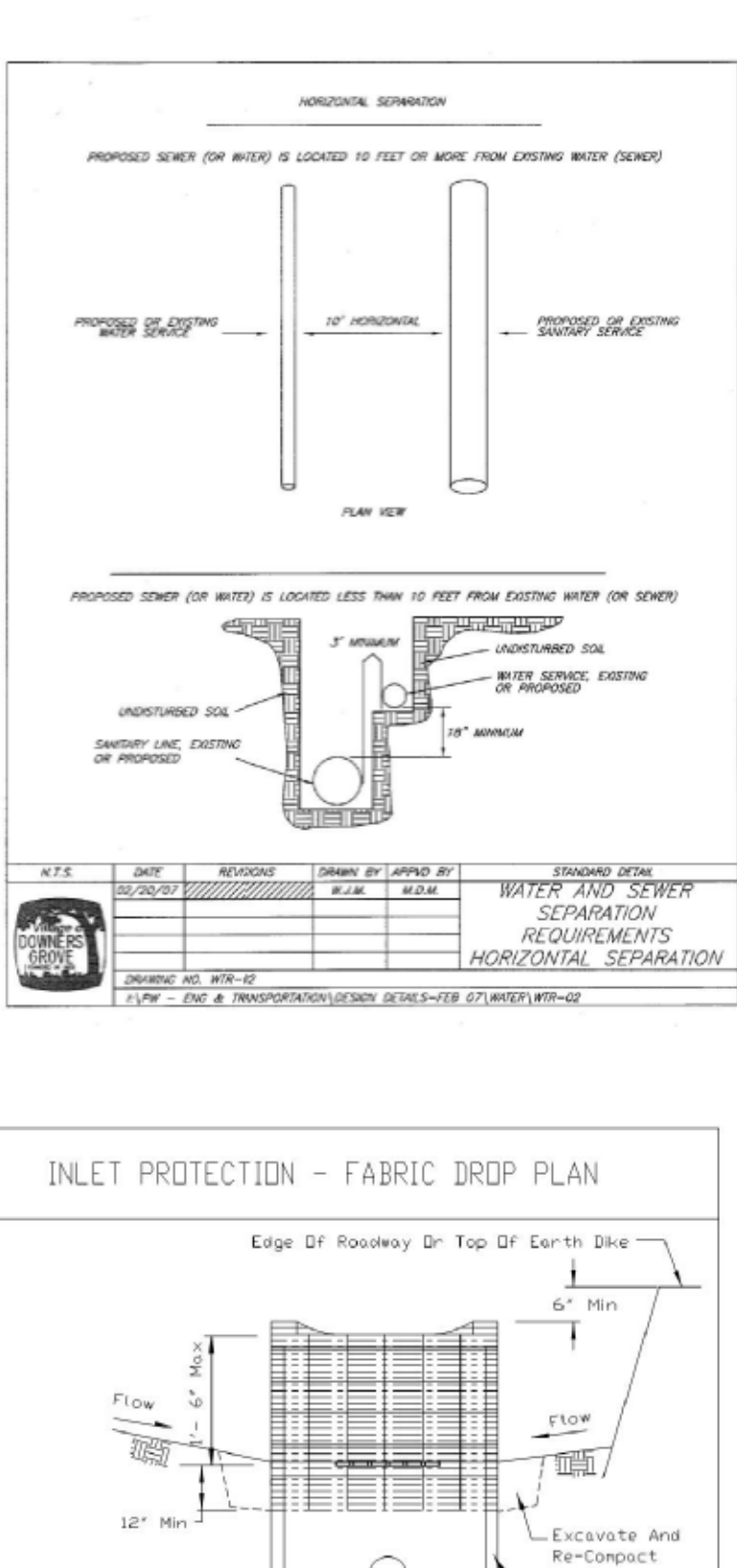
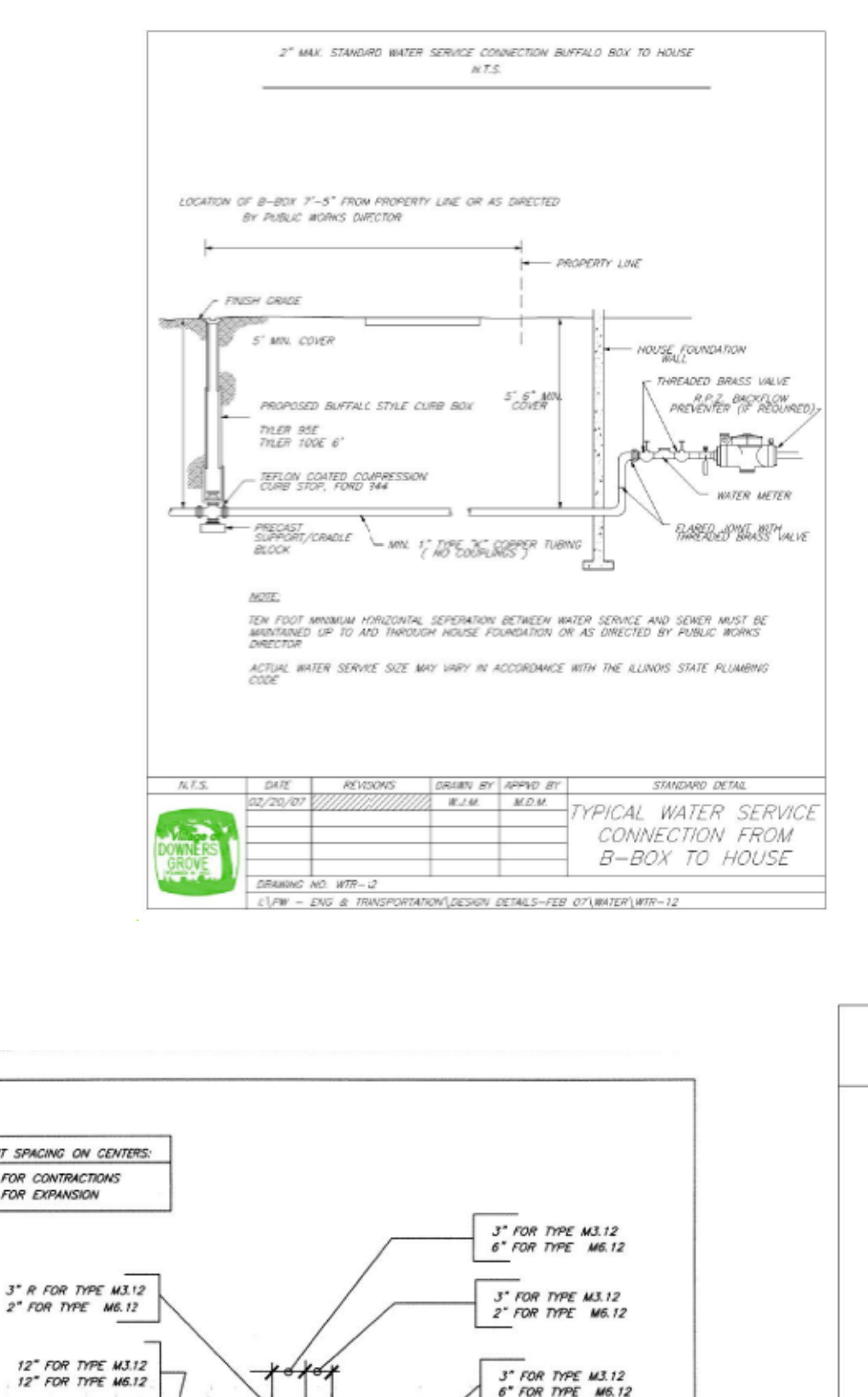
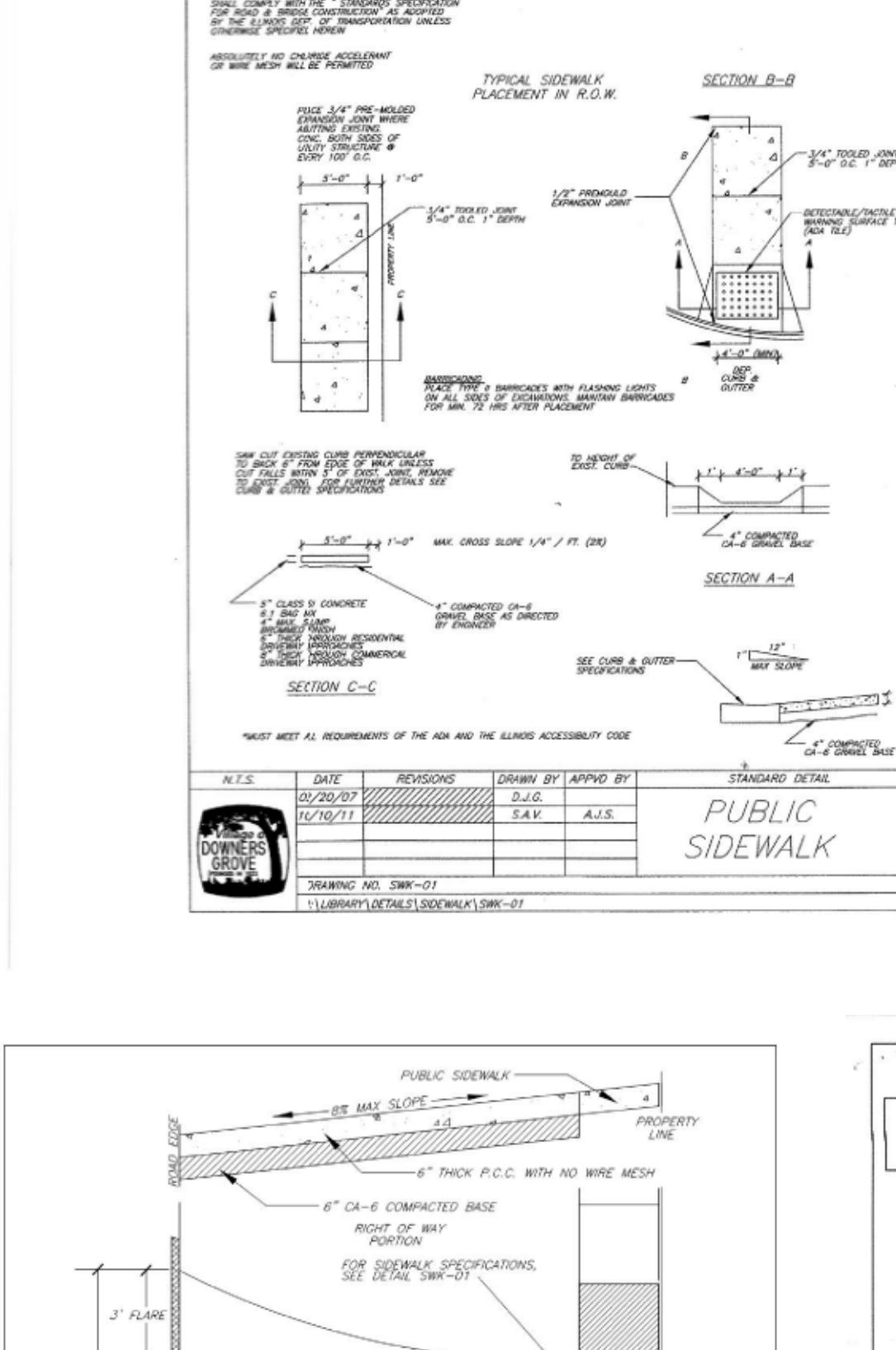
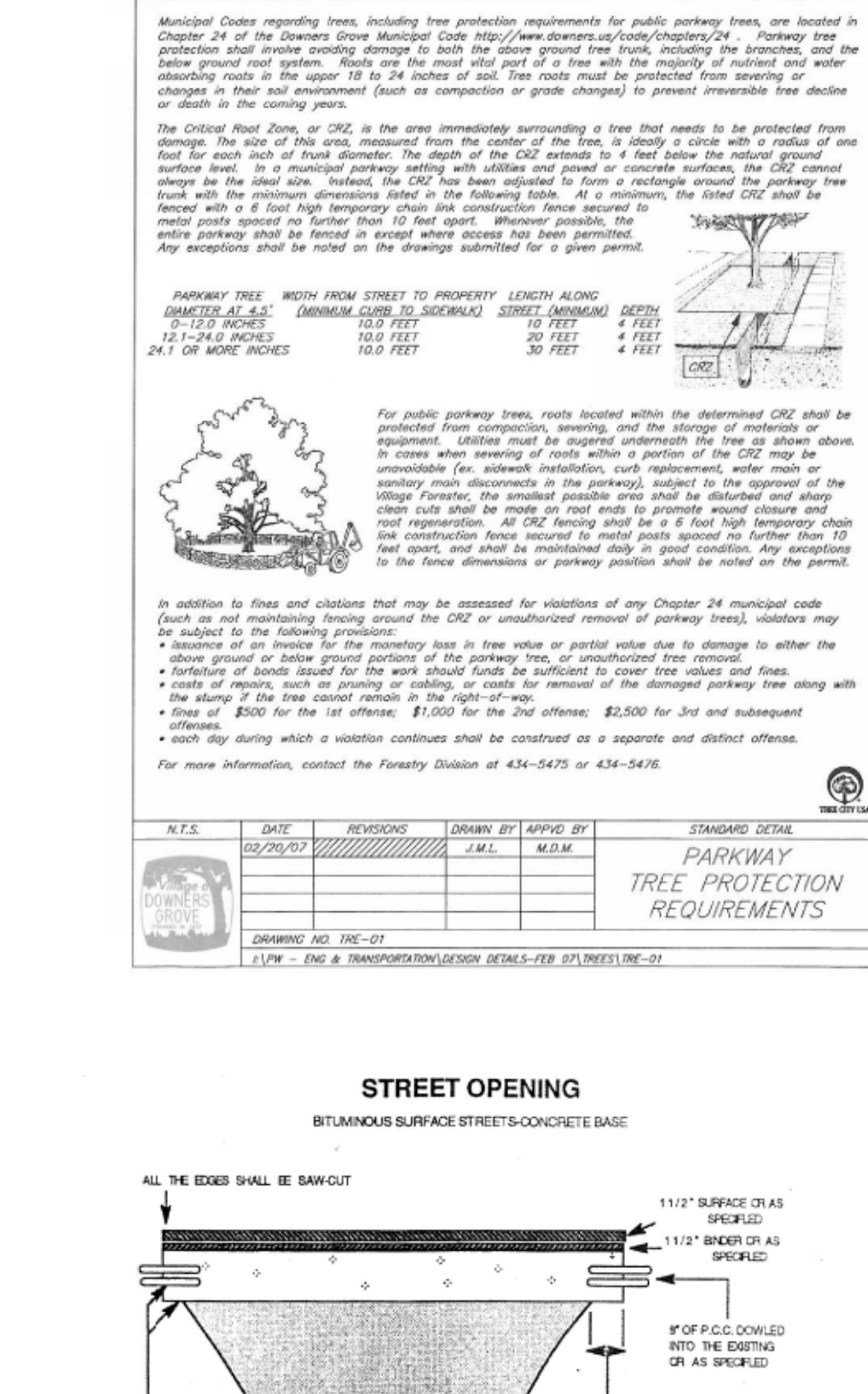
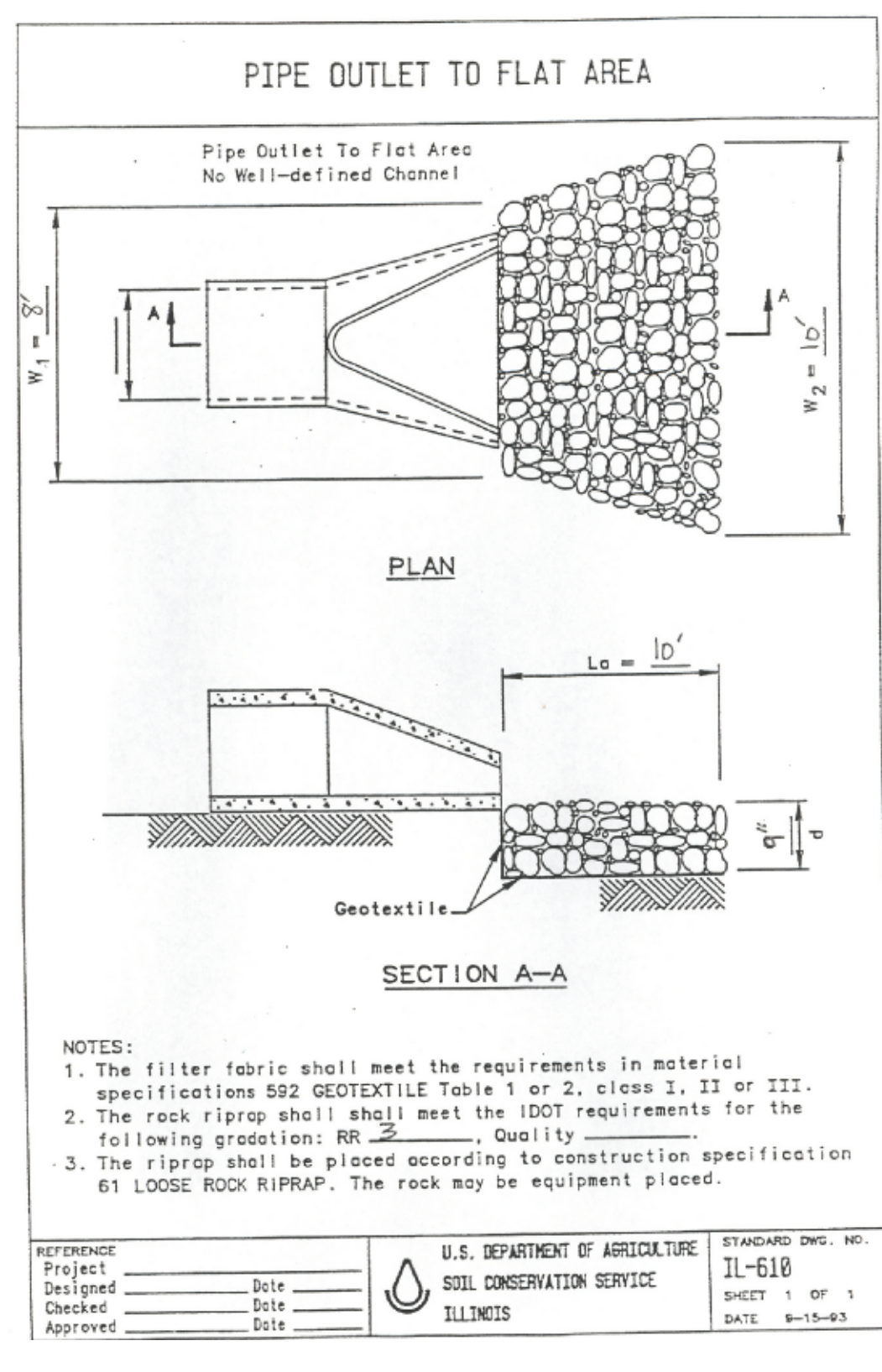
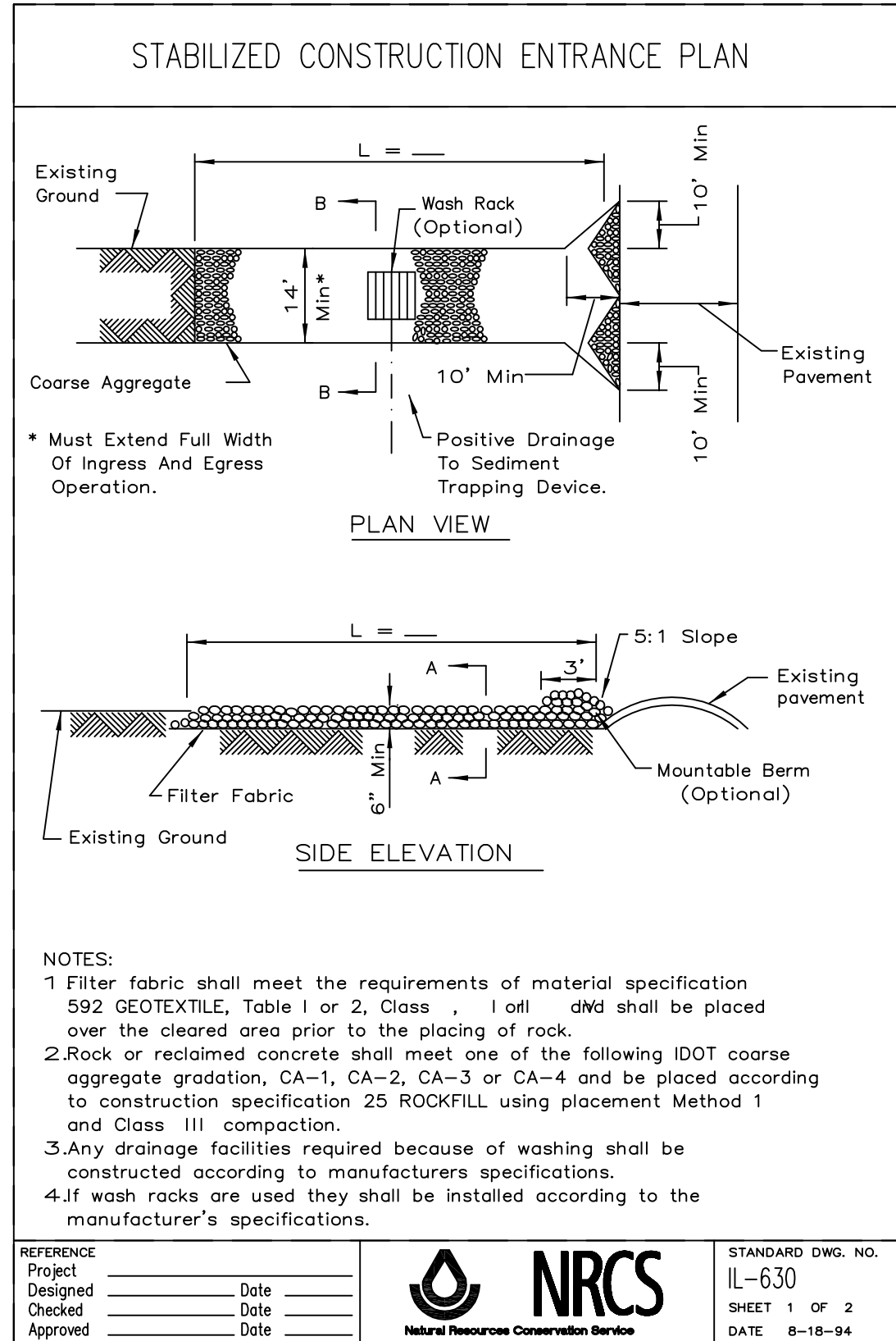
PROJECT NUMBER: 11-157

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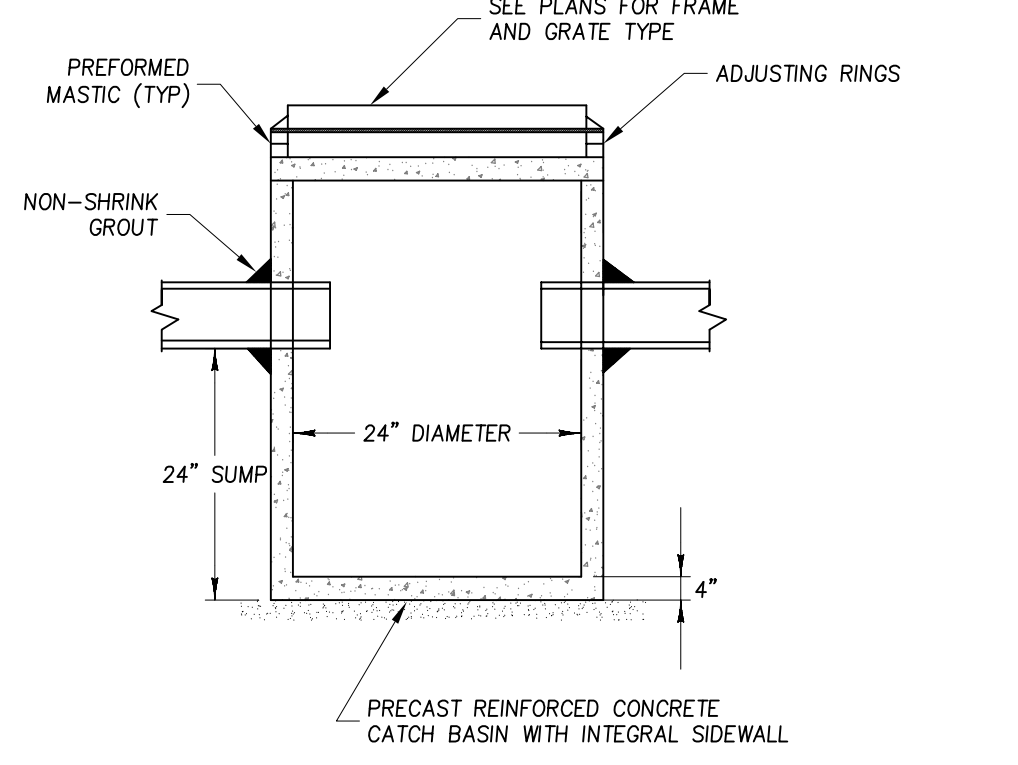
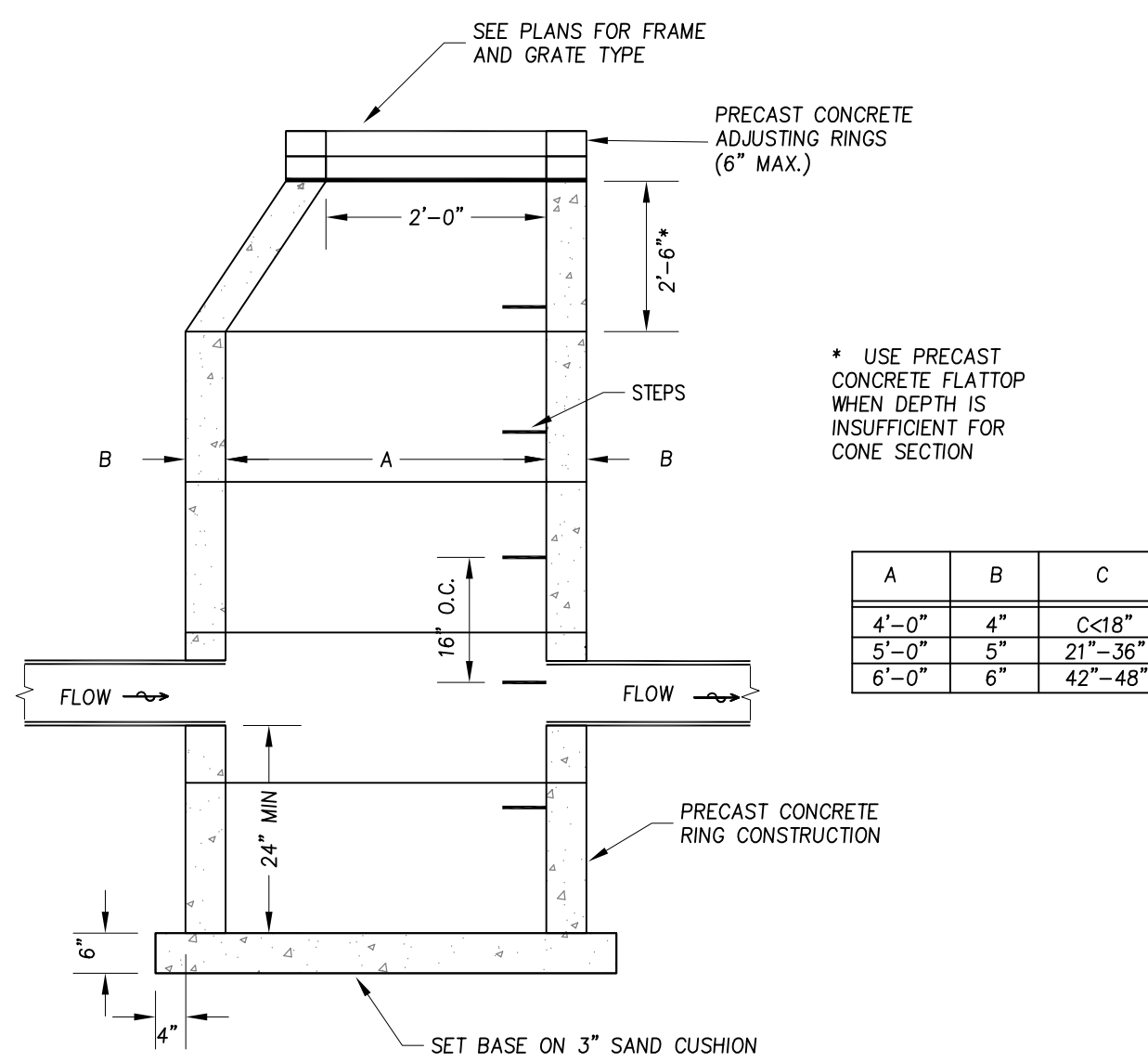






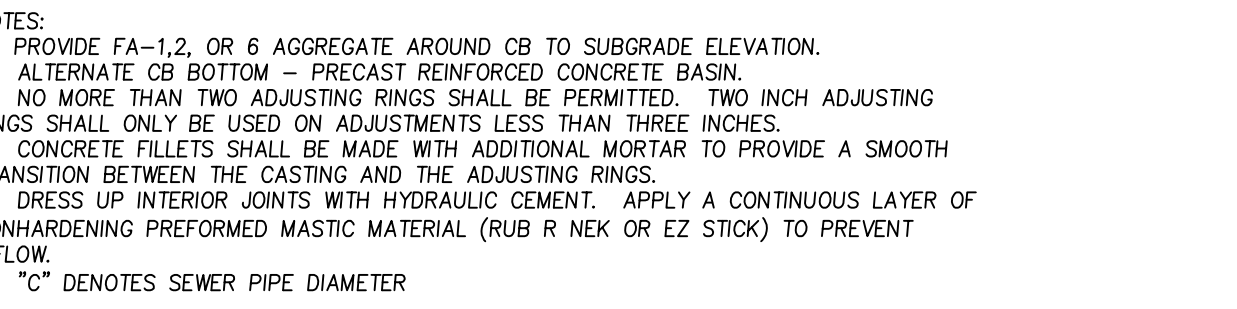


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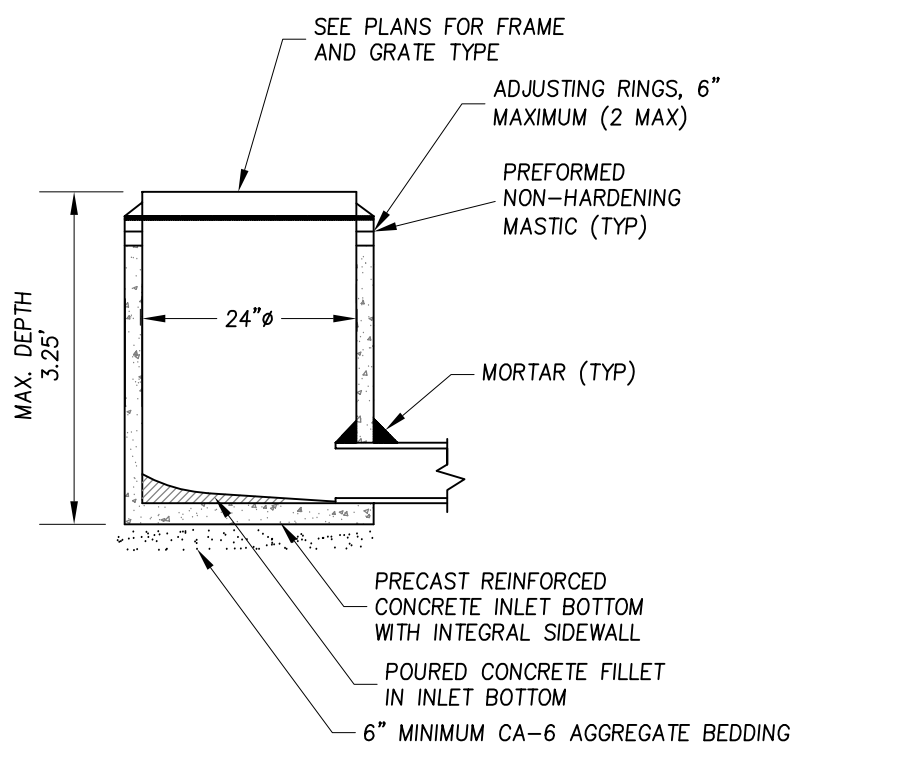
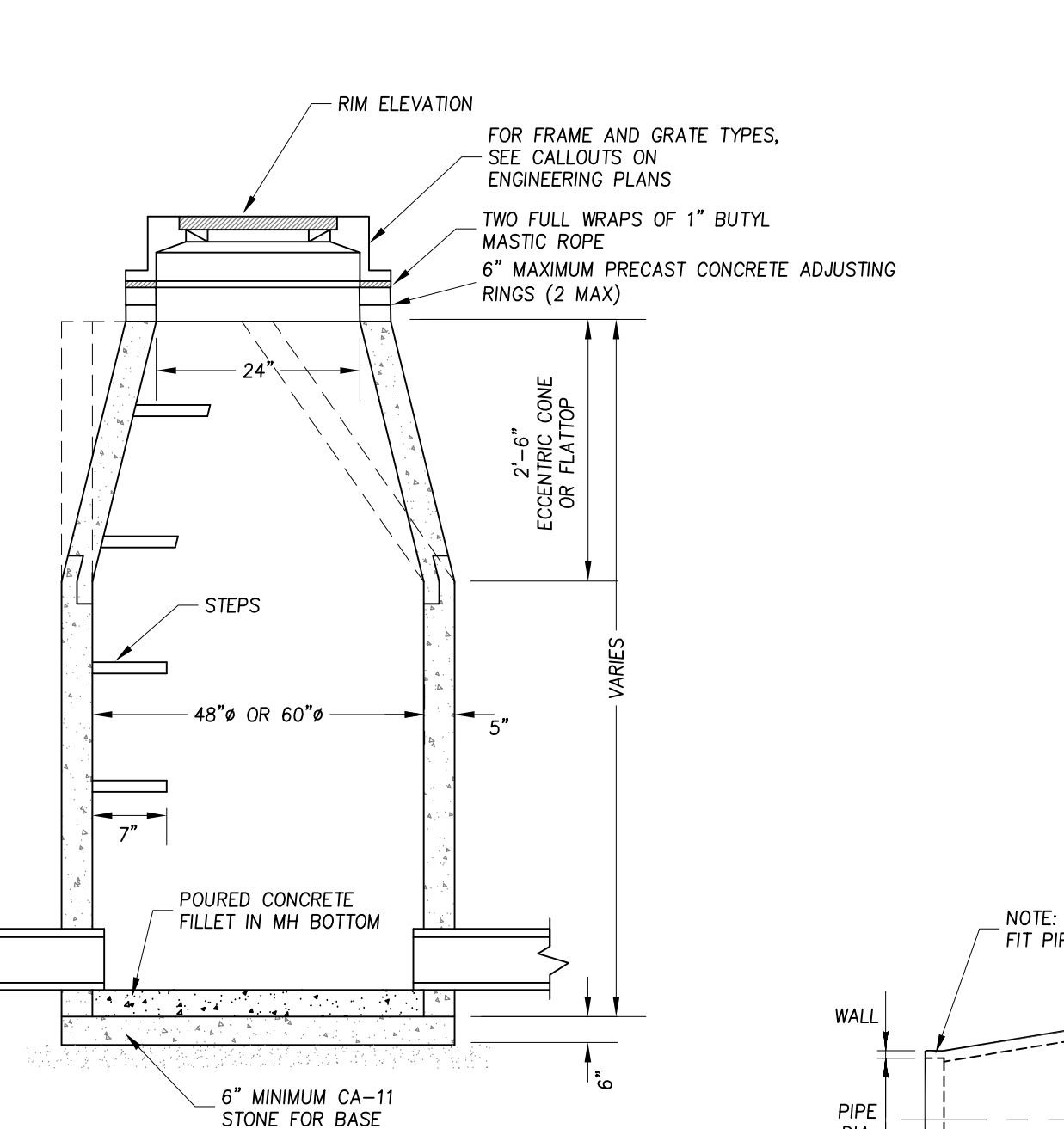
NOTES:  
 1. PROVIDE FA-1, 2, OR 6 AGGREGATE AROUND CB TO SUBGRADE ELEVATION.  
 2. ALTERNATE CB BOTTOM - PRECAST REINFORCED CONCRETE BASIN.  
 3. NO MORE THAN TWO ADJUSTING RINGS SHALL BE PERMITTED. TWO INCH ADJUSTING RINGS SHALL ONLY BE USED ON ADJUSTMENTS LESS THAN THREE INCHES.  
 4. CONCRETE FILLETS SHALL BE MADE WITH ADDITIONAL MORTAR TO PROVIDE A SMOOTH TRANSITION BETWEEN THE CASTING AND THE ADJUSTING RINGS.  
 5. DRESS UP INTERIOR JOINTS WITH HYDRAULIC CEMENT. APPLY A CONTINUOUS LAYER OF NONHARDENING PREFORMED MASTIC MATERIAL (RUB R NEK OR EZ STICK) TO PREVENT INFLOW.

**CATCH BASIN (TYPE C)** N.T.S.



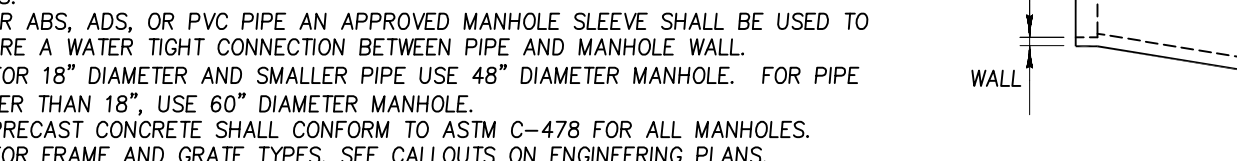
**CATCH BASIN (TYPE A)**

NOTES:  
 1. PROVIDE FA-1, 2, OR 6 AGGREGATE AROUND CB TO SUBGRADE ELEVATION.  
 2. ALTERNATE CB BOTTOM - PRECAST REINFORCED CONCRETE BASIN.  
 3. NO MORE THAN TWO ADJUSTING RINGS SHALL BE PERMITTED. TWO INCH ADJUSTING RINGS SHALL ONLY BE USED ON ADJUSTMENTS LESS THAN THREE INCHES.  
 4. CONCRETE FILLETS SHALL BE MADE WITH ADDITIONAL MORTAR TO PROVIDE A SMOOTH TRANSITION BETWEEN THE CASTING AND THE ADJUSTING RINGS.  
 5. DRESS UP INTERIOR JOINTS WITH HYDRAULIC CEMENT. APPLY A CONTINUOUS LAYER OF NONHARDENING PREFORMED MASTIC MATERIAL (RUB R NEK OR EZ STICK) TO PREVENT INFLOW.



NOTES:  
 1. PROVIDE FA-1, 2, OR 6 AGGREGATE AROUND CB TO SUBGRADE ELEVATION.  
 2. ALTERNATE CB BOTTOM - PRECAST REINFORCED CONCRETE BASIN.  
 3. NO MORE THAN TWO ADJUSTING RINGS SHALL BE PERMITTED. TWO INCH ADJUSTING RINGS SHALL ONLY BE USED ON ADJUSTMENTS LESS THAN THREE INCHES.  
 4. CONCRETE FILLETS SHALL BE MADE WITH ADDITIONAL MORTAR TO PROVIDE A SMOOTH TRANSITION BETWEEN THE CASTING AND THE ADJUSTING RINGS.  
 5. DRESS UP INTERIOR JOINTS WITH HYDRAULIC CEMENT. APPLY A CONTINUOUS LAYER OF NONHARDENING PREFORMED MASTIC MATERIAL (RUB R NEK OR EZ STICK) TO PREVENT INFLOW.

**INLET (TYPE A)** N.T.S.

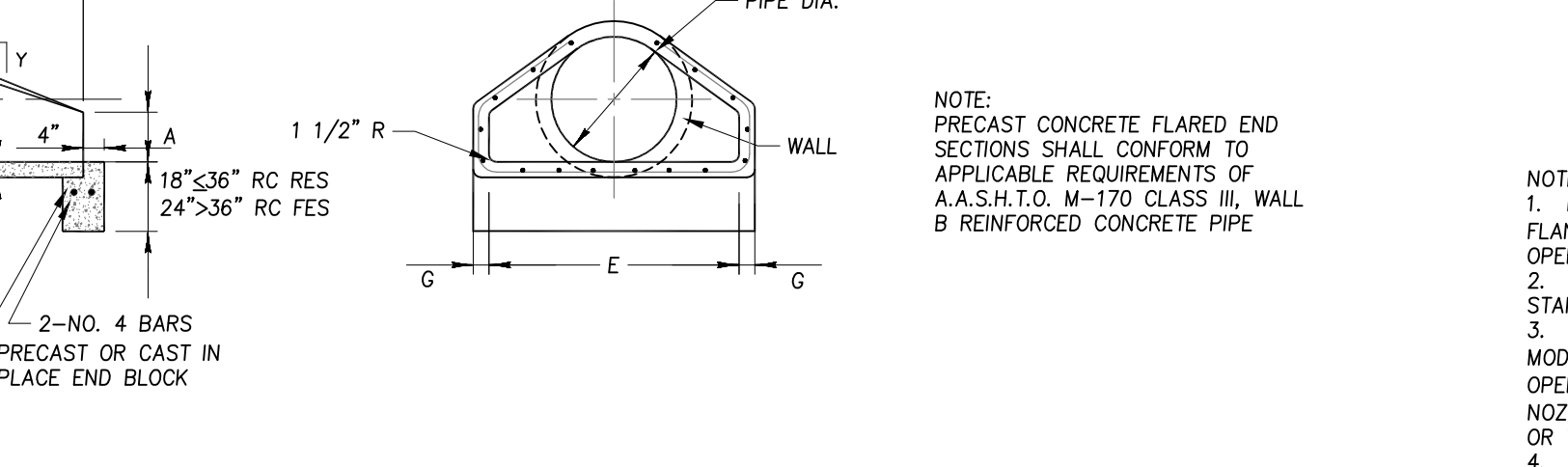


**MANHOLE (TYPE A)** N.T.S.

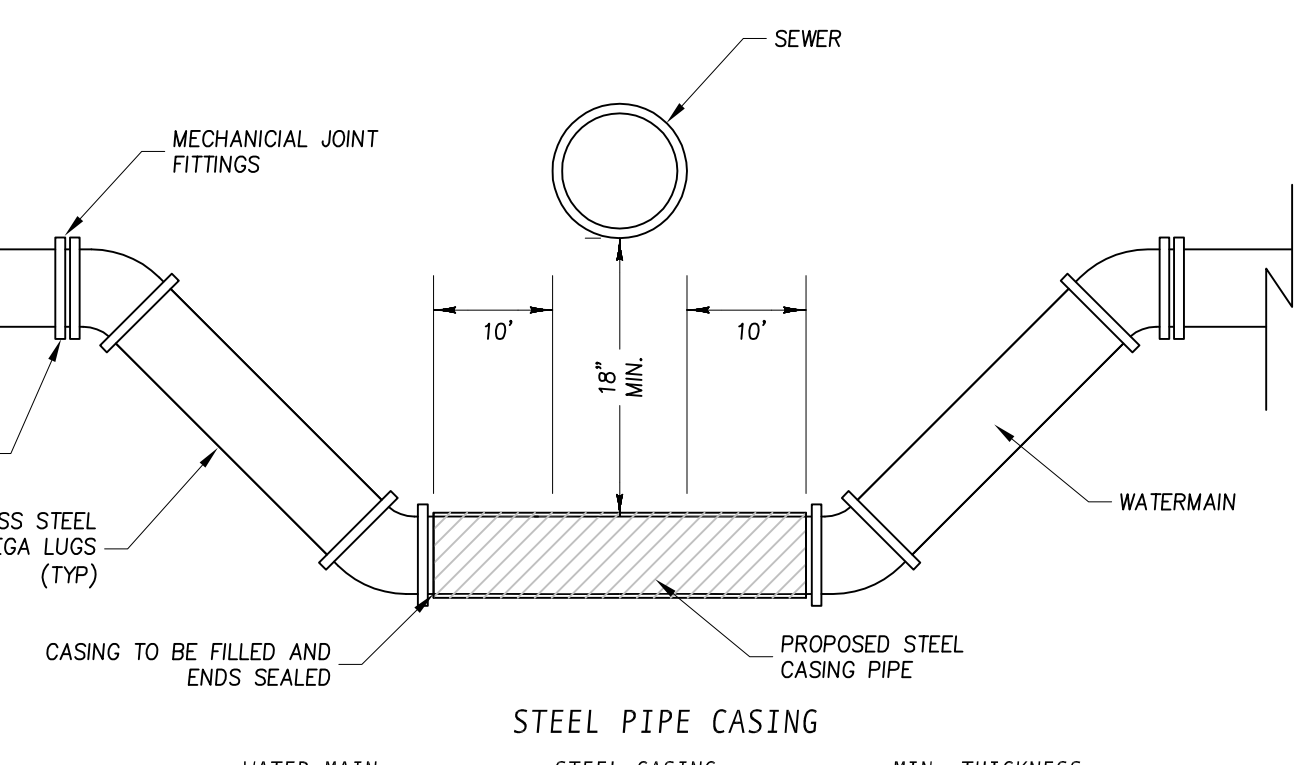


NOTES:  
 1. FOR ABS, ADS, OR PVC PIPE AN APPROVED MANHOLE SLEEVE SHALL BE USED TO ASSURE A WATER TIGHT CONNECTION BETWEEN PIPE AND MANHOLE WALL.  
 2. FOR 18" DIAMETER AND SMALLER PIPE USE 48" DIAMETER MANHOLE. FOR PIPE LARGER THAN 18", USE 60" DIAMETER MANHOLE.  
 3. PRECAST CONCRETE SHALL CONFORM TO ASTM C-478 FOR ALL MANHOLES.  
 4. FOR FRAME AND GRATE TYPES, SEE CALLOUTS ON ENGINEERING PLANS.

PIPE DIA.	APPROX. WT. (LBS.)	WALL	A	B	C	D	E	G	R	SLOPE
12"	530	2"	4"	2'-0"	4'- 7/8"	6'- 7/8"	2'-0"	2"	9"	3:1
15"	740	2 1/4"	6"	2'-3"	3'-10"	6'-1"	2'-6"	2 1/4"	11"	3:1
18"	990	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2 1/2"	12"	3:1
21"	1280	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	2 3/4"	13"	3:1
24"	1520	3"	9 1/2"	3'-7 1/2"	2'-8"	6'-1 1/2"	4'-0"	3"	14"	3:1
27"	1930	3 1/4"	10 1/2"	4'-0"	2'-1 1/2"	6'-1 1/2"	4'-6"	3 1/4"	14 1/2"	3:1
30"	2190	3 1/2"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	3 1/2"	15"	3:1
33"	3200	3 3/4"	1'-1 1/2"	4'-10 1/2"	3'-3 3/4"	8'-1 3/4"	5'-6"	3 3/4"	17 1/2"	3:1
36"	4100	4"	1'-3"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	4"	20"	3:1
42"	5380	4 1/2"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	4 1/2"	22"	3:1
48"	6550	5"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	5"	22"	3:1
54"	8240	5 1/2"	2'-3"	5'-5"	2'-11"	8'-4"	7'-6"	5 1/2"	24"	2.4:1



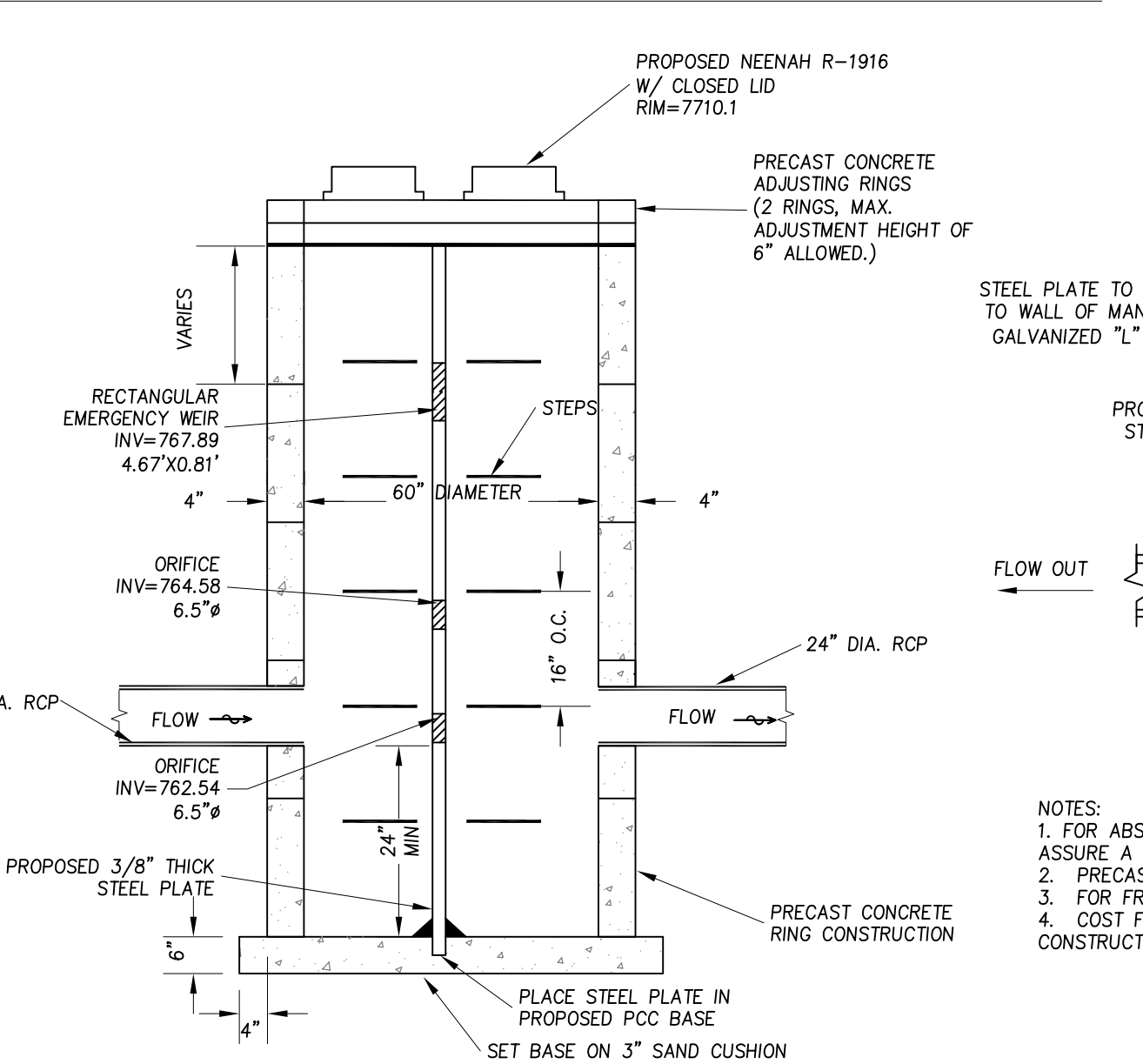
**PRECAST REINFORCED CONCRETE FLARED END SECTION** N.T.S.



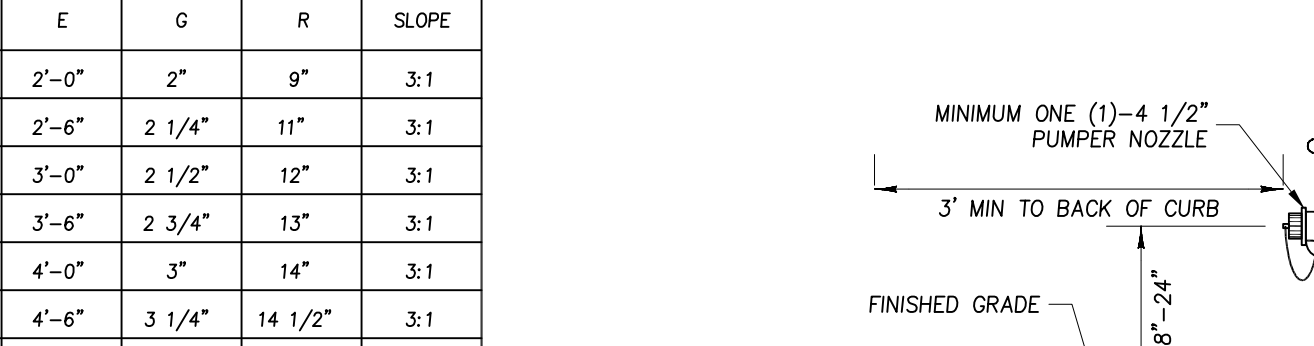
WATER MAIN DIA.	STEEL CASING PIPE DIA.	MIN. THICKNESS STEEL CASING
6"	12"	0.188"
8"	16"	0.219"
10"	18"	0.250"
12"	20"	0.281"
14"	24"	0.344"
16"	30"	0.344"
18"	30"	0.406"
20"	30"	0.406"
24"	30"	0.406"

NOTES:  
 1. THIS TYPE OF CROSSING CASING SHALL BE INSTALLED WHENEVER THE WATERMAIN IS CONSTRUCTED BELOW SEWERS.  
 2. THE STEEL CASING SHALL BE ONE CONTINUAL SECTION (NO JOINTS).

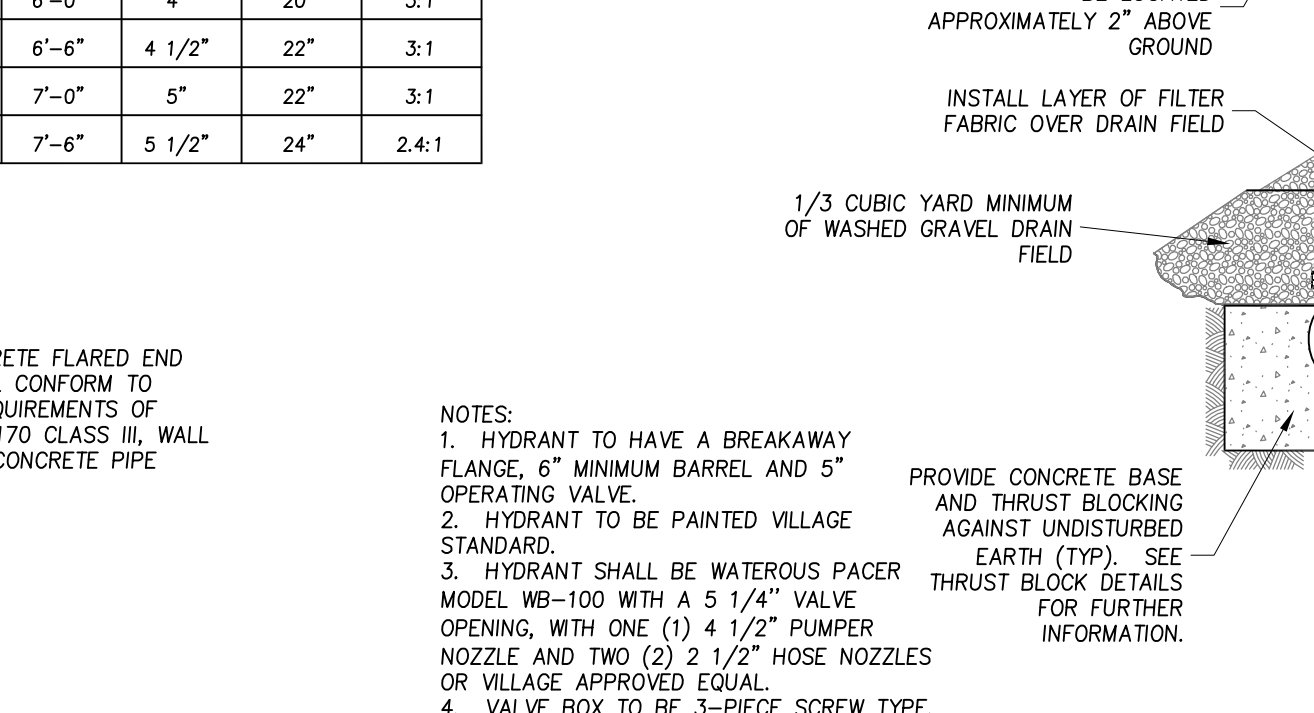
**CASING PIPE FOR WATERMAIN CROSSINGS** N.T.S.



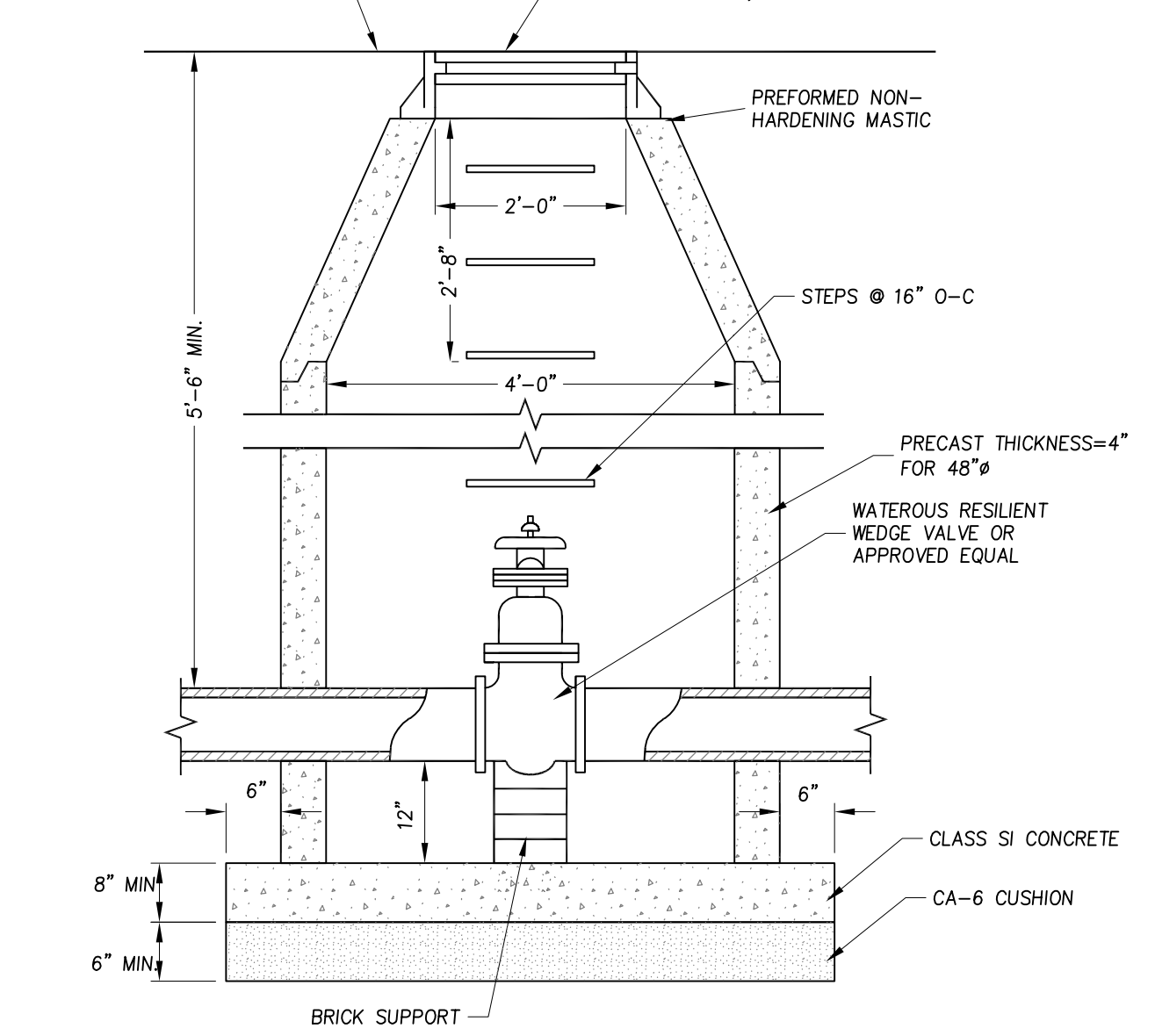
**WATER TIGHT VALVE VAULT** N.T.S.



**OUTLET CONTROL STRUCTURE** N.T.S.

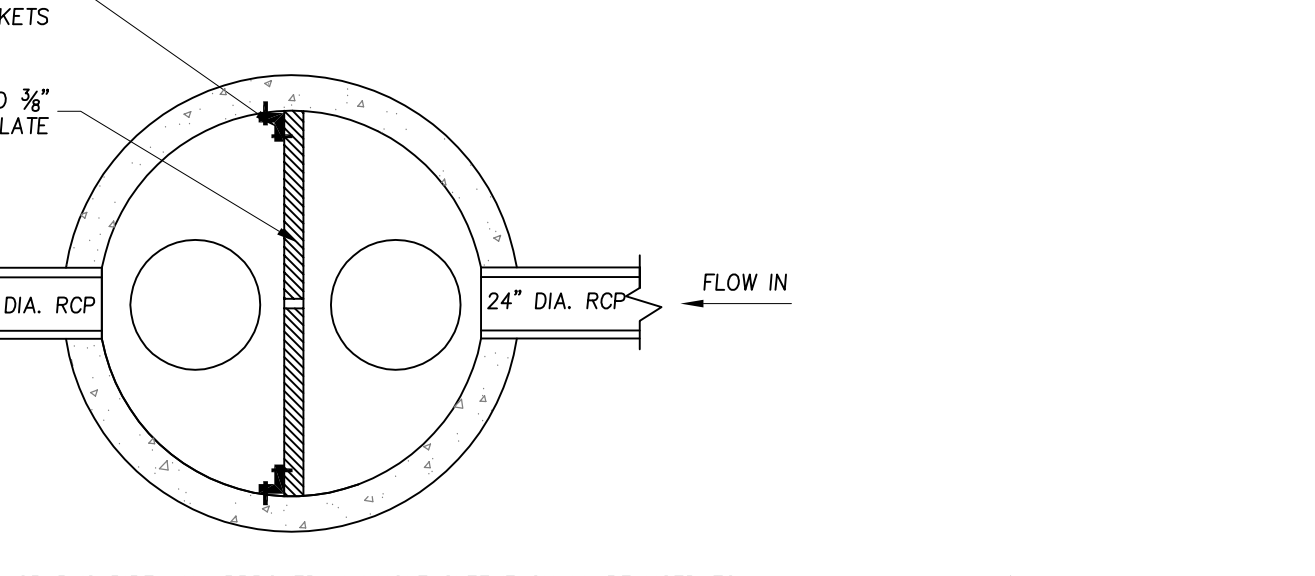


**FIRE HYDRANT AND VALVE** N.T.S.



NOTES:  
 1. IN PAVED AREAS, ALL TRENCHES SHALL BE JETTED IN CONFORMANCE WITH SECTION 550.07 (METHOD 3) OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED JANUARY 1, 2007.  
 2. WHEN THE FRAME DOES NOT MEET PROPOSED ELEVATION, A MAXIMUM OF TWO PRECAST CONCRETE RINGS MAY BE USED TO A MAXIMUM OF 6 INCHES. THE RING(S) SHALL BE SET IN A BED OF NON-HARDENING MASTIC (RUB-R-NEK OR EQUAL).  
 3. THE VALVE MUST ALIGN WITH THE CENTER OF VAULT OPENING.  
 4. BUTTERFLY VALVES REQUIRE ECCENTRIC CONES.  
 5. DRESS UP INTERIOR JOINTS WITH HYDRAULIC CEMENT.

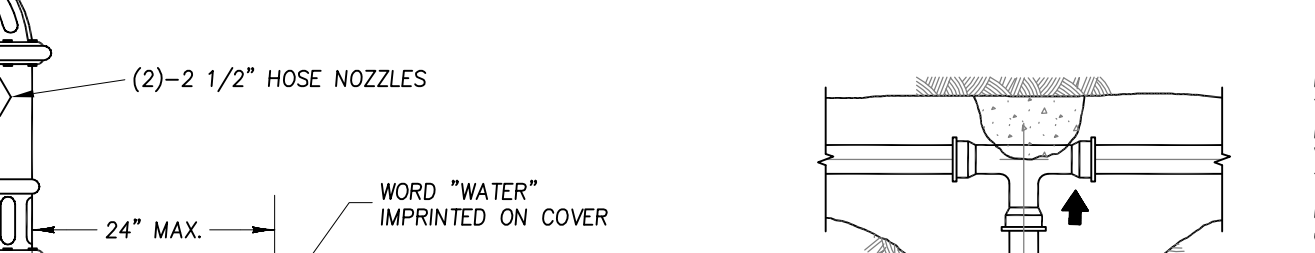
**TRENCH SECTION (WATERMAIN)** N.T.S.



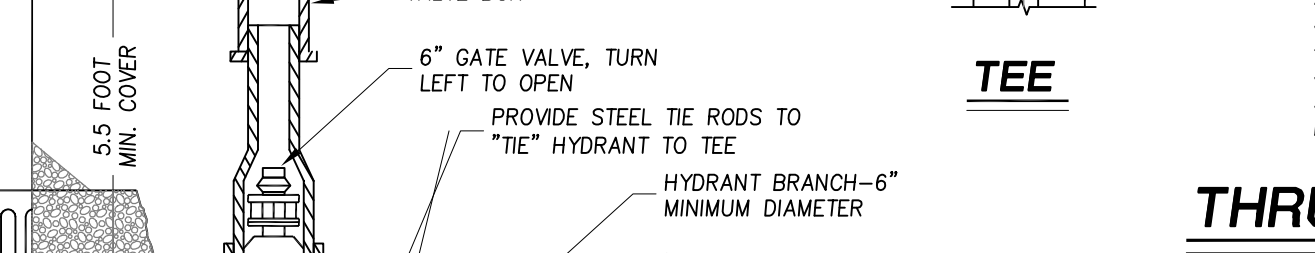
**TRENCH SECTION (STORM SEWER)** N.T.S.



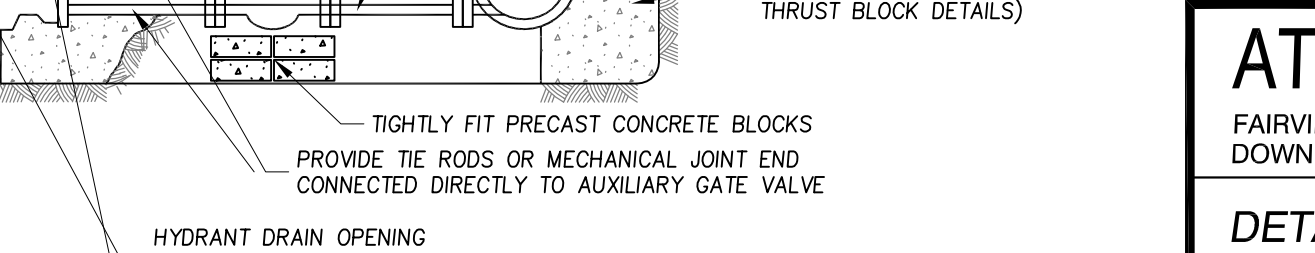
**PLUGGED TEE**



**PLUGGED CROSS**



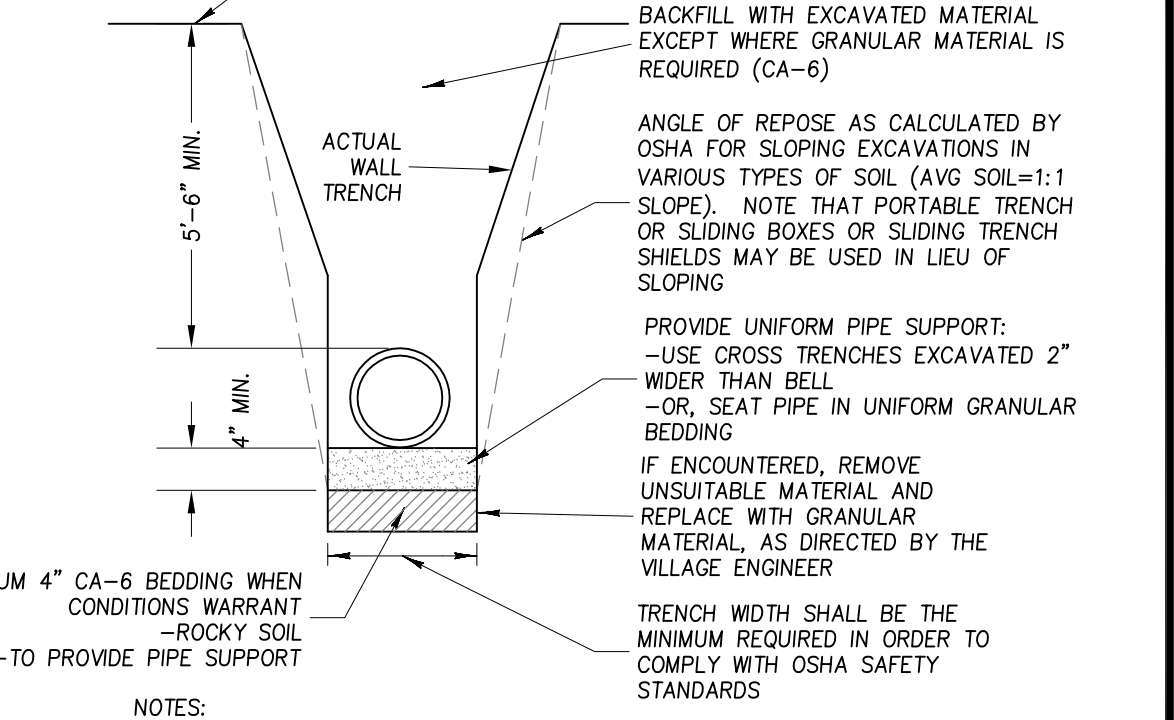
**TEE**



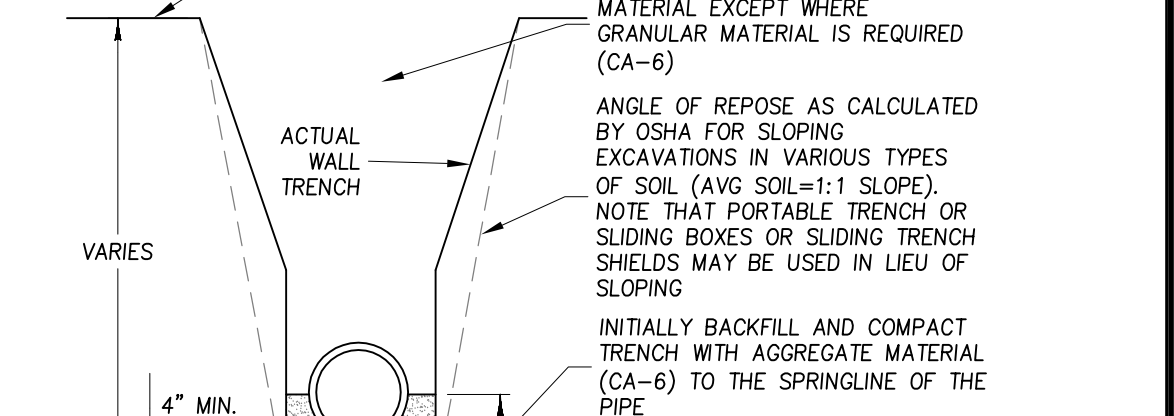
**90 DEG ELBOW**



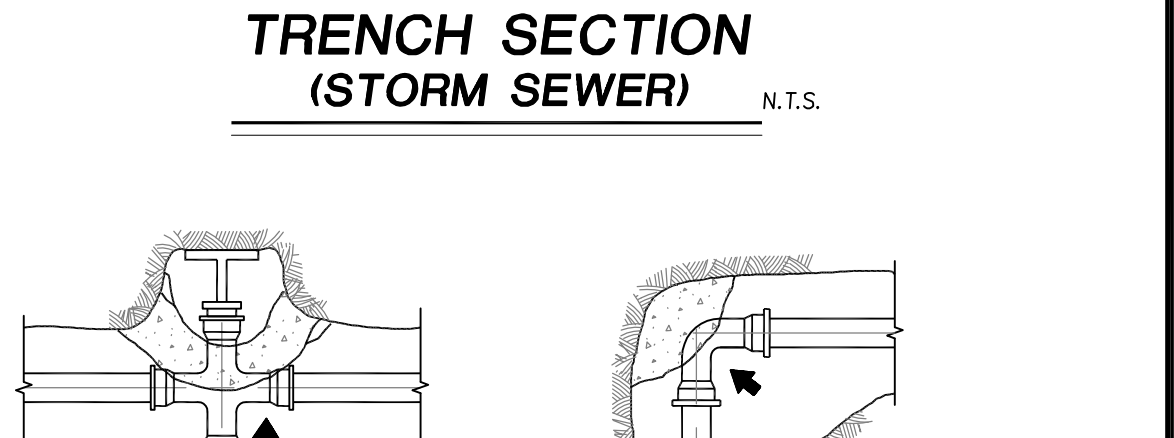
**VERTICAL BEND**



NOTES:  
 1. IN PAVED AREAS, ALL TRENCHES SHALL BE JETTED IN CONFORMANCE WITH SECTION 550.07 (METHOD 3) OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED JANUARY 1, 2007.  
 2. BACKFILL WITH EXCAVATED MATERIAL EXCEPT WHERE GRANULAR MATERIAL IS REQUIRED (CA-6).  
 3. ANGLE OF REPOSE AS CALCULATED BY OSHA FOR SLOPING EXCAVATIONS IN VARIOUS TYPES OF SOIL (AVG SOIL=1:1 SLOPE). NOTE THAT PORTABLE TRENCH OR SLIDING BOXES OR SLIDING TRENCH SHIELDS MAY BE USED IN LIEU OF SLOPING.  
 4. PROVIDE UNIFORM PIPE SUPPORT:  
 -USE CROSS TRENCHES EXCAVATED 2" WIDER THAN BELL.  
 -COR. SEAT PIPE IN UNIFORM GRANULAR BEDDING.  
 5. IF ENCOUNTERED, REMOVE UNSUITABLE MATERIAL AND REPLACE WITH GRANULAR MATERIAL AS DIRECTED BY THE VILLAGE ENGINEER.  
 6. TRENCH WIDTH SHALL BE THE MINIMUM REQUIRED IN ORDER TO COMPLY WITH OSHA SAFETY STANDARDS.  
 7. TO PROVIDE PIPE SUPPORT.



NOTES:  
 1. IN PAVED AREAS, ALL TRENCHES SHALL BE JETTED IN CONFORMANCE WITH SECTION 550.07 (METHOD 3) OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED JANUARY 1, 2007.  
 2. BACKFILL WITH EXCAVATED MATERIAL EXCEPT WHERE GRANULAR MATERIAL IS REQUIRED (CA-6).  
 3. ANGLE OF REPOSE AS CALCULATED BY OSHA FOR SLOPING EXCAVATIONS IN VARIOUS TYPES OF SOIL (AVG SOIL=1:1 SLOPE). NOTE THAT PORTABLE TRENCH OR SLIDING BOXES OR SLIDING TRENCH SHIELDS MAY BE USED IN LIEU OF SLOPING.  
 4. INITIALLY BACKFILL AND COMPACT TRENCH WITH AGGREGATE MATERIAL (CA-6) TO THE SPRINGLINE OF THE PIPE.  
 5. IF ENCOUNTERED, REMOVE UNSUITABLE MATERIAL AND REPLACE WITH GRANULAR MATERIAL AS DIRECTED BY THE VILLAGE ENGINEER.  
 6. TRENCH WIDTH SHALL BE THE MINIMUM REQUIRED IN ORDER TO COMPLY WITH OSHA SAFETY STANDARDS.



**THRUST BLOCK INSTALLATION** N.T.S.

**ATWOOD SUBDIVISION**  
 FAIRVIEW AVENUE BETWEEN 66TH STR. AND 67TH CT.  
 DOWNERS GROVE, ILLINOIS

**DETAILS**

DRAWN BY: SWL	CHECKED BY: TRH
SCALE: N.T.S.	DATE: 12-01-11
JOB NUMBER: 11-157	SHEET: 4 OF 12

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 Plainfield, Illinois 60544  
 voice 815-254-0505  
 fax 815-436-5158

**C.M. Lavoie & Associates, Inc.**

#	DATE	DESCRIPTION
1	01-16-2012	REVISED PER VILLAGE
2	02-07-2012	REVISED PER VILLAGE
3		
4		
5		
6		
7		
8		

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**DOWNERS GROVE SANITARY DISTRICT**

- DOWNERS GROVE SANITARY DISTRICT STANDARDS AND ORDINANCES SHALL GOVERN ALL SANITARY SEWER CONSTRUCTION.
- THE SEWER CONTRACTOR SHALL SCHEDULE WITH THE DISTRICT A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF CONSTRUCTION.
- THE SEWER CONTRACTOR SHALL SCHEDULE WITH THE DISTRICT INSPECTIONS OF THE SANITARY SEWER CONSTRUCTION 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION.
- THE CONNECTION INTO THE EXISTING MANHOLE SHALL BE MADE BY CORE DRILLING THE MANHOLE AND INSTALLING A RUBBER BOOT TO INSURE A WATER TIGHT SEAL. THE MANHOLE BENCH SHALL ALSO BE REFORMED TO PROVIDE A SMOOTH FLOWING INVERT.
- THE CONSTRUCTED SEWERS SHALL PASS ALL DISTRICT REQUIREMENTS FOR AIR, ALIGNMENT, DEFLECTION AND MANHOLE VACUUM TESTS (SEE ENCLOSURES).
- THE CONSTRUCTED SEWERS MUST BE TELEVIEWED UNDER SIMULATED FLOW CONDITIONS. DISTRICT PERSONNEL MUST BE PRESENT DURING TELEVIEWING. NO SAGS GREATER THAN 25% OF THE PIPE DIAMETER WILL BE ACCEPTED. ALL UNACCEPTABLE SAGS MUST BE REPLACED IN A MANNER ACCEPTABLE TO THE DISTRICT.
- UPON CONNECTION TO SEWER THE SEPTIC TANK MUST BE PUMPED OUT AND THE TANK BACK FILLED AND ABANDONED PER DU PAGE COUNTY HEALTH DEPARTMENT REQUIREMENTS.
- ALL FILL MUST BE IN PLACE AND COMPACTED PRIOR TO START OF SANITARY SEWER CONSTRUCTION.
- THE FOLLOWING PIPE SPECIFICATION SHALL BE USED: PVC PIPE WITH A SDR OF 26, COMPLYING WITH ASTM D2241, 160 PSI PRESSURE PIPE PUSH-ON BELL AND SPIGOT TYPE WITH RUBBER RING SEAL GASKET ASTM D3139.
- "FLEX SEAL" NON-SHEAR COUPLINGS (WITH STAINLESS STEEL SHEAR RING) SHALL BE USED TO CONNECT PIPES OF DISSIMILAR MATERIAL OR SIZE.
- SERVICE CONNECTIONS MADE TO EXISTING SEWERS SHALL BE MADE BY MACHINE TAP. THE CONNECTION SHALL BE MADE WITH A GENECO SEALTITE SEWER SADDLE (MODEL S).
- ALL PUBLIC SANITARY SEWERS SHALL BE LAID WITH STRAIGHT ALIGNMENT AND UNIFORM SLOPE BETWEEN MANHOLES. CONTRACTORS ARE REQUIRED TO USE A PIPE LASER TO SET PIPE SLOPE AND ALIGNMENT FOR PUBLIC SANITARY SEWER MAIN CONSTRUCTION. THE ALIGNMENT AND SLOPE SHALL BE CHECKED BY TELEVIEWING IN ACCORDANCE WITH SANITARY DISTRICT CONSTRUCTION INSPECTION REQUIREMENTS.
- MATERIAL SHALL BE:
  - POLYVINYL CHLORIDE PIPE (PVC) WITH A SDR 26, WHICH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ASTM D2241, 160 PSI PRESSURE PIPE PUSH-ON BELL AND SPIGOT TYPE WITH RUBBER RING SEAL GASKET ASTM D3139, FOR CONSTRUCTION AND INSTALLATION.
  - DUCTILE IRON SEWER PIPE (DIP), WHERE INDICATED ON THE PLANS, WHICH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ANS A21.51, CLASS 52 W/ H2 SEWER SAFE (CEMENT LINED AND FUSED CALCIUM ALUMINATE MORTAR). FOR FURTHER INFORMATION REGARDING SPECIFICATIONS, PLEASE CONTACT MR. STEVE KELLY OF GRIFFIN PIPE PRODUCTS COMPANY AT (847) 253-9921.
- JOINTS SHALL BE:
  - FOR PVC, FLEXIBLE ELASTOMERIC SEALS PER ASTM D 3139.
  - FOR DIP, PUSH-ON (BELL-TITE) PER AWWA C111 AND C680.
- BEDDING SHALL BE AS DETAILED ON THE ENGINEERING PLANS.
- COVER OVER PUBLIC SEWERS SHALL BE A MINIMUM OF FIVE (5) FEET AND COVER OVER BUILDING SERVICES SHALL BE A MINIMUM OF FOUR (4) FEET.
- SLOPE FOR A 6 INCH DIAMETER PIPE SHALL BE A MINIMUM 1.00% FOR A 8 INCH DIAMETER PIPE SHALL BE A MINIMUM OF 0.43% , FOR A 10 INCH DIAMETER PIPE SHALL BE A MINIMUM OF 0.30%.
- WYES SHALL BE PROVIDED ON THE NEW SANITARY SEWERS FOR PROPOSED BUILDING SERVICES. ALL CONNECTIONS TO EXISTING SANITARY SEWERS SHALL BE MADE BY MACHINE TAP. THE CONNECTION SHALL BE MADE WITH A GENECO SEALTITE SEWER SADDLE (MODEL S).
- "FLEX SEAL" NON-SHEAR COUPLINGS (WITH STAINLESS STEEL SHEAR RING) SHALL BE USED WHEN JOINING PIPES OF DISSIMILAR MATERIALS OR SIZES.
- SIZES SHALL BE AS INDICATED ON THE ENGINEERING PLAN.
- ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DOWNERS GROVE SANITARY DISTRICT STANDARD SPECIFICATIONS AND WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.

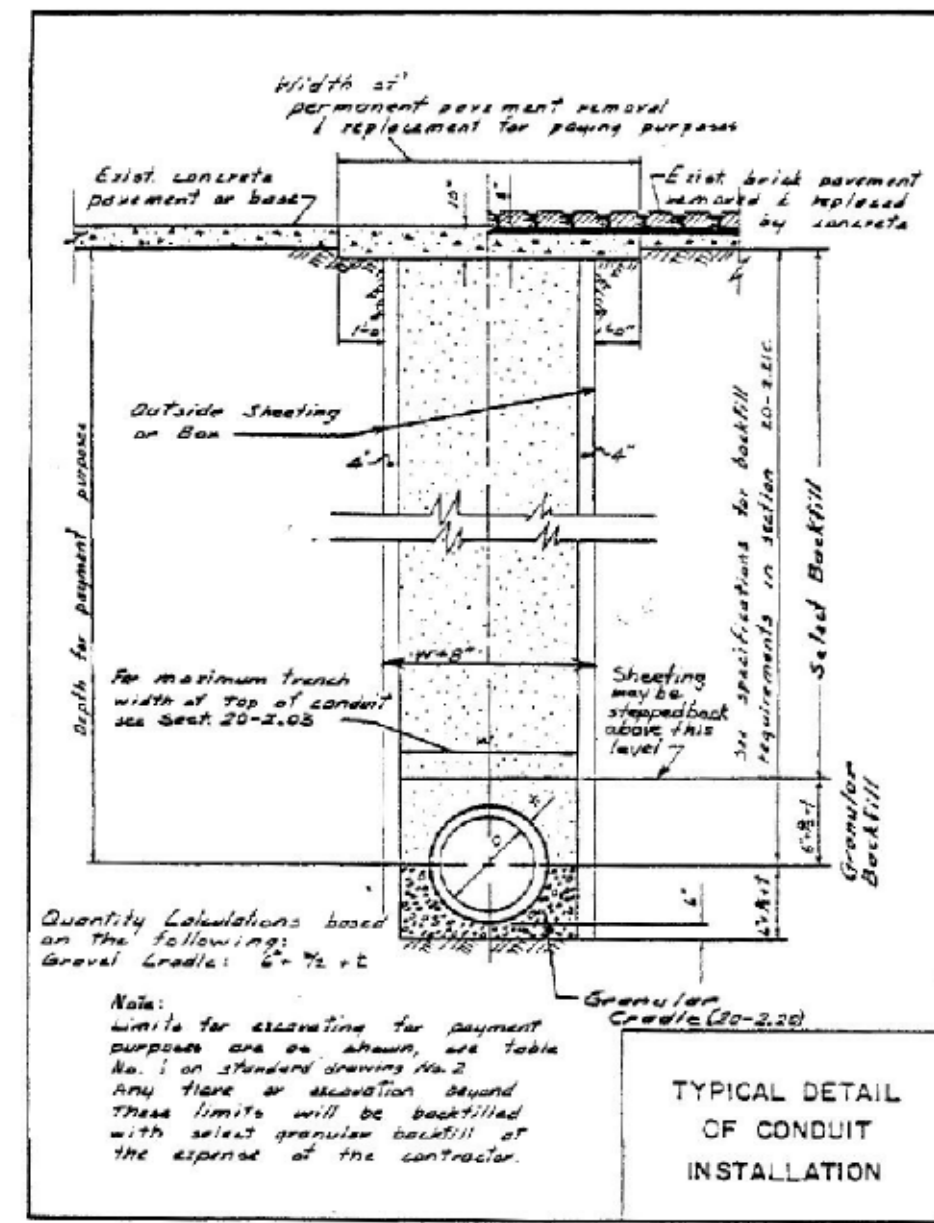


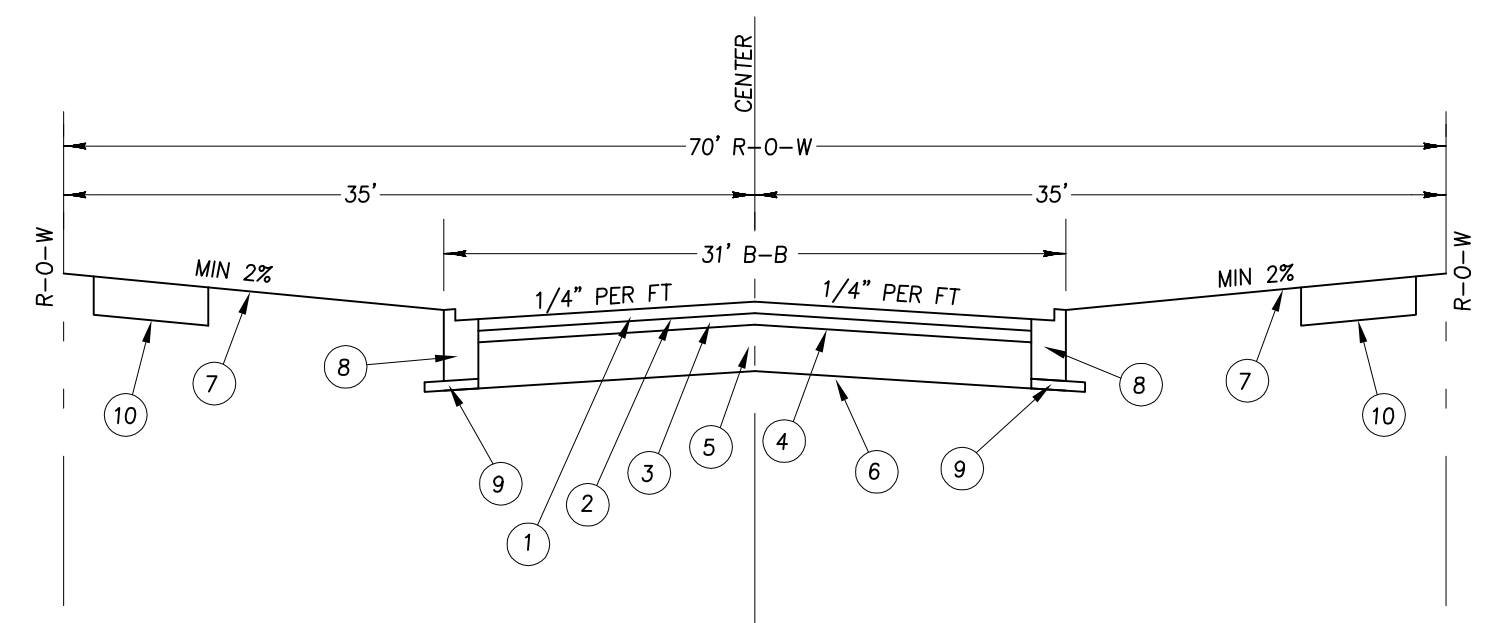
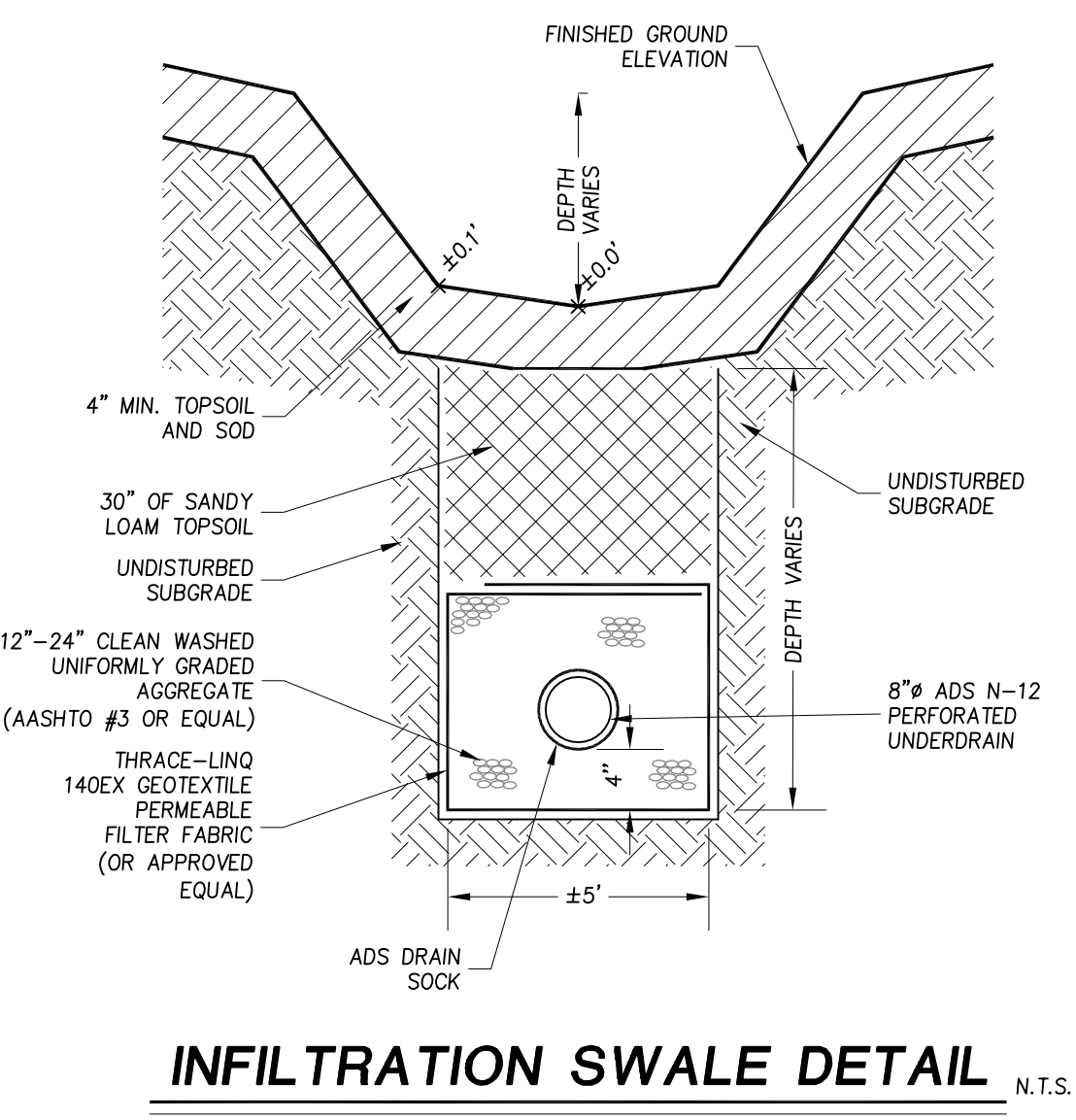
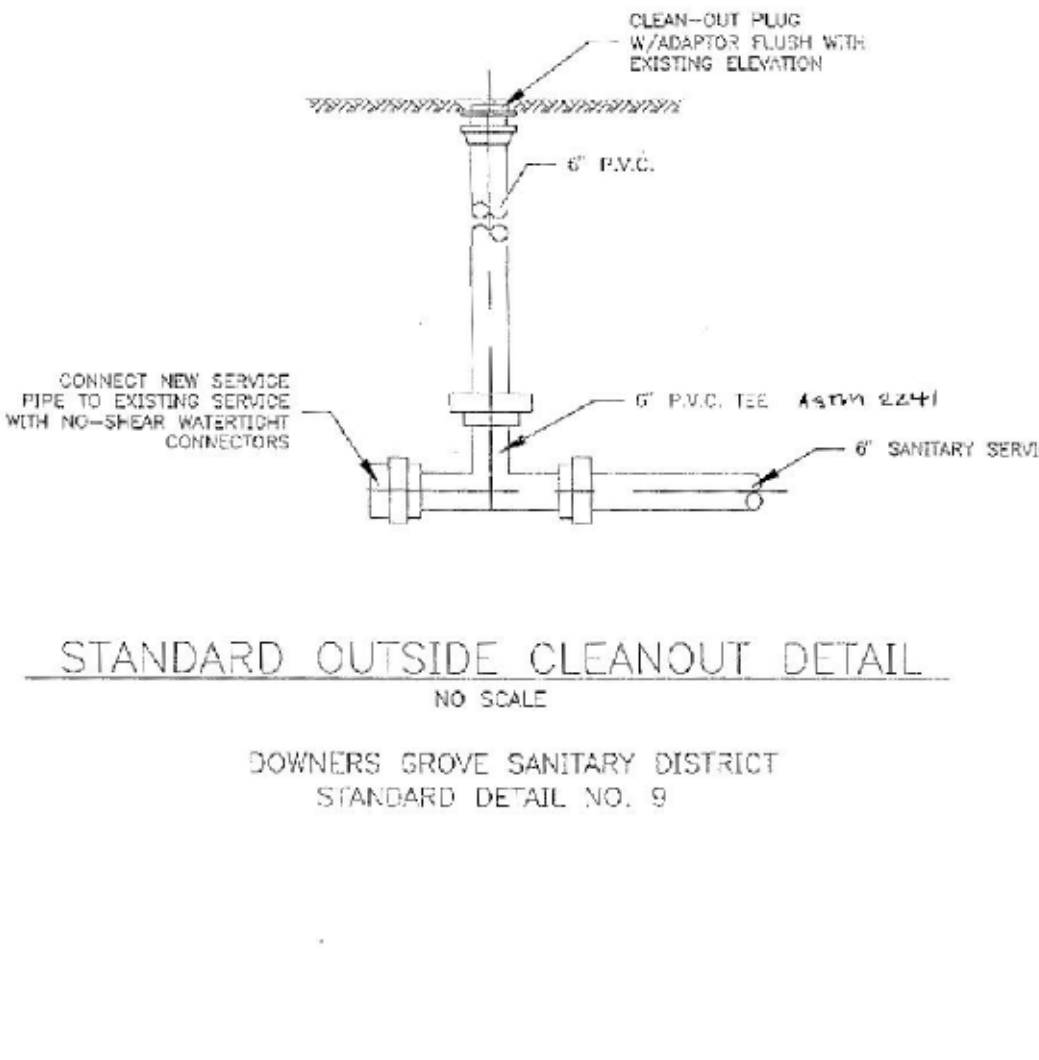
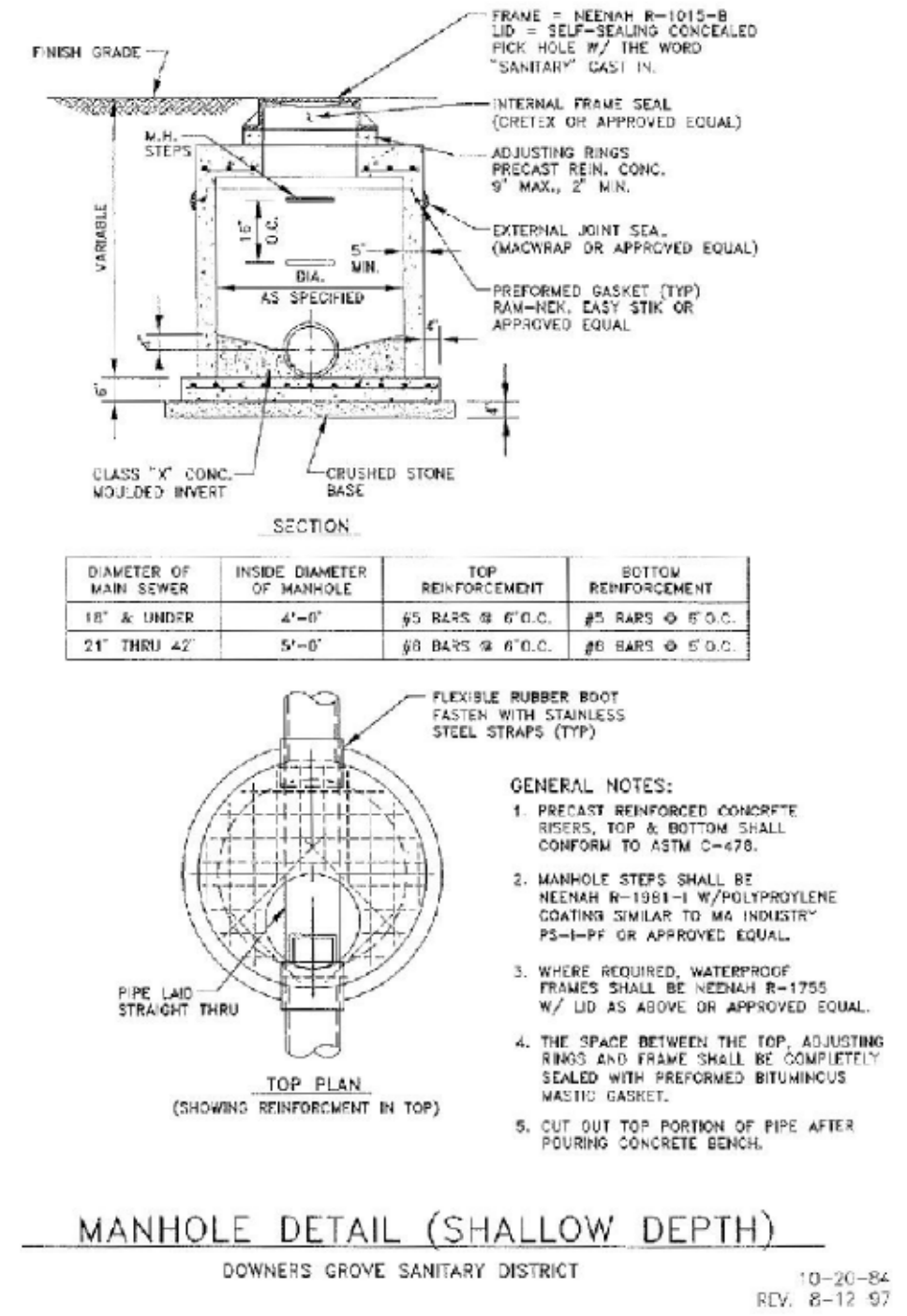
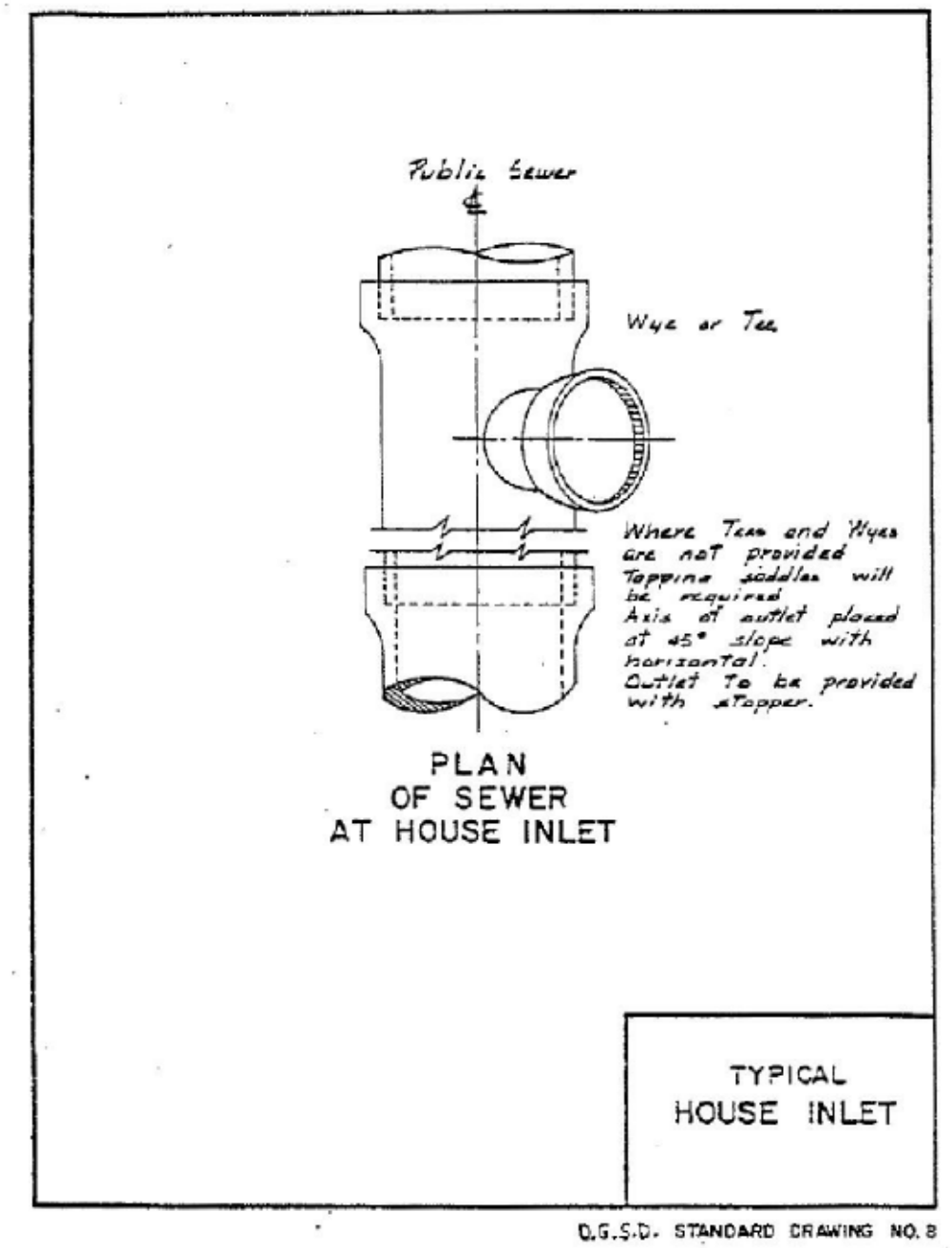
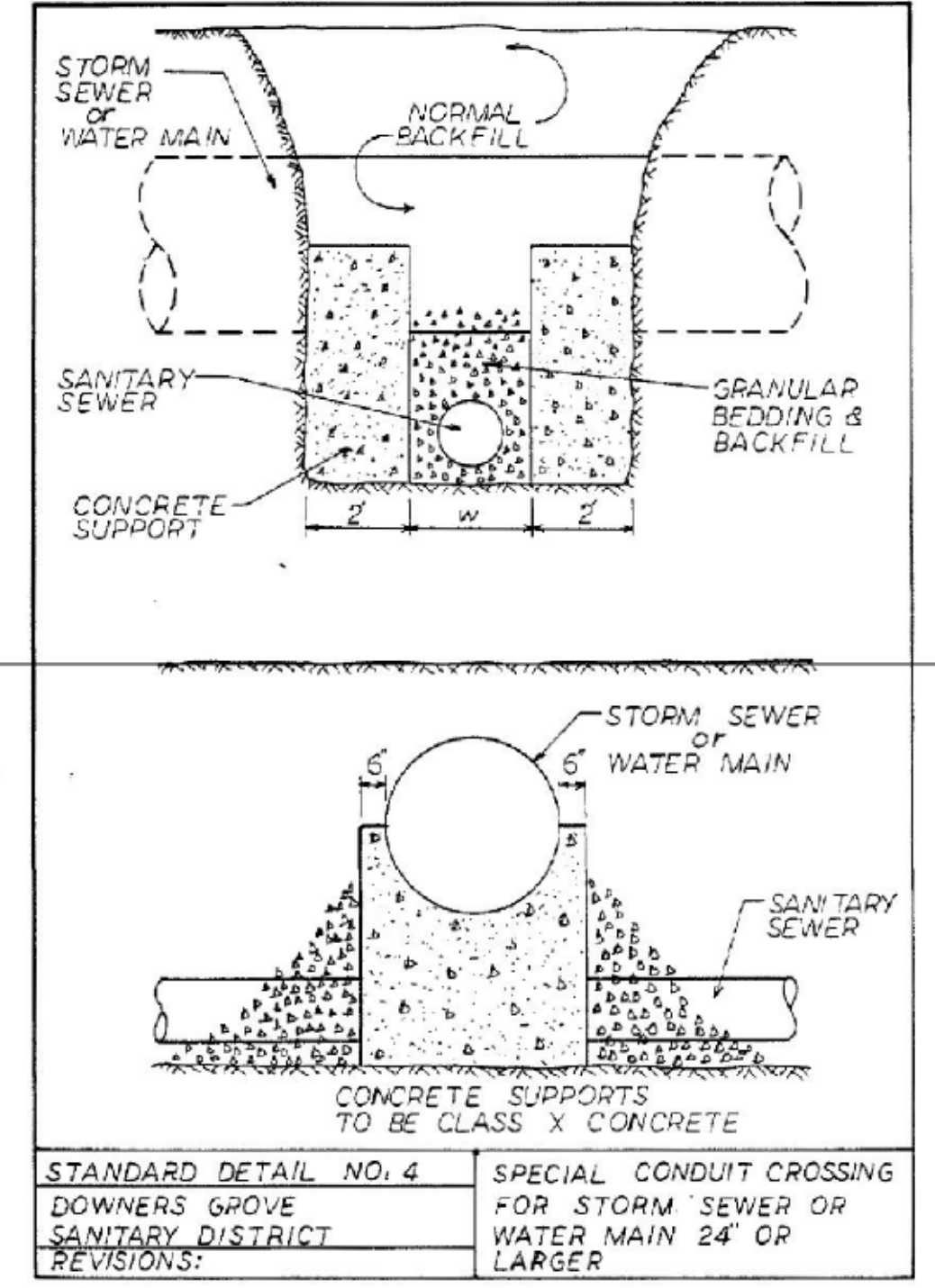
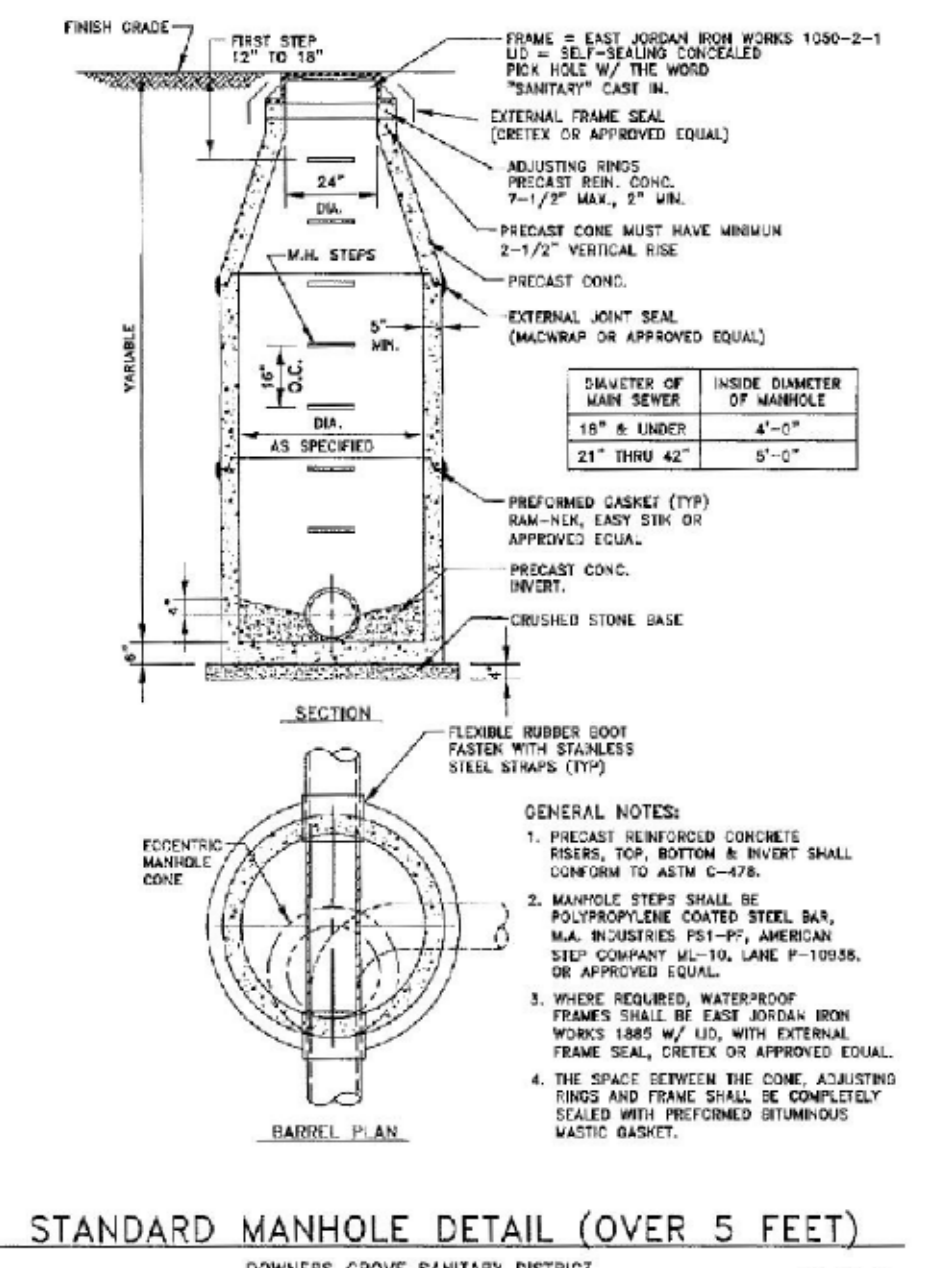
TABLE 1  
PAYMENT QUANTITIES PER FOOT OF CONDUIT

Install. Number of Conduit, Lin. Inches	PAYMENT QUANTITIES PER FOOT OF CONDUIT										
	Excav. 18" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 20" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 24" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 30" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 36" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 42" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 48" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 54" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 60" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 66" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>	Excav. 72" x 24" x 48" at Top of Conduit, M <sup>3</sup> B <sup>3</sup>
6	0.18	0.23	0.28	0.33	0.38	0.43	0.48	0.53	0.58	0.63	0.68
8	0.24	0.31	0.38	0.45	0.52	0.59	0.66	0.73	0.80	0.87	0.94
10	0.30	0.39	0.48	0.57	0.66	0.75	0.84	0.93	1.02	1.11	1.20
12	0.36	0.47	0.58	0.69	0.80	0.91	1.02	1.13	1.24	1.35	1.46
14	0.42	0.55	0.68	0.81	0.94	1.07	1.20	1.33	1.46	1.59	1.72
16	0.48	0.63	0.78	0.93	1.08	1.23	1.38	1.53	1.68	1.83	1.98
18	0.54	0.71	0.88	1.05	1.22	1.39	1.56	1.73	1.90	2.07	2.24
20	0.60	0.79	0.98	1.17	1.36	1.55	1.74	1.93	2.12	2.31	2.50
22	0.66	0.87	1.08	1.29	1.50	1.71	1.92	2.13	2.34	2.55	2.76
24	0.72	0.95	1.18	1.41	1.64	1.87	2.10	2.33	2.56	2.79	3.02
26	0.78	1.03	1.28	1.53	1.78	2.03	2.28	2.53	2.78	3.03	3.28
28	0.84	1.11	1.36	1.61	1.86	2.11	2.36	2.61	2.86	3.11	3.36
30	0.90	1.19	1.44	1.69	1.94	2.19	2.44	2.69	2.94	3.19	3.44
32	0.96	1.27	1.52	1.77	2.02	2.27	2.52	2.77	3.02	3.27	3.52
34	1.02	1.35	1.60	1.85	2.10	2.35	2.60	2.85	3.10	3.35	3.60
36	1.08	1.43	1.68	1.93	2.18	2.43	2.68	2.93	3.18	3.43	3.68
38	1.14	1.51	1.76	2.01	2.26	2.51	2.76	3.01	3.26	3.51	3.76
40	1.20	1.59	1.84	2.09	2.34	2.59	2.84	3.09	3.34	3.59	3.84

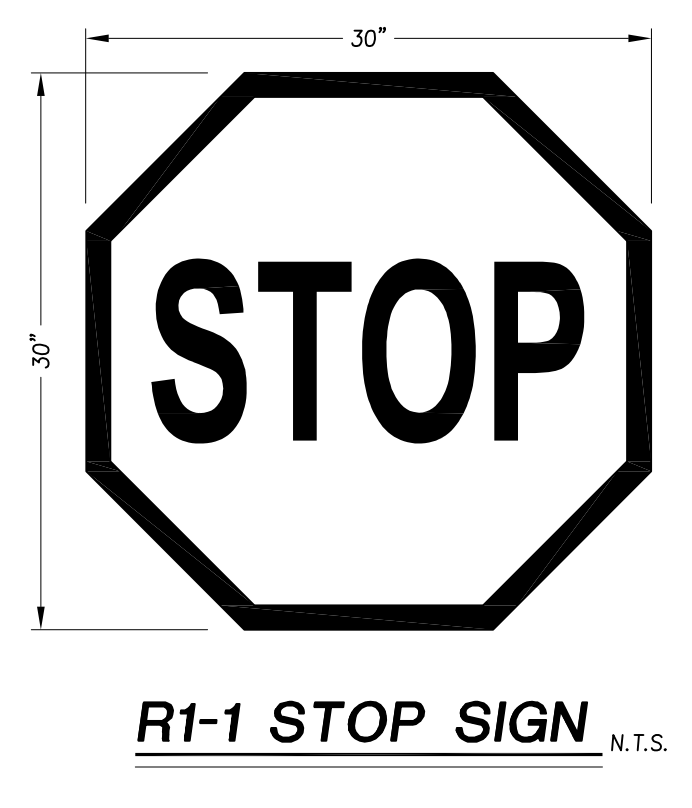
NOTES:  
1. PRECAST REINFORCED CONCRETE RISERS, TOP & BOTTOM INVERT SHALL CONFORM TO ASTM C-478.  
2. MANHOLE STEPS SHALL BE POLYPROPYLENE COATED STEEL BAR, M.A. INDUSTRIES PS-1-PI, AMERICAN SEED COMPANY M-10, LANE P-1000K, OR APPROVED EQUAL.  
3. WHERE REQUIRED, WATERPROOF FRAMES SHALL BE EASE-JORDAN NON-SHEAR IRMS OF 1/2" W/ POLYPROPYLENE COATING OVER TO MAX. INVERT 1/2" W/ 1/2" AS ABOVE OR APPROVED EQUAL.  
4. THE SPACE BETWEEN THE TOP ADJUSTING RINGS AND FRAME SHALL BE COMPLETELY SEALED WITH PERFORMED BITUMINOUS MASTIC GASKET.  
5. CUT OUT TOP PORTION OF PIPE AFTER POURING CONCRETE BENCH.

REVISIONS:  
1. PAYMENT QUANTITIES PER FOOT OF CONDUIT

D.G.S.D. STANDARD DRAWING NO. 2



- 1 1/2" BITUMINOUS SURFACE COURSE, CLASS 1
  - PRIME COAT (0.10 GAL/SY)
  - 1 1/2" BITUMINOUS BINDER COURSE, CLASS 1
  - PRIME COAT (0.40 GAL/SY)
  - 10" BASE COURSE (CA-6) COMPACTED TO 95% MOD PROCTOR
  - COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
  - 6" TOPSOIL
  - M3.12 CURB AND GUTTER
  - MINIMUM 4" BASE COURSE (CA-6) COMPACTED TO 95% MOD PROCTOR
  - PROPOSED 5" WIDE PCC SIDEWALK
- TYPICAL PAVEMENT SECTION**



**ATWOOD SUBDIVISION**  
FAIRVIEW AVENUE BETWEEN 66TH STR. AND 67TH CT.  
DOWNERS GROVE, ILLINOIS

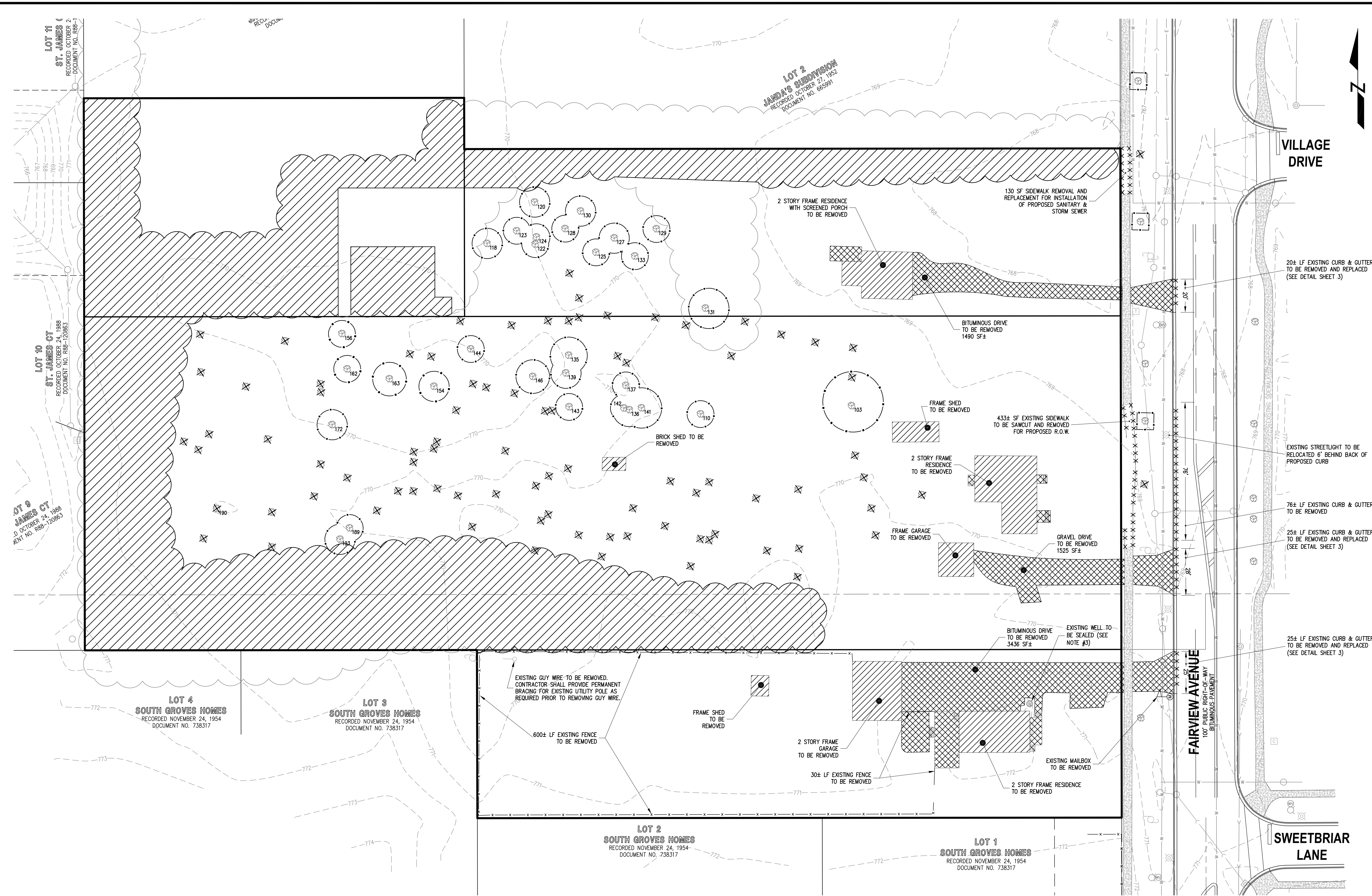
**DETAILS**

DRAWN BY: SWL	CHECKED BY: TRH
SCALE: N.T.S.	DATE: 12-01-11
JOB NUMBER: 11-157	SHEET: 5 OF 12

**C.M. Lavoie & Associates, Inc.**  
Consulting Civil Engineering  
Land Planning & Surveying  
1050 State Route 126  
Plainfield, Illinois 60544  
voice 815-254-0505  
fax 815-436-5158

#	DATE	DESCRIPTION
1	01-16-2012	REVISED PER VILLAGE
2	02-07-2012	REVISED PER VILLAGE
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**Municipal Order regarding trees**, including tree protection requirements for public parkway trees, are located in Chapter 24 of the Dupage County Municipal Code 24-010-0000...  
**CRITICAL ROOT ZONE (CRZ)** is the area immediately surrounding a tree that needs to be protected from...  
**PARWAY TREE** WITHIN FROM STREET TO PROPERTY LINE...  
**STANDARD DETAIL TREE PROTECTION REQUIREMENTS**

N/E/S	DATE	REVISION	DRAWN BY	APPROVED BY

**TREE PROTECTION - FENCING**

**NOTES:**  
1. The fence shall be located a minimum of 3 feet outside the drip line of the tree to be saved and in no case closer than 5 feet to the trunk of any tree.  
2. Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.  
3. The fence may be either 40" High snow fence, 40" plastic w/tp fencing or any other materials, as approved by the engineer/supervisor.

REVISIONS	DATE	DESCRIPTION	APPROVED

- NOTES:**  
1. ALL UTILITIES AND SERVICES FOR EXISTING RESIDENCES TO BE DISCONNECTED AND/OR REMOVED AS REQUIRED BY EACH APPROPRIATE UTILITY COMPANY PRIOR TO ANY DEMOLITION.  
2. ANY EXISTING SEPTIC SYSTEMS LOCATED ON SITE TO BE ABANDONED AND/OR REMOVED PER DUPAGE COUNTY HEALTH DEPARTMENT REQUIREMENTS.  
3. ALL EXISTING WELLS WHICH ARE LOCATED ON SITE AND ARE NO LONGER TO BE UTILIZED SHALL BE CAPPED AND/OR SEALED PER DUPAGE COUNTY HEALTH DEPARTMENT REQUIREMENTS. APPROVAL FROM THE HEALTH DEPARTMENT WILL BE REQUIRED PRIOR TO ANY ISSUANCE OF CONSTRUCTION PERMITS FOR THE REMOVAL OF THE EXISTING WELLS ON THE PROPERTY.  
4. SEE "TREE REMOVAL PLAN" BY C.M. LAVOIE & ASSOCIATES FOR LIMITS OF TREE REMOVAL.  
5. ALL PERMANENT SANITARY SERVICE DISCONNECTIONS MUST BE DONE AT THE POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER MAIN. ALL WORK MUST BE INSPECTED BY THE DOWNERS GROVE SANITARY DISTRICT. INSPECTIONS SHALL BE SCHEDULED 24 HOURS IN ADVANCE.

**BENCHMARK**  
DUPAGE COUNTY BENCHMARK: DON07001 - BRONZE DISK IN CONCRETE BASE OF TRAFFIC CONTROL BOX AT THE NORTHWEST CORNER OF MAPLE AVENUE AND 55TH STREET. ELEVATION...743.51' NGVD29

**GRAPHIC SCALE**  
( IN FEET )  
1 inch = 30 ft.

**LEGEND**  
[Pattern] EXISTING PAVEMENT/GRAVEL TO BE REMOVED  
[Pattern] EXISTING BUILDING TO BE REMOVED  
[Pattern] EXISTING TREE LINE  
[Symbol] EXISTING TREE  
[Symbol] EXISTING TREE TO BE REMOVED  
[Symbol] EXISTING TREE TO BE PROTECTED  
[Pattern] AREA OF TREES TO BE REMOVED

**ATWOOD SUBDIVISION**  
FAIRVIEW AVENUE BETWEEN 66TH STR. AND 67TH CT. DOWNERS GROVE, ILLINOIS

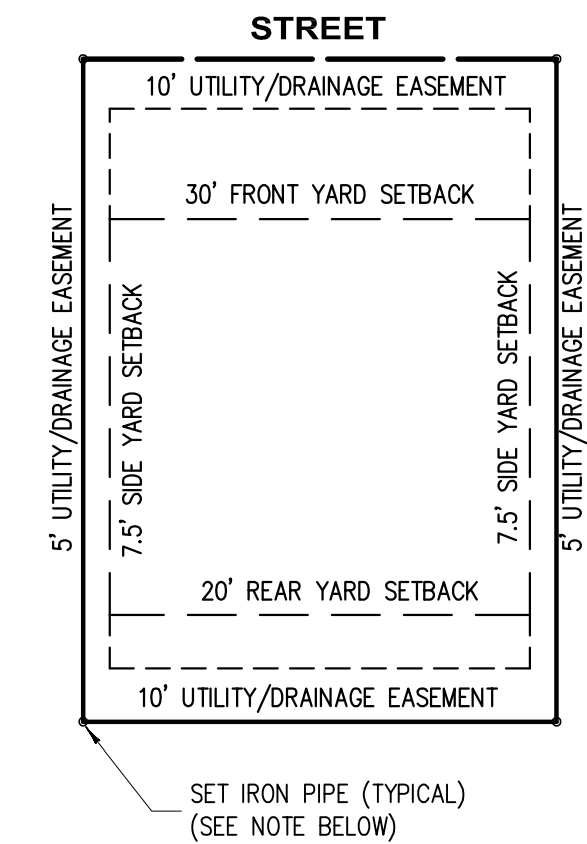
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REVISIONS	DATE	DESCRIPTION
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2	02-07-2012	REVISED PER VILLAGE
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4		
5		
6		
7		
8		

**EXISTING CONDITIONS AND DEMOLITION PLAN**  
DRAWN BY: SWL CHECKED BY: TRH  
SCALE: 1"=30' DATE: 12-01-11  
JOB NUMBER: 11-157 SHEET: 6 OF 12

**LEGEND:**

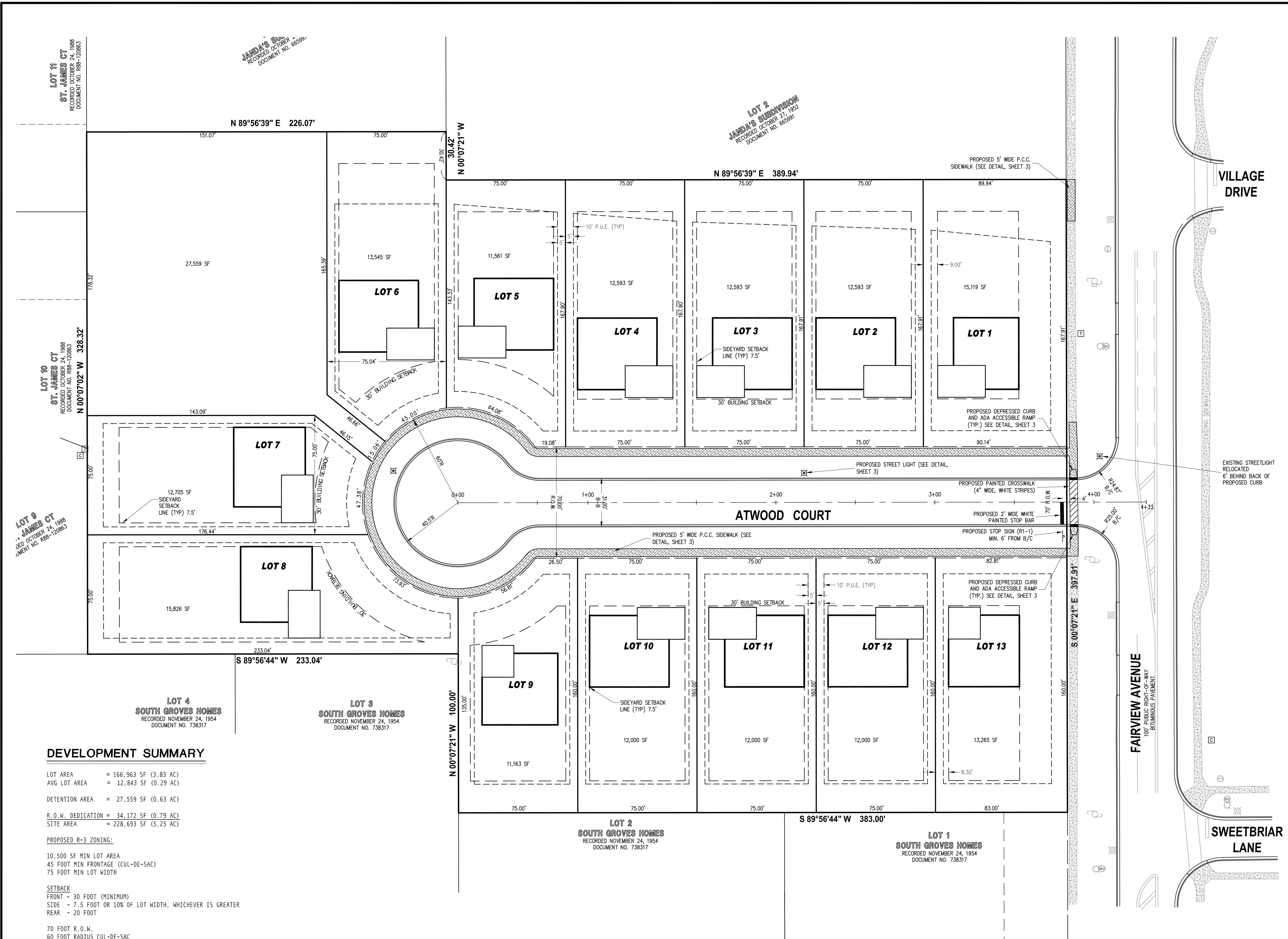
- (0.00) RECORD INFORMATION
- 0.00 MEASURED INFORMATION
- BOUNDARY LINE
- LOT LINE
- - - SETBACK LINE
- - - EASEMENT LINE
- - - RIGHT OF WAY LINE
- - - SECTION LINE



**TYPICAL LOT SETBACK/EASEMENT DIMENSIONS**

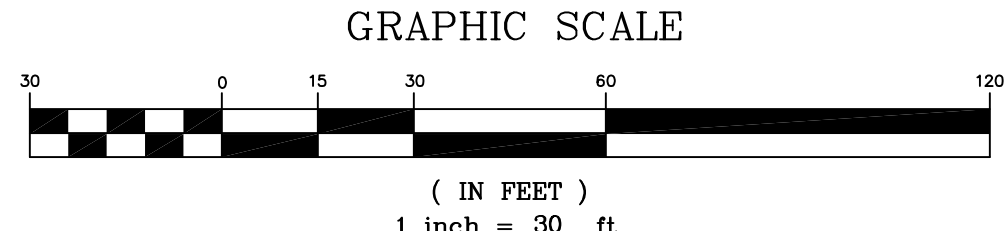
(SIDEYARD EASEMENTS ARE AS INDICATED ON THE HEREON DRAWN PLAN. IN AREAS WHERE THE SIDEYARD EASEMENT IS GREATER THAN 5 FEET THE SIDE YARD SETBACK SHALL COINCIDE WITH THE EASEMENT LINE) 10' EASEMENTS ALONG COMMON REAR LINES SHALL BE SHARED AT 5' EITHER SIDE OF THE COMMON LINE, EXCEPT WHERE NOTED. (IRON PIPE WILL BE SET AT ALL LOT CORNERS UPON COMPLETION OF FINAL GRADING)

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ELECTRIC LINES, TELEPHONE LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK.
  - EXISTING GRADES AND IMPROVEMENTS ARE SHOWN FROM THE BEST INFORMATION AVAILABLE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCY WITH THE PLAN SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
  - ALL DIMENSIONS ARE TO BACK OF CURB OR LOT CORNER, UNLESS OTHERWISE NOTED.
  - FOR ACCURATE BOUNDARY INFORMATION, SEE FINAL SUBDIVISION PLAN.
  - ALL PROPOSED STRIPING SHALL BE 4 INCH WIDE YELLOW PAINT UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB SHOWN HEREON IS 66.12 BARRIER CURB AND GUTTER, UNLESS OTHERWISE NOTED.
  - DEPRESS ALL CURB & GUTTER WHERE PROPOSED P.C.C. SIDEWALK MEETS PROPOSED BACK OF CURB.
  - PARKWAY TREES SHALL BE PROVIDED AS REQUIRED PER VILLAGE ORDINANCE.
    - PARKWAY TREES SHALL BE PROVIDED AT FORTY (40) FEET INTERVALS, TEN (10) FEET AWAY FROM DRIVEWAYS, B-BOXES, HYDRANTS, GAS SERVICES, SANITARY LINES AND THIRTY-FIVE (35) FEET FROM INTERSECTIONS.
    - PARKWAY TREES SHALL BE PLACED MIDWAY BETWEEN THE CURB AND SIDEWALK.
    - PARKWAY TREES SHALL BE TWO (2) INCH CALIPER WITH STRAIGHT STEMS AND CROWN SHAPES TYPICAL OF THE SPECIES.
    - VILLAGE FORESTER SHALL DETERMINE APPROPRIATE PARKWAY TREE SPECIES.
    - THE DEVELOPER MAY OPT FOR A FEE-IN-LEU FOR THE VILLAGE TO PLANT THE REQUIRED PARKWAY TREES.
    - TWENTY (20) NEW PARKWAY TREES ARE REQUIRED IN THE PARKWAY OF THE PROPOSED ATWOOD COURT R.O.W.



**DEVELOPMENT SUMMARY**

- LOT AREA = 166,963 SF (3.83 AC)
- AVG LOT AREA = 12,843 SF (0.29 AC)
- DETENTION AREA = 27,559 SF (0.63 AC)
- R.O.W. DEDICATION = 34,172 SF (0.79 AC)
- SITE AREA = 228,693 SF (5.25 AC)
- PROPOSED R-3 ZONING:
- 10,500 SF MIN LOT AREA
- 45 FOOT MIN FRONTAGE (CUL-DE-SAC)
- 75 FOOT MIN LOT WIDTH
- SETBACK
- FRONT - 30 FOOT (MINIMUM)
- SIDE - 7.5 FOOT OR 10% OF LOT WIDTH, WHICHEVER IS GREATER
- REAR - 20 FOOT
- 70 FOOT R.O.W.
- 60 FOOT RADIUS CUL-DE-SAC



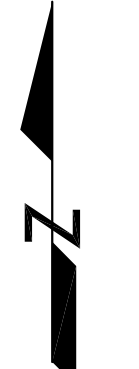
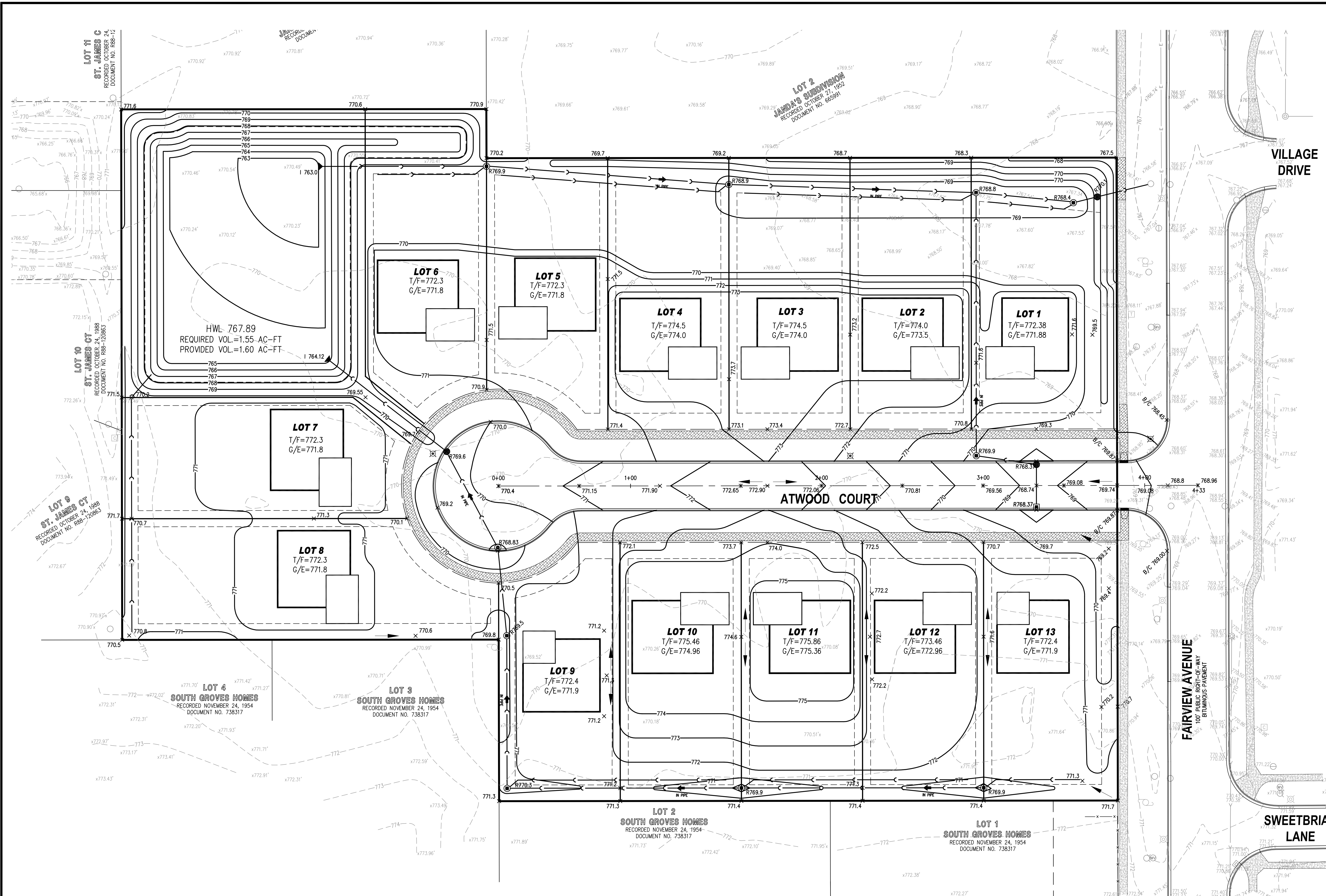
**BENCHMARK**  
 DUPAGE COUNTY BENCHMARK:  
 DGN07001 - BRONZE DISK IN CONCRETE BASE OF TRAFFIC CONTROL BOX AT THE NORTHWEST CORNER OF MAPLE AVENUE AND 55TH STREET.  
 ELEVATION...743.51' NGVD29

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**ATWOOD SUBDIVISION**  
 FAIRVIEW AVENUE BETWEEN 66TH STR. AND 67TH CT.  
 DOWNERS GROVE, ILLINOIS

DRAWN BY: SWL		CHECKED BY: TRH	
SCALE: 1"=30'		DATE: 12-01-11	
JOB NUMBER: 11-157		SHEET: 7 OF 12	
#	DATE	DESCRIPTION	
1	01-16-2012	REVISED PER VILLAGE	
2	02-07-2012	REVISED PER VILLAGE	
3			
4			
5			
6			
7			
8			

**C.M. Lavoie & Associates, INC.**  
 Consulting Civil Engineering  
 Land Planning & Surveying  
 1050 State Route 126  
 Plainfield, Illinois 60544  
 voice 815-254-0505  
 fax 815-436-5158



**ELEVATION TABLE**  
 T/F=TOP OF FOUNDATION ELEVATION  
 L/O=LOOK OUT ELEVATION  
 G/E=GARAGE ENTRY ELEVATION  
 W/O=WALK OUT ELEVATION  
 D/S=DROP SIDING ELEVATION  
 R=RIM ELEVATION  
 F=HYDRANT FLANGE ELEVATION  
 I=INVERT ELEVATION

PROPOSED GRADES = 620.75 TOP OF CURB  
 620.25 FLOW LINE

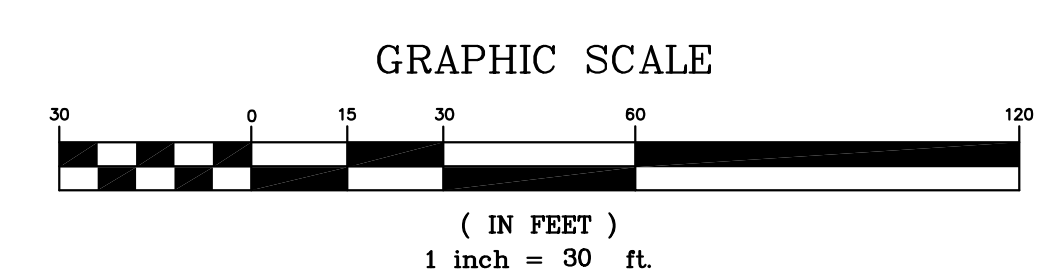
PROPOSED SPOT GRADES = 620.75  
 W/ FLOW LINES

EMERGENCY OVERLAND FLOW ROUTE

**ELEVATION CONVERSIONS**  
 TOP OF CURB = CENTERLINE + 0.13 FEET  
 FLOW LINE = CENTERLINE - 0.37 FEET  
 EDGE OF PAV. = CENTERLINE - 0.29 FEET  
 RIGHT OF WAY = CENTERLINE + 0.52 FEET

- NOTES:**
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  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE ANY UTILITIES OR OTHER OBSTRUCTIONS TO BE CROSSED BY THE PROPOSED SEWER, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS WITH THE PROPOSED SEWER GRADE.
  - ALL RIM ELEVATIONS OF STORM STRUCTURES LOCATED IN CURB & GUTTER ARE TO FLOWLINE UNLESS NOTED.
  - COMPACTION OF THE PROPOSED BERM SHALL BE TO AT LEAST 95% OF THE STANDARD PROCTOR DRY DENSITY, ASTM 698.
  - CONTRACTOR TO STOCKPILE 1,500-2,000 CUBIC YARDS OF TOPSOIL ON THE REAR OF LOTS 10 AND 11 TO BE HAULED OFF BY OWNER.

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**DETENTION VOLUME**

ELEVATION (FT)	AREA (Square Feet)	A1+A2+Sqrt (A1^2A2) (Acres)	VOLUME (AC-FT)	VOLUME SUM (AC-FT)	DISCHARGE* (CFS)
762.54	3	0.00	0.00	0	0
763.00	2,219	0.05	0.01	0.01	0.43
764.00	8,891	0.20	0.12	0.13	1.23
765.00	14,003	0.32	0.26	0.39	2.03
766.00	16,111	0.36	0.35	0.73	3.22
767.00	18,895	0.43	0.40	1.13	3.98
767.89	21,334	0.49	0.41	1.55	4.51
768.00	21,635	0.49	0.05	1.60	4.57
769.00	24,542	0.56	0.53	2.13	5.1

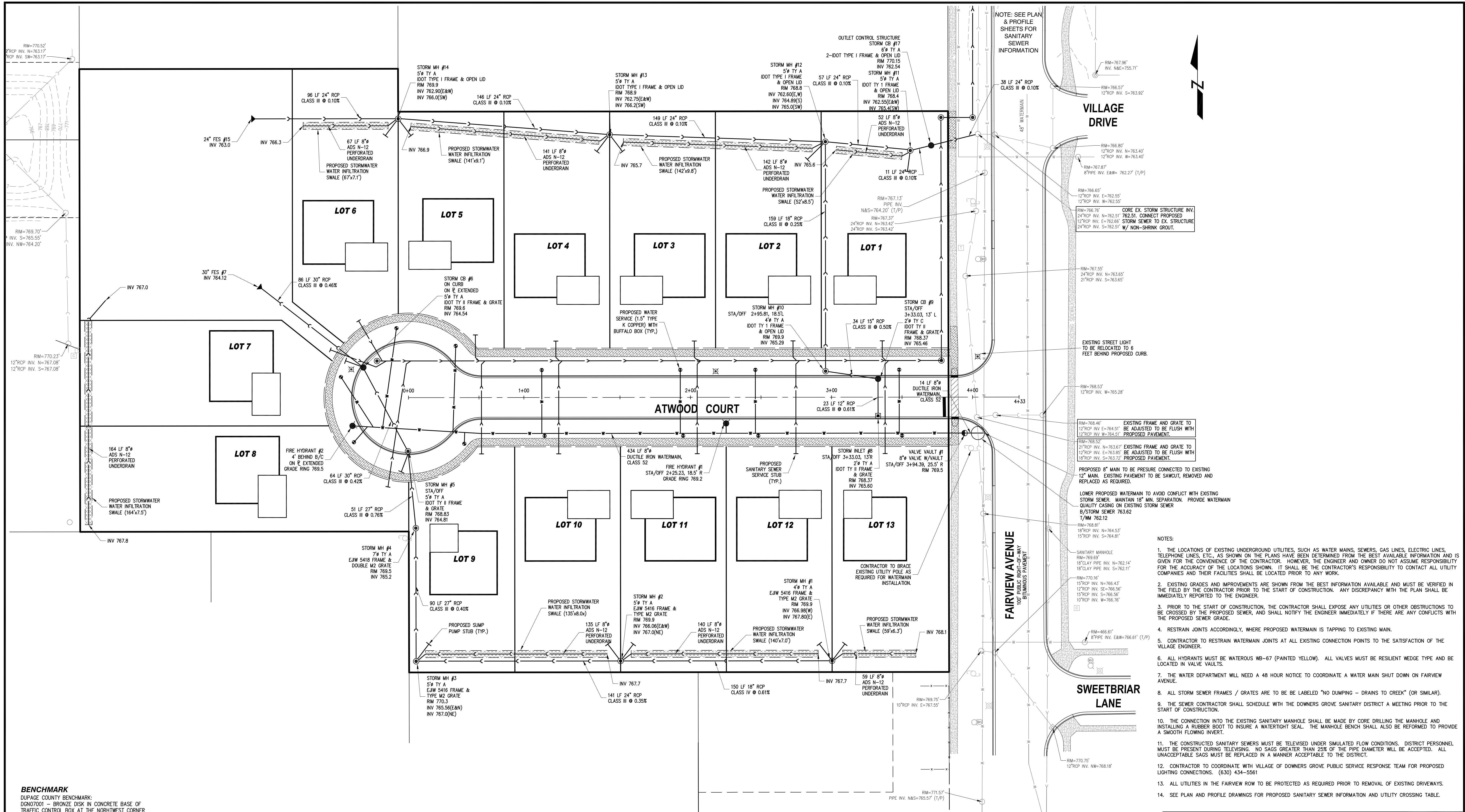
\*DISCHARGE RATES TAKEN FROM PONDPACK OUTPUT

VOLUME = (1/3) \* (EL2 - EL1) \* (A1 + A2 + Sqrt (A1 \* A2))  
 EL1, EL2 = Lower and upper elevations of the increment  
 A1, A2 = Areas computed for EL1 and EL2  
 Volume = Incremental volume between EL1 and EL2

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**ATWOOD SUBDIVISION**  
 FAIRVIEW AVENUE BETWEEN 66TH STR. AND 67TH CT.  
 DOWNERS GROVE, ILLINOIS

<b>GRADING PLAN</b>		DRAWN BY: SWL	CHECKED BY: TRH																											
		SCALE: 1"=30'	DATE: 12-01-11																											
		JOB NUMBER: 11-157	SHEET: 8 OF 12																											
<b>CM</b>	Consulting Civil Engineering Land Planning & Surveying 1050 State Route 126 Plainfield, Illinois 60544 voice 815-254-0505 fax 815-436-5158	<table border="1"> <thead> <tr> <th>#</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>01-16-2012</td><td>REVISED PER VILLAGE</td></tr> <tr><td>2</td><td>02-07-2012</td><td>REVISED PER VILLAGE</td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td></tr> </tbody> </table>		#	DATE	DESCRIPTION	1	01-16-2012	REVISED PER VILLAGE	2	02-07-2012	REVISED PER VILLAGE	3			4			5			6			7			8		
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NOTE: SEE PLAN & PROFILE SHEETS FOR SANITARY SEWER INFORMATION

VILLAGE DRIVE

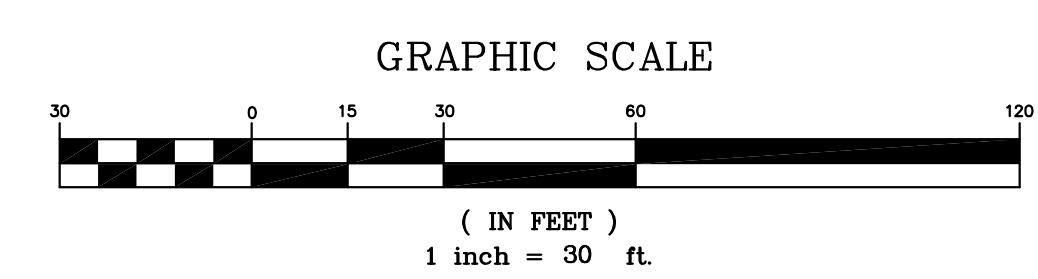
ATWOOD COURT

FAIRVIEW AVENUE  
100' PUBLIC RIGHT-OF-WAY  
BITUMINOUS PAVEMENT

SWEETBRIAR LANE

- NOTES:
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ELECTRIC LINES, TELEPHONE LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK.
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  3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE ANY UTILITIES OR OTHER OBSTRUCTIONS TO BE CROSSED BY THE PROPOSED SEWER, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS WITH THE PROPOSED SEWER GRADE.
  4. RESTRAIN JOINTS ACCORDINGLY, WHERE PROPOSED WATERMAIN IS TAPPING TO EXISTING MAIN.
  5. CONTRACTOR TO RESTRAIN WATERMAIN JOINTS AT ALL EXISTING CONNECTION POINTS TO THE SATISFACTION OF THE VILLAGE ENGINEER.
  6. ALL HYDRANTS MUST BE WATEROUS W-67 (PAINTED YELLOW). ALL VALVES MUST BE RESILIENT WEDGE TYPE AND BE LOCATED IN VALVE VAULTS.
  7. THE WATER DEPARTMENT WILL NEED A 48 HOUR NOTICE TO COORDINATE A WATER MAIN SHUT DOWN ON FAIRVIEW AVENUE.
  8. ALL STORM SEWER FRAMES / GRATES ARE TO BE LABELED "NO DUMPING - DRAINS TO CREEK" (OR SIMILAR).
  9. THE SEWER CONTRACTOR SHALL SCHEDULE WITH THE DOWNERS GROVE SANITARY DISTRICT A MEETING PRIOR TO THE START OF CONSTRUCTION.
  10. THE CONNECTION INTO THE EXISTING SANITARY MANHOLE SHALL BE MADE BY CORE DRILLING THE MANHOLE AND INSTALLING A RUBBER BOOT TO INSURE A WATERTIGHT SEAL. THE MANHOLE BENCH SHALL ALSO BE REFORMED TO PROVIDE A SMOOTH FLOWING INVERT.
  11. THE CONSTRUCTED SANITARY SEWERS MUST BE TELEVIEWED UNDER SIMULATED FLOW CONDITIONS. DISTRICT PERSONNEL MUST BE PRESENT DURING TELEVIEWING. NO SAGS GREATER THAN 25% OF THE PIPE DIAMETER WILL BE ACCEPTED. ALL UNACCEPTABLE SAGS MUST BE REPLACED IN A MANNER ACCEPTABLE TO THE DISTRICT.
  12. CONTRACTOR TO COORDINATE WITH VILLAGE OF DOWNERS GROVE PUBLIC SERVICE RESPONSE TEAM FOR PROPOSED LIGHTING CONNECTIONS. (630) 434-5561
  13. ALL UTILITIES IN THE FAIRVIEW ROW TO BE PROTECTED AS REQUIRED PRIOR TO REMOVAL OF EXISTING DRIVEWAYS.
  14. SEE PLAN AND PROFILE DRAWINGS FOR PROPOSED SANITARY SEWER INFORMATION AND UTILITY CROSSING TABLE.

**BENCHMARK**  
DUPAGE COUNTY BENCHMARK:  
DGN07001 - BRONZE DISK IN CONCRETE BASE OF  
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ELEVATION...743.51' NGVD29



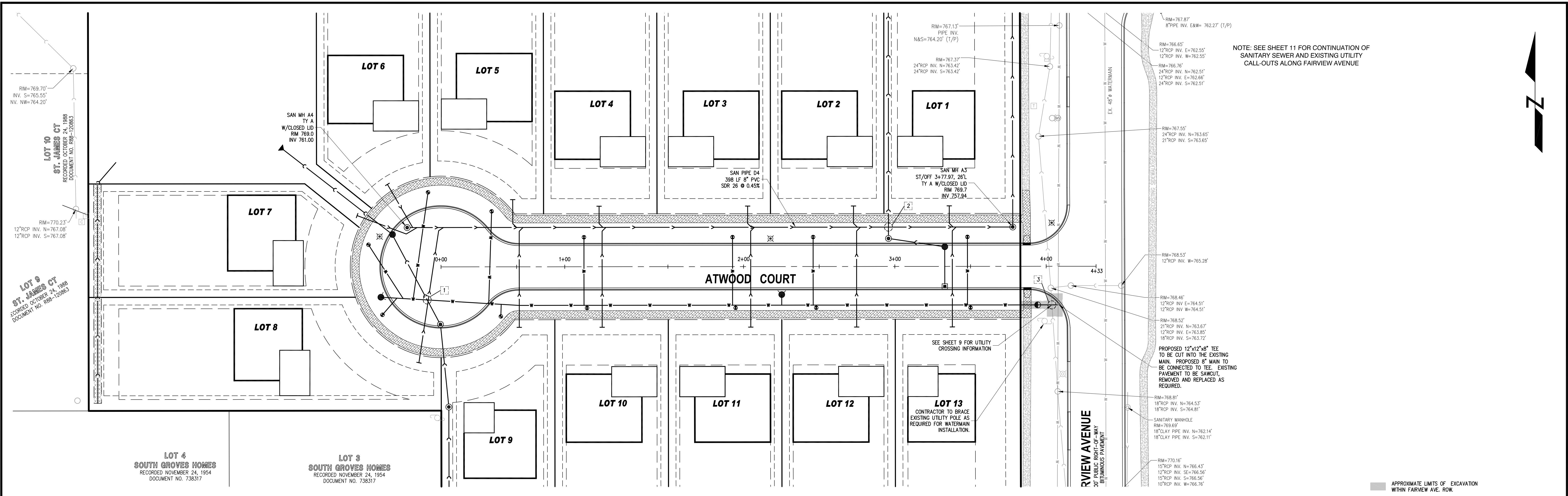
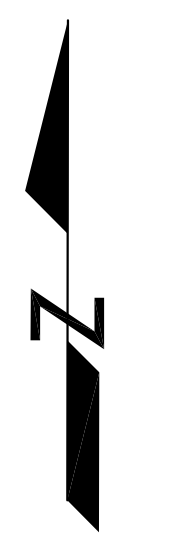
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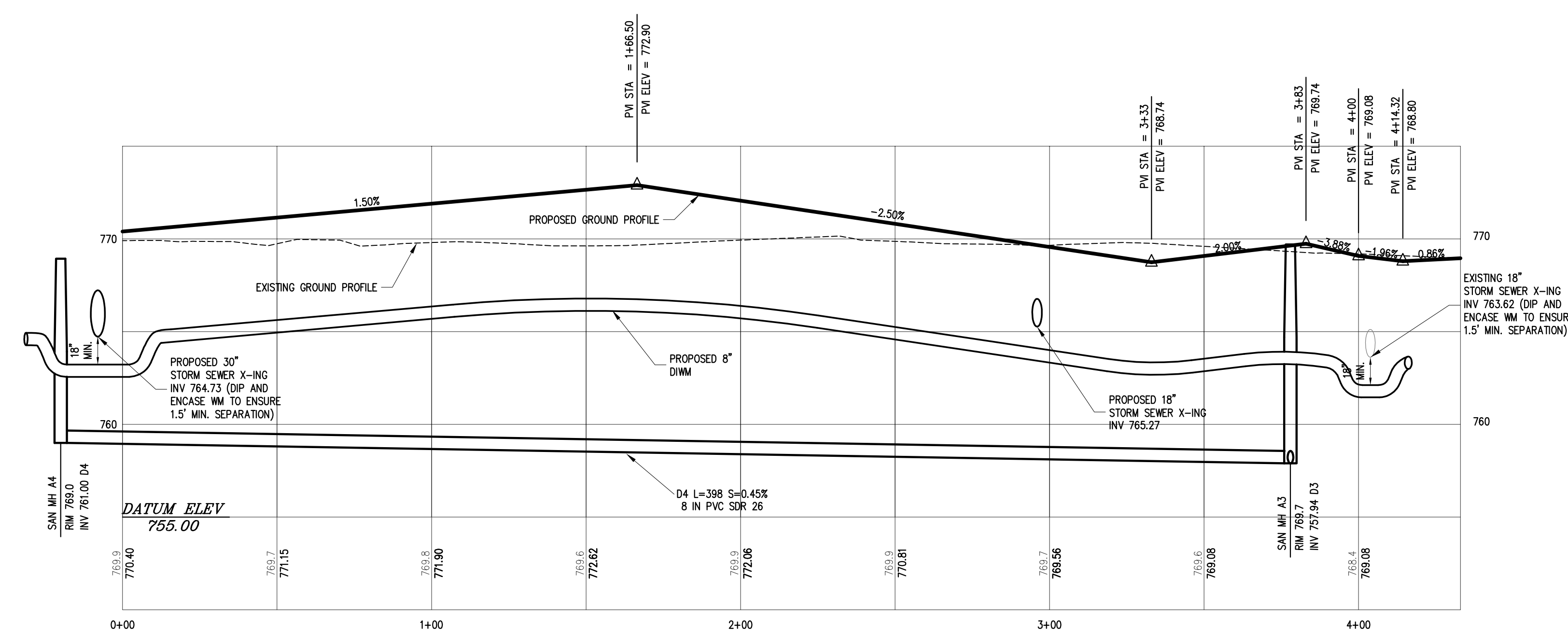




UTILITY SEPARATION INFORMATION

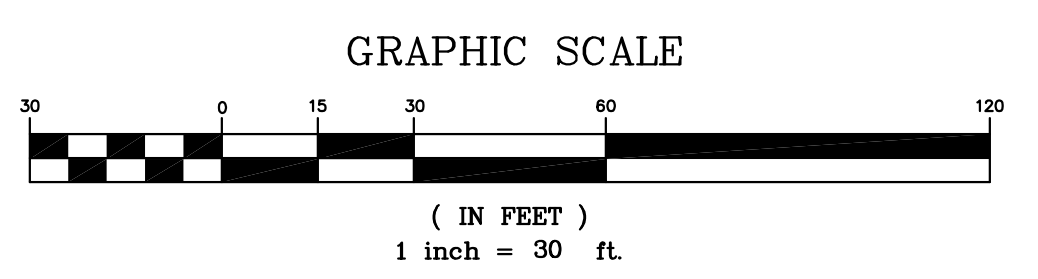
1. MAINTAIN 18" MINIMUM SEPARATION BETWEEN WATERMAIN AND STORM AND SANITARY SEWERS.
2. WHENEVER A SANITARY SEWER IS LOCATED ABOVE A WATERMAIN, THE WATERMAIN SHALL BE ENCASED 10 FEET EITHER SIDE OF CROSSING.

NUMBER	TOP OF SAN	SAN INVERT	TOP OF STORM	STORM INVERT	TOP OF WATER	WATER INVERT	CROSSING INFO
1	759.81	753.31	766.77	765.27	767.23	762.55	DIP WM
2	759.81	753.31	766.77	765.27	767.23	762.55	OKAY
3	759.81	753.31	766.77	765.27	767.23	762.55	DIP WM



- NOTES:
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  4. SEE UTILITY PLAN FOR PROPOSED WATERMAIN STRUCTURE INFORMATION.
  5. SEE SHEET 2 AND SHEET 5 FOR ADDITIONAL DOWNERS GROVE SANITARY DISTRICT NOTES AND DETAILS.

**BENCHMARK**  
 DUPAGE COUNTY BENCHMARK:  
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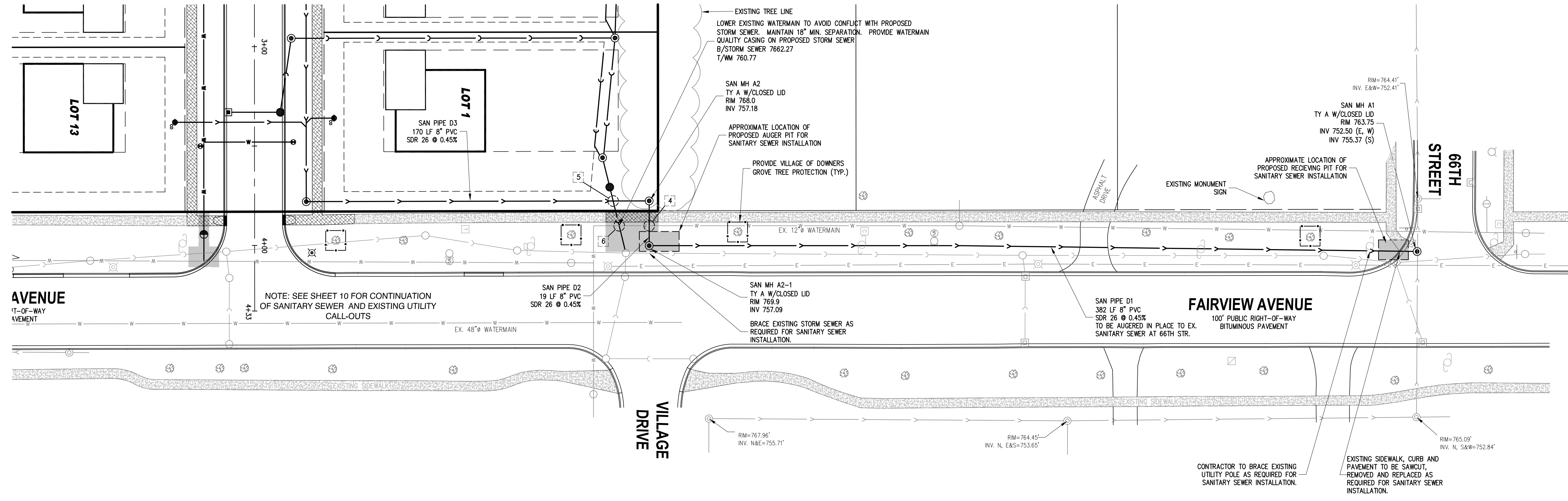
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**CM**  
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#	DATE	DESCRIPTION
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SCALE:  
 1"=30' V  
 1"=5' H

NOTE: SEE UTILITY PLAN SHEET 9 FOR ONSITE UTILITY INFORMATION

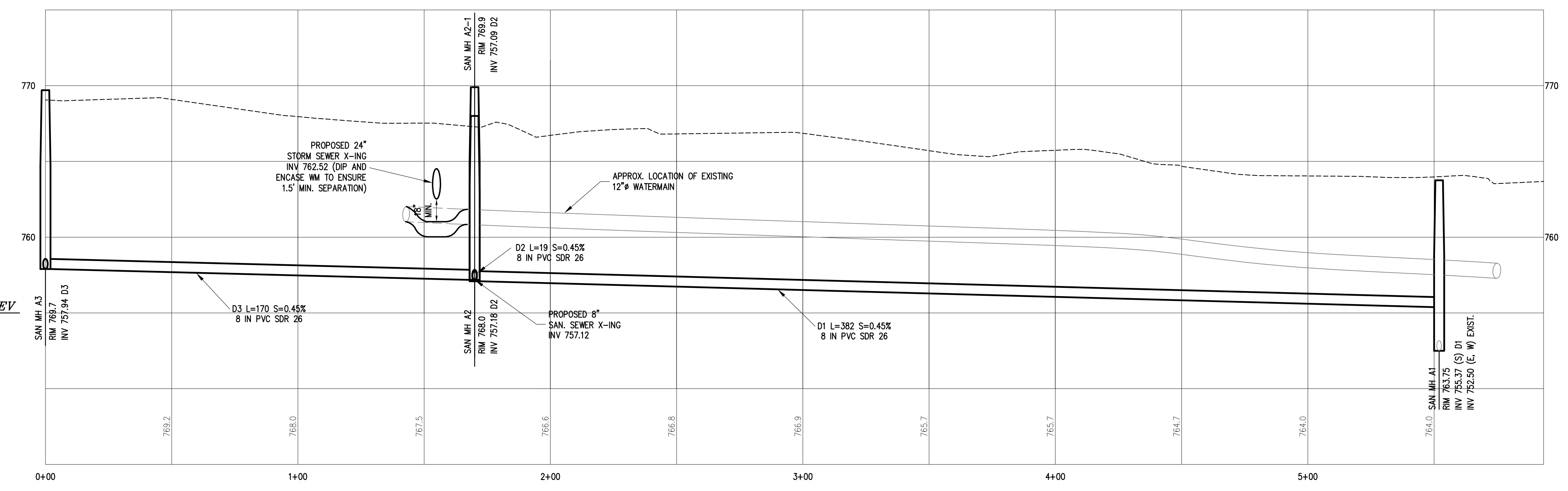


APPROXIMATE LIMITS OF EXCAVATION WITHIN FAIRVIEW AVE. ROW.

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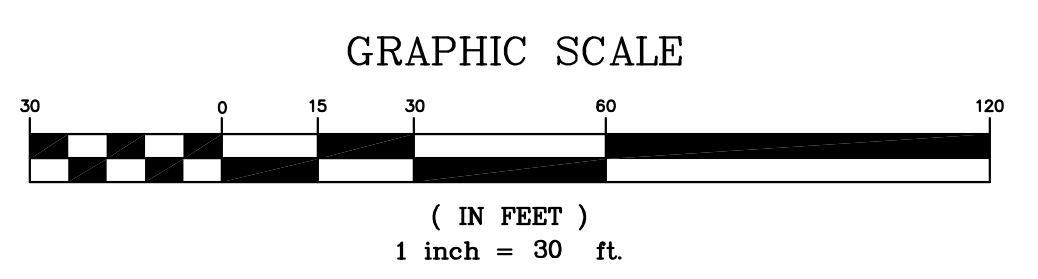
NUMBER	TOP OF SAN	SAN INVERT	TOP OF STORM	STORM INVERT	TOP OF WATER	WATER INVERT	CROSSING INFO
4	757.79	757.12	.....	.....	761.85(EX)	760.85(EX)	OKAY
5	757.94	757.25	.....	.....	762.53	760.77(PR)	OKAY
6							DIP WM



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4. SEE UTILITY PLAN FOR PROPOSED WATERMAIN STRUCTURE INFORMATION.
5. SEE SHEET 2 AND SHEET 5 FOR ADDITIONAL DOWNERS GROVE SANITARY DISTRICT NOTES AND DETAILS.
6. PARKWAY TREE ROOT PRUNING, TREE REMOVAL OR TREE REPLACEMENT TO BE COORDINATED WITH VILLAGE ARBORIST. ANY PARKWAY TREE THAT IS NOT BEING REMOVED SHALL HAVE THE APPROPRIATE PROTECTION MEASURES INSTALLED. SEE "EXISTING CONDITIONS AND DEMOLITION PLAN", SHEET 6, FOR TREE REMOVAL.
7. ALL PARKWAYS DISTURBED DURING CONSTRUCTION TO BE RESTORED TO VILLAGE SPECIFICATIONS WITH SOD.
8. INFORMATION REGARDING THE 48" DIAMETER WATERMAIN IN FAIRVIEW AVENUE PROVIDED BY DUPAGE WATER COMMISSION.

**BENCHMARK**  
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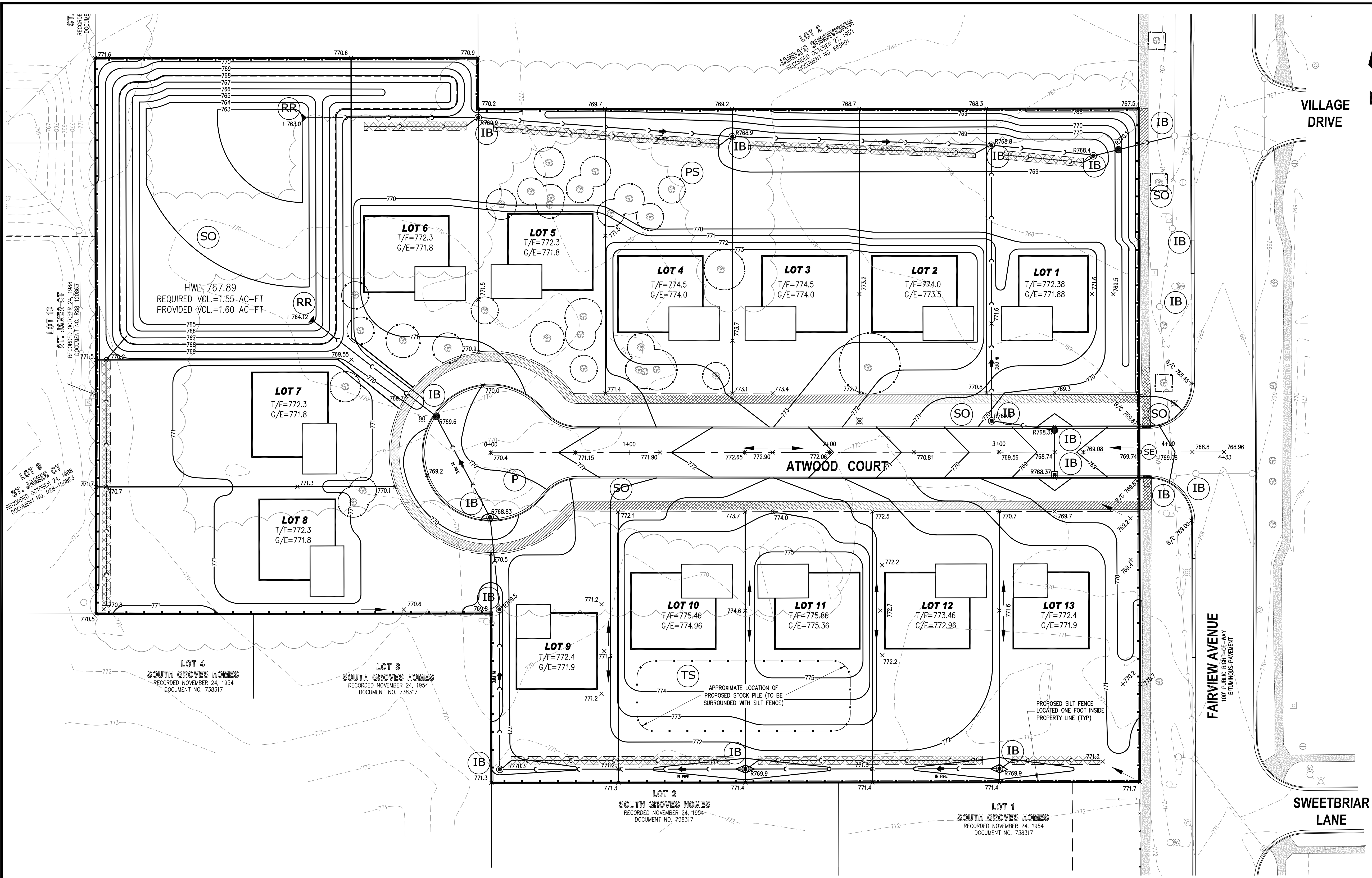
## ATWOOD SUBDIVISION

FAIRVIEW AVENUE BETWEEN 66TH STR. AND 67TH CT.  
 DOWNERS GROVE, ILLINOIS

DRAWN BY: SWL		CHECKED BY: TRH	
SCALE: 1"=30'		DATE: 12-01-11	
JOB NUMBER: 11-157		SHEET: 11 OF 12	
#	DATE	DESCRIPTION	
1	01-16-2012	REVISED PER VILLAGE	
2	02-07-2012	REVISED PER VILLAGE	
3			
4			
5			
6			
7			
8			



Consulting Civil Engineering  
 Land Planning & Surveying  
 1050 State Route 126  
 Plainfield, Illinois 60544  
 voice 815-254-0505  
 fax 815-436-5158



**LEGEND**

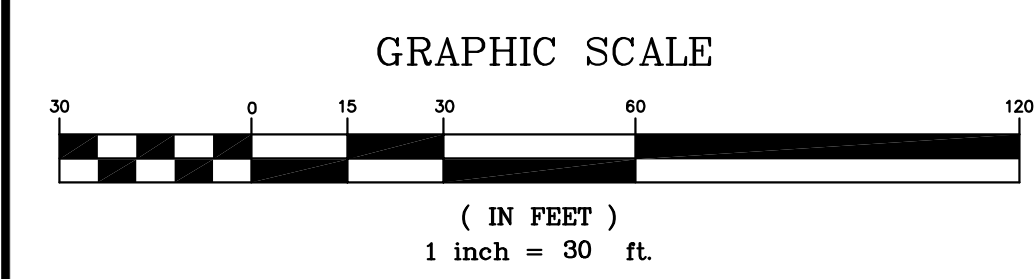
- (SF) SILT FENCE
- (P) PAVEMENT
- (ST) STORM SEWER
- (A) AGGREGATE COVER
- (IB) INLET BASKET
- (PS) PERMANENT SEEDING
- (SO) SODDING
- (SE) STABILIZED ENTRANCE
- (SP) SHORELINE PROTECTION
- (TS) TOPSOIL STOCKPILE
- (RR) RIP RAP
- PROPOSED SILT FENCE
- EXISTING TREE LINE
- ⊗ EXISTING TREE
- ⊠ EXISTING TREE TO BE PROTECTED

**NOTES:**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ELECTRIC LINES, TELEPHONE LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK.
2. EXISTING GRADES AND IMPROVEMENTS ARE SHOWN FROM THE BEST INFORMATION AVAILABLE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCY WITH THE PLAN SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE ANY UTILITIES OR OTHER OBSTRUCTIONS TO BE CROSSED BY THE PROPOSED SEWER, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS WITH THE PROPOSED SEWER GRADE.
4. STABILIZED CONSTRUCTION ENTRANCE SHALL CONSIST OF CA-3 STONE BASE 6" DEPTH MINIMUM.
5. ACCESS TO THE SITE SHALL BE LIMITED TO THE STABILIZED CONSTRUCTION ENTRANCE, UNLESS PRIOR APPROVAL FROM THE VILLAGE OF DOWNERS GROVE.
6. EROSION CONTROL MEASURES SHALL CONFORM TO "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS" LATEST EDITION, AND FURTHER MEASURES AS DEEMED NECESSARY. ALL EROSION CONTROL MEASURES WHICH ARE NECESSARY TO MEET THE REQUIREMENTS OF THE VILLAGE ORDINANCE SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.
7. TEMPORARY VEGETATION OR, WHEN APPROPRIATE, MULCHING OR OTHER NONVARIABLE COVER SHALL BE USED TO PROTECT AREAS EXPOSED DURING DEVELOPMENT.
8. PERMANENT SEEDING AREAS SHALL RECEIVE 16 LBS/ACRE CREEPING RED FESCUE AND 68 LBS/ACRE KENTUCKY BLUEGRASS.
9. STRAW BALES SHALL BE SPREAD AT A RATE OF TWO BALES/ACRE IN ALL PERMANENT SEEDING AREAS.
10. FERTILIZER SHOULD BE APPLIED PRIOR TO SEEDING AT THE FOLLOWING RATES:
 

NITROGEN	130 LBS/ACRE
PHOSPHORUS	130 LBS/ACRE
POTASSIUM	130 LBS/ACRE
11. THE EROSION CONTROL PLAN SHOULD BE INTENDED ONLY FOR EROSION CONTROL. PLEASE REFER TO THE GRADING PLANS FOR DETAILED GRADING INFORMATION.
12. ALL AREAS BETWEEN THE CURB AND THE WALK ARE TO BE SODDED.
13. PROTECTIVE GRATES ARE REQUIRED FOR ALL FLARED END SECTIONS.
14. PLACE MIRAFL 14 ON GEOTEXTILE FABRIC OR APPROVED EQUAL UNDER RIP-RAP AT BOTH OUTLETS OF FLARED END SECTIONS AND AT OVERFLOW WEIR. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
15. ALL PARKWAYS DISTURBED DURING CONSTRUCTION TO BE RESTORED TO VILLAGE SPECIFICATIONS.
16. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE. ALL SILT FENCE SHALL BE ERRECTED AND APPROVED BY THE VILLAGE OF DOWNERS GROVE PRIOR TO CONSTRUCTION.
17. ALL MAINTENANCE AND INSPECTION OF DESCRIBED EROSION CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE IN ACCORDANCE WITH CHAPTER 6 OF "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS."
18. PLEASE REFER TO SHEET 3 FOR FURTHER SPECIFICATIONS AND DETAILS OF DESCRIBED EROSION CONTROL MEASURES.
19. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR THE STOCKPILE.
20. GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASH DOWN FACILITIES IF NECESSARY, SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY. CONTRACTOR TO CLEAN FAIRVIEW AVENUE DAILY OR AS DIRECTED BY ENGINEER OR VILLAGE.
21. IF THE VOLUME, VELOCITY, SEDIMENT LOAD OR PEAK FLOW RATES OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, THEN THE PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM SUCH DEVELOPMENT SHALL BE PROTECTED FROM EROSION.
22. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN FIFTEEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN FIFTEEN DAYS AFTER INITIAL DISTRIBUTION SHALL BE PROTECTED FROM EROSION. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.
23. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.
24. ALL STORM SEWER STRUCTURES TO HAVE INLET BASKETS TO COLLECT ANY SILT WHICH MAY FLOW INTO STRUCTURES. INLET BASKETS TO REMAIN IN PLACE UNTIL SITE IS PERMANENTLY STABILIZED.

**BENCHMARK**  
 DUPAGE COUNTY BENCHMARK:  
 DGN07001 - BRONZE DISK IN CONCRETE BASE OF  
 TRAFFIC CONTROL BOX AT THE NORTHWEST CORNER  
 OF MAPLE AVENUE AND 55TH STREET.  
 ELEVATION...743.51' NGVD29



STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A									
DORMANT SEEDING	B											
TEMPORARY SEEDING			C									
SODDING			E									
MULCHING	F											

A - KENTUCKY BLUEGRASS 68 LBS/ACRE MIXED WITH CREEPING RED FESCUE 16 LBS/ACRE  
 B - KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE PLUS 2 TONS STRAW MULCH PER ACRE  
 C - SPRING OATS 100 LBS/ACRE  
 D - WHEAT OF CEREAL RYE 150 LBS/ACRE  
 E - SOD  
 F - STRAW MULCH 2 TONS/ACRE

\* IRRIGATION NEEDED DURING JUNE AND JULY  
 \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

**SOIL PROTECTION CHART**

TASK	DETENTION BASIN OUTLET	DETENTION BASIN INLET	DETENTION BASIN OUTLET	OUTLET CONTROL STRUCTURE	CATCH BASIN INLET FRAME GRATE	CATCH BASIN SLOPS	STORM SEWER SYSTEM	FREQUENCY
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	ANNUALLY
REMOVE SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	EVERY TWO YEARS
INSPECT FOR DEBRIS	X	X	X	X	X	X	X	SEASONAL AND AFTER STORM EVENTS
CLEAN DEBRIS	X	X	X	X	X	X	X	AS NEEDED
EROSION INSPECTION FOR SLOPES	X	X	X	X	X	X	X	SEASONAL AND AFTER STORM EVENTS
EROSION INSPECTION FOR DETENTION POND BOTTOM	X	X	X	X	X	X	X	SEASONAL AND AFTER STORM EVENTS
VEGETATION INSPECTION	X	X	X	X	X	X	X	QUARTERLY
VEGETATION REPLACEMENT	X	X	X	X	X	X	X	SEASONALLY
DEAD VEGETATION REMOVAL	X	X	X	X	X	X	X	ANNUALLY
INSPECT STONE RIP-RAP	X	X	X	X	X	X	X	EARLY SPRING
REPLACE STONE RIP-RAP	X	X	X	X	X	X	X	AS NEEDED
MOWING	X	X	X	X	X	X	X	MONTHLY
MAINTAIN MONITORING RECORDS	X	X	X	X	X	X	X	AS NEEDED
LITTER AND DEBRIS REMOVAL	X	X	X	X	X	X	X	AS NEEDED
NUTRIENT AND PESTICIDE MANAGEMENT	X	X	X	X	X	X	X	AS NEEDED
DETACHMENTS	X	X	X	X	X	X	X	AS NEEDED

**BMP MAINTENANCE PROGRAM**

TASK	WEEK 1	WEEK 2	WEEK 3	WEEK 4	WEEK 5	WEEK 6	WEEK 7	WEEK 8
INSTALLATION OF PERIMETER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, INLET PROTECTION DITCH CHECKS AND SILT FENCE								
TREE REMOVAL								
MASS GRADING AND STABILIZATION OF DETENTION POND								
UNDERGROUND UTILITY INSTALLATION								
PAVEMENT, CURB AND SIDEWALK INSTALLATION								
FINE GRADING								
SODDING, SEEDING & FINAL STABILIZATION								

(NOTE - SCHEDULE SUBJECT TO CHANGE DEPENDING ON START DATE AND WEATHER CONDITIONS.)

**ATWOOD SUBDIVISION**

FAIRVIEW AVENUE BETWEEN 66TH STR. AND 67TH CT. DOWNERS GROVE, ILLINOIS

SWPPP	DRAWN BY: SWL	CHECKED BY: TRH
	SCALE: 1"=30'	DATE: 12-01-11
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Consulting Civil Engineering  
 Land Planning & Surveying  
 1050 State Route 126  
 Plainfield, Illinois 60544  
 voice 815-254-0505  
 fax 815-436-5158

#	DATE	DESCRIPTION
1	01-16-2012	REVISED PER VILLAGE
2	02-07-2012	REVISED PER VILLAGE
3		
4		
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6		
7		
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© Copyright, 2012 C. M. Lavoie & Associates, Inc.  
 These plans are protected under the copyright laws of the United States and foreign countries, and are to be used only for the construction and/or repair of the Site Improvements as defined in the contract between the Engineer and the Owner. Any use of these plans, including details and specifications, to construct and/or repair additional items not described in these plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.

**PC-05-12** A petition seeking rezoning approval from R-1 Single Family Residence district to R-3 Single Family Residence district and Final Plat of Subdivision approval to re-subdivide five existing parcels into 14 new lots. The property is located on the west side of Fairview Avenue approximately 365 feet south of 66<sup>th</sup> Street, commonly known as 6622, 6700 and 6650 Fairview Avenue, Downers Grove, IL (PINs 09-20-211-012, -013, -018; 09-20-408-020, -021) C.M. Lavoie and Associates, Inc., Petitioner; Greenscape Homes, LLC., Owner.

Chairman Jirik swore in those individuals who would be speaking on the above petition.

Mr. Damir Latinovic, planner for the Village of Downers Grove, referred to the location of the parcels under discussion on the overhead noting that while there were three properties: 6622, 6700 and 6650 Fairview Avenue, there were actually five existing parcels with two vacant homes on the northern properties. The home on the southern property was occupied. The property was currently zoned R-1 Single Family and R-3 Single Family (the southern rental parcel) and the petitioner was asking to rezone the R-1 portion into R-3 and requesting the approval of final plat of subdivision to subdivide the property into 13 new lots with one detention lot (NW corner of site). All lots would have a minimum lot area of more than 10,500 sq. feet and be 75 feet in width.

All single-family homes would have to meet all requirements of the zoning ordinance. Staff believed the proposal was consistent with the Village's Comprehensive Plan, which called for quality housing and a variety of dwelling units throughout the Village. The Plan also recommended new developments be sensitive to the surrounding area. The lots were consistent with the sizes of other R-3 lots in the area. Mr. Latinovic noted the proposed development met the requirements of the Village's Subdivision Ordinance. He stated no exceptions were being requested.

Mr. Latinovic stated some trees would have to be removed to accommodate the project, but 33 of the trees would be preserved, according to the petitioner's tree preservation plan. He stated the Village would collect a fee-in-lieu from the petitioner for 20 new parkway trees.

Mr. Latinovic went on to note five-foot wide utility easements will be located along the side lot lines and 10-foot easements would be reserved along the rear lot lines. These easements would accommodate all utility structures. Mr. Latinovic explained Lot 14 would contain the stormwater detention area. The applicant will be required to park and school donations prior to the Village executing the plat of subdivision. Mr. Latinovic stated these donations would total approximately \$53,993.06.

A review of the street, parkway and sidewalk widths followed. Mr. Latinovic said one stop sign was planned at the intersection of Fairview for traffic exiting Atwood Court. Lot 14 will collect all stormwater run-off from the property and drain into the public storm sewer on Fairview Avenue. A homeowners association will be created for the proposed subdivision and will have responsibility for maintenance of the detention facility.

Mr. Latinovic reviewed the standards for approval for zoning map amendments. He explained how the proposal met each of the standards. Mr. Latinovic re-emphasized how the proposal met the goals of the Comprehensive Plan and requirements of the Subdivision Ordinance. He stated staff recommended the Plan Commission to forward a positive recommendation to the Village Council, subject to the conditions on pages 5 and 6 of the Staff Report.

Per Mr. Matejczyk's question, Mr. Latinovic confirmed that the areas to the north and south of the proposal would remain R-1 and the proposed subdivision would be zoned R-3. He indicated the adjacent subdivisions to the west were zoned R-3. As to the history of the R-1 area to the south, Mr. Latinovic could not confirm when the area was developed, but believed it was annexed as R-1 zoning, similar to when other parcels came into annexation from the County.

Chairman Jirik observed that two-thirds of the area was zoned R-3 already. He suggested the proposed zoning was a continuation of the existing development pattern. Mr. Latinovic concurred there was a predominance of the R-3 zoning and the change was not shifting a balance but was consistent with the trend of development.

Petitioner, Mr. Ken Neuman, owner of Greenscape Homes, LLC, recalled a few years ago a number of different zoning classifications were considered for the area, including town homes, with a higher density. He stated he reviewed the minutes from and the concerns raised during those hearings. Mr. Neuman discussed how the surrounding zoning was considered for the proposal and how the development would be consistent with the surrounding neighborhood. In response to the residents' concerns and the surrounding area, the proposal before the Commission was a standard proposal for single-family residences. The entire parcel, he noted, was purchased from the Fairview Ministries bankruptcy.

Mr. Neuman further discussed the three homes already under construction in his other development (Green Acres Subdivision). He stated the homes will be approximately 3,000 sq. foot homes with masonry fronts and most of them would have 3-car garages. He provided details about the proposed building material. Mr. Neuman described how the project met the Village's codes and requirements. As to stormwater detention, Mr. Neuman explained that the detention area aligns with the property to the west. Due to input received from residents and staff, he stated he purchased another parcel from the church in order to better align the stormwater detention basin with the neighboring pond.

Per a question from Mr. Beggs, Mr. Neuman explained how he came up with the subdivision's name.

Chairman Jirik opened the meeting up to public comment.

Mr. Bob Johnson, 400 67<sup>th</sup> Court, noted he resides south of the property and asked about the details of the location of the swale and storm sewer, what trees would be preserved, and easement details.

In response, Mr. Tim Hejny, with C.M. Lavoie and Associates, Inc., stated that some of the easements were expanded along the south property line to accommodate the swales and storm sewer. A silt fence would be installed along the property line, with some form of construction fence around it during development. He said the developer was not proposing fences for the final development. However, private owners may install them after the project is complete.

Mr. Johnson explained the topography of his lot behind the property and was concerned about the petitioner protecting his trees on his property. Mr. Hejny noted there would be fences to protect neighboring trees and they would be inspected after every storm

Mr. Johnson expressed concern about the building setback line being 40 feet off Fairview to which Mr. Hejny confirmed that the current setback met the proposed zoning planned for the subdivision. Mr. Latinovic interjected and explained to Mr. Johnson that every zoning district had different setbacks and with the proposed subdivision, the current zoning regulations and setbacks applied. He noted the R-1 district, the zoning for 400 67<sup>th</sup> Court, requires a 40-foot front setback while the R-3 zoning district, the current and proposed zoning for the subdivision, requires a 30-foot setback.

Mr. Johnson asked about the construction sequencing, wherein the Chairman explained that the Commission does not review the construction phasing for the project. Mr. O'Brien filled in those timeline details for the resident.

Mr. Jas Chawla, 1936 Sweetbriar Lane, Darien, IL, inquired as to when the development would begin and expressed concern about increased traffic on Fairview. Mr. Chawala asked if a traffic signal would be installed because it was difficult to turn onto Fairview. Mr. Hejny stated construction would begin within several weeks to a couple of months if the Village approved it. He stated there would not be a significant increase in traffic because there was only a net gain of 10 homes after the three existing homes were razed. He went on to explain there were no plans for a traffic signal on Fairview because the traffic from the proposed development did not warrant one. Mr. Chawala included what protection would his home have from the construction. Mr. Hejny explained where construction traffic would park and that the Village had strict rules governing construction activities.

Ms. Kathy Cummings, 411 67<sup>th</sup> Court, Downers Grove, voiced that the area was a nice five-acre parcel with trees that absorbed the stormwater. She expressed concern about replacing the trees with concrete, flooding issues, and the environment impact. She preferred to have the lot zoned R-1 like her own street.

Mr. Ken Nemec, 6631 St. James Court, Downers Grove, resides adjacent to the existing detention area. He confirmed he met with Mr. Neuman and thanked him for being very

cooperative with the information. However, Mr. Nemeč said he did have a concern about the tree line that bordered the west part of the lot of the development and the plans for that area. He agreed the trees in the neighborhood made the area nice. He also confirmed with Mr. Neuman that the drainage would not flow into the detention area on St. James Court.

In response, Mr. Hejny, stated that he would do everything possible to maintain as many trees as possible, but indicated there would be some utilities located and draining along the west property line. To date, it was difficult for him to determine to what extent the trees would be removed until the specific homes and grading were determined for each lot. Currently, there were no final plans for each lot's specific grading. Chairman Jirik, however, stepped in and explained that a property owner had a right to do whatever he/she wanted with the trees on their property and that most developers understood the value of trees and worked to identify quality trees and preserve them due to their value to a project.

Per another question by Mr. Nemeč regarding building location on a lot, Mr. O'Brien stepped in and explained that the foundations depicted on the drawings were for illustrative purposes. They are only used to identify the top and bottom of proposed foundations.

Mr. Johnson, 400 67<sup>th</sup> Court, returned and voiced concern about flooding since a nearby stream flowed east through two properties. Mr. Hejny explained that he was aware of the drainage conditions. He explained the proposed development's stormwater would be conveyed west, then to the detention pond and finally to the storm sewer along Fairview Avenue.

Mr. John Hoth, 402 67<sup>th</sup> Court, discussed the flooding that occurs on both sides of his house after it rained. He asked the petitioner where he planned to pick up grade to fill the back area. Mr. Hejny explained that the surface water would be conveyed to the detention basin through a series of underground storm sewers. The developer was not proposing to raise the grade.

There being no further comments, Chairman Jirik closed public comment. No further Commissioner questions to the public followed.

In response to the concerns of storm water, Mr. Ken Neuman, explained the detail of stormwater drainage for the proposed development. He indicated the run-off would be captured by a series of underground pipes, routed through the detention pond and then to the storm sewer in Fairview Avenue. Regarding the protection for the residents while construction was occurring, Mr. Neumann explained that the detention area will be installed first, followed by installation of the roadway. A chain link fence will surround the construction site and silt fence will be installed inside of the chain link fence. He estimated construction to commence mid-July and take two years to complete. Mr. Neuman provided more detail about tree preservation. He noted that pipes would zigzag through the trees to protect them. He went on to say houses would be set at the front

setback line to keep backyards as large as possible. Mr. Neuman recapped his petition and asked for the Commission's recommendation.

Per Mrs. Rabatah's question to staff, the Fire Department reviewed the proposal. Mr. O'Brien indicated the Department would review the placement of fire hydrants and water pressure when the plans are submitted for permit review. He went on to explain the village would maintain the cul-de-sac.

**WITH RESPECT TO FILE PC-05-12, MR. MATEJCZYK MADE A MOTION THAT THE PLAN COMMISSION FORWARD A POSTIVE RECOMMENDATION TO THE VILLAGE COUNCIL, SUBJECT TO THE FOLLOWING CONDITIONS:**

- 1. THE FINAL PLAT OF SUBDIVISION SHALL SUBSTANTIALLY CONFORM TO THE FINAL PLAT OF ATWOOD RESUBDIVISION PREPARED BY C. M. LAVOIE & ASSOCIATES. INC., DATED DECEMBER 02, 2011, LAST REVISED FEBRUARY 8, 2012, PROPOSED SITE IMPROVEMENTS FOR ATWOOD SUBDIVISION PREPARED BY C. M. LAVOIE & ASSOCIATES. INC., DATED DECEMBER 11, 2011, LAST REVISED FEBRUARY 7, 2012, EX07 TREE REMOVAL PLAN, PREPARED BY C. M. LAVOIE & ASSOCIATES. INC., DATED OCTOBER 26, 2011, LAST REVISED FEBRUARY 8, 2012 AND BOUNDARY & TOPOGRAPHY SURVEY PREPARED BY C. M. LAVOIE & ASSOCIATES. INC., DATED OCTOBER 26, 2011, EXCEPT AS SUCH PLANS MAY BE MODIFIED TO CONFORM TO THE VILLAGE CODES AND ORDINANCES.**
- 2. THE HOME OWNERS ASSOCIATION DECLARATION OF RESTRICTIVE COVENANTS DOCUMENT FOR THE ATWOOD SUBDIVISION SHALL BE RECORDED WITH THE PLAT OF SUBDIVISION.**
- 3. THE FINAL PLAT OF ATWOOD RESUBDIVISION SHALL BE REVISED TO INDICATE THE DEPTH OF PROPOSED PUBLIC UTILITY AND DRAINAGE EASEMENTS ALONG REAR LOT LINES OF LOTS 9-13.**
- 4. UPON COMPETITION OF ALL REMAINING PUBLIC IMPROVEMENTS FOR THE ENTIRE ATWOOD SUBDIVISION, THE PETITIONER SHALL SUBMIT RECORD DRAWINGS FOR APPROVAL BY THE VILLAGE COUNCIL. ALONG WITH THE RECORD DRAWINGS, THE PETITIONER SHALL SUBMIT A GUARANTEE SECURITY IN THE AMOUNT OF 20% OF THE TOTAL COST OF THE PUBLIC IMPROVEMENTS, WHICH SHALL EXPIRE NO EARLIER THAN TWO YEARS AFTER ACCEPTANCE OF SUCH PUBLIC IMPROVEMENTS BY THE VILLAGE COUNCIL.**
- 5. THE PETITIONER SHALL PAY \$53,993.06 FOR PARK AND SCHOOL DONATIONS (\$25,024.93 FOR THE PARK DISTRICT, \$19,480.93 FOR**



- SCHOOL DISTRICT 58 AND \$ 9,487.20 FOR SCHOOL DISTRICT 99)  
PRIOR TO VILLAGE EXECUTING THE PLAT.**
- 6. A FEE IN LIEU PAYMENT FOR 20 NEW PARKWAY TREES (\$500 PER TREE, TOTAL PAYMENT \$10,000) MUST BE SUBMITTED PRIOR TO ISSUANCE OF THE CONSTRUCTION PERMIT.**
  - 7. THE APPROVAL FROM THE DOWNERS GROVE SANITARY DISTRICT SHALL BE SUBMITTED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.**
  - 8. THE APPROVAL FROM THE DUPAGE COUNTY FOR IMPACT FEES AND THE DUPAGE COUNTY HEALTH DEPARTMENT FOR THE REMOVAL OF EXISTING WELLS ON THE PROPERTY SHALL BE SUBMITTED PRIOR TO ISSUANCE OF THE CONSTRUCTION PERMITS.**

**MR. BEGGS SECONDED THE MOTION.**

For the record, Chairman Jirik stated the proposal met the Standards for Approval and was responsive and satisfied the fulfillment of review of the standards. He agreed with staff's analysis of this proposal.

**ROLL CALL:**

**AYE: MR. MATEJCZYK, MR. BEGGS, MR. HOSE, MR. QUIRK, MRS. RABATAH, CHAIRMAN JIRIK**

**NAY: NONE**

**MOTION CARRIED. VOTE: 6-0**

## Lot Dimensions

<b>Atwood Subdivision</b>	<b>Lot Width (req. 75 ft.)</b>	<b>Lot Depth (req. 140 ft.)</b>	<b>Lot Area (req. 10, 500 sq. ft.)</b>
Lot 1	90.14 ft	167.91 ft	15,119 sq. ft.
Lot 2	75 ft.	167.91 ft.	12,593 sq. ft.
Lot 3	75 ft.	167.90 ft.	12,593 sq. ft.
Lot 4	75 ft.	167.90 ft.	12,593 sq. ft.
Lot 5	75 ft.	147 ft.	11,561 sq. ft.
Lot 6	75 ft.	182 ft.	13,545 sq. ft.
Lot 7	75 ft.	174 ft.	12,705 sq. ft.
Lot 8	75 ft.	197 ft.	15,826 sq. ft.
Lot 9	75 ft.	147 ft.	11,163 sq. ft.
Lot 10	75 ft.	160 ft.	12,000 sq. ft.
Lot 11	75 ft.	160 ft.	12,000 sq. ft.
Lot 12	75 ft.	160 ft.	12,000 sq. ft.
Lot 13	82.81 ft.	160 ft.	13,265 sq. ft.
Lot 14 Stormwater Detention Lot	15 ft.	214 ft.	27,559 sq. ft.