

**VILLAGE OF DOWNERS GROVE
REPORT FOR THE VILLAGE COUNCIL MEETING
JULY 10, 2012 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
BID: ST-033 Grove Street Reconstruction	Resolution Ordinance ✓ Motion Discussion Only	Nan Newlon, P.E. Director of Public Works

SYNOPSIS

A motion is requested to award a contract for the Grove Street Reconstruction project to V3 Construction Group, Ltd. of Woodridge, Illinois in the amount of \$970,000.00.

STRATEGIC PLAN ALIGNMENT

The goals for 2011 to 2018 include *Top Quality Infrastructure* and *Steward of Financial and Environmental Sustainability*.

FISCAL IMPACT

The FY12 budget includes \$991,445 for this project in the Capital Projects, Stormwater and Water Funds.

RECOMMENDATION

Approval on the July 10, 2012 active agenda.

BACKGROUND

The pavement on Grove Street has severely deteriorated over time and had been identified as needing to be fully reconstructed. It has been patched in recent years; however, the remaining pavement continues to degrade rapidly. Staff identified an opportunity to combine this roadway reconstruction project with the Downtown Business District Water Quality Enhancements and Green Streets/Sustainable Stormwater Projects by reconstructing the roadway with permeable pavers, and incorporating several water quality features that will help to clean the stormwater runoff from this area before it is discharged into St. Joseph's Creek. The pavers will also help to replicate the look of the brick street that Grove was previously (the bricks have been overlayed with asphalt and are not salvageable) and will also provide traffic calming on both Grove Street, as well as the intersection of Grove and Carpenter.

This project includes the removal and replacement of the existing pavement, curb and gutter, storm sewer, and water main along the entire stretch of Grove Street from Main Street to Carpenter Street. There is an approximately 200 foot long stretch of Carpenter Street that will also benefit from removal and replacement of pavement, curb and gutter and water main. The roads will be reconstructed with permeable pavers and curb bump-outs will be installed at the intersection of Grove and Carpenter Streets as an additional traffic calming measure. The project will be completed in two phases to minimize impact to residents, church members and business owners. Neighborhood meetings have been held to solicit input and provide information.

Five bids were received on June 13, 2012. The contract documents included requirements for bidders to provide specific information related to performance on projects of the same size and scope, as well as qualification information for their staff that would be assigned to the project and for their sub-contractors. This information allows staff to review the submittals and determine if a contractor is qualified to perform the work based on their past performance. V3 was the lowest bidder that provided a complete submittal. This information demonstrated that both the firm and the proposed project team members have the

qualifications to perform this project on behalf of the Village. A synopsis of the qualified bids is as follows:

Contractor	Base Bid Amount	Bid Compliance
Swallow Construction	\$960,596.75	Incomplete qualification information
V3 Construction	\$970,000.00	Complete qualification information
J.S. Reimer	\$1,030,295.00	Incomplete qualification information
Landmark Contractors	\$1,070,577.20	Incomplete qualification information
Austin Tyler Construction	\$1,190,968.75	Incomplete qualification information

Staff recommends awarding this contract to V3 Construction Group, Ltd. of Woodridge, Illinois. V3 provided a list of completed projects of similar size and scope, qualifications of their project team, and has performed satisfactorily for the Village on several projects in the past. A report card for V3 is attached.

ATTACHMENTS

- Capital Project Sheets ST-033, SW-069, SW-073
- Contract Documents
- Contract Signature Pages
- Contractor Campaign Disclosure

VILLAGE OF DOWNERS GROVE
COUNCIL ACTION SUMMARY

INITIATED: Public Works **DATE:** July 10, 2012
(Name)

RECOMMENDATION FROM: _____ **FILE REF:** _____
(Board or Department)

NATURE OF ACTION:

STEPS NEEDED TO IMPLEMENT ACTION:

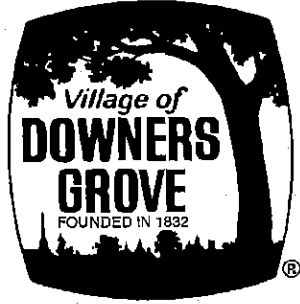
- Ordinance
- Resolution
- Motion
- Other

Motion to award a contract for the Grove Street Reconstruction Project to V3 Construction group, Ltd. in the amount of \$970,000.00.

SUMMARY OF ITEM:

Adoption of this motion shall award a contract for the Grove Street Reconstruction Project to V3 Construction group, Ltd. in the amount of \$970,000.00.

RECORD OF ACTION TAKEN:



CALL FOR BIDS – FIXED WORKS PROJECT

- I. Name of Company Bidding: V3 CONSTRUCTION GROUP, LTD.
- II. Instructions and Specifications:
- A. Bid No.: ST-033
 - B. For: GROVE STREET RECONSTRUCTION
 - C. Bid Opening Date/Time: JUNE 13, 2012 @ 10:00 A.M.
 - D. Pre-Bid Conference Date/Time: MAY 30, 2012 @ 10:00 A.M. REQUIRED
 - E. Pre-Bid Conference Location: PUBLIC WORKS, 5101 WALNUT DRIVE
- III. Required of All Bidders:
- A. Bid Deposit: 10%
 - B. Letter of Capability of Acquiring Performance Bond: YES
- IV. Required of Awarded Contractor(s)
- A. Performance Bond or Letter of Credit: YES
 - B. Certificate of Insurance: YES

Legal Advertisement Published: MONDAY, MAY 21, 2012

This document comprises 96 pages

RETURN ORIGINAL BID IN SEALED ENVELOPE MARKED WITH THE BID NUMBER AS NOTED ABOVE TO:

JEFF LOSTER, P.E.
STAFF ENGINEER
VILLAGE OF DOWNERS GROVE
801 BURLINGTON
DOWNERS GROVE, IL 60515
PHONE: 630/434-6875
FAX: 630/434-5495
www.downers.us

CALL FOR BIDS – FIXED WORKS PROJECT

Bid No.: ST-033

The VILLAGE OF DOWNERS GROVE will receive bids Monday thru Friday, 8:00 A.M. to 5:00 P.M. at the Public Works Building, 5101 Walnut Avenue, Downers Grove, IL 60515.

The Village Council reserves the right to accept or reject any and all bids, to waive technicalities and to accept or reject any item of any Bid.

The documents constituting component parts of this Contract are the following:

- I. CALL FOR BIDS
- II. TERMS & CONDITIONS
- III. GENERAL PROVISIONS
- IV. SPECIAL PROVISIONS
- V. BID & CONTRACT FORM

All Bidders MUST submit the entire bid package, with one original Bid Form. Upon formal Award, the successful Bid will automatically convert to a Contract, and the successful Bidder will receive a copy of the executed contract upon formal award of the Bid with the Notice of Award.

DO NOT DETACH ANY PORTION OF THIS DOCUMENT. INVALIDATION COULD RESULT.

I. CALL FOR BIDS and INSTRUCTIONS TO BIDDERS

1. GENERAL

- 1.1 Notice is hereby given that Village of Downers Grove will receive sealed bids up to: JUNE 13, 2012 @ 10:00 A.M.
- 1.2 Defined Terms:
 - 1.2.1 Village – the Village of Downers Grove acting through its officers or agents.
 - 1.2.2 Contract Documents – this document plus any drawings issued therewith, any addenda and the Bidder’s completed proposal, bonds and all required certifications.
 - 1.2.3 Bid – this document completed by an individual or entity and submitted to the Village.
 - 1.2.4 Bidder – the individual or entity who submits or intends to submit a bid proposal to the Village.
 - 1.2.5 Contractor – the individual or entity whose bid is selected by the Village and who enters into a contract with the Village.
 - 1.2.6 Work – the construction or service defined herein.
 - 1.2.7 Day – unless otherwise stated all references to day “Day” “Days”, “day” or “days” shall refer to calendar days.
 - 1.2.8 Proposal Guaranty – the required bid deposit.
- 1.3 Bids must be received at the Village by the time and date specified. Bids received after the specified time and date will not be accepted and will be returned unopened to the Bidder.
- 1.4 Bids shall be sent to the Village of Downers Grove, ATTN: Jeff Loster, P.E., in a sealed envelope marked "SEALED BID". The envelope shall be marked with the name of the project, date, and time set for receipt of Bids. The bid package may be submitted any time prior to the time set for receipt of Bids.
- 1.5 All Bids must be submitted on the forms supplied by the Village and signed by a proper official of the company submitting the Bid. Telephone, email and fax Bids will not be accepted.
- 1.6 Under penalty of perjury, the Bidder certifies by submitting this Bid that he has not acted in collusion with any other Bidder or potential Bidder.

2. BID PREPARATION

- 2.1 It is the responsibility of the Bidder to carefully examine the Contract Documents and to be familiar with all of the requirements, stipulations, provisions, and conditions surrounding the proposed Work.

- 2.2 The Bidder shall inspect the site of the proposed Work in detail, investigate and become familiar with all the local conditions affecting the Work and become fully acquainted with the detailed requirements of the Work. Submitting a Bid shall be a conclusive assurance and warranty that the Bidder has made these examinations and that the Bidder understands all requirements for the performance of the Work. If the Bid is accepted, the Bidder will be responsible for all errors in the Bid resulting from his willing or neglectful failure to comply with these instructions. **IN NO CASE WILL THE VILLAGE BE RESPONSIBLE FOR ANY COSTS, EXPENSES, LOSSES OR CHANGES IN ANTICIPATED MARGINS OF PROFIT RESULTING FROM THE WILLING OR NEGLECTFUL FAILURE OF THE BIDDER TO MAKE THESE EXAMINATIONS. THE VILLAGE WILL NOT BE RESPONSIBLE FOR ANY COSTS, EXPENSES, LOSSES OR CHANGES IN ANTICIPATED MARGINS OF PROFIT RESULTING FROM THE WILLING OR NEGLECTFUL FAILURE OF THE CONTRACTOR TO PROVIDE THE KNOWLEDGE, EXPERIENCE AND ABILITY TO PERFORM THE WORK REQUIRED BY THIS CONTRACT.** No changes in the prices, quantities or contract provisions shall be made to accommodate the inadequacies of the Bidder, which might be discovered subsequent to award of contract. The Bidder shall take no advantage of any error or omission in the Contract Documents nor shall any error or omission in the Contract Documents serve as the basis for an adjustment of the amounts paid to the Bidder.
- 2.3 When the Contract Documents include information pertaining to subsurface explorations, borings, test pits, and other preliminary investigations, such information is included solely for the convenience of the Bidder. *The Village assumes no responsibility whatsoever with respect to the sufficiency of the information, and does not warrant, neither expressly nor by implication, that the conditions indicated represent those existing throughout the Work, or that unanticipated developments may not occur.*
- 2.4 Any information shown in the Contract Documents regarding the locations of underground utility facilities is included solely for the convenience of the Bidder. The Village assumes no responsibility whatsoever with respect to the sufficiency, accuracy or inadequacy of such information. It shall be the Bidder's responsibility to obtain detailed information from the respective utility companies relating to the location of their facilities and the work schedules of the utility companies for removing or adjusting them. Utilities whose facilities may be affected by the work include, but may not be limited to, the following: Nicor, ComEd, SBC, Comcast Cable, Downers Grove Sanitary District, and Village water, storm sewer, and street lighting systems.
- 2.5 No oral or telephone interpretations of specifications shall be binding upon the Village. All requests for interpretations or clarifications shall be made in writing and received by the Village at least five (5) business days prior to the date set for receipt of Bids or the pre-bid conference, if offered. The Village shall make all changes or interpretations of the Contract Documents in a written addendum and shall provide an addendum to any Bidder of record. Any and all changes to the Contract Documents are valid only if they are included by written addendum to all Bidders. Each Bidder must acknowledge receipt of any addenda by indicating same on the Bid Form. Each Bidder, by acknowledging receipt of any addenda, is responsible for the contents of the addenda and any changes to the Bid therein. Failure to acknowledge any addenda may cause the Bid to be rejected. The Village will not assume responsibility for receipt of any addenda. In all cases, it will be the Bidder's responsibility to obtain all addenda issued. Bidders will provide written acknowledgement of receipt of each addendum issued with the bid submission.
- 2.6 An estimate of the quantities of Work to be performed and the materials to be furnished is shown in the Bid Form. It is given as a basis for comparing the properly submitted Bids, and shall be used by

the Village in awarding the Contract. The Village does not expressly warrant nor imply that the estimated quantities shown will correspond with those quantities required to perform the Work. No Bidder shall plead misunderstanding or deception because of such an estimate of quantities, or because of the character, location or other conditions pertaining to the Work. Payment shall be based on the actual quantities of work properly performed in accordance with the Contract, at the Contract unit prices specified. The Village reserves the right to increase, decrease or omit entirely, any or all items. No allowance will be made for any change in anticipated profits due to an increase or decrease in the original estimate of quantities.

- 2.7 The Bidder must submit his Bid on the form furnished by the Village. The Bid shall be executed properly, and Bids shall be made for all items indicated in the Bid Form. The Bidder shall indicate, in figures, a unit price or lump sum price for each of the separate items called for in the Bid Form. The Bidder shall show the products of the respective quantities and unit prices in the column provided for that purpose. The gross sum shown in the place indicated in the Bid Form shall be the summation of said products. All writing shall be with ink or typewriter, except the signature of the Bidder, which shall be written with ink.
- 2.8 In case of error in the extension of prices in the Bid, the hourly rate or unit price will govern. In case of discrepancy in the price between the written and numerical amounts, the written amount will govern.
- 2.9 All costs incurred in the preparation, submission, and/or presentation of any Bid including the Bidder's travel or personal expenses shall be the sole responsibility of the Bidder and will not be reimbursed by the Village.
- 2.10 The Bidder hereby affirms and states that the prices quoted herein constitute the total cost to the Village for all work involved in the respective items, as well as the materials to be furnished in accordance with the collective requirements of the Contract Documents. The Bidder also affirms that this cost includes all insurance, bonds, royalties, transportation charges, use of all tools and equipment, superintendence, overhead expense, profits and other work, services and conditions necessarily involved in the work to be done.
- 2.11 The Bidder shall complete and submit with the Bid an "Affidavit" (IDOT Form BC-57, or similar) listing all uncompleted contracts, including subcontract work; all pending low bids not yet awarded or rejected, and equipment available.
- 2.12 The Bidder shall complete and submit with the Bid a "Municipal Reference List" indicating other municipalities for which the Bidder has successfully performed similar work.

3. PRE-BID CONFERENCE

- 3.1 A pre-bid conference may be offered to provide additional information, inspection or review of current facilities or equipment, and to provide an open forum for questions from Bidders. This pre-bid conference is not mandatory (unless stated "Required" on the cover of this document), but attendance by Bidders is strongly advised as this will be the last opportunity to ask questions concerning the Bid.
- 3.2 Questions may be posed in writing to the Village (faxed and emailed questions are acceptable), but must be received by the Village prior to the scheduled time for the pre-bid conference. Questions received will be considered at the conference. An addendum may be issued as a result of the pre-bid

conference. Such an addendum is subject to the provisions for issuance of an addendum as set forth in Section 2.5 above.

3.3 No Contract Documents will be issued after the pre-bid conference except to attendees.

4. BID SUBMISSION

4.1 An original copy of the sealed bid marked as indicated in Section 1 shall be submitted to the Village.

4.2 A bid deposit will be required, which shall not exceed ten percent (10%) of the estimated cost of the work to be furnished. Such bid deposit shall be in the form of a bid bond, certified check, cash or money order. Checks shall be drawn upon a bank of good standing payable to the order of the Village and said deposit shall be forfeited to the Village in the event the Bidder neglects or refuses to enter into a contract and bond when required, with approved sureties, to execute the Work or furnish the material for the price mentioned in his Bid and according to the plans and specifications in case the contract shall be awarded to him.

4.3 Bids shall be publicly opened at the hour and place indicated above.

5. BID MODIFICATION OR WITHDRAWAL

5.1 A Bid that is in the possession of the Village may be altered by a letter bearing the signature or name of the person authorized for submitting a Bid, provided that it is received prior to the time and date set for the bid opening. Telephone, email or verbal alterations of a Bid will not be accepted.

5.2 A Bid that is in the possession of the Village may be withdrawn by the Bidder, up to the time set for the bid opening, by a letter bearing the signature or name of the person authorized for submitting Bids. Bids may not be withdrawn after the bid opening and shall remain valid for a period of ninety (90) days from the date set for the bid opening, unless otherwise specified.

5.3 Any Bidder who does not submit a Bid is requested to return the enclosed Statement of "No Bid" postcard. Bidders not submitting Bids or "No Bid Statement" may otherwise be removed from the Village's bid mailing list.

6. BID REJECTION

6.1 Bids that contain omissions, erasures, alterations, additions not called for, conditional bids or alternate bids not called for, or irregularities of any kind, shall be rejected as informal or insufficient. Bids otherwise acceptable, which are not accompanied by the proper Proposal Guaranty, shall also be rejected as informal or insufficient. The Village reserves the right however, to reject any or all Bids and to waive such technical error as may be deemed best for the interest of the Village.

7. BIDDER COMPETENCY

7.1 No Bid will be accepted from or contract awarded to any person, firm or corporation that is in arrears or is in default upon any debt or contract. The Bidder, if requested, must present evidence to the Village of ability and possession of necessary facilities, and financial resources to comply with the terms of the Contract Documents. Evidence must be presented within three (3) business days.

8. BIDDER DISQUALIFICATION

8.1 Any one or more of the following causes may be considered as sufficient for the disqualification of a

Bidder and the rejection of their Bid.

- 8.1.1 More than one Bid for the same Work from an individual, firm partnership, or corporation under the same or different names.
- 8.1.2 Evidence of collusion among Bidders.
- 8.1.3 Unbalanced Bids in which the prices for some items are substantially out of proportion to the prices for other items.
- 8.1.4 Failure to submit a unit price for each item of Work listed in the Bid Form.
- 8.1.5 Lack of competency as revealed by financial statement or experience questionnaire.
- 8.1.6 Unsatisfactory performance record as shown by past work, judged from the standpoint of workmanship and progress.
- 8.1.7 Uncompleted work which, in the judgment of the Village, might hinder or prevent the prompt completion of this Work.
- 8.1.8 Failure to submit a signed Bidder's Certificate stating the following:
 - 8.1.8.1 That the Bidder is not barred from bidding on this Contract as a result of a violation of Sections 720 ILCS 5/33-E3 and 720 ILCS 5/33-E4 of the Illinois Compiled Statutes; and
 - 8.1.8.2 The Bidder is not delinquent in the payment of any tax administered by the Illinois Department of Revenue; and
 - 8.1.8.3 The Bidder will maintain the types and levels of insurance required by the terms of this contract; and
 - 8.1.8.4 The Bidder will comply with the Illinois Prevailing Wage Act, 820 ILCS 130/1 *et seq.*

9. BASIS OF AWARD

- 9.1 The Village reserves the exclusive right to accept or reject any and all Bids or to waive sections, technicalities and irregularities, or to accept or reject any Bid or any item of any Bid.

10. AWARD OF CONTRACT

- 10.1 Unless the Village exercises its right to reject all Bids, the Contract will be awarded to that responsible Bidder whose Bid, conforming to the Contract Documents, will be most advantageous to the Village, price and other factors considered. (the credentials, financial information, bonding capacity, insurance protection, qualifications of the labor and management of the firm, past experience and ability to complete the project within time frame required - lowest responsible bidder)

10.2 Unless otherwise specified, if a Contract is not awarded within ninety (90) days after the opening of Bids, a Bidder may file a written request with the Village for the withdrawal of their Bid. The Village will have a maximum of ten (10) days after the receipt of such request to award the Contract or release the Bidder from further obligation by return of the Bidder's bid deposit. Any attempt or actual withdrawal or cancellation of a Bid by the awarded contractor who has been notified by the Village of the acceptance of said Bid shall be considered a breach of contract.

11. RETURN OF BID DEPOSIT

11.1 The bid deposit of all except the three (3) lowest responsive bidders on each contract will be returned within fifteen (15) days after the opening of Bids. The remaining bid deposits of each contractor will be returned within fifteen (15) days after the Village Council has awarded the contract and the required appurtenances to the contract have been received.

12. FAILURE TO ENTER INTO CONTRACT

12.1 Failure on the part of the successful Bidder to execute a Contract and provide acceptable bonds, as provided herein, within ten (10) days from the date of receipt of the Contract and Notice of Award from the Village, will be considered as just cause for the revocation of the award. The Bidder's bid security shall then be forfeited to the Village, not as a penalty but in payment of liquidated damages sustained as a result of such failure.

12.2 The Bidder shall not be allowed to claim lack of receipt where the Contract and Notice of Award was mailed by U.S. Postal Services certified mail to the business address listed in his Bid. In case the Village does not receive evidence of receipt within ten (10) days of the date of Notice of Award, the Village may revoke the award. The Bidder shall then forfeit the bid security to the Village, not as a penalty but in payment of liquidated damages sustained as the result of such failure to execute the Contract.

12.3 By submitting a Bid, the Bidder understands and agrees that, if his Bid is accepted, and he fails to enter into a contract forthwith, he shall be liable to the Village for any damages the Village may thereby suffer.

13. SECURITY FOR PERFORMANCE

13.1 The successful Bidder shall, within ten (10) days after acceptance of the Bidder's Bid by the Village, furnish a Performance Bond and a Materials and Labor Payment Bond acceptable to the Village in the full amount of the Bid. Said bonds shall guarantee the Bidder's performance under the Contract Documents and shall guarantee payment of all subcontractors and material suppliers. Any bond shall include a provision as will guarantee faithful performance of the Illinois Prevailing Wage Act, 820 ILCS 130/1 et seq.

14. TAX EXEMPTION

14.1 The Village is exempt from Illinois sales or use tax for direct purchases of materials and supplies. A copy of the Illinois Sales Tax Exemption Form will be issued upon request. The Village's federal identification number will also be provided to the selected Bidder.

15. RESERVED RIGHTS

15.1 The Village reserves the right to waive sections, irregularities, technicalities and informalities to this Contract and to accept any Bid and to reject any and all Bids and to disapprove of any and all

subcontractors as may be in the best interest of the Village. Time and date requirements for receipt of Bids, however, will not be waived.

16. CATALOGS AND SHOP DRAWINGS

16.1 Each Bidder shall submit catalogs, descriptive literature, and detailed drawings, where applicable, to fully illustrate and describe the work or material he proposes to furnish.

17. TRADE NAMES AND SUBSTITUTIONS

17.1 Certain materials and equipment are specified by a manufacturer or trade name to establish standards or quality and performance and not for the purpose of limiting competition. Products of other manufacturers may be substituted, if, in the opinion of the Village, they are equal to those specified in quality, performance, design, and suitability for intended use. If the Bidder proposes to furnish an "equal", the proposed "equal" item must be so indicated in the written Bid. Where two or more items are specified, the selection among those specified is the Bidder's option, or he may submit his Bid on all such items. Detail specification sheets shall be provided by Bidder for all substituted items.

II. TERMS AND CONDITIONS

18. VILLAGE ORDINANCES

18.1 The successful Bidder, now the Contractor, will strictly comply with all ordinances of the Village of Downers Grove and laws of the State of Illinois.

19. USE OF VILLAGE'S NAME

19.1 The Contractor is specifically denied the right of using in any form or medium the name of the Village for public advertising unless the Village grants express permission.

20. HOURS OF WORK

20.1 The Contractor shall do no work between the hours of 7:00 p.m. and 7:00 a.m., nor on Saturdays, Sundays or legal holidays, unless otherwise approved in writing by the Village. However, such work may be performed at any time if necessary, for the proper care and protection of work already performed, or in case of an emergency. All after-hour work is still subject to the permission of the Village.

21. PERMITS AND LICENSES

21.1 The Contractor shall obtain all necessary permits and licenses required to complete the Work. The cost of acquisition of all necessary permits, bonds, insurance and services as specified herein shall be considered INCIDENTAL, and no additional compensation will be allowed the Contractor.

22. INSPECTION

22.1 The Village shall have a right to inspect, by its authorized representative, any material, components or workmanship as herein specified. Materials, components or workmanship that have been rejected by the Village as not in accordance with the terms of the contract specifications shall be replaced by the Contractor at no cost to the Village.

23. DELIVERIES

23.1 All materials shipped to the Village must be shipped F.O.B. designated location, Downers Grove, Illinois.

24. SPECIAL HANDLING

24.1 Prior to delivery of any product that is caustic, corrosive, flammable or dangerous to handle, the Contractor will provide written directions as to methods of handling such products, as well as the antidote or neutralizing material required for its first aid before delivery. Contractor shall also notify the Village and provide material safety data sheets for all substances used in connection with this Contract which are defined as toxic under the Illinois Toxic Substances Disclosure to Employees Act.

25. NONDISCRIMINATION

25.1 Contractor shall, as a party to a public contract:

25.1.1 Refrain from unlawful discrimination in employment and undertake affirmative action to assure equality of employment opportunity and eliminate the effects of past discrimination;

25.1.2 By submission of this Bid, the Contractor certifies that he is an "equal opportunity employer" as defined by Section 2000(e) of Chapter 21, Title 42, U.S. Code Annotated and Executive

Orders #11246 and #11375, which are incorporated herein by reference. The Equal Opportunity clause, Section 6.1 of the Rules and Regulations of the Department of Human Rights of the State of Illinois, is a material part of any contract awarded on the basis of this Bid.

- 25.2 It is unlawful to discriminate on the basis of race, color, sex, national origin, ancestry, age, marital status, physical or mental handicap or unfavorable discharge for military service. Contractor shall comply with standards set forth in Title VII of the Civil Rights Act of 1964, 42 U.S.C. Secs. 2000 et seq., The Human Rights Act of the State of Illinois, 775 ILCS 5/1-101 et. seq, and The Americans With Disabilities Act, 42 U.S.C. Secs. 12101 et. seq.

26. SEXUAL HARASSMENT POLICY

26.1 The Contractor, as a party to a public contract, shall have a written sexual harassment policy that:

- 26.1.1 Notes the illegality of sexual harassment;
- 26.1.2 Sets forth the State law definition of sexual harassment;
- 26.1.3 Describes sexual harassment utilizing examples;
- 26.1.4 Describes the Contractor’s internal complaint process including penalties;
- 26.1.5 Describes the legal recourse, investigative and complaint process available through the Illinois Department of Human Rights and the Human Rights Commission and how to contact these entities; and
- 26.1.6 Describes the protection against retaliation afforded under the Illinois Human Rights Act.

27. EQUAL EMPLOYMENT OPPORTUNITY

27.1 In the event of the Contractor’s non-compliance with the provisions of this Equal Employment Opportunity Clause, the Illinois Human Rights Act or the Rules and Regulations of the Illinois Department of Human Rights (“Department”), the Contractor may be declared ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations, and the contract may be canceled or voided in whole or in part, and such other sanctions or penalties may be imposed or remedies invoked as provided by statute or regulation. During the performance of this Contract, the Contractor agrees as follows:

- 27.1.1 That it will not discriminate against any employee or applicant for employment because of race, color, religion, sex, marital status, national origin or ancestry, age, physical or mental disability unrelated to ability, military status, order of protection status, sexual orientation, sexual identity, or an unfavorable discharge from military service; and further that it will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate affirmative action to rectify any such underutilization.
- 27.1.2 That, if it hires additional employees in order to perform this Contract or any portion thereof, it will determine the availability (in accordance with the Department’s Rules and Regulations) of minorities and women in the area(s) from which it may reasonably recruit and it will hire for each job classification for which employees are hired in such a way that minorities and women are not underutilized.
- 27.1.3 That, in all solicitations or advertisements for employees placed by it or on its behalf, it will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, marital status, national origin or ancestry, age, physical or mental

disability unrelated to ability, military status, order of protection status, sexual orientation, or an unfavorable discharge from military services.

- 27.1.4 That it will send to each labor organization or representative of workers with which it has or is bound by a collective bargaining or other agreement or understanding, a notice advising such labor organization or representative of the Contractor's obligations under the Illinois Human Rights Act and the Department's Rules and Regulations. If any such labor organization or representative fails or refuses to cooperate with the Contractor in its efforts to comply with such Act and Rules and Regulations, the Contractor will promptly so notify the Department and the contracting agency and will recruit employees from other sources when necessary to fulfill its obligations thereunder.
- 27.1.5 That it will submit reports as required by the Department's Rules and Regulations, furnish all relevant information as may from time to time be requested by the Department or the contracting agency, and in all respects comply with the Illinois Human Rights Act and the Department's Rules and Regulations.
- 27.1.6 That it will permit access to all relevant books, records, accounts and work sites by personnel of the contracting agency and the Department for purpose of investigation to ascertain compliance with the Illinois Human Rights Act and the Department's Rules and Regulations.
- 27.1.7 That it will include verbatim or by reference the provisions of this clause in every subcontract it awards under which any portion of the contract obligations are undertaken or assumed, so that such provisions will be binding upon such subcontractor. In the same manner as with other provisions of this Contract, the Contractor will be liable for compliance with applicable provisions of this clause by such subcontractors; and further it will promptly notify the contracting agency and the Department in the event any subcontractor fails or refuses to comply therewith. In addition, the Contractor will not utilize any subcontractor declared by the Illinois Human Rights Commission to be ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivision or municipal corporations.

28. DRUG FREE WORK PLACE

28.1 Contractor, as a party to a public contract, certifies and agrees that it will provide a drug free workplace by:

- 28.1.1 Publishing a statement:
 - (1) Notifying employees that the unlawful manufacture, distribution, dispensation, possession or use of a controlled substance, including cannabis, is prohibited in the Village's or Contractor's workplace.
 - (2) Specifying the actions that will be taken against employees for violations of such prohibition.
 - (3) Notifying the employee that, as a condition of employment on such contract or grant, the employee will:
 - (A) abide by the terms of the statement; and
 - (B) notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction.

- 28.1.2 Establishing a drug free awareness program to inform employees about:
 - (1) the dangers of drug abuse in the workplace;
 - (2) the Village's or Contractor's policy of maintaining a drug free workplace;
 - (3) any available drug counseling, rehabilitation and employee assistance programs;
 - (4) the penalties that may be imposed upon employees for drug violations.
- 28.1.3 Providing a copy of the statement required by subparagraph 1.1 to each employee engaged in the performance of the contract or grant and to post the statement in a prominent place in the workplace.
- 28.1.4 Notifying the contracting or granting agency within ten (10) days after receiving notice under part (3)(B) of subparagraph 1.1 above from an employee or otherwise receiving actual notice of such conviction.
- 28.1.5 Imposing a sanction on, or requiring the satisfactory participation in a drug abuse assistance or rehabilitation program by, any employee who is so convicted as required by section 5 of the Drug Free Workplace Act.
- 28.1.6 Assisting employees in selecting a course of action in the event drug counseling, treatment and rehabilitation is required and indicating that a trained referral team is in place.
- 28.1.7 Making a good faith effort to continue to maintain a drug free workplace through implementation of the Drug Free Workplace Act.

29. SUBSTANCE ABUSE PREVENTION ON PUBLIC WORKS PROJECTS ACT

- 29.1 In the event this is a public works project as defined under the Prevailing Wage Act, 820 ILCS 130/2, Contractor agrees to comply with the Substance Abuse Prevention on Public Works Projects Act , 820 ILCS 265/1 *et seq.*, and further agrees that all of its subcontractors shall comply with such Act.. As required by the Act, Contractor agrees that it will file with the Village prior to commencing work its written substance abuse prevention program and/or that of its subcontractor(s) which meet or exceed the requirements of the Act.

30. PREVAILING WAGE ACT

- 30.1 Contractor agrees to comply with the Illinois Prevailing Wage Act, 820 ILCS 130/1 *et seq.*, for all work completed under this Contract. Contractor agrees to pay the prevailing wage and require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work pursuant to this Contract or related subcontract. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage County rate.
- 30.2 Contractor and each subcontractor shall keep or cause to be kept an accurate record of names, occupations and actual wages paid to each laborer, workman and mechanic employed by the Contractor in connection with the contract. This record shall be open to inspection at all reasonable hours by any representative of the Village or the Illinois Department of Labor and must be preserved for four (4) years following completion of the contract.
- 30.3 Since this is a contract for a public works project, as defined in 820 ILCS 130/2, Contractor agrees to post at the job site in an easily accessible place, the prevailing wages for each craft or type of worker or mechanic needed to execute the contract or work to be performed.

- 30.4 Because this is a public works project as defined under the Prevailing Wage Act, 820 ILCS 130/2, any and all contractors and subcontractors shall submit certified payroll records to the Village no later than the tenth (10th) day of each calendar month for the immediately preceding month in which construction on a public works project has occurred. **WITHOUT THIS PAPERWORK, NO INVOICE SHALL BE PAID BY THE VILLAGE.** Contractors and subcontractors must also submit a statement affirming that the records are true and accurate, that the wages paid to each worker are not less than the prevailing rate, and that the contractor and subcontractor are aware that filing false records is a Class A misdemeanor. The records must include the name, address, telephone number, social security number, job classification, hours of work, hourly rate, and start and end time of work each day for every worker employed on the public work. The Village reserves the right to check the pay stubs of the workers on the job. The Village further cautions that payment for any services rendered pursuant to this Contract may be predicated upon receipt of said records.
- 30.5 In the event that this is a construction project where Motor Fuel tax monies or state grant monies are used in the construction, maintenance and extension of municipal streets, traffic control signals, street lighting systems, storm sewers, pedestrian subways or overhead crossings, sidewalks and off-street parking facilities, and the like, the Village will require an Apprenticeship and Training Certification, attached after the Bidder's Certification.
- 30.6 Any bond furnished as security for performance shall include a provision as will guarantee faithful performance of the Illinois Prevailing Wage Act, 820 ILCS 130/1 et seq.

31. PATRIOT ACT COMPLIANCE

- 31.1 The Contractor represents and warrants to the Village that neither it nor any of its principals, shareholders, members, partners, or affiliates, as applicable, is a person or entity named as a Specially Designated National and Blocked Person (as defined in Presidential Executive Order 13224) and that it is not acting, directly or indirectly, for or on behalf of a Specially Designated National and Blocked Person. The Contractor further represents and warrants to the Village that the it and its principals, shareholders, members, partners, or affiliates, as applicable are not, directly or indirectly, engaged in, and are not facilitating, the transactions contemplated by this Contract on behalf of any person or entity named as a Specially Designated National and Blocked Person. The Contractor hereby agrees to defend, indemnify and hold harmless the Village, and its elected or appointed officers, employees, agents, representatives, engineers and attorneys, from and against any and all claims, damages, losses, risks, liabilities and expenses(including reasonable attorney's fees and costs) arising from or related to any breach of the foregoing representations and warranties.

32. INSURANCE REQUIREMENTS

- 32.1 Prior to starting the Work, Contractor and any Subcontractors shall procure, maintain and pay for such insurance as will protect against claims for bodily injury or death, or for damage to property, including loss of use, which may arise out of operations by the Contractor or Subcontractor or any Sub-Sub Contractor or by anyone employed by any of them, or by anyone for whose acts any of them may be liable. Such insurance shall not be less than the greater of coverages and limits of liability specified below or any coverages and limits of liability specified in the Contract Documents or coverages and limits required by law unless otherwise agreed to by the Village.

Workers Compensation	\$500,000	Statutory
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Employers Liability	\$1,000,000	Each Accident
	\$1,000,000	Disease Policy Limit
	\$1,000,000	Disease Each Employee
Comprehensive General Liability	\$2,000,000	Each Occurrence
	\$2,000,000	Aggregate
		<i>(Applicable on a Per Project Basis)</i>
Commercial Automobile Liability	\$1,000,000	Each Accident
Professional Errors & Omissions (pursuant to section.9 below)	\$2,000,000	Each Claim
	\$2,000,000	Annual Aggregate
Umbrella Liability	\$ 5,000,000	

- 32.2 Comprehensive General Liability Insurance required under this paragraph shall be written on an occurrence form and shall include coverage for Products/Completed Operations, Personal Injury with Employment Exclusion (if any) deleted, Blanket XCU and Blanket Contractual Liability insurance applicable to defense and indemnity obligations and other contractual indemnity assumed under the Contract Documents. The limit must be on a “Per Project Basis”.
- 32.3 Commercial Automobile Liability Insurance required under this paragraph shall include coverage for all owned, hired and non-owned automobiles.
- 32.4 Workers Compensation coverage shall include a waiver of subrogation against the Village.
- 32.5 Comprehensive General Liability, Employers Liability and Commercial Automobile Liability Insurance may be arranged under single policies for full minimum limits required, **or** by a combination of underlying policies with the balance provided by Umbrella and/or Excess Liability policies.
- 32.6 Contractor and all Subcontractors shall have their respective Comprehensive General Liability (including products/completed operations coverage), Employers Liability, Commercial Automobile Liability, and Umbrella/Excess Liability policies endorsed to add the “Village of Downers, its officers, officials, employees and volunteers” as “additional insureds” with respect to liability arising out of operations performed; claims for bodily injury or death brought against the Village by any Contractor or Subcontractor employees, or the employees of Subcontractor’s subcontractors of any tier, however caused, related to the performance of operations under the Contract Documents. Such insurance afforded to the Village shall be endorsed to provide that the insurance provided under each policy shall be **Primary and Non-Contributory**.
- 32.7 Contractor and all Subcontractors shall maintain in effect all insurance coverages required by the Contract Documents at their sole expense and with insurance carriers licensed to do business in the State of Illinois and having a current A. M. Best rating of no less than A- VIII. In the event that the

Contractor or any Subcontractor fails to procure or maintain any insurance required by the Contract Documents, the Village may, at its option, purchase such coverage and deduct the cost thereof from any monies due to the Contractor or Subcontractor, or withhold funds in an amount sufficient to protect the Village, or terminate this Contract pursuant to its terms.

- 32.8 All insurance policies shall contain a provision that coverages and limits afforded hereunder shall not be canceled, materially changed, non-renewed or restrictive modifications added, without thirty (30) days prior written notice to the Village. Renewal certificates shall be provided to the Village not less than five (5) days prior to the expiration date of any of the required policies. All Certificates of Insurance shall be in a form acceptable to the Village and shall provide satisfactory evidence of compliance with all insurance requirements. The Village shall not be obligated to review such certificates or other evidence of insurance, or to advise Contractor or Subcontractor of any deficiencies in such documents, and receipt thereof shall not relieve the Contractor or Subcontractor from, nor be deemed a waiver of the right to enforce the terms of the obligations hereunder. The Village shall have the right to examine any policy required and evidenced on the Certificate of Insurance.
- 32.9 If the Work under the Contract Documents includes design, consultation, or any other professional services, Contractor or the Subcontractor shall procure, maintain, and pay for Professional Errors and Omissions insurance with limits of not less than \$2,000,000 per claim and \$2,000,000 annual aggregate. If such insurance is written on a claim made basis, the retrospective date shall be prior to the start of the Work under the Contract Documents. Contractor and all Subcontractors agree to maintain such coverage for three (3) years after final acceptance of the Project by the Village or such longer period as the Contract Documents may require. Renewal policies during this period shall maintain the same retroactive date.
- 32.10 Any deductibles or self-insured retentions shall be the sole responsibility of the Insured. At the option of the Village, either: the insurer shall reduce or eliminate such deductibles or self-insured retentions as respects the Village, its officers, officials, employees and volunteers; or the Contractor shall procure a bond guaranteeing payment of losses and related investigations, claim administration and defense expenses.

33. INDEMNITY AND HOLD HARMLESS AGREEMENT

- 33.1 To the fullest extent permitted by law, the Contractor shall indemnify, keep and save harmless the Village and its agents, officers, and employees, against all injuries, deaths, strikes, losses, damages, claims, suits, liabilities, judgments, costs and expenses, which may arise directly or indirectly from any negligence or from the reckless or willful misconduct of the Contractor, its employees, or its subcontractors.
- 33.2 The Contractor shall at its own expense, appear, defend and pay all charges of attorneys and all costs and other expenses arising therefrom or incurred in connection therewith, and, if any judgment shall be rendered against the Village in any such action, the Contractor shall, at its own expense, satisfy and discharge the same. This agreement shall not be construed as requiring the Contractor to indemnify the Village for its own negligence. The Contractor shall indemnify, keep and save harmless the Village only where a loss was caused by the negligent, willful or reckless acts or omissions of the Contractor, its employees, or its subcontractors.

34. SUBLETTING OF CONTRACT

- 34.1 No contract awarded by the Village shall be assigned or any part subcontracted without the written consent of the Village. In no case shall such consent relieve the Contractor from his obligation or change the terms of this Contract.

All approved subcontracts shall contain language which incorporates the terms and conditions of this Contract.

35. TERMINATION OF CONTRACT

- 35.1 The Village reserves the right to terminate the whole or any part of this Contract, upon written notice to the Contractor, for any reason.

- 35.2 The Village further reserves the right to terminate the whole or any part of this Contract, upon ten (10) days` written notice to the Contractor, in the event of default by the Contractor. Default is defined as failure of the Contractor to perform any of the provisions of this Contract or failure to make sufficient progress so as to endanger performance of this Contract in accordance with its terms. In the event that the Contractor fails to cure the default upon notice, and the Village declares default and termination, the Village may procure, upon such terms and in such manner as it may deem appropriate, supplies or services similar to those so terminated. The Village may also contact the issuer of the Performance Bond to complete the Work. The Contractor shall be liable for any excess costs for such similar supplies or services. Any such excess costs incurred by the Village may be set-off against any monies due and owing by the Village to the Contractor.

36. BILLING AND PAYMENT PROCEDURES

- 36.1 Payment will be made upon receipt of an invoice referencing Village purchase order number. Once an invoice and receipt of materials or service have been verified, the invoice will be processed for payment in accordance with the Village’s payment schedule. The Village will comply with the Local Government Prompt Payment Act, 50 ILCS 505/1 et seq., in that any bill approved for payment must be paid or the payment issued to the Contractor within 60 days of receipt of a proper bill or invoice. If payment is not issued to the Contractor within this 60 day period, an interest penalty of 1.0% of any amount approved and unpaid shall be added for each month or fraction thereof after the end of this 60 day period, until final payment is made.

- 36.2 The Village shall review each bill or invoice in a timely manner after its receipt. If the Village determines that the bill or invoice contains a defect making it unable to process the payment request, the Village shall notify the Contractor as soon as possible after discovering the defect pursuant to rules promulgated under 50 ILCS 505/1 et seq. The notice shall identify the defect and any additional information necessary to correct it.

- 36.3 As this Contract is for work defined as a “fixed public work” project under the Illinois Prevailing Wage Act, 820 ILCS 130/2, any contractor or subcontractor is required to submit certified payroll records along with the invoice. No invoice shall be paid without said records.

- 36.4 Please send all invoices to the attention of: Village of Downers Grove, Accounts Payable, 801 Burlington, Downers Grove, IL 60515.

37. COMPLIANCE WITH OSHA STANDARDS

- 37.1 Equipment supplied to the Village must comply with all requirements and standards as specified by

the Occupational Safety and Health Act. All guards and protectors as well as appropriate markings will be in place before delivery. Items not meeting any OSHA specifications will be refused.

38. CERCLA INDEMNIFICATION

- 38.1 The Contractor shall, to the maximum extent permitted by law, indemnify, defend, and hold harmless the Village, its officers, employees, agents, and attorneys from and against any and all liability, including without limitation, costs of response, removal, remediation, investigation, property damage, personal injury, damage to natural resources, health assessments, health settlements, attorneys' fees, and other related transaction costs arising under the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) of 1980, 42 U.S.C.A. Sec. 9601, et seq., as amended, and all other applicable statutes, regulations, ordinances, and under common law for any release or threatened release of the waste material collected by the Contractor, both before and after its disposal.
- 38.2 If the Contractor encounters any waste material governed by the above Act, it shall immediately notify the Village and stop working in the area until the above requirements can be met.

39. COPYRIGHT or PATENT INFRINGEMENT

- 39.1 The Contractor agrees to indemnify, defend, and hold harmless the Village against any suit, claim, or proceeding brought against the Village for alleged use of any equipment, systems, or services provided by the Contractor that constitutes a misuse of any proprietary or trade secret information or an infringement of any patent or copyright.

40. BUY AMERICA

- 40.1 The Contractor agrees to comply with 49 U.S.C.5323(j), the Federal Transportation Administration's (FTA) Buy America regulations at 49 C.F.R. Part 661, and any amendments thereto, and any implementing guidance issued by the FTA, with respect to this Contract, when financed by Federal funds (through a grant agreement or cooperative agreement).
- 40.2 As a condition of responsiveness, the Contractor agrees to submit with its Bid submission, an executed Buy America Certificate, attached hereto.

41. CAMPAIGN DISCLOSURE

- 41.1 Any contractor, proposer, bidder or vendor who responds by submitting a bid or proposal to the Village of Downers Grove shall be required to submit with its bid submission, an executed Campaign Disclosure Certificate, attached hereto.
- 41.2 The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.
- 41.3 Said Campaign Disclosure Certificate requires any individual or entity bidding to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the bid or proposal release.
- 41.4 By signing the bid documents, contractor/proposer/bidder/vendor agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any

Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

42. GUARANTEE PERIOD

42.1 The Contractor shall provide a guarantee in writing covering a minimum period of one (1) year after approval and acceptance of the Work. The Guarantee shall be in such form as the Village may prescribe, unless otherwise noted in the Specifications, and shall be submitted before receiving final payment. If longer guarantees are required, they will be noted in the Special Provisions for this project.

43. SUCCESSORS AND ASSIGNS

43.1 The terms of this Contract will be binding upon and inure to the benefit of the parties and their respective successors and assigns; provided, however, that neither party will assign this Contract in whole or in part without the prior written approval of the other. The Contractor will provide a list of key staff, titles, responsibilities, and contact information to include all expected subcontractors.

44. WAIVER OF BREACH OF CONTRACT

44.1 The waiver by one party of any breach of this Contract or the failure of one party to enforce at any time, or for any period of time, any of the provisions hereof will be limited to the particular instance and will not operate or be deemed to waive any future breaches of this Contract and will not be construed to be a waiver of any provision except for the particular instance.

45. CHANGE ORDERS

45.1 The contract price is a “not-to-exceed” cost. At any time additional work is necessary or requested, and the not-to-exceed price is increased thereby, all parties must agree to any change, addition or price increase in writing.

45.2 Change orders for public works projects which authorize an increase in the contract price that is 50% or more of the original contract price or that authorize or necessitate any increase in the price of a subcontract under the contract that is 50% or more of the original subcontract price must be resubmitted for bidding in the same manner by which the original contract was bid. (50 ILCS 525/1)

46. SEVERABILITY OF INVALID PROVISIONS

46.1 If any provisions of this Contract are held to contravene or be invalid under the laws of any state, country or jurisdiction, contravention will not invalidate the entire Contract, but it will be construed as if not containing the invalid provision and the rights or obligations of the parties will be construed and enforced accordingly.

47. GOVERNING LAW

47.1 This Contract will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage for state cases or the Northern District of Illinois for federal cases.

48. NOTICE

48.1 Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to the Village as follows:

**Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515**

And to the Contractor as designated on the Contract Form.

49. AMENDMENT

49.1 This Contract will not be subject to amendment unless made in writing and signed by all parties.

50. COOPERATION WITH FOIA COMPLIANCE

50.1 Contractor acknowledges that the Freedom of Information Act may apply to public records in possession of the Contractor or a subcontractor. Contractor and all of its subcontractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ILCS 140/1 et.seq.

51. EMPLOYMENT OF ILLINOIS WORKERS ON PUBLIC WORKS ACT

51.1 If the work contemplated by this Contract is funded or financed in whole or in part with State Funds or funds administered by the State, Contractor agrees to comply with the terms of the Employment of Illinois Workers on Public Works Act by employing at least 90% Illinois laborers on the project. 30 ILCS 570/1 et seq. Contractor agrees further to require compliance with this Act by all of its subcontractors.

III. GENERAL PROVISIONS

1. STANDARD SPECIFICATIONS

- 1.1 The following standards shall govern the construction of the proposed improvements:
 - 1.1.1 Standard Specifications for Water and Sewer Main Construction in Illinois, Sixth Edition, 2009 (the Water & Sewer Specs.); and
 - 1.1.2 Standard Specifications for Road and Bridge Construction as adopted by the Illinois Department of Transportation, January 1, 2012; along with Supplemental Specifications and Recurring Special Provisions (collectively the “SSRBC”) as adopted by the Illinois Department of Transportation, January 1, 2012; and
 - 1.1.3 Water Distribution Specifications, Village of Downers Grove, Illinois, revised March, 2006.
- 1.2 These Contract Documents shall take precedence whenever there are conflicts in the wording or statements made by the above specifications and these Contract Documents.
- 1.3 Unless otherwise referenced herein, Division I of the Water and Sewer Specs and Section 102 and Articles 104.02, 104.03, 104.07, 107.02, 107.27, 107.35, 108.10, 108.11, and 108.12 of the SSRBC are hereby suspended.

2. COOPERATION OF CONTRACTOR

- 2.1 The Contractor will be supplied with a minimum of 2 sets of approved plans and contract assemblies including Special Provisions, one set of which the Contractor shall keep available on the work site at all times. The Contractor shall give the work site constant attention necessary to facilitate the progress thereof, and shall cooperate with the Village in every way possible.
- 2.2 The Contractor shall have on the work site at all times, as the Contractor's agent, a competent English-speaking representative capable of reading and thoroughly understanding the Contract Documents, and thoroughly experienced in the type of work being performed. The representative shall also be capable of receiving instruction from the Village, and shall have full authority to promptly respond to such instruction. He shall be capable of supplying such materials, equipment, tools, labor and incidentals as may be required. The Contractor shall not replace him without prior written notification to the Village.

3. LEGAL REGULATIONS AND RESPONSIBILITY TO THE PUBLIC

- 3.1 Section 107 of the SSRBC shall govern the Contractor’s legal regulations and responsibility to the public, with the following additions:
 - 3.1.1 PROJECT SAFETY. Add the following to Article 107.28:
 - 3.1.1.1 The Contractor shall conduct his work in such a manner as to provide an environment consistent with the safety, health and well being of those engaged in the completion of the Work specified in this Contract.
 - 3.1.1.2 The Contractor shall comply with all State and Federal Safety Regulations as

outlined in the latest revisions of the Federal Construction Safety Standards (Series 1926) and with applicable provisions and/or regulations of the Occupation Safety and Health Administration (OSHA) and Standards of the Williams-Stelger Occupational Health Safety Act of 1970 (Revised). **SPECIAL ATTENTION SHALL BE PAID TO COMPLIANCE WITH OSHA'S SUBPART P – EXCAVATIONS STANDARD.**

- 3.1.1.3 The Contractor and Village shall each be responsible for their own respective agents and employees.
- 3.1.2 **BACKING PRECAUTIONS.** Pursuant to Sections 14-139(b) and 14-171.1 of the Downers Grove Municipal Code, any motor vehicle which has an obstructed view to the rear and is to be operated at any time in reverse gear on the public streets of the Village by the Contractor or any subcontractor shall either be equipped with a reverse signal alarm (backup alarm) audible above and distinguishable from the surrounding noise level, or shall provide an observer to signal that it is safe to back up.
- 3.1.3 **OVERWEIGHT, OVERWIDTH AND OVERHEIGHT PERMITS.** The Village has and supports an overweight truck enforcement program. Contractors are required to comply with weight requirements and safety requirements as established by Illinois Law or Village Ordinance, for vehicles, vehicle operators and specialty equipment. In some instances, specialty equipment for road repairs or construction projects requires the movement of overweight, overwidth, or overheight loads utilizing a Village roadway. Such movement will require obtaining a permit from the Village Police Department's Traffic Supervisor.
- 3.1.4 **BARRICADES AND WARNING SIGNS.** The Contractor shall provide the Village with a telephone number of a person or company who is available 24 hours per day, seven days per week, to erect additional barricades or signs. If the Village or its representative deems it necessary for the Public's safety to erect additional barricades or signs during normal working hours, the Contractor will furnish the necessary barricades or signs, and have them in place within 30 minutes. If, after normal working hours, the requested signs are not in place within three hours after the request is made, the Village reserves the right to have the barricades and signs erected. The cost of erecting the barricades and signs shall be deducted by the Village from any payments due the Contractor.

4. PROSECUTION AND PROGRESS

4.1 Section 108 of the SSRBC shall govern the prosecution and progress of the work, with the following additions:

- 4.1.1 Prior to commencing construction, a meeting will be held with the Contractor and the Village. Any questions concerning procedures, general conditions, special provisions, plans or specific items related to the project shall be answered and clarified. No Pre-Construction meeting shall be scheduled until submittals, performance bonds, and certificates of insurance are delivered to, and approved by, the Village.
- 4.1.2 Weekly progress meetings may be required by the Village. If required, the Contractor shall have a capable person, such as a site superintendent or project manager, attend such meetings and be prepared to report on the prosecution of the Work according to the progress schedule.

5. MEASUREMENT AND PAYMENT

5.1 Section 109 of the SSRBC shall govern measurement and payment, with the following additions:

- 5.1.1 Modifies Article 109.07 - Partial payments will be made per Section 36 of Part II of this document (Billing and Payment Procedures.)
- 5.1.2 The Village will require that partial and final affidavits for all labor, materials and equipment used on the Project, be submitted with the partial and final payment requests. Such waivers shall indicate that charges for all labor, materials and equipment used on the project have been paid. Partial waivers from suppliers and subcontractors may be submitted after the first payment to the Contractor, and before the subsequent payment to that which they apply. However, partial waivers from the Contractor must accompany the invoice of the payment to which it applies. All final waivers, from all suppliers and subcontractors **MUST** accompany the Contractor's invoice upon submittal for final payment. A sworn statement by the Contractor shall accompany full waivers. Such requirement for full waivers is solely for the benefit of the Village and shall not be construed to benefit any other person. Partial payment for work done shall in no way imply acceptance of the work to that date.

IV. SPECIAL PROVISIONS

The following Special Provisions shall modify, supercede, or supplement the Standard Specifications referred to in Section III - General Provisions.

Where any section, subsection, paragraph, or subparagraph of the Standard Specifications is *supplemented* by any of the following paragraphs, the provisions of such section, subsection, paragraph, or subparagraph shall remain in effect. The Special Provisions shall govern in addition to the particular Standard Specification so supplemented, and not in lieu thereof.

Where any section, subsection, paragraph, or subparagraph of the Standard Specifications is *amended, voided, or superceded* by any of the following paragraphs, any provision of such section, subsection, paragraph, or subparagraph standing unaffected, shall remain in effect. The Special Provisions shall govern in lieu of any particular provision of the Standard Specification so amended, voided, or superceded, and not in addition to the portion changed.

For all Special Provisions including the language “OR APPROVED EQUIVALENT” alternative products may be proposed. The specified products establish minimum requirements that substitutions must meet to be considered acceptable. For any proposed alternates from the product specified in an applicable Special Provision, written requests shall be made no less than 7 days before the bid date. Requests after this time will not be considered. Manufacturer’s specifications and product cut-sheets shall be submitted along with the written request.

GENERAL SCOPE OF WORK

Description: The Grove Street Reconstruction Project shall generally consist of the following:

Base Bid:

- Disconnect and abandon existing 6” water main and replace with proposed 8” water main
- Remove and replace bituminous pavement with permeable pavers as specified
- Construct new storm sewer and structures, including manholes, inlets and catch basins
- Restore all disturbed turf areas with sod
- Replace all driveways up to existing sidewalk
- Remove and replace all curb and gutter as specified
- Work to commence in order as follows:
 - o Replace water main starting at east end of project limits continuing westward
 - o Storm sewer removal and replacement throughout project limits
 - o Chlorinate water main and install new services
 - o Removal of driveway approaches and curb and gutter
 - o Installation of curb and gutter followed by installation of driveway approaches and sidewalk
 - o Installation of HMA areas and concrete headers on Carpenter Street
 - o Installation of permeable pavers starting at west end of project limits continuing eastward to “Phase 1” line
 - o Installation of permeable pavers between “Phase 1” line and “Phase 2” line
 - o Installation of permeable pavers between “Phase 2” line and east end of project limits
 - o Restoration of all remaining disturbed areas.

- Work may not take place on the following dates:
 - o September 7-10, 2012; Entire project area shall be accessible by vehicular traffic during this time

SP-1 GENERAL CONSTRUCTION REQUIREMENTS

The following general requirements are intended to govern the overall priority for the performance of the Work described in this Contract. As general requirements, they are not intended to dictate to the Contractor the precise method by which these tasks shall be performed.

For the phasing of construction for this project, the contractor is to follow the sequence of construction as stated in the GENERAL SCOPE OF WORK. Project Phase Lines can be found on sheet 12 of the plan set. Upon completion of each phase, the area shall be opened up for access by local traffic. The contractor will not be allowed to proceed to another phase without the approval of the Engineer. **The contractor will receive no additional compensation for constructing the project in phases.**

The awarded Contractor shall schedule his work such that all improvements shall be installed within 90 days of the Notice to Proceed. Failure to complete the work on time will result in assessment of liquidated damages in accordance with the applicable sections of Article 108.09 of the Standard Specifications.

SP-2 QUALIFICATIONS OF BIDDER

In order to be considered a responsible bidder, in addition to those factors listed in Section 10.1 above, the bidder must have particular expertise in having successfully constructed projects of a similar size and scope, specifically including residential neighborhood street and utility removal and reconstruction and permeable paver installation. Bidder must submit the following information (if sub-contractors are proposed for earthwork, underground utility work, or permeable paver installation, similar information must be provided for each entity):

- a. Similar Project Experience
 - i. Bidder must provide detailed information regarding three (3) similar projects performed by the submitting firm within the past five (5) years.
 - ii. Bidder must submit a list of references of previous projects identifying the location of the work, the dollar value of the work, the owner or agency responsible for the work, and the name and phone number of the contact person as well as the Certification of Qualifications form with the Bid.
- b. Proposed Project Team - identify a project manager and full-time onsite construction supervisor (can be the same person), with qualifications. The individuals proposed must be utilized for the duration of this project unless an alternate is approved in writing by the Village.

SP-3 CONSTRUCTION STAKING AND RECORD DRAWINGS

Description: Section 5-7 of the Water and Sewer Specs shall be replaced in its entirety by the following:

The Contractor shall furnish and place all construction layout stakes for this Project. Competent personnel with suitable equipment shall conduct this work, supervised by a licensed Illinois Land Surveyor. The Contractor shall be responsible for having the finished work conform substantially to the lines, grades, elevations and dimensions shown on the plans.

The Contractor shall provide adequate control points to construct the individual Project elements, and shall provide the Engineer with adequate control in close proximity to check the compliance of the elements constructed.

The Contractor shall record all field notes in standard survey field notebooks and those books shall become the property of the Village at the completion of the Project. All notes shall be neat, orderly and in an accepted format.

Prior to final payment, the Contractor shall provide the Village with record drawings showing the lines, grades, elevations and dimensions of all work constructed. The Contractor shall also provide digital files listing all constructed manholes, catch basins, inlets, vaults, and any other storm or water structures and/or critical items defined by the Engineer as part of the Project. The digital files shall list the items above as points with supplemental data as shown below in the Stormwater and Watermain GPS Code Lists.

Watermain GPS Code List

Field Name	Description	Entry
ValveID	Short Unique ID (1,2,3..)	
Notes	special notes	
GISLocQlty	Location quality of valve point	good, fair, poor, hand
StructID	Unique ID, if applicable	
CollType	How was point collected?	HQGPS, locates, hand
CollSource	Who collected point?	
Owner	Who owns valve?	VDG, private, other
Structure	What type of valve is it?	main line, interconnect, fire protection, domestic

Stormwater GPS Code List

Field Name	Description	Entry
Lid_Type	frame and grate type	solid, open, b-hive, rollback, square, guard, other, none
Structure		inlet, manhole, catch basin, endsection, culvert, bridge, blind tap, other, none
Inverts (no inverts = 0)	# of inverts	
Strct_Dept (ft)	structure depth	
Invert_Dep (ft)	invert depths, starting at north position going clockwise	
Invert_Siz (in)	invert sizes, starting at north position going clockwise	
Invert_Mat	invert material starting at north position going clockwise	RCP, CMP, PVC, clay, ductile iron, plastic, other, none
Flow_Angle		90 degrees, 135 degrees, straight through, 1 hole, junction, other, none
Flow_Direc		north, south, east, west, NE, NW, SE, SW, divide
Strct_Matr	structure material	cast, block, brick, unknown, other, none, clay
Condition	structure condition	new, good, repair, replace, clean, unknown
Point_Loca	location of shot taken on rim	Center, Rim, Centr StSide, Invert, Top Pipe, Top Center Wall, Nrim, Srim, Erim, Wrim, Hand Marked, Flow Line
Comment1	special comments	
Comment2	special comments cont'd	
CollType	How point was collected	HQGPS, locates, hand
CollSource	Who collected point?	
Outfall	is the structure an outfall?	yes, no

Basis of Payment: This work will be paid for at the contract **LUMP SUM** price for:

CONSTRUCTION STAKING AND RECORD DRAWINGS,

which price shall be payment in full for the work as specified herein.

SP-4 PRECONSTRUCTION VIDEOTAPING

Description: This work shall consist of furnishing all materials and labor required to perform a videotape survey of the construction limits, adjacent right-of-way, and adjacent structures bordering the work. This shall include, but not be limited to, existing buildings, garages, pavements, curb and gutter, sidewalks, fences, trees and landscaping. Two (2) copies of the videotape shall be furnished to the Village in DVD format. Videotaping shall be performed by a reputable company meeting the approval of the Village, in the presence of a representative of the Village, and shall be performed prior to the commencement of construction. The videotape survey shall serve as a basis for establishing damage that has occurred as a result of construction

operations.

Basis of Payment: This work will be paid for at the contract **LUMP SUM** price for:

PRECONSTRUCTION VIDEOTAPING,

which price shall be payment in full for the work as specified herein.

SP-5 ACCESS AND WATER SHUT-OFF NOTIFICATION

If access to a driveway will be blocked, or water will be turned off, the Contractor shall give that resident or business proper written notification at least 24 hours in advance. The Contractor must provide them the opportunity to remove their cars from the drive or make other arrangements, and prepare for any shutdown of the water system. Samples of written notices shall be submitted to the Engineer for approval.

In addition, the Contractor shall be responsible for notifying the resident or business verbally on the morning of any driveway closure, to ensure awareness of the lack of access.

Basis of Payment: This work shall be considered **INCIDENTAL** to the project.

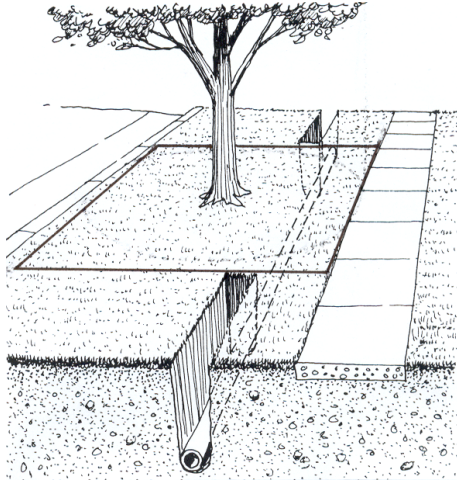
SP-6 TREE PROTECTION

Municipal Codes regarding trees, including tree protection requirements for public parkway trees, are located in Chapter 24 of the Downers Grove Municipal Code. Specifically, Municipal Codes 24-7 and 24-8 detail the public parkway tree protection sizes and fines for violations. The Village Forester shall approve all tree protection measures and any deviations. All tree protection measures and any deviations shall be noted in the contract specifications and on approved project plan sheets and permits using the guidelines listed below.

Tree protection shall include avoiding damage to the above ground tree branches and trunk, and the below ground root system and surrounding soil. Tree crowns and trunks shall not suffer any branch or bark loss. Roots shall be protected from compaction, storage of materials, severing, regrading of the parkway or excavation unless specifically noted on the project plan sheets.

The Critical Root Zone, or CRZ, is the area immediately surrounding a tree that must be protected from damage. In a municipal parkway setting with utilities and paved or concrete surfaces, the size of the CRZ has been adjusted to form a rectangle around the parkway tree trunk with minimum dimensions listed in the following table. The depth of the CRZ extends to 4 feet below the natural ground surface level.

<u>Parkway</u> <u>Tree diameter at 4.5'</u>	<u>Width street to property</u> <u>(min. curb to sidewalk)</u>	<u>Length along street</u> <u>street(minimum)</u>	<u>Depth</u>
0 – 12.0 inches	10.0 feet	10 feet	4 feet
12.1 – 24.0 inches	10.0 feet	20 feet	4 feet
24.1 or more inches	10.0 feet	30 feet	4 feet



For projects that involve excavations of less than one (1) foot in depth in the parkway or street and are replacing structures in the same location, fencing of the public parkway trees shall not be required. Example projects include, but are not limited to, street pavement resurfacing, curb removal/replacement, driveway removal/replacement, or sidewalk removal/repairs or new sidewalk installations. Contractors shall be mindful of the CRZ dimensions and potential for fines if any parkway trees suffer any unauthorized damage as determined by the Village Forester.

For projects that involve excavations of one (1) or more feet in depth in the parkway or street or both, fencing of the public parkway trees shall be required. Example projects include, but are not limited to, watermain replacements with new roadway keystops and domestic service box installations, sanitary line replacements and new service connections, new or replacement natural gas services, new or replacement phone or fiber optic lines, or new or replacement storm sewers, or projects that widen roads which in turn decreases the parkway soil volume around public parkway trees.

Projects that require fencing (listed above) shall fence the public parkway trees with six (6) foot high chain link construction fence secured to metal posts driven in the ground which are spaced no further than ten (10) feet apart. The dimensions of the fence shall depend on the tree diameter size and shall follow the table listed for the CRZ above, or as large as practical dependent on driveways and other field conditions. The fenced rectangle shall have three (3) sides with the opening facing the adjacent residences for easy access for mowing or tree care. Under no circumstances shall any items be stored within the fence. All fences shall be maintained daily in an upright good condition. The size and location of all fencing shall be shown on the project plan sheets.

To avoid damage to the CRZ, utilities must be augered underneath the public parkway trees. Excavation pits for augering equipment are to be outside the fenced area and are to be shown on the project plan sheets. Excavation pits for roadway keystops and domestic service boxes are to be as small as practical with excavation occurring in a direction away from the adjacent public parkway tree.

In cases when severing of roots within a portion of the CRZ may be unavoidable (ex. sidewalk installation, curb replacement, water or sanitary service replacement), subject to the approval of the Village Forester, sharp clean cuts shall be made on root ends to promote wound closure and root regeneration. Root pruning and excavation activities shall occur such that the smallest volume of soil and roots is disturbed, and the locations shall be shown on the project plan sheets.

In addition to fines and citations that may be assessed for violations of any section of Chapter 24 of the Municipal Code (such as not maintaining fencing around the CRZ or unauthorized removal of protected trees), the Contractor may be subject to the following provisions:

- issuance of an invoice for the value or partial value of the tree lost due to damage to either the above ground or below ground portions of the parkway tree, or unauthorized tree removal.
- costs of repairs, such as pruning or cabling, or costs for removal of the damaged parkway tree along with the stump if the tree cannot remain in the right-of-way.
- fines of \$500 for the 1st offense; \$1,000 for the 2nd offense; \$2,500 for the 3rd and subsequent offenses.
- each day during which a violation continues shall be construed as a separate and distinct offense.

The value or partial value of the tree lost shall be determined by the Village Forester using the most current edition of the Guide for Plant Appraisal (prepared by the Council of Tree & Landscape Appraisers and the International Society of Arboriculture) and the most current edition of the Species Ratings & Appraisal Factors for Illinois (prepared by the Illinois Arborist Association). The total cost determined for the damage shall be deducted from the payments made to the Contractor for the Project. Should the Village hire another Contractor or tree service to complete pruning work, these costs shall also be deducted from the payments made to the Contractor.

Basis of Payment: This work will be paid for at the contract unit price per **FOOT** for:

TREE PROTECTION,

which price shall be payment in full for the work as specified herein, except tree removal as defined by the SSRBC, which will be paid for separately.

SP-7 TREE ROOT PRUNING

Description: All trees, public or private, affected by the proposed improvements within its root protection zone, shall be root pruned prior to any excavation taking place. Root pruning shall be performed in accordance with the Tree Protection Zone detail of the Plans, and shall be done only to the depth of the excavation necessary for installing the proposed improvements. Root pruning shall start and proceed uninterrupted for the length of travel through the root protection zone. Root pruning shall be made no more than 10 inches from the tree-side edge of the proposed sidewalk, edge of pavement, or back of curb.

Approval by the Village Forester of the equipment to be used for root pruning, as well as the proposed path of the root pruning work, is required prior to the work being performed. The Engineer or his representative shall permit no excavation until written approval is obtained by the Contractor from the Village Forester. No materials or equipment may be stored or kept in the Tree Protection Zone. Tree damage, as determined by the Village Forester, shall be assessed to the Contractor using the most recent edition of the Guide for Plant Appraisal, published by the International Society of Arboriculture. **Root pruning shall not take place until the location of such is approved by the Engineer.**

Basis of Payment: This work shall be paid for at the contract unit price per **FOOT** for:

TREE ROOT PRUNING,

which price shall be payment in full for the work as specified herein and as measured in place.

SP-8 EROSION AND SEDIMENTATION CONTROL

Description: Throughout each and every phase of the Project, all downstream ditches and storm sewers shall be protected from the run-off of roadway surfaces, excavations, and other construction activities generating the movement of dirt, mud, dust and debris. This work shall consist of constructing temporary erosion and sedimentation control systems as shown on the plans or as directed by the Engineer. The work shall be placed by methods and with materials in accordance with Sections 280, 1080 and 1081 of the SSRBC, except as amended herein.

All downstream ditches shall be protected from erosion and sedimentation by the installation of silt fence ditch checks; straw bales shall not be used. Piles of excavated material and/or trench backfill material, allowed to be in place in excess of three (3) days, shall be protected against erosion and sedimentation runoff by use of silt fence. Storm sewer inlet structures or manholes shall be protected by temporary placement of geotextile fabric, filter baskets, or solid lids, as authorized in the field by the Engineer.

Erosion and sedimentation control measures as indicated in the Erosion Control Plan, or as directed by the Engineer shall be installed on the project site prior to beginning any construction activities which will potentially create conditions subject to erosion. Erosion control devices shall be in place and approved by the Engineer as to proper placement and installation prior to beginning other work. Erosion control protection for Contractor equipment storage sites, plant sites, and other sites shall be installed by the Contractor and approved by the Engineer prior to beginning construction activities at each site.

Silt Fence Placement, maintenance, and removal of silt fence at areas designated by the Engineer. The work shall be placed by methods and materials in accordance with Sections 280 and 1080 of the SSRBC, except as amended herein.

Basis of Payment: This work shall be considered **INCIDENTAL** to the project.

SP-9 STREET SWEEPING AND DUST CONTROL

All roadway surfaces shall be kept free of dirt, mud, dust and debris of any kind throughout every phase of the Project. Dirt, mud, dust and debris of any kind shall be removed from the roadway surface to the satisfaction of the Engineer by any one or combination of the following: approved mechanical sweeping equipment, manual labor, or other approved techniques.

Whenever ordered by the Engineer, especially for locations subject to a particularly high volume of traffic, the Contractor shall mechanically sweep the work site.

Basis of Payment: This work will be paid for at the contract unit price per **HOURLY** for

STREET SWEEPING AND DUST CONTROL,

which price shall be payment in full for the work as specified herein.

SP-10 TRAFFIC CONTROL, MAINTENANCE OF TRAFFIC, DETOURS

Description: This item shall include the furnishing, installing, maintaining, relocating and removing of all traffic control devices and personnel used for the purpose of regulating, warning, or directing traffic during the construction of this Project. All traffic control devices used on this Project shall conform to the Standard Specifications for Traffic Control Devices and the Illinois Manual on Uniform Traffic Control Devices.

No waiving of these requirements will be allowed without prior written approval of the Engineer.

The Contractor shall protect all workers engaged in the Project, and shall provide for safe and convenient public travel by providing adequate traffic control under all circumstances. Such circumstances may include, but not be limited to work performed along the route under construction, road closures for construction operations of any type, or when any section of the road is opened to traffic prior to completion of all work. The Contractor shall ensure that work zone in question is properly signed, barricaded and otherwise marked.

The Contractor will be responsible for the proper location, installation, and arrangement of all traffic control devices during the period of construction. All open excavations shall be protected by Type I barricades equipped with working bi-directional flashing lights at each end of the excavation, as well as at 50-foot intervals between ends for excavations greater than 50 feet in length and weighted down by **one sandbag per each barricade**. All street closures shall be protected by Type III barricades equipped with working bi-directional flashing lights and weighted down by **eight sandbags per each barricade**.

The Contractor shall plan his work so that there will be no open excavations during non-working hours and that all barricades not necessary have been removed from the pavement during non-working hours.

In the event that one direction of vehicular travel must be closed, the Contractor has the option of setting up a detour route or using flaggers (minimum of two) to direct traffic around the work area. The Engineer shall approve proper signing and barricading of the detour route and lane closures, and shall issue written authorization prior to closure.

In the event that both directions of vehicular travel must be closed, the Contractor shall set up a detour route to direct traffic around the work area. The Engineer shall approve proper signing and barricading of the detour route and shall issue written authorization prior to closure.

The Contractor shall maintain his operations in a manner such that traffic flow shall not be substantially impeded during the construction of the proposed improvements. Where traffic must cross open trenches during a given work day, the Contractor shall provide steel plates at street intersections and driveways. Prior to the end of a given work day, the pavement surface shall be temporarily restored.

No open excavation may be left overnight or on the weekend without the express written permission of the Engineer.

No street closure shall be permitted without the express written permission of the Engineer. No street closure may exceed 800 linear feet, nor be in effect from Friday night at 4:30PM to Monday morning at 9:00AM. Where it is necessary to establish a temporary detour, all the requirements of the SSRBC and MUTCD shall be met.

As the condition and location of the work changes, the Contractor shall maintain all traffic control devices and personnel engaged in traffic control, in a manner that will accommodate the changing particulars of the

work at any given time. Advance warnings, detour and directional information and other controls or directions necessary for safe passage of traffic around the work site shall be reviewed and changed, if necessary, to meet the needs of the situation. Signage erected, but not necessary or proper for the situation ahead shall be covered or taken down. Barricading and signage shall be monitored by the Contractor on a daily basis to ensure that it meets the requirements for work zone safety for the conditions of the particular work being performed.

The Contractor shall provide a name and phone number of a responsible party capable of providing emergency service, 24 hours per day, for the duration of the Project.

Basis of Payment: This work shall be paid for at the contract **LUMP SUM** price for:

TRAFFIC CONTROL, MAINTENANCE OF TRAFFIC, DETOURS,

which price shall be payment in full for the installation and maintenance of proper traffic control to protect the work and public for the duration of the Project.

SP-11 COMBINATION CONCRETE CURB AND GUTTER REMOVAL (B6.12 & B6.18)

Description: This work shall consist of the removal of existing P.C.C. Curb and Gutter of the type and size at the locations noted in Schedule of Quantities. This work shall be performed in accordance with Section 440 of the Standard Specifications, except as amended herein.

At those locations where curb removal operations fall within the Critical Root Zone (CRZ) the Contractor will be required to trench with a "chain" driven trencher immediately back of curb prior to curb removal. This procedure will proceed uninterrupted through the CRZ and insure general tree root pruning. The width of the CRZ shall be determined as noted in the general provision for TREE PROTECTION elsewhere in these documents. If it is determined that proposed removal methods do not cause undo harm to adjacent roots, the Village Forester may waive the need to perform trenching.

During removal operations Contractor shall take special care not to damage or extend sawed joint into adjacent appurtenances such as driveways and sidewalks which are to remain in place. During machine sawing operations Contractor shall also take special care to remove, clean, or otherwise account for any residue / slurry produced by the sawing so material will not be tracked by either vehicular or foot traffic onto adjacent appurtenances which are to remain in place.

Basis of Payment: This work will be paid for at the contract unit price per **FOOT** for

COMBINATION CONCRETE CURB AND GUTTER REMOVAL,

which price shall be payment in full for the work as specified herein.

SP-12 EARTH EXCAVATION

Description: This work shall consist of the excavation, transportation and disposal of excavated material in accordance with Section 202 of the SSRBC and as specified herein.

Method of Measurement: This work will not be measured for payment. Payment will be based on Contract

Quantities. By submission of a bid, Contractor agrees on Contract Quantity.

Basis of Payment: This work shall be measured and paid for at the contract unit price per **CUBIC YARD** for:

EARTH EXCAVATION,

which shall include all labor, materials and equipment necessary to do the work.

SP-13 IEPA CLEAN CONSTRUCTION OR DEMOLITION DEBRIS

Description: If construction activities will result in removal and disposal of excavation spoils, per Illinois Public Act 96-1416 and the Illinois Environmental Protection Agency, soil sampling and analysis, along with certification from a licensed professional engineer that the soil is uncontaminated, will be required prior to clean construction and demolition debris (CCDD) landfill acceptance. However, if the subject property has never been used for industrial or commercial purposes, then the site owner or operator may certify that the soil is uncontaminated by use of IEPA form LPC-662.

To facilitate meeting the above requirements, the Village will supply a signed Source Site Certification by Owner or Operator Form LPC-662 for all streets designated for improvement, except for the portion of Grove Street from Main Street to a point 400 feet west of the Main Street right-of-way, as this area is not considered residential.

Construction Requirements: The Contractor shall be responsible for satisfactory removal and disposal of all waste material, asphalt, concrete, stone, and uncontaminated or contaminated dirt or debris generated or discovered in the course of the work. Removal and disposal of excavation items being disposed of at a landfill or clean construction and demolition debris (CCDD) fill site shall meet the requirements of Public Act 96-1416.

The temporary storing of excavated materials on the parkways or right of way, and re-handling them later for disposal will not be allowed due to additional damage caused to tree root systems, parkways, existing equipment, and conditions. It shall be the contractor's responsibility to find an approved dumpsite for debris and any excavated materials. The Village will not provide for one.

The contractor shall have the option of employing a licensed testing firm, as approved by ENGINEER, to screen each truck-load of material on-site, using a PID or FID field screen or other acceptable method. If said screen indicates VOC levels that will be unacceptable for disposal at a CCDD facility, the contractor shall be responsible for properly disposing of the material at an acceptable landfill, and providing the Village with all of the proper paperwork to document the material disposal with the IEPA. This work shall be paid for as specified below. If, however, a truck-load is rejected by a CCDD facility after leaving the project site, and said truck-load was not identified on-site as having VOC levels above the allowable limits, the contractor shall still be required to properly dispose of the material and provide the Village with the necessary documentation, but shall not be additionally compensated.

All additional work to satisfy these requirements shall be the responsibility of the contractor. All costs associated with meeting these requirements shall be paid for as specified herein. These costs shall include but are not limited to all required testing, lab analysis, and certification by a licensed professional engineer, if required, in addition to the cost of additional hauling, dump fees, etc. Payment for this work shall be in

addition to payment for EARTH EXCAVATION per the contract unit price. No adjustment to the contract unit price will be allowed due to changes to quantities based on actual field conditions.

Basis of Payment: This work shall be paid for at the contract unit price per **LOAD** for:

ADDITIONAL HAULING SURCHARGE, SPECIAL WASTE,

which price shall be payment in full for the work as specified herein.

SP-14 AGGREGATE FOR TEMPORARY ACCESS

This work shall consist of construction and maintenance of an aggregate surface course for abutting properties as part of construction operations, per the applicable portions of Article 107.09 of the SSRBC except as amended herein.

Coarse aggregate shall meet the gradation for CA-6, and meet the requirements of Article 1004.04 of the SSRBC.

The temporary aggregate shall be used as ramping between the new aggregate base and all side streets, abutting properties, and crosswalks where vehicle and pedestrian traffic is to be maintained. Removal and disposal of the temporary aggregate shall be considered incidental to this item. The Engineer may require that some or all of the temporary aggregate be reused within the project limits.

When temporary access is no longer required, the aggregate placed for its construction and maintenance shall be removed and utilized in the permanent construction or otherwise disposed of as specified in Article 202.03 of the SSRBC. The Engineer reserves the right to determine suitability for utilization of reclaimed asphalt pavement used in the construction of temporary access in the permanent construction.

This work will be measured in place in tons. The contractor shall submit the load ticket to the Engineer at the work site when the truck arrives.

This work will be paid for at the contract unit price per **TON** for

AGGREGATE FOR TEMPORARY ACCESS,

which price shall include all costs of furnishing, placing, maintaining, removing and reusing, and removing and disposing of aggregate used in the construction of temporary access.

SP-15 HOT-MIX ASPHALT DRIVEWAY REMOVAL & REPLACEMENT (3")

Description: This work shall consist of the removal and replacement of asphalt driveways at locations indicated on the plan and/or as required by the Engineer.

The replacement of the driveways shall consist of preparing a subgrade at all required locations, shaping of slopes adjacent to the driveways, the placement and compacting of six inches (6") of CA-6 Aggregate Base, and the placement and compacting of three inches (3") of Hot-Mix Asphalt Surface, Mixture C, N50 (IL 9.5).

At locations noted on Schedule of Quantities, asphalt driveways shall be replaced with the six inches (6") of CA-6 aggregate base along with eight inches (8") of Hot-Mix Asphalt comprised of six inches (6") of Hot-

Mix Asphalt Binder, IL-19.0, N50 and finished with a minimum of two inches (2") of Hot-Mix Asphalt Surface, Mixture C, N50 (IL 9.5). Asphalt to be placed in compacted layers not to exceed four inches (4").

This work shall also include the adjustment to proper grade of all water valve or private utility boxes encountered.

The locations at which this work will be measured for payment will consist of only those areas bounded by combination concrete curb and gutter. Those areas where the surface course of the pavement flares into existing driveways beyond the limits of the fully improved areas will not be included for payment.

Note: measurement for payment will be based on area of newly placed HMA, after proposed gutter is installed.

Basis of Payment: This work shall be paid for at the contract unit price per **SQUARE YARD** for

**HMA DRIVEWAY REMOVAL,
HMA DRIVEWAY REPLACEMENT (3")**

which price shall be payment in full for the work as specified herein.

SP-16: SAW CUT JOINTS

The removal and/or replacement of any driveways, pavement, curb, sidewalk, etc. shall be accomplished by means of a saw cut joint, at the direction of the Engineer.

Basis of Payment: This work shall be considered **INCIDENTAL** to the project.

SP-17 PORTLAND CEMENT CONCRETE SIDEWALK REMOVE AND REPLACE or PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH, NEW,

Description: This work shall consist of installation of new P.C.C. and the removal and replacement of existing P.C.C. sidewalk as indicated by location or shown on the plans. All P.C.C. sidewalks shall be removed and replaced by methods and with materials in accordance with Articles 424 and 1020.04 of the SSRBC, except as amended herein.

Removal of existing sidewalk shall include saw cutting and disposal of existing concrete as directed by the Engineer, removal of tree roots, bituminous paved sidewalks and/or bituminous overlayment of existing sidewalks.

Excavation for new sidewalk shall be performed with a Gradall. Operating a Gradall on the parkways will not be allowed. All excavation shall be made from the street unless otherwise approved by the Engineer. Excavation work utilizing a skid steer loader shall not be allowed.

Placement of sidewalk shall include the following:

- a) Any necessary excavation, clearing, and proper disposal of excavated materials, removal and disposal of all obstructions such as fences, walls, foundations and buildings;
- b) The placement of four inches (4") of Type B, CA-6 compacted aggregate base;
- c) The set up of form work such that the maximum running slope of the finished walk does not exceed 5 percent (1:20) or not to exceed the general grade established for the roadway, and the

- cross slope is not more than 2 percent (1:50).
- d) The placement of five inch (5") thick, Class SI Portland Cement Concrete, 6.05 cwt/cy mix, with 6% air entrainment, 3"-5" slump, and six inch (6") thickness through or in residential driveways or where subject to vehicular traffic, to the width specified on the plans or as directed by the Engineer;
 - e) The tooling of contraction joints, 3/4-inch radius and 1 inch deep, 5 feet on center;
 - f) The placement of 3/4 inch thick premoulded expansion joints at 100 foot intervals on center, or abutting existing concrete sidewalk, or at the end of a pour;
 - g) The adjustment to proper grade of all utility structures encountered;
 - h) The replacement of all traffic control devices or parking meters removed;
 - i) The proper curing of all concrete work utilizing methods and materials outlined in Articles 424 and 1022.01 of the SSRBC, (Type III membrane curing compound white pigmented);
 - j) Removal of driveway pavement within the width limits of the new sidewalk. Removal of driveway pavement located outside the limits of new sidewalk shall be paid for under DRIVEWAY PAVEMENT REMOVAL.

Except for damaged parkway areas due to rutting or not designated by the Engineer, restoration will be paid for in accordance with the specification PARKWAY RESTORATION.

Basis for Payment: This work shall be paid for at the contract unit price per **SQUARE FOOT** for:

P.C.C. SIDEWALK REMOVAL

or

P.C.C. SIDEWALK, 5 INCH, NEW

or

P.C.C. SIDEWALK, 6 INCH, NEW

which price shall be payment in full for the work as specified herein.

SP-18 PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH (COLORED)

Description: This work shall include all work included in SP-17 in addition to the following. Work will consist of removal and replacement of existing continuous sidewalk sections located in the Downtown Business District with a "California Finish" finish. Concrete sidewalk shall be installed with the addition of a concrete colorant. The colorant shall be "Harvest Wheat" (Product #U16) supplied by Butterfield Color (1-800-282-3388). Concrete colorant shall be approved by the Engineer before use. This work shall also include framing for tree grate curb by constructing a thickened reinforced sidewalk edge around tree grates. See detail drawings in specifications.

All thickening, reinforcement bar and tree grate curbing as shown on the plans will not be measured separately for payment. The cost of these items shall be merged into the unit price per SQUARE FOOT for P.C.C. SIDEWALK, 5 INCH (COLORED).

Install a 5 ft x 5 ft colored sidewalk mock-up (in place). This area shall be used to determine the appropriate color match and finish of the surrounding sidewalk. This area will be used as the standard by which the work will be judged. Subject to acceptance by the Village, the mock-up may be retained as part of the finished work. If the mock-up is not retained, it shall be removed and properly disposed of by the contractor.

Basis for Payment: This work shall be paid for at the contract unit price per **SQUARE FOOT** for

P.C.C. SIDEWALK, 5 INCH (COLORED),

which price shall be payment in full for the work as specified herein, except for SIDEWALK REMOVAL which will be paid for at a separate unit price.

SP-19 DETECTABLE WARNINGS

Description: This work shall consist of the installation of new detectable warning material as shown in the plans. All detectable warnings shall be placed by methods and with materials in accordance with Article 424 and 424.09 of the SSRBC.

Each Detectable Warning shall consist of brick red 2' x 4' panels inserted into wet concrete. Detectable Warning shall be Access-Tile Cast-In-Place Replaceable or equivalent equal.

Basis for Payment: This work shall be paid for at the contract unit price per **SQUARE FOOT** for:

DETECTABLE WARNINGS,

which price shall include all material, labor, and equipment necessary to complete this item.

SP-20 COMBINATION CURB AND GUTTER

Description: This work shall consist of the placement of P.C.C. Curb and Gutter, of the type, size and location shown on the plans. All P.C.C. Curb and Gutter shall be placed by methods and materials as specified in Articles 606 and 1020 of the SSRBC, except as amended herein.

Placement of P.C.C. Combination Curb and Gutter shall include the following:

- a) The use of Class SI Portland cement concrete, 6.05 cwt/cy mix, with 6% air entrainment, 3" slump;
- b) The placement of twelve inches (12") of Type B, CA-6 compacted aggregate base;
- c) The saw cutting of 2 inch deep joints at not more than 15-foot intervals, within 24 hours after being placed;
- c) The placement of 2 dowel bars into the gutter portion of existing concrete curb, and at expansion joints, in accordance with the detail shown on the plans;
- d) The placement of 3/4 inch pre-molded expansion joint filler perpendicular to the centerline of the roadway for the full depth of the curb and gutter, where abutting existing concrete curb and gutter, at 10 feet either side of a utility structure, at construction joints at the ends of pours, at not more than 90 foot intervals;
- e) The proper curing of all concrete work utilizing the methods and materials outlined in Articles 424 and 1022.01 of the SSRBC (Type 2 membrane curing with red dye is preferred);
- f) The backfilling of all curb work with materials approved by the Engineer.

Basis for Payment: This work shall be paid for at the contract unit price per **LINEAL FOOT** for

COMBINATION CONCRETE CURB AND GUTTER, B6.12
and
COMBINATION CONCRETE CURB AND GUTTER, B6.18
and

COMBINATION CONCRETE CURB AND GUTTER, M3.12

of the type specified, which price shall be payment in full for the work as specified herein.

SP-21 PCC DRIVEWAY REMOVAL & REPLACEMENT (6")

Description: This work shall consist of the removal and replacement of concrete driveways in accordance with the applicable parts of Sec. 423 of the SSRBC except as amended herein.

This work shall include the placement of ¾" premolded expansion joints where new concrete abuts existing concrete or as directed by the Engineer.

This work shall also include the adjustment to proper grade of all water valve or private utility boxes encountered.

Replacement of the driveways shall include the application of membrane curing compound, Type III, in accordance with Articles 1020.13 and 1022.01 of the SSRBC, unless otherwise directed by the Engineer. If replacement of the driveways takes place prior to April 15, or after October 15, the driveway shall be properly cured and that followed by the application of protective coat in accordance with Article 420.18 of the Standard Specifications.

Basis of Payment: This work shall be paid for at the contract unit price per **SQUARE YARD** for

**PCC DRIVEWAY REMOVAL,
and
PCC DRIVEWAY REPLACEMENT (6")**

which price shall be payment in full for the work as specified herein.

SP-22 SANITARY SERVICE RECONNECTION

Description: This work shall consist of the reconnection of existing sanitary services disturbed during the installation of the proposed storm sewer and water main. A service shall be considered whenever the storm sewer or water main passes less than eighteen inches above or any distance below the service. **THE CONTRACTOR MUST MAKE AN ATTEMPT TO AVOID DISTURBING THE SERVICE. ANY SERVICES DETERMINED BY THE ENGINEER TO BE DELIBERATELY DISTURBED WILL NOT BE CONSIDERED FOR PAYMENT. NO RECONNECTION SHALL BE CONSIDERED FOR PAYMENT UNLESS WITNESSED AND APPROVED BY ENGINEER.**

The existing service pipe shall be cut one and one-half foot beyond the walls of the storm sewer or water main trench in a manner that provides a neat and smooth joint. The reconnection of the new and existing pipes shall be made with PVC pipe grade SDR 26, ASTM D2241, 160 psi pressure pipe, or better with push-on bell and spigot type with rubber ring seal gasket ASTM D3139. See detail in "Standard Detail" section of this document.

Non-shear couplings (couplings with stainless steel shear ring) shall be used to connect pipes of dissimilar material or size – FLEX-SEAL Adjustable Repair Couplings. The excavation shall be backfilled with **SELECTED GRANULAR BACKFILL** to a point one foot above the top of the sanitary service. Backfill shall be placed in lifts and firmly compacted such that no future settlement occurs. **NO RECONNECTION SHALL BE BACKFILLED UNTIL INSPECTED AND APPROVED BY A REPRESENTATIVE OF THE DOWNERS GROVE SANITARY DISTRICT (630-969-0664).**

Basis of Payment: This work will be paid for at the contract unit price **EACH** for:

SANITARY SERVICE RECONNECTION,

which price shall be payment in full for all work as specified herein.

SP-23 UTILITY STRUCTURE TO BE ADJUSTED/RECONSTRUCTED

Description: This item shall be done in accordance with Sec. 602 of the SSRBC and the following provisions. All excavation for structure adjustment shall be replaced with Class SI concrete and in accordance with the details in the plans.

Castings shall be set in mortar or bituminous mastic beds. The adjustment of the casting to the required final grade shall be made with precast concrete adjusting rings. Brick, concrete block, or wooden shims will not be permitted.

When adjustments include new frame and grate or new frame and lid, all replacement frames, grates and lids shall be heavy duty. Cost of construction of new frame and grate shall include removal and replacement of curb and gutter up to 3 feet on either side of the casting.

Although the cost of adjusting and/or reconstructing structures per this specification will be paid for under this contract, the contractor shall be aware that many of the structures are not the property of the Village of Downers Grove, and that such work may require inspections and/or permits from other governmental agencies.

Basis of Payment: This item shall be paid for at the contract unit price **EACH** for:

UTILITY STRUCTURE TO BE ADJUSTED

or

UTILITY STRUCTURE TO BE RECONSTRUCTED

which price shall be payment in full for all labor and materials.

DOWNERS GROVE SANITARY DISTRICT

SPECIFICATION

FOR

BUILDING SANITARY SERVICE AIR TESTING

Effective Date: August 24, 2001

1. The entire building sanitary service shall be air tested from the public sewer to the building, including the machine tap, wye or tee, the outside cleanout(s) and all service piping. If a new wye or tee is installed on an existing public sewer, the pipe connections on the public sewer on both sides of the wye or tee must also be air tested, as described in Item 11.
2. Prior to testing, flush and clean the sewers by a method acceptable to the District. If a new wye or tee is installed on a existing public sewer, clean the inside of all existing pipes to allow the test plugs to properly seal during testing.
3. Isolate the building sanitary service from the existing public sewer by installing two airtight plugs in the public sewer, by installing one airtight plug with a void positioned at the connection between the building service connection and the public sewer, or by other method acceptable to the District.
4. Install an airtight plug on the cleanout inside the building.
5. Properly brace the outside cleanout cap and collar to withstand air testing.
6. Whenever the sewer to be tested is submerged under groundwater, determine the groundwater hydrostatic pressure by a method approved by the District.
7. Add air to the plugged sewer sections under test through the cleanout or public sewer plug until initial air pressure reaches 4.0 psig greater than any groundwater hydrostatic pressure.
8. Allow at least two minutes for air temperature to stabilize, adding air to maintain the initial test pressure.
9. Shut off the air supply after stabilizing the air temperature and record the time in seconds using an approved stopwatch for the internal sewer pressure to drop from 3.5 psig to 2.5 psig greater than any groundwater hydrostatic pressure.
10. The building sanitary service shall pass if the recorded time for the allowable pressure drop equals or exceeds 2 minutes for a 4-inch and 6-inch diameter service less than 300

feet in total length. The minimum allowable time for larger pipe diameters or longer pipe lengths will be determined by the District.

11. The individual pipe joints on either side of a new wye or tee installed on an existing public sewer shall also be air tested as follows:
 - a. Comply with requirements of ASTM C1103-90.
 - b. Utilize commercially available test apparatus with two separate inflatable sealing rings or plugs, or one plug with a void positioned at the center, at least 2.50 inches, but no more than 2 feet apart.
 - c. Acceptable maximum air loss is 1 psi in 5 seconds.
 - d. Test pressure is 3.5 psi higher than groundwater pressure, but do not use a test pressure greater than 6 psi.
 - e. Provide test apparatus that allows remote monitoring of test by the District.
12. If the air test fails to meet these requirements, locate and repair, or remove and replace the faulty sections of sewer in a manner approved by the District, as necessary to meet the allowable limits upon retesting. The use of acrylamid gel sealant is not an acceptable method to correct leakage.
13. Provide and use equipment and measuring devices acceptable to the District.
14. All air testing for acceptance shall be done under the direct supervision of the District. The Contractor shall notify the District 48 hours prior to testing.
15. Air testing techniques shall be in accordance with the latest ASTM standard practice for testing sewer lines by low-pressure air test method for the appropriate pipe material.
16. Air testing may not be performed until the sanitary service trench has been completely backfilled.

**DOWNERS GROVE SANITARY DISTRICT
SEWER CONTRACTOR'S CHECKLIST**

630-969-0664

A. BUILDING SERVICE CONNECTIONS

1. No work may be started unless the contractor is bonded with the District, in addition to any Village, Township, County or State requirements. Call 969-0664 for bond requirements.
2. No work may be started unless a Sewer Permit has been picked up by the contractor and posted on the job. All repairs require a no-charge permit. All work must be inspected.
3. A Sewer Permit will not be issued until all fees have been paid. The District must approve plans for new buildings. No sewer connection may be done until foundation is in and cast iron can be connected. Existing buildings must be inspected and approved by the District and any violations must be corrected before connection to the sewer.
4. Any excavation with the right-of-way requires a separate permit from the appropriate Village, Township, County or State jurisdiction.
5. Pipe Size – 6" diameter minimum for building services.
6. Pipe Material – must meet the following requirements:
 - PVC pipe with a SDR of 26, complying with ASTM D2241, 160 psi pressure pipe push-on bell and spigot type with rubber ring seal gasket ASTM D3139.
 - Ductile Iron Pipe, AWWA C-151, Class 51, with rubber-gasket joints AWWA C-111. All pipe and fittings must have corrosion protection using H2Sewer Safe by Griffin Products (SuperCoat Lining) or approved equal and exterior polyethylene tube complying with ANSIAWWA C105/A 21.5-93, with a thickness not less than 8 mils.
7. Utilities site plan is required for all new building sanitary services, including septic system conversions. This shall be provided on a topographic survey, which shows the rim elevation of the nearest upstream and downstream sanitary manholes.
8. An agreement for District access to the building sanitary service, signed by the property owner, is required for all new building sanitary services.
9. Service stubs must be perpendicular to the main sewer to the property line.
 - Whenever possible, it is requested that the service be laid straight from the stub or property line to the building. Any changes in alignment must be made with 45° (or less) bends, no 90° bends are allowed. It is recommended that the service not be located under any existing or proposed driveway or sidewalk. Under no circumstances may drain tiles be connected to the service.

10. Outside Cleanouts

- An outside cleanout shall be installed on each new building sanitary service at the transition from 4-inch waste line to 6-inch service pipe just outside the foundation or other location approved by the District. Refer to Downers Grove Sanitary District Specification for details.

11. Pipe Bedding

- No pipe may be laid when there is water in the trench. If there is water in the trench it must be pumped out prior to placing any bedding material. No water from the trench may be allowed to enter the existing sanitary sewer. Any Contractor allowing this to happen will have his bond revoked.
- $\frac{1}{4}$ " to $\frac{3}{4}$ " washed chipped limestone, must be placed at least 4" below the bottom of the pipe and compacted. Dig bell-holes before the pipe is laid.

12. Pipe Trench

- The pipe must be laid at a slope of at least 1.0%, starting from the stub or main sewer.
- The maximum trench width is 2' 0", measured above the top of the pipe. Over 12" above the top of the pipe, the sides of the trench may be stepped or sloped back.
- Maximum depth is 10' 0", measured from the top of the pipe to the finished grade.
- Minimum depth is 4' 0", measured from the top of the pipe to the existing grade. Anything less than 4' must be insulated.
- Water and sewer services must be placed in separate trenches at least 10 feet apart. Only when it is impossible to maintain 10 feet of separation may sewer and water services be placed in the same trench. When placed in the same trench, services must be at least 3 feet apart with 18 inches of vertical separation.
- Any water services that cross house sewers, storm drains, or sanitary sewers must also maintain an 18-inch vertical separation for a distance of 10 feet on both sides of the sewer. The excavated area between each pipe and the full width of the water service for a distance of 3 feet on both sides of the sewer must be replaced with compacted granular backfill.

13. Pipe Backfilling

- $\frac{1}{4}$ " to $\frac{3}{4}$ " washed chipped limestone, must be carefully placed under the sides of the pipe and firmly tapped into place. Granular backfill must be carefully placed to a level 12" above the top of the pipe and compacted.
- Selected excavated material, free of rocks and sticks, may be used to backfill from 12" above the top of the pipe to the surface, except under roadways and sidewalks.
- Parkway restoration shall comply with applicable village, township, county, or state requirements.
- Under roadways (and to 2' behind the back of the curb) and under sidewalks, granular material, from $\frac{1}{4}$ " to $\frac{3}{4}$ ", must be used to backfill from 12" above the top of the pipe, to the subgrade elevation.

- Roadway and sidewalk restoration shall comply with applicable village, township, county, or state requirements.

14. Foundation Over Dig & Double Wall Foundations

- The foundation over dig at the point where sanitary sewer service enters the building shall be filled with ¼" to ¾" washed chipped limestone from the footing to the bottom of service to provide support for this pipe.
- Service sewers passing through double foundation wall or under concrete porches shall be constructed of ductile iron pipe. Cast iron or PVC pipe will not be allowed in these situations.

15. Service Risers

- A service riser must be constructed where the main sewer is more than 12' deep, measured from the invert of the pipe to the finished grade. Refer to Downers Grove Sanitary District Specification for details.

16. No-Shear Couplings

- No-shear couplings (couplings with stainless steel shear ring) shall be used to connect pipes of dissimilar material or size – Flex-Seal Adjustable Repair Couplings or approved equal.

17. Building Sanitary Service Air Testing

- All new building sanitary services shall be tested in accordance with District specifications for building sanitary service air testing. Refer to Downers Grove Sanitary District Specification for details.

18. Building Sanitary Service Televising

- All new building sanitary services shall be televised in accordance with District specifications for building sanitary service televising. Refer to Downers Grove Sanitary District Specification for details.

19. Inspections

- All sewer services shall be left completely exposed until the District inspector has accepted it. 24 hours notice is required for such inspection. Inspections may be scheduled Monday through Friday, between 8:00 a.m. and 4:00 p.m.
- A representative of the sewer contractor shall be in attendance at time of all inspections.

20. Record of Work Performed

- Upon completion of a new building sanitary service or any repairs to an existing building sanitary service, the sewer contractor or property owner must submit to the District a

written record of the work completed, including a sketch, pipe sizes, footages, depths, fittings and measurements from property lines or building corners, before final acceptance of said work will be granted by the District. This information should be in sufficient detail to allow the location of the building sanitary service to be clearly marked at a future date.

21. Inspection Manhole*

- For all non-residential buildings, an inspection manhole is required on the service between the building and the main sewer. It must be placed so that all flow from the building passes through the manhole. The inspection manhole must be 4 feet in diameter and have a District standard manhole cover. Refer to Downers Grove Sanitary District Specification for details. Manholes must pass a vacuum test before acceptance.

*Also pertains to Flood Control Manhole.

22. Grease, Oil and Sand Traps

- When required as a condition of the Sewer Permit for non-residential buildings, such traps shall be of a design approved by the District and shall be located where easily accessible for cleaning and inspection. Grease traps shall be located outside where possible and shall be below the ground. Where outside installation is impossible, the grease trap may be located inside but must be below the floor. Dishwashing machines cannot be discharged through any grease trap. All grease traps must be cleaned on a monthly basis. Oil separators shall be triple-basin type. Sand traps may be a single manhole with sump. All such installations shall conform to the requirements of the DuPage County Health Department and Village and State Plumbing Codes.

23. Overhead Sewer

- Overhead sewer is required for all new construction and septic system conversions.

24. Blockings/Demolitions

- All buildings to be demolished shall have their sanitary sewer service blocked at the main sewer connection; this work shall be done prior to the actual demolition. Rebuilds will be required to install a new service out to the main sewer. Existing tee or wye connections may be reused only upon approval by the District inspector. It shall be the responsibility of the contractor to determine the point of disconnection on the public sanitary sewer. The contractor shall televise and electronically locate the building sanitary service to the connection point to public sanitary sewer. Prior to the issuance of sanitary disconnection permit, the contractor shall submit to the District a copy of the VHS video tape of the building sanitary service televising and a corresponding written report for District review and approval. The written report shall note all observations and shall indicate the location of the building sanitary service connection point on the public sanitary sewer, measured from the nearest District manhole. The televising shall comply with the District Specification for Building Sanitary Service

Televising. The intent of the televising and locating is to determine that the building sanitary service is not shared with any other building and to locate the connection point to the public sanitary sewer.

25. Machine Taps

- Whenever there is not a tee or wye for a service connection, a machine tap shall be made. The connection shall be made with a Geneco Sealtite Sewer Saddle (Model S) or approved equal.

26. Septic System Conversion

- When an existing building is to be connected to the District sanitary sewer system (septic system conversion), the new building sanitary service pipe must extend all the way to the existing building foundation; i.e., no existing service pipe may remain in service.

27. Special Conditions

- Special conditions may be required as a condition of the Sewer Permit. The contractor is advised to check such conditions on the Sewer Permit and the set of plans approved by the District before starting the work. All sewers must be installed in accordance with the Standard Specifications for Sanitary Sewer Construction of the Downers Grove Sanitary District.

28. Lateral Lining

- The District restricts the use of lateral liners for all building sanitary service sewer construction or rehabilitation. The decision to allow the use of lateral liners will be made by the District. Request to use a lateral liner shall be done in writing and shall be made at the time of permit application. The District will evaluate each situation and determine if a lateral liner is appropriate. If the District approves a location for the use of a liner, the liner construction must meet all District requirements for sewer construction. The District also reserves the right to specify approved liner manufactures, installers and products.

B. MAIN SEWER EXTENSIONS

1. All extensions must be constructed in accordance with plans approved by the District.
2. No work may be started unless the contractor is bonded with the District.
3. No work may be started until the Illinois EPA permit and all village or county permits are obtained.
4. All sewers must pass an air test and a lamping inspection. All PVC sewers must pass a deflection test. Refer to the plans or to Downers Grove Sanitary District Specification for details.

5. All public sanitary sewers shall be laid with straight alignment and uniform slope between manholes. The alignment shall be checked by lamping in accordance with District construction inspection procedures. Contractors are required to use a pipe laser to set pipe slope and alignment for public sanitary sewer main construction
6. All manholes must pass a vacuum pressure test. Refer to Downers Grove Sanitary District Specification for details.
7. The constructed sewers must be televised under simulated flow conditions. District personnel must be present during televising. No sags greater than 25% of the pipe diameter will be accepted. All unacceptable sags must be replaced in a manner acceptable to the District.
8. Maximum trench widths measured at a point 12" above the top of the pipe are as follows:

<u>Trench Excavations</u>	
<u>Pipe Size</u>	<u>Trench Width</u>
6"	2' 0"
8"	2' 6"
10"	2' 6"
12"	3' 0"
15"	3' 0"
18"	3' 0"
21"	3' 6"
24"	3' 9"

SP-24 STORM SEWERS (CLASS, MATERIAL, SIZE SPECIFIED)

Description: This item shall consist of the construction of Storm Sewer. Storm sewer shall be constructed with new Reinforced Concrete Pipe (RCP) per the SSRBC (AASHTO M315), and Ductile Iron Pipe with gasket (DIP), AWWA C -1 Class 52 with SuperCoat interior lining, asphalt exterior coating, and rubber-gasketed joints AWWA C – 111 of the diameter shown, watermain quality Polyvinyl Chloride (PVC) Pipe C900 with gasketed, bell and spigot, push on type joints conforming to ASTM D3212, or Polyvinyl Chloride (PVC) Pipe SDR 26 with gasketed, bell and spigot, push on type joints conforming to ASTM D3212 of the diameter shown on the Drawings.

The pipe shall be placed so that the entire length of the pipe will have full bearing. No blocking of any kind shall be used to adjust the pipe to grade except when used with concrete encasement.

Laying of sewer pipe shall be accomplished to line and grade in the trench only after it has been de-watered and the foundation and/or bedding has been prepared. Mud, silt, gravel, and other foreign material shall be kept out of the pipe and off the jointing surface.

All pipe laid shall be retained in position so as to maintain alignment and joint closure until sufficient backfill has been completed to adequately hold the pipe in place. All pipes shall be laid to conform to the prescribed line and grade shown on the Plans. The sewer pipe, unless otherwise approved by the Engineer, shall be laid up grade from point of connection on the existing sewer or from a designated starting point. The sewer pipe shall be installed with the bell end forward or upgrade, unless approved otherwise. When pipe laying is not in progress, the forward end of the pipe shall be kept tightly closed with an approved temporary plug.

If deemed necessary by the Engineer, all pipe and manholes shall pass an ex-filtration test in accordance with ASTM C-969-02 prior to acceptance. All testing shall be done under supervision of the Engineer, who shall be notified 48 hours prior to testing.

The following specific items shall be considered incidental to storm sewer pipe construction and their costs shall be merged into the contract unit price per **FOOT** of the storm sewer pipe.

1. Excavation and removal of all surplus trench excavation from site.
2. **Placement and compaction of trench backfill for bedding, haunching, and initial backfill as defined in the Sewer and Water Specs.**
3. Support of trenches, including any necessary bracing or shoring.
4. De-watering of trench or excavation.
5. Saw cutting of pavement and/or curb and gutter.

Basis of Payment: This work shall be paid for at the contract unit price per **FOOT** for:

STORM SEWERS (CLASS, MATERIAL, SIZE SPECIFIED),

which price shall include all labor, material, and equipment and incidental work herein specified, except **SELECTED GRANULAR BACKFILL** used as final backfill as defined by the Sewer and Water Specs, which will be paid for separately.

SP-25: STORM SEWER STRUCTURE REMOVAL

This work shall consist of the removal of existing structures where indicated on the plan or directed by the Engineer.

Existing pipes, not to be replaced, shall be saw cut a sufficient distance away from the existing structure to allow removal of the structure.

Basis of Payment: The cost for removal of existing drainage structures where designated by the Engineer and for all required work and materials described herein will be paid for at the contract unit price **EACH** for

MANHOLES, CATCH BASINS, AND INLETS, TO BE REMOVED.

SP-26: STORM SEWER REMOVAL

This work shall consist of the removal of existing storm sewer as shown on the plans and in accordance with Section 551 of the Standard Specifications. The existing sewer may be salvaged by the contractor for whatever use he sees fit. Trenches falling under or within 2' of proposed pavement or driveways shall be backfilled with **SELECTED GRANULAR BACKFILL** in accordance with section 208.

Basis of Payment: The cost for the removal, backfilling and disposal of the materials will be paid for at the contract unit price per **FOOT** for

STORM SEWER REMOVAL

of the size indicated

SP-27: STORM SEWER CONNECTION TO EXISTING MANHOLE

This work includes the connection of the proposed storm sewers to the existing manholes at locations shown on the plans. The proposed connection shall be neatly cut and the area between the cut out and sewer filled with brick and mortar in accordance with Section 1042 of the Standard Specifications.

Basis of Payment: This work will be paid for at the contract unit price per **EACH** for

STORM SEWER CONNECTION TO EXISTING MANHOLE

which includes all work specified herein.

SP-28: CONNECT EXISTING STORM SEWER TO PROPOSED DRAINAGE STRUCTURE

This work shall consist of the connection of existing storm sewer to proposed manholes, catch basins or inlets. Removed or extended pipes shall be replaced with new pipe of the same size and type and connected to the proposed structure. Connections to existing pipes shall be made using a band seal, concrete collar or other approved method.

Basis of Payment: This work will be paid for at the contract unit price **EACH** for

CONNECT EXISTING STORM SEWER TO PROPOSED DRAINAGE STRUCTURE.

SP-29 SELECTED GRANULAR BACKFILL

Description: All trenches and excavations beneath pavements and driveways, as shown on plans or as

directed by the Engineer in the field, will require selected granular backfill meeting the gradation specified herein and in section 208 of the SSRBC.

Select Granular Backfill shall meet the requirements of Section 1004.04 of the SSRBC, gradation to be “CA-6”, except that GR-7 gravel will not be allowed. Select granular backfill as CA-6 should be used when under or within 2’ of paved areas or structures, and shall extend from 1’ above the pipe to at least 9” below the street surface. Selected granular backfill as CA-7 shall be used to a height of one (1) foot above the top of the storm sewer pipe.

All trenches containing perforated pipe shall be backfilled only with CA-7.

Backfill shall be compacted by vibrating plate or other mechanical compacting device in a manner consistent with the Standard Specifications, to ensure that no future settlement occurs.

All backfilling shall be done in accordance with Section 550.07 of the SSRBC. Specifically, all trenches and excavations other than those shown on the plans or designated by the Engineer to receive **SELECTED GRANULAR BACKFILL** shall be backfilled by any acceptable method which will not dislodge or damage the pipe, or cause bridging action in the trench. Spoil material may be used as backfill in turf areas. In turf areas, **SELECTED GRANULAR BACKFILL** as CA-7 shall be used to a height of one (1) foot above the top of the storm sewer pipe, and the balance of the backfill may be approved excavated material.

Payment will not be made for the placement of selected granular backfill as granular bedding, haunching and initial backfill, as defined in the Water and Sewer Specs. These shall be considered incidental to the placement of the utility pipe.

Payment shall be made only for the placement of **SELECTED GRANULAR BACKFILL, CA-6 and SELECTED GRANULAR BACKFILL, CA-7 as final backfill as defined in the Sewer and Water Specs. Backfill of approved excavated material shall be considered incidental to the contract price.**

Where granular bedding as encasement material is not specified, selected excavation material free from clods or stones shall be used between the bottom of the trench and a point six inches above the top of the pipe.

Selected granular backfill shall be furnished for backfilling to the full width of the trench. It will be measured in cubic yards in place, except that the quantity for which payment will be made shall not exceed the volume of the trench as computed by using the maximum width of trench permitted by the SSRBC. Any selected granular material required in excess of the maximum quantity herein specified shall be furnished by the Contractor at his own expense

This item also includes the disposal of the surplus excavated material that is replaced by selected granular backfill. Any material meeting the aforementioned gradation that has been excavated from the trenches may be used for backfilling the trenches. However, no compensation will be allowed as selected granular backfill for the portion of the trench backfilled with excavated material.

Basis of Payment: This work will be paid for at the contract unit price per **CUBIC YARD** for

**SELECTED GRANULAR BACKFILL, CA-6 or
SELECTED GRANULAR BACKFILL, CA-7**

which price shall be payment in full for the work as specified herein and as measured in place.

SP-30 EXPLORATORY TRENCH, SPECIAL

This item shall consist of excavating an area for the purpose of locating existing utilities within the construction limits of the proposed improvement. This work shall be performed as directed by the Engineer. A nominal quantity of exploratory excavation has been included in the schedule of prices for the purpose of establishing a unit price for this item of work.

After the excavation has been inspected, it shall be backfilled as directed by the Engineer. If it is located in a paved area (existing or proposed), the excavation shall be backfilled with Trench Backfill as specified herein.

Otherwise, the excavation shall be backfilled with excavated material compacted to the satisfaction of the Engineer. Any excess material shall be disposed of in accordance with Article 202.03 of the IDOT Standard Specifications.

Trench Backfill will not be measured for payment.

This work will be paid for at the contract unit price per **CUBIC YARD for**

EXPLORATORY TRENCH, SPECIAL,

measured as specified, which price shall include excavation, backfill and legal disposal of excess material.

SP-31 TEMPORARY SURFACE OVER TRENCH – (AGGREGATE)

Description: This work shall consist of construction, maintenance, and removal of an aggregate surface course for temporary roads and approaches as specified in Section 107.09 of the SSRBC. The depth of the temporary surface over trench shall equal the depth of the proposed, final asphalt patch (6”).

Construction Requirements:

Aggregate surface shall be constructed in accordance with the applicable portions of Section 402 of the SSRBC, except that the equipment required for the work will be as directed by the Engineer. Maintenance shall consist of placing and compacting additional aggregate of the same type and gradation as the surface aggregate.

Materials:

Aggregate used for temporary access shall be of CA-6 gradation and shall meet the requirements of Section 1004.04 of SSRBC, except the use of crushed concrete and slag will not be allowed. The top portion of the temporary aggregate surface will be capped with four inches (4”) of bituminous grindings to assist with dust control.

When the use of the aggregate for temporary roads and approaches is discontinued, the surface aggregate placed in its construction and maintenance shall be removed and either utilized in the permanent construction or otherwise disposed of as specified in Section 202.03.

Basis of Payment: This work shall be paid for at the contract unit price per **SQUARE YARD for:**

TEMPORARY SURFACE OVER TRENCH – (AGGREGATE), 6”

which price shall include all the labor, material, and equipment necessary for furnishing, placing, maintaining, removing and disposing of the aggregate surface or the bituminous patching material surface with aggregate sub-base, used in the construction of temporary road and drive approach surfaces. These items shall also include the maintenance of the temporary pavement.

SP-32 MANHOLES, CATCH BASINS, AND INLETS (SIZE AND TYPE SPECIFIED)

This work shall consist of the installation of precast concrete drainage structures with a cast-in, clamp-on type flexible boot meeting ASTM C923 requirements, of the size and type shown on the plans or specified by the Engineer. Included in the contract unit price shall be all excavation, removal and disposal of existing storm structures, bedding, supplying and compacting of backfill materials. Backfill materials for new structures shall be CA-6 aggregate mechanically compacted. Unless otherwise specified, all manholes, catch basins, and inlets and shall be their respective Type A design with cast-in-place, clamp-on type, flexible rubber boot(s).

All structures in excess of four feet in depth shall be equipped with cast iron steps meeting the standards of ASTM A48.

Precast sections shall conform with ASTM C 478 and shall be substantially free from fractures, large or deep cracks and surface roughness. Slabs shall be sound and free from gravel pockets. Joints between precast sections shall be designed for rubber gaskets or bituminous mastic material.

Adequate foundation for all structures shall be obtained by removal and replacement of unsuitable materials with well graded granular material; or by tightening with coarse ballast rock, or by such other means as provided for foundation preparation of the connected sewers.

Precast base sections shall be placed on a well graded granular bedding of not less than two (2) inches in thickness. The bedding course shall be firmly tamped and made smooth and level to assure uniform contact and support of the precast element.

All lift holes shall be completely filled with mortar to ensure water tightness.

Castings shall be set in mortar or bituminous mastic beds. The adjustment of the casting to the required final grade shall be made with precast concrete adjusting rings. Maximum adjustment with rings shall be twelve inches (12”). Brick, concrete block, or wooden shims will not be permitted. Pre-cast concrete adjusting rings shall be set in mortar or bituminous mastic beds.

In pavements, frames shall be heavy duty Type 1 with either Type B closed lids or Type 11 frame and grates.

This work will be paid for at the contract unit price per **EACH** for

**MANHOLES, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE,
MANHOLES, TYPE A, 4' DIAMETER, TYPE 1 (CLOSED) FRAME AND GRATE
CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE,
INLETS, TYPE A, 2'-DIAMETER, TYPE 11 FRAME AND GRATE,**

which price shall include all material, labor, and equipment necessary to complete the work.

SP-33 AMENDED SOIL FURNISH AND PLACE, 24”

Description: This work shall consist of the furnishing, transporting and placement of amended soil in accordance with the applicable parts of Sec. 211 of the SSRBC, except as amended herein.

Amended soils shall not be handled wet during any construction work.

Over-excavation for amended soil shall be conducted following excavation to proposed grade. In all areas requiring amended soils, existing soil shall be excavated and hauled off in accordance with plan quantities. This excavated material can not be used onsite for amended soil material. All amended soil material must be imported from a suitable source offsite.

The Village and/or Engineer shall approve all amended soil materials prior to placement on site. The Contractor shall show the Village and/or Engineer potential amended soil materials at the source location upon request. Amended soil materials shall consist of 10% - 15% loam or silt loam, 70% - 80% coarse sand and 10% - 15% organic compost. The pH range shall be 5.3 to 7.5. If the borrow source material is deficient, it may be necessary for the Contractor to amend the soil to meet the required specifications. The amendments may include limestone or aluminum sulfate to adjust pH. Amendments shall meet the following requirements:

- Agricultural limestone shall contain not less than 95 percent calcium carbonate equivalent and shall be ground to such a fineness that at least 98 percent will pass a 20-mesh sieve and at least 50 percent will pass a 100-mesh sieve. Other liming material shall have a minimum calcium carbonate equivalent of 80 percent and shall be crushed to such a fineness that 98 percent will pass a 20-mesh sieve and at least 50 percent will pass a 100-mesh sieve.
- Aluminum sulfate shall be horticultural grade.
- Amended soils shall be pre-mixed at an off-site facility, and shall not be blended on-site or in-place. The Village and/or Engineer shall test amended soils to ensure the appropriate gradation and compaction. Samples will be taken within 48 hours of notice from the Contractor that materials are ready for testing. Standard sieve analysis and other general accepted testing procedures may be utilized. After samples are taken, testing may take up to 5 business days per round of testing. The Contractor shall build time for testing into the schedule, as it may take multiple rounds of mixing and testing to meet the requirements, depending on the Contractor's chosen method and thoroughness of the mixing procedure prior to samples being taken.

Once the material and mixture has been approved, the amended soil shall be spread using single lifts of up to 1-foot or as directed by the Village and/or Engineer. Final amended soil thickness shall be in accordance with the Construction Plans.

Wheeled vehicles (scrapers, end loaders, skid steers, etc.) shall not be used for topdressing work and are not allowed in the amended soils area after subgrade has been achieved, as they result in severe surface compaction. Only low ground pressure wide-track equipment (quadtrac tractor and pull-type scraper assembly wide, track dozer, back-hoe, and tracked bobcats) shall haul, move and spread amended soil material in the areas to be seeded or where plugs are to be installed. The construction contractor is responsible to create a surface that has minimal compaction. It is critical to restoration success that compaction of the surface is avoided.

The Contractor is required to establish a smooth and level surface in the remedial area with clods no greater than 2-inches in diameter and a surface that has minimal compaction. All rocks greater than .75-inches in diameter shall be removed. The Contractor shall inspect the surface conditions following amended soil placement to determine if they are acceptable. The Contractor is responsible to rectify any unacceptable amended soil conditions and may be required to re-grade and/or disk to achieve acceptance. Should the placing procedure segregate the mixture, or otherwise cause it to no longer meet the specifications, any in-place remedial measures necessary will be the responsibility of the Contractor, with no additional payment being made for said work.

Grade areas are to be seeded to a smooth, uniform surface plane with loose uniformly fine texture. Grade to within plus or minus ½ inch (13 mm) of finish elevation. Rake in order to remove ridges and fill depressions. Limit finish grading to areas that can be promptly planted.

No wheeled traffic shall occur in the seeding/plugging area following amended soil placement, except for a farm type tractor to conduct disking and seeding preparation.

Method of Measurement: This work, including overexcavation for amended soil, will not be measured for payment. Payment will be based on Contract Quantities. By submission of a bid, Contractor agrees on Contract Quantity.

Basis of Payment: This work shall be paid for at the contract unit price per **SQUARE YARD** for:

AMENDED SOIL FURNISH AND PLACE, 24”

which shall include all labor, materials and equipment necessary to do the work.

SP-34 PERENNIAL PLANT INSTALLATION

Description: This work shall be performed in accordance with Section 254 of the SSRBC, except as amended herein.

All perennial plants shall be container grown in open bottom pots and have minimum shoot heights of 12 inches at the time of planting. Pot dimensions shall be a minimum of 2 3/8-inches square and 3 ¾-inches deep.

All container plant material shall be inoculated with mycorrhizal fungi.

Species selection shall be in accordance with the “Perennial Plant List” as shown on the plans. A total of 6 units shall be installed (with one unit consisting of 100 plants). Of the 6 units required, a single unit from at least 6 different species shall be installed. No more than two units of any species shall be installed. Substitutions shall not be acceptable unless previously approved by the Engineer. A final list of selections and approximate planting plan shall be submitted to the Engineer for approval at least one week prior to plant purchase.

All plant material shall be grown from seed sources within a 150-mile radius of the project location with species and subspecies native to DuPage County, Illinois. Plant material shall be acquired from a reputable supplier, subject to the approval of the Engineer.

All plant material shall be installed within 1 week of reaching final grade elevations. Any potential delays caused by weather shall be approved by the Engineer. Plantings shall take place within six hours of delivery to the project site. If planting is delayed more than six hours after delivery, plants shall be placed in shade and protected from weather and mechanical damage and all roots shall be kept moist.

The Contractor shall notify the Engineer 24 hours prior to planting - no plants shall be installed prior to approval of the Engineer. All plants shall be installed at 12-inch intervals. Holes shall be dug large enough to allow spreading of roots. Work soil around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water. Water thoroughly after planting, taking care not to cover plant crowns with wet soil. Plants shall be protected from hot sun and wind; remove protection if plants show evidence of recovery from transplanting shock.

Preen shall be applied to planted area per the manufacturer's recommended rates.

Planting bed shall be mulched with 3-4 inches of hardwood bark mulch. Do not place mulch against plant stems. The cost of mulch placement shall be merged into the contract unit price per UNIT of Perennial Plant installation.

Contractor agrees to repair or replace plantings that fail in materials, workmanship, or growth within specified Warranty Period, which shall be one year from date of installation for all plant material. Failures include, but are not limited to, the following:

- Death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect or abuse by the Village, or incidents that are beyond Contractor's control.
- Structural failures including plantings falling or blowing over.

Full maintenance shall be provided by skilled employees of the Contractor for the duration of the Warranty Period. Maintenance shall begin immediately after plant installation and continue until all plantings are acceptably healthy, well established, and until Final Acceptance. Plantings shall be maintained by watering, weeding, fertilizing, mulching, and other operations as required to establish healthy, viable plantings. Final Acceptance shall be granted one year from the date of installation of all plant material, pending 95% survivorship.

Method of Measurement: This work will be measured for payment in units of 100 perennial plants of the type and size specified. Measurement for payment of this work will not be performed until the end of the 30 day establishment period for the replacement planting. Only plants that are in place and alive at the time of measurement will be measured for payment, except that if fewer than 25 percent of the plants are acceptable, NO PAYMENT WILL BE MADE AND THE WORK WILL BE REJECTED IN ITS ENTIRETY. Any/all dead plants shall be replaced as soon as is allowable depending on the planting window for the specific species.

Basis of Payment: This work shall be paid for at the contract unit price per UNIT for:

PERENNIAL PLANT INSTALLATION

which shall include all labor, materials and equipment necessary to do the work.

SP-35 RAIN GARDEN AREA STONE BEDDING, 36”

Description: This work shall consist of furnishing and placing granular material on the prepared subgrade per the applicable portions of Section 311 of the SSRBC except as emended herein.

Existing subgrade shall be uncompacted and scarified prior to placement of Stone Bedding.

The Stone Bedding material shall be limited to 100% crushed aggregate meeting the gradation for CA-7. It is intended to be placed at a thickness of 36 inches and shall not be compacted.

Basis of Payment: This work, including overexcavation for stone bedding, will be paid for at the contract unit price per **SQUARE YARD** for

RAIN GARDEN AREA STONE BEDDING, 36”

which price shall be payment in full for the work as specified herein and as measured in place.

SP-36 PIPE UNDERDRAIN

Description: This work shall consist of construction of installation of a pipe underdrain as shown on the plans.

The contractor shall be responsible for the protection of the placed underdrain such that no damage occurs prior to final restoration and acceptance.

Materials. Materials shall meet the requirements of Section 601 of the SSRBC except for the following:

- a) Pipe underdrain (6”) shall be perforated or slotted (SDR 26) polyvinyl chloride (PVC) pipe as noted.
- b) Pipe underdrain (6”) shall be solid-wall (SDR 26) polyvinyl chloride (PVC) pipe as noted.

Basis of Payment: This work shall be paid for at the contract unit price per **FOOT** for:

PIPE UNDERDRAIN, 6”

which price will include all PVC pipe, appurtenances, and all other labor and material required to complete the work as specified.

SP-37: VALVES

Water main valves shall meet all of the requirements of the following standards as reissued and published on or before the date of this contract:

- Rubber-Seated Butterfly Valves - AWWA C504
- Resilient-Seated Gate Valves - AWWA C509
- Resilient-Seated Gate Valves for Pressure - AWWA 6500
- Side Tapping or Pressure Insertion - AWWA C509

All valves shall have the name, monogram, or initials of the manufacturer cast thereon. The Contractor shall submit to the Engineer the Manufacturer's specifications for the valves he intends to use on this project. All

valves shall contain factory installed Grade 316 stainless steel nuts and Grade 304 bolts. All valves shall be furnished with mechanical joints conforming to ANSI/ANWA- C111/A21.11.

Valves for water mains twelve inches in diameter or larger shall be Resilient-Seated gate valves and installed in a six foot diameter Type A vault with a standard cone section. Valves for water main ten inches in diameter or less shall be Resilient-Seated gate valves and installed in a five foot diameter Type A vault with a standard cone section.

Pressure side-tapping Resilient-Seated gate valves shall be installed in a Type A vault with an offset cone section unless otherwise noted. A six foot diameter vault shall be used for tapping mains ten inches in diameter or larger, five foot diameter vault when tapping mains eight inches in diameter or less. Pressure insertion Resilient-Seated gate valves shall be installed in a Type A vault with a standard cone, four foot in diameter for mains eight inches in diameter or less, five foot diameter vault for mains ten inches in diameter or larger.

All vaults shall be equipped with a Type 1 frame and lid with the word "WATER" cast in the lid. The pick holes shall be of the large size per IDOT Standard 604001. All lift holes and holes around the water main shall be completely sealed with mortar inside and out. All joints between vault sections and between adjustment rings shall be completely sealed with mastic only, as directed by the Engineer.

Gate Valves, 3" diameter or larger, used to reconnect 3" or larger water services shall be paid for as valves and not as water service reconnection devices.

Basis of Payment: This work will be paid for at the contract unit price **EACH** for

RESILIENT-SEATED GATE VALVE (8") IN (5') DIAMETER VAULT,
and
RESILIENT-SEATED GATE VALVE (6") IN (5') DIAMETER VAULT,
and
RESILIENT-SEATED GATE VALVE (4") IN (5') DIAMETER VAULT,
and
6" VALVE
and
4" VALVE
and
(8") TAPPING SLEEVE AND VALVE IN (5') DIAMETER VAULT,

which price shall include all excavation, bedding, TRENCH BACKFILL, blocking, and tapping sleeve or anchor clamps where applicable.

SP-38: DUCTILE IRON WATER MAIN PIPE (TYPE & SIZE SPECIFIED)

Water main pipe materials shall meet all of the requirements of the following standards:

Ductile Iron Pipe (DIP) - ANSI/AWWA - C151/A21.51,
ANSI Class 52
Cement Lined ANSI/AWWA - C104/A21.4

The coupling of these water main pipes shall meet the requirements of the following standards:

Ductile Iron Pipe (DIP) - Compression (push-on) rubber gasket joints in accordance with ANSI/AWWA C111/A21.11.

Unless otherwise shown on plans or directed by the Engineer, all ductile iron water main pipes shall be installed without granular or concrete cradles. Although bell holes may not be required, the trench bottom shall be excavated and shaped such that the pipe is uniformly supported over its entire length.

The pipe shall be installed so that the entire length of pipe shall have full bearing. No blocking shall be used to adjust the pipe to grade except in conjunction with concrete thrust blocking or encasements.

Laying of water main pipe shall be accomplished to line and grade in the trench only after it has been completely de-watered and the bedding is free of mud, loose silt, or gravel. All foreign material shall be kept out of the pipe.

All pipe laid shall be retained in position such to maintain joint closure, alignment, and grade until sufficient backfill has been completed to adequately hold the pipe in place.

At the end of each work day, the end of installed water main pipe shall be protected and the excavation backfilled. No excavation or trench shall be left open overnight. The following specific items shall be considered incidental to water main pipe installation and their costs shall be considered incidental to the contract unit price for water main pipe:

1. Removal of all surplus trench excavation from site;
2. Excavation for and placement of granular bedding and encasement material when shown on the plans and/or ordered by the Engineer;
3. Support of trenches, including any necessary bracing or shoring;
4. De-watering of trenches or any excavation; and
5. Adjustment to horizontal and vertical alignment due to utility conflicts.

Basis of Payment: This work will be paid for at the contract unit price per **FOOT** for

DUCTILE IRON WATER MAIN PIPE (TYPE & SIZE SPECIFIED)

Unit prices shall include all labor, material, and equipment necessary for excavation, bedding, installing and coupling the water main pipe and all incidental work specified herein, except that TRENCH BACKFILL used as Final Backfill as defined by the Standard Specifications, will be paid for separately.

SP-39: POLYETHYLENE ENCASEMENT

This work shall consist of encasing the entire length of water main to be installed under this contract. All new ductile iron water mains shall be encased in a polyethylene tube, according to the materials and methods outlined in ANSI/AWWA C105/A21.5-93.

Method A shall be utilized in placing the encasement material. High-density, cross-laminated polyethylene film conforming to ASTM D1248-89 shall be used.

Basis of Payment: Polyethylene Encasement shall be considered **INCIDENTAL** to Ductile Iron Water Main Pipe installation, and no additional compensation will be allowed the Contractor.

SP-40: WATER MAIN FITTINGS

Fittings shall be cast iron or ductile iron conforming to ANSI/AWWA C110/A21.10 or ANSI/AWWA C153/A21.53. The joints shall be either mechanical or push-on conforming to ANSI/AWWA-C111/A21.11 for rubber-gasket joints.

All nuts and bolts used for jointing of sections, including valves and hydrants, shall be stainless steel, Grade 304 bolts, and Grade 316 nuts.

All mechanical thrust restraints installed shall be "Meg-A-Lug" or "Meg-A-Lug"-type restraint systems. (Solid Precast Concrete thrust blocks may be placed in addition to mechanical thrust restraints in select locations as described elsewhere in these provisions).

Basis of Payment: Water Main Fittings shall be considered **INCIDENTAL** to Ductile Iron Water Main Pipe installation, and no additional compensation will be allowed the Contractor.

SP-41: WATER SERVICE REPLACEMENT

All 1-1/2 inch services requiring replacement shall be replaced from the main to the B-box and shall include a new B-box and Roundway.

For those service lines unable to meet the required clearances from sanitary or storm sewers, casing pipe shall be installed around the service line to the limits called for by the Water and Sewer Specs. Service line encasement shall be installed from the auger pits, and shall not entail open cutting an existing street pavement not otherwise disturbed in the process of installing the replacement water main.

The new water service shall be encased whenever the horizontal and vertical separation of the new service from existing storm or sanitary sewers or services cannot be maintained. The new service shall be encased on each side of the crossing until the perpendicular distance from the end of the casing to the storm sewer or sanitary sewer or service is at least ten feet. Casing pipe shall consist of a minimum 4 inch diameter PVC SDR-26 Pipe. Encasement of water services shall be incidental to the price of the water service replacement.

The Engineer reserves the right to require the replacement of additional services; however, services replaced due to damage caused by the Contractor's operations shall not be paid for under this or any other item.

The service line shall be of one and one-half (1 1/2) inch, type K (soft) copper tubing as noted on plans or directed by Engineer. All copper connections shall be made with flared joints or compression-type joints. All water service lines shall have a minimum five (5) foot of cover. The water service shall have no splices.

The corporation stop shall be Ford FB-600 or approved equal and shall be installed by tapping the water main with an approved tapping machine. The tap shall be made in the upper third of the main, as close to a 45-degree angle as is practical. The tap shall be made through a full circle stainless steel tapping clamp of the correct size depending on diameter of water main and size of new service tap. The roundway key stop shall be Ford B44, with a buffalo style size 100E (6') or 94E (5') service box. Only cast iron buffalo style boxes and lids will be allowed. The roundway key stop and buffalo box shall be located within the parkway area seven (7) feet from the property line or as close to that distance as possible from the property line, unless directed otherwise by the Engineer. The cover of the buffalo box shall have the word "WATER" cast thereon. The Contractor shall record the location of each buffalo box in relation to the nearest corner lot line, and the tap in relation to the nearest fire hydrant. Two copies of this record shall be filed with the Village prior to final inspection and final payment. No buffalo box shall be located in a driveway or in the sidewalk without the approval of the Engineer.

No splices of any kind will be allowed in the water service line from the corporation stop to the roundway key stop. There shall be no splice from the roundway key stop to the water service meter unless specifically

authorized by the Village.

Prior to final inspection, the Contractor shall see that all water appurtenances are adjusted to grade and clearly visible.

All Materials and Methods used shall comply with the above specifications.

Basis of Payment: This work will be paid for at the contract unit price **EACH** for

**WATER SERVICE, 1 ½”, SHORT, OPEN CUT and
WATER SERVICE, 1 ½”, LONG, PUSHED**

which price shall include all excavation, materials, augering, PVC-SDR-26 Casing Pipe and backfilling necessary to complete this item. Restoration, pavement or driveway replacement, topsoil, and sodding, will be paid for separately.

SP-42: THRUST RESTRAINT

Formed concrete thrust restraints may be required at fire hydrants, plugs, caps, and tees in addition to the wedge action retainer glands at fittings, upon the specific direction of the Engineer. 4000 PSI Portland cement concrete shall be used. The use of wood blocking, concrete blocks, stakes or clamps will not be allowed.

Basis of Payment: Thrust restraints shall be considered **INCIDENTAL** to Ductile Iron Water Main Pipe installation, and no additional compensation will be allowed the Contractor.

SP-43: WATER SYSTEM SHUTDOWN

All existing valves shall be turned and operated by the Village’s Water Division Personnel. When the Contractor desires the shutdown of an existing water main for the purpose of connection or abandonment, he shall give the Water Division (**630.434.5460**) and Engineer at least 24 hour notice. The Water Division will advise the Contractor of their availability and then schedule the work.

SP-44: PRESSURE TESTING

Upon completion of the proposed water main and prior to the connection of all service lines, the water main shall be subjected to a hydrostatic pressure of 150 PSI gauged, based on the elevation of the lowest point in the line or section under test. The test shall be corrected to the elevation of the test gauge for both pressure and leakage for a period of not less than two (2) hours. Any cracked or defective pipefitting, valves, hydrants found shall be removed and replaced with satisfactory materials and the test repeated until test results are satisfactory. Joints showing visible leaks shall be made watertight. The Engineer or his representative shall witness the pressure test. Allowable leakage shall be as follows:

<u>MAIN SIZE</u>	<u>ALLOWABLE LEAKAGE</u>
12"	1.10 gal. /hr./1000 ft. of water main
10"	0.92 gal. /hr./1000 ft. of water main
8"	0.74 gal. /hr./1000 ft. of water main
6"	0.55 gal. /hr./1000 ft. of water main

Basis of Payment: This work is considered **INCIDENTAL** to the installation of the water main pipe, and no additional compensation will be given for any required re-testing.

SP-45: CHLORINATION

Upon completion of all water mains and after the results of the hydrostatic test are satisfactory, but prior to the connection of all service lines, the water main shall be thoroughly flushed and chlorinated. The liquid-chlorine-gas-mixture method of procedure shall be as follows:

- A.) Prior to chlorinating, all dirt and foreign material shall be removed from the main, or any valved section, by a thorough flushing through the hydrants, or by other approved methods.
- B.) A chlorine gas-water mixture shall be applied by means of a solution-feed chlorinating device, or if approved by the Engineer, the gas shall be fed directly from a chlorine cylinder equipped for diffusion of the gas within the pipes.
- C.) The preferable point of application of the chlorinating agent shall be through a corporation stop inserted near the horizontal axis of the pipe at the beginning of the pipe line extension of any valve section to be placed in service. The water injector for delivering the gas-water mixture into the pipe shall be supplied by a tap on the pressure side of a valve controlling the flow into the pipe to be chlorinated.
- D.) Water from the pressure side of the valve or other source of supply shall be controlled to flow very slowly into the newly laid pipeline during the application of chlorine. The rate of chlorine gas-water mixture flow shall be in such proportion to the rate of water entering the pipe that the chlorine dose applied to the water entering the newly laid pipe shall have a chlorine residual of not less than 50 PPM. It shall be left in contact with the main for at least twenty-four (24) hours with a 25-PPM chlorine residual remaining after the contact period.
- E.) Following the chlorinating, all treated water shall be thoroughly flushed from the new section of main. Samples shall be collected for bacteriological analysis on two (2) successive days, under the supervision of the Water Division Representative. All samples shall be taken from various points on the new portion of the system, from a copper whip tapped into the new section of water main. The samples taken shall be given to the Water Division Representative for testing. The new section of main shall not be placed into service until the Water Division grants approval.
- F.) A representative of the Water Division shall witness chlorinating of the water main.

Basis of Payment: This work is considered **INCIDENTAL** to the installation of the water main pipe, and no additional compensation will be given for repeating any part of the chlorinating procedure, should the residual level of chlorine fail to meet the requirements.

SP-46: FIRE HYDRANT WITH AUXILIARY VALVE

Fire hydrants shall be Waterous Pacer Model WB-67, with a five and a quarter inch (5 1/4") valve opening, two, two and one-half inch (2 1/2") hose nozzles, and one, four and one-half inch (4 1/2") pumper nuts. All connecting pipe bottom flanges shall be mechanical joints. All hydrants shall be painted with two coats of polyurethane high gloss enamel, #31-ISI OSHA Yellow.

Each hydrant shall incorporate a six-inch (6") auxiliary valve and box. All auxiliary valves shall be located a

minimum of thirty inches (30") and a maximum of thirty-six inches (36") from the hydrant. Connection of the hydrant and auxiliary valve assembly shall be made with a six-inch (6") diameter ductile iron water main. The installation of the fire hydrants and auxiliary valves shall be in accordance with the attached hydrant details. All auxiliary valves shall incorporate lacing rods from valve to tee.

Hydrants shall be set plumb, with the nozzle and steamer connection facing the roadway. The steamer connection shall be set not less than eighteen inches (18") nor more than twenty-four inches (24") above finished grade.

All new fire hydrants shall be covered or labeled as being out of service, until such time as the new main is brought into service.

Basis of Payment: This work will be paid for at the contract unit price **EACH** for

FIRE HYDRANT WITH AUXILIARY VALVE,

which price shall include all excavation, backfill and compaction, the hydrant, auxiliary valve and box, all six-inch DIWM pipe up to the main line tee, and all fittings.

SP-47: CONNECTION TO EXISTING WATER MAIN

The Village Water Division personnel shall turn off existing Village valves necessary to perform cut-in connections. Cut-in connections shall be performed only after pressure testing, leakage testing and disinfecting of the new water main has been performed and accepted by the Village. Cut-in connections will be performed under the supervision of Water Division personnel.

Basis of Payment: This work will be paid for at the contract unit price **EACH** for

CONNECTION TO EXISTING WATER MAIN, NON PRESSURE, (SIZE),

which price shall include all labor, materials, and equipment necessary to do the work.

SP-48: ABANDONMENT OF OLD WATER MAIN

After final inspection of the new main, and upon notice from the Engineer, the Contractor shall abandon in-place, the existing water main system that has been replaced by the work performed in this contract.

The exposed ends of all disconnected water main pipes shall be plugged with either a minimum of six inches of concrete, eight inches of brick and mortar, or mechanically capped where specified. A Representative of the Water Department shall witness the abandonment.

Abandoned valves shall be closed and the respective valve boxes broken down to a minimum of three feet below grade. Valve vaults shall be broken down to a minimum of three feet below grade, backfilled and compacted to grade. Any valve deemed salvageable by the Engineer shall be removed and transported to the Village's Public Works Building. Water main stubs shall then be plugged or capped in the manner described above.

Basis of Payment: This work shall be paid for at the contract **LUMP SUM** for

ABANDONMENT OF OLD WATER MAIN,

which price shall include all costs for exposing, cutting and plugging of main, removal of valves and filling of vaults. Pavement restoration, parkway restoration, and fire hydrant removal shall be paid for separately.

SP-49: FIRE HYDRANT REMOVAL

This work shall consist of the disconnection and removal of existing hydrants that will no longer be in service because of this contract. Included in this item is the removal of the auxiliary valve and connecting water main, and securely plugging the hydrant tee. All removed hydrants and appurtenances, regardless of condition, shall be delivered to the Public Works yard, at 5101 Walnut Avenue, Downers Grove, IL 60515.

The Contractor MAY NOT REMOVE any fire hydrant without the specific permission of the Engineer.

Basis of Payment: This work will be paid for at the contract unit price **EACH** for

FIRE HYDRANT REMOVAL,

which price shall include all excavation, backfilling, materials and transportation necessary to complete this item.

SP-50: LINE STOP EXISTING MAIN

This item shall consist of installing a temporary line stop in the existing watermain that are under pressure. Prior to installing the line stop, the Contractor shall verify the actual diameter of the main at the point where the line stop will be installed. Split sleeves, fittings, and rubber glands shall conform to AWWA C110 and bolts and set screws shall be stainless steel or corrosion resistant materials.

Basis of Payment: This work will be paid for at the contract unit price per **EACH** for

LINE STOP EXISTING MAIN (SIZE SPECIFIED),

which will include all excavation, backfill, tapping equipment, fittings, split sleeves, rubber glands and any joint accessories for a complete line stop installation.

SP-51: STEEL CASING PIPE, (SIZE)

This work shall consist of the augering or open cut of casing pipe as specified and the installation of water main pipe through it. Water main pipe materials and installation shall comply with all requirements of the DUCTILE IRON WATER MAIN PIPE special provisions of this document.

The casing pipe shall be a new welded steel pipe, capable of withstanding a minimum force of 35,000 PSI, and shall meet the requirements of ASTM-139, Grade B. The following table shall determine the diameter size and wall thickness of the casing pipe:

CASING PIPE

Diameter Size of Water main Pipe	Diameter Size of Casing Pipe	Minimum Wall Thickness
----------------------------------	------------------------------	------------------------

6"	12"	0.250"
8"	16"	0.282"
12"	20"	0.344"

The auger length shall be as shown on the plans, or as directed by the Engineer in the field, and/or shall conform to the following IEPA standards:

- a) Where the horizontal separation between the water main and any storm or sanitary sewer is less than ten feet and the bottom of the water main is less than eighteen inches above the top of the sewer; or
- b) Where the water main crosses less than eighteen inches above or any distance below a sewer.

For condition (a), the casing pipe shall extend the entire length of the above described proximity and for condition (b), the casing shall be installed for a distance of no less than ten feet to either side of the sewer. For the purpose of this special provision, open-ended ditch culverts shall not be considered a sewer.

The auguring of the casing pipe shall be a continuous operation. All joints in the casing shall be welded. Care shall be exercised when auguring to prevent the loss of soil which will create voids outside of the casing.

Power sealer #4810 casing spacers or approved equal shall be used when installing the water main within the casing pipe. Skids shall be securely banded to the water main at frequent intervals such that the pipe is uniformly supported within the casing. Prior to backfilling, the ends of the casing pipe shall be sealed with brick and mortar.

The auger pit shall be large enough to accommodate all equipment; however, this pit shall not be larger than twice the allowable trench width by twice the casing pipe length. The pit shall be protected at all times such that safe working conditions are assured and no hazard is presented to motorists or pedestrians.

Basis of Payment: This work shall be paid for at the contract unit price per **FOOT** for

STEEL CASING PIPE, (SIZE),

which shall include all labor, materials, and necessary equipment to complete the work in place.

SP-52 PARKWAY RESTORATION, SALT TOLERANT SOD, SPECIAL

Description: This item shall be done in accordance with the applicable portions of Section 252 of the SSRBC and the following provisions.

As contract work progresses through the Village, parkway restoration work shall commence in a timely manner in areas where permanent placement of new curb and gutter, driveways, sidewalks, etc., has been completed. Under no circumstances shall the Contractor prolong final grading, shaping and sod placement so that the entire project can be permanently restored at the same time.

This work shall consist of the excavation, topsoiling and sodding from a minimum of one and one-half (1-1/2) feet to a maximum of three (3) feet behind or adjacent to all curbs, sidewalks and driveways removed and replaced during the course of construction or as directed by the Engineer. Restoration will also be performed on areas disturbed by storm sewer or culvert construction.

All topsoil to be used for parkway restoration shall be obtained from outside the limits of this improvement, transported to the site and placed at required locations to a minimum depth of 4". All materials shall meet the requirements of Art. 1081.05 of the SSRBC. All placement of topsoil shall meet the requirements of Section 211 of the SSRBC.

All sod shall be salt tolerant meeting the requirements of Art. 1081.03 of the SSRBC. All placement of sod shall meet the requirements of Section 252 of the SSRBC.

For that period prior to full parkway restoration, the Contractor shall backfill and grade all disturbed areas so as to insure the safety of the general public. Parkways shall be left in a safe, clean and usable condition conducive to foot traffic and to the satisfaction of the Village. The Contractor shall protect these unfinished areas against erosion and work to keep them weed free.

Basis of Payment: This work will be paid for at the contract unit price per **SQUARE YARD** for:

PARKWAY RESTORATION, SALT TOLERANT SOD, SPECIAL,

which price shall be payment in full for any excavation and grading necessary, the furnishing, transporting and placement of all topsoil and sod and the **watering of sod as necessary to ensure proper growth**. Unless otherwise directed by the Engineer restoration of disturbed parkways more than three (3) feet behind the back of curb or more than three (3) feet adjacent to newly constructed driveway or sidewalk or more than six (6) feet either side of the newly placed storm sewer or pipe culvert will not be paid for separately but shall be considered incidental to the Contract.

Supplemental watering, per Section 252.08 of the SSRBC shall be paid for at the contract unit price per unit for

SUPPLEMENTAL WATERING.

SP-53 REINFORCED TURF APPROACH

Description:

Provide and install aggregate base and reinforced turf approach as shown on detail drawings.

All products shall be furnished and installed per the manufacturer's specifications.

Materials:

Reinforced Turf Approach shall consist of the Grasspave2 system or approved equivalent.

Manufacturer: (Grasspave2, Hydrogrow) Invisible Structures, Inc., 1600 Jackson Street., Suite 310, Golden, Colorado 80401. Call from USA and Canada 800-233-1510 toll free, International 303-233-8383, Fax 303-233-8282.

Submit a 10" x 10" section of approved turf-reinforcement material for review. Reviewed and accepted samples will be returned to the contractor.

Contractor shall select locally available aggregate for base course and sand fill materials in accordance with the gradations specified below and submit a sample subject to the approval of the engineer.

Certificates for base course and sand fill materials will be required.

All turf-reinforcement products shall be protected from damage during delivery and stored under a tarp to protect from sunlight, when time from delivery to installation exceeds one week.

Do not use frozen materials or materials mixed or coated with ice or frost. Be careful in handling turf reinforcement products in temperatures below 50 degrees F, as product connectors become stiff and can separate, and the individual units may retain the roll curl until warmed to room temperature (aided by placement in sun for 15 to 20 minutes).

Do not build on frozen base course or wet, saturated or muddy subgrade.

Base Course: Sandy gravel material from local sources commonly used for road base construction passing the following sieve analysis.

Sieve	% Passing
1"	100
3/4"	90-100
3/8"	70-80
#4	55-70
#10	45-55
#40	25-35
#200	3-8

Sources of the material can include either "pit run" or "crusher run." Crusher run material will generally require sharp sand to be added to mixture (33% by volume) to ensure long-term porosity. If there is difficulty in finding local sources to meet this sieve analysis, and alternative mixture can be created by mixing 2/3 crushed drainage rock (0.75" dia) with 1/3 coarse, well-draining sand (AASHTO M6 or ASTM C-33).

Selected materials should be nearly neutral in pH (range from 6.5 to 7.2) to provide adequate root zone development for turf.

Alternative materials such as crushed shell, limerock, and/or crushed lava may be considered for base course use, provided they are mixed with sharp sand (33%), and brought to proper compaction. (Crushed shell and limerock alone can set up like concrete without sand added.)

Turf Reinforcement Units:

- Lightweight injection-molded plastic units 0.5x0.5x0.025m (20"x20"x1" high, 2.7 ft2 each) with hollow rings rising from a strong open grid allowing maximum grass root penetration and growth.
- Unit weight = 510 g (18 oz.), volume = 8% solid.
- The plastic shall be 100% pre-consumer recycled HDPE plastic resin, with minimum 3% carbon black concentrate added for UV protection.
- Loading capability is equal to 402 kg/cm2 (5721 psi, 823,824 psf, 7.4 million psy, 39,273 kPA, 3707 tons/sq.yd.) when filled with sand, over an appropriate depth of base.
- Grasspave2 is shipped in pre-assembled rolls that vary from 10 square meters (108 sf) to 50 square meters (1345 sf).
- Male/Female Fastener Tensile Strength (from a Pull Test) is equal to 80,208 N/m (450 lbsf/in.)
- Standard color is black.

Any products failing to meet these standards will be rejected.

Sand: To fill the one inch high rings and spaces between the rings when seeding or using 13 mm (half inch) thick sod (soil thickness) use coarse, well-draining sand (washed concrete sand- AASHTO M6 or ASTM C-33).

Sod requirements shall be same as those identified in **SP-53**. Use 0.5" thick (soil thickness) rolled sod from a reputable local grower.

Construction Requirements:

Installation shall be performed only by skilled workpeople with satisfactory record of performance on landscaping or paving projects of comparable size and quality.

Reinforced turf approach shall be installed at the same time as sod restoration.

Any adjacent areas to be paved, including concrete walks and curbs must be completed prior to installation of reinforced turf approach.

Place base course material over prepared subbase to grades shown on plans, in lifts not to exceed 6", compacting each lift separately to 95% Modified Proctor. Install turf reinforcement units per manufacturer's recommendations.

Install thin sod directly over sand filled turf reinforcement unit, filled no higher than the top of the product. Sod strips should be placed with very tight joints. Sodded areas must be fertilized and kept moist during root establishment (minimum of 3 weeks). Sodded areas must be protected from any traffic, other than emergency vehicles, for a period of 3 to 4 weeks, or until the root system has penetrated and established well below the turf reinforcement units. Sod shall be watered in accordance with SP-53.

Method of Measurement: Measurement for payment will be based on area of newly placed REINFORCED TURF APPROACH. This work includes excavation and the installation of all necessary aggregate, bedding, turf-reinforcement product, growing media, and thin-cut sod. By submission of a bid, Contractor agrees on Contract Quantities.

Basis of Payment: This work will be paid for at the contract **SQUARE YARD** price for

REINFORCED TURF APPROACH.

SP-54 TREE PIT

Description:

This work shall consist of the installation of a pre-fabricated tree pit (bio-retention unit). Each unit shall be constructed at the locations and elevations as shown on the plans. Any modifications to the elevation or location shall be subject to the approval of the Engineer.

Materials:

Tree pit units shall consist of 6'x6' Filterra Bio-Retention units or approved equivalent. The grate shall be standard, to be selected by the Owner.

Trees to be installed shall be 2 inches in diameter of the following species:

- Maple, Freeman or Sugar

- Kentucky Coffeetree
- Hackberry
- Honeylocust (thornless and seedless)
- Linden, American and Littleleaf
- Norway Maple (no crimson varieties)

Any proposed alternates shall be submitted in writing and approved by the Village Forester prior to purchase and installation.

Construction Requirements:

Tree pit units shall be installed per the manufacturer’s recommendations. The unit shall be placed on a compacted sub-grade, with a minimum 6-inch gravel base, matching the final grade of the curb line adjacent to the unit. The unit is to be placed such that the unit and top slab match the grade of the curb adjacent to the unit. Compact undisturbed sub-grade materials to 95% of modified proctor density at $\pm 1-2\%$ of optimum moisture.

Unsuitable material below sub-grade shall be replaced to the site engineer’s approval.

Outlet connections shall be aligned and sealed with modifications necessary to meet site conditions.

Backfilling should be performed in a careful manner, bringing the appropriate fill material up in 6” lifts on all sides. Precast sections shall be set in a manner that will result in a watertight joint. In all instances, installation tree pit unit shall conform to ASTM specification C891 “Standard Practice for Installation of Underground Precast Utility Structures”, unless directed otherwise in contract documents.

The contractor is responsible for inlet protection/sediment control and cleaning around each tree pit unit.

Method of Measurement: This work will not be measured for payment. This work includes the excavation and installation of all necessary aggregate, the pre-cast structure, growing media, tree, mulch, and grate and will be subject to final acceptance by the Village Forester prior to payment.

Basis of Payment: This work will be paid for at the contract unit price per **EACH** for:

TREE PIT.

SP-55 PERMEABLE PAVERS

Description:

Section includes the following:

- Permeable Interlocking Concrete Pavers
- Permeable Joint Opening Aggregate
- Permeable Setting Bed Aggregate (Open-graded)
- Permeable Base Aggregate (Open-graded)
- Permeable Subbase Aggregate (Open-graded)

Materials:

The permeable paver units shall consist of Unilock, Eco-Optiloc or approved equivalent. The color shall be standard, to be selected by the Village.

Soldier course and crosswalk paver units shall consist of Unilock, Hollandstone or approved equivalent. The color shall be standard, to be selected by the Village. Soldier course and crosswalk pavers may be different colors. The installation of soldier course and crosswalk pavers shall be considered incidental to Permeable Paver installation and shall be paid for at the contract unit price per **SQUARE YARD** of Permeable Pavers.

BID ALTERNATE 1:

As a bid alternate, the permeable paver units shall consist of Unilock, Town Hall or approved equivalent. The color shall be standard, to be selected by the Village.

Provide pavers meeting the minimum material and physical properties set forth in ASTM C 936, Standard Specification for Interlocking Concrete Paving Units. Efflorescence shall not be a cause for rejection. Average compressive strength 8000 psi (55MPa) with no individual unit under 7,200 psi (50 MPa). Average absorption of 5% with no unit greater than 7% when tested according to ASTM C 140.

Resistance to 50 freeze-thaw cycles, when tested according to ASTM C1645-06, with no breakage greater than 1.0% loss in dry weight of any individual unit. Conduct this test method not more than 12 months prior to delivery of units.

Permeable Paver samples shall be submitted for verification. Three representative full-size samples of each paver type, thickness, color and finish that indicate the range of color variation and texture expected upon project completion. Accepted samples become the standard of acceptance for the product produced. Test results from an independent testing laboratory for compliance of concrete pavers with ASTM C 936.

Manufacturer's catalog product data, installation instructions, and material safety data sheets for the safe handling of the specified materials and products shall be submitted.

Permeable Joint Opening Aggregate:

- Provide three representative one pound samples, in containers, of aggregate materials that indicate the range of color variation and texture expected upon project completion. Accepted samples become the standard of acceptance for the product produced.
- Test results from an independent testing laboratory for sieve analysis, including washed gradations per ASTM C 136.
- Test results for void space percentage per ASTM C 29.

Permeable Setting Bed, Base and Subbase Aggregate:

- Test results from an independent testing laboratory for compliance with ASTM D 448 No. 8, No. 57 and No. 2.
- Test results from an independent testing laboratory for sieve analysis, including washed gradations per ASTM C 136.
- Test results for void space percentage per ASTM C 29.

Obtain Permeable Interlocking Concrete Pavers from one source location with the resources to provide products of consistent quality in appearance and physical properties.

Obtain Permeable Joint Opening Aggregate from one source with the resources to provide materials and products of consistent quality in appearance and physical properties.

Manufacturer shall be required to complete production of materials within 30 days after order has been placed to avoid construction delays. Permeable pavers shall be delivered in the manufacturer’s original, unopened and undamaged container packaging with identification labels intact and shall be delivered to the site in steel banded, plastic banded or plastic wrapped packaging capable of transfer by forklift or clamp lift. Delivery shall be coordinated with other construction activities to minimize interference with normal use of streets and sidewalks adjacent to paver installation. Unload pavers at job site in such a manner that no damage occurs to the product or adjacent surfaces. Materials shall be stored and protected such that they are kept free from mud, dirt and other foreign materials.

Provide Permeable Joint Opening Aggregate materials conforming to ASTM C 33 and gradation requirements of ASTM D 448 No. 8 as shown in Table 1 or IDOT CA-16.

**TABLE 1
PERMEABLE JOINT OPENING AGGREGATE
GRADATION REQUIREMENTS
(CRUSHED LIMESTONE)**

ASTM No. 8	
Sieve Size	Percent Passing
1/2 in (12.5 mm)	100
3/8 in (9.5 mm)	85 to 100
No. 4 (4.75 mm)	10 to 30
No. 8 (2.36 mm)	0 to 10
No. 16 (1.18 mm)	0 to 5

BID ALTERNATE 2:

Permeable Joint Opening Aggregate (Granite)

Provide Permeable Joint Opening Aggregate materials conforming to ASTM C 33 and gradation requirements as presented in Table 2.

**TABLE 2
PERMEABLE JOINT OPENING AGGREGATE
GRADATION REQUIREMENTS
(GRANITE CHIPS)**

1/8 to 3/16 inch granite chips	
Sieve Size	Percent Passing
1/4 in (6 mm)	97 to 100
No. 4 (4.75 mm)	50 to 60
No. 8 (2.36 mm)	0 to 3
No. 16 (1.18 mm)	0 to 2
pan	

Permeable Setting Bed Aggregate (IDOT CA-16)

Provide Permeable Setting Bed Aggregate materials conforming to ASTM C 33 and gradation requirements of ASTM D 448 No. 8 as presented in Table 3 or IDOT CA-16.

**TABLE 3
PERMEABLE SETTING BED AGGREGATE
GRADATION REQUIREMENTS
(IDOT CA-16)**

ASTM No. 8	
Sieve Size	Percent Passing
½ in (12.5 mm)	100
3/8 in (9.5 mm)	85 to 100
No. 4 (4.75 mm)	10 to 30
No. 8 (2.36 mm)	0 to 10
No. 16 (1.18 mm)	0 to 5

BID ALTERNATE 3:

Permeable Setting Bed Aggregate (Granite)

Provide Permeable Setting Bed Aggregate materials conforming to the gradation shown in table 3, consisting of crushed granite.

Construction Requirements:

Paving Contractor Qualifications:

- Utilize an installer having successfully completed concrete paver installation similar in design, material, and extent indicated on this project. See **SP-2**.
- Utilize a Contractor conforming to all local, state/provincial licensing and bonding requirements.

Mockups:

- Install a 7 ft x 7 ft paver area. This area shall be used to determine surcharge of the bedding aggregate layer, joint sizes, lines, laying pattern(s) and levelness. This area will be used as the standard by which the work will be judged. Subject to acceptance by owner, mock-up may be retained as part of finished work. If mock-up is not retained, it shall be removed and properly disposed of by the contractor.

Environmental Requirements:

Village of Downers Grove

- Do not install permeable pavers on bedding sand.
- Do not install pavers on frozen permeable setting bed aggregate materials.
- Do not install pavers over frozen permeable base or subbase aggregates.
- Do not install permeable base or subbase aggregates over frozen subgrade.

Contractor shall provide a minimum of 5% additional material for overage to be used during construction and an additional 168 square feet of each product and size used to the Village for maintenance and repair. These additional pavers shall be furnished from the same production run as the installed materials. Additional material for Village use shall be delivered to 5101 Walnut Ave, Downers Grove, IL.

Contractor shall supply maintenance and reinstatement manuals for Permeable Paver units from the Manufacturer.

Contractor to examine areas indicated to receive paving for compliance with requirements for installation tolerances and other conditions affecting performance before placing the Permeable Pavers. Verify that subgrade preparation, compacted density and elevations conform to specified requirements. Verify that Geotextiles have been placed according to drawings and specifications. Verify that Permeable Base and Subbase Aggregate materials, thickness, compacted density, surface tolerances and elevations conform to specified requirements. Verify location, type, and elevations of edge restraints, concrete collars around utility structures, and drainage inlets. Proceed with installation only after unsatisfactory conditions have been corrected.

Verify that the soil subgrade is free from standing water.

Stockpile Permeable Setting Bed, Joint, Base and Subbase Aggregate materials such that they are free from standing water, uniformly graded, free of any organic material or sediment, debris, and ready for placement.

Remove any excess thickness of soil applied over the excavated soil subgrade to trap sediment from adjacent construction activities before placing the Geotextile and Permeable Subbase Aggregate materials.

Keep area where pavement is to be constructed free from sediment during entire job. Remove and replace all Geotextile, Permeable Joint, Setting Bed, Base and Subbase Aggregate materials contaminated with sediment with clean materials.

Complete all subdrainage of underground services within the pavement area in conjunction with subgrade preparation and before the commencement of Permeable Subbase Aggregate construction.

Do not damage underdrain pipes, overflow pipes, observation wells, or inlets and other drainage appurtenances during installation. Report all damage immediately.

Compact soil subgrade uniformly to at least 90 percent of Standard Proctor Density per ASTM D 698 for pedestrian areas. Compact soil subgrade uniformly to at least 95 percent Modified Proctor per ASTM D 1557 for vehicular areas.

Proof-roll prepared subgrade to identify soft pockets and areas of excess yielding. Excavate soft spots,

unsatisfactory soils, and areas of excessive pumping or rutting and replace with compacted backfill or fill as directed.

Provide concrete edge restraint along the perimeter of all paving as specified. Install the face of the concrete edge restraint, where it abuts pavers vertical down to the subbase. Construct concrete edge restraint to dimensions and level specified and support on a compacted subbase not less than 6 in thick. Provide separation geotextile on bottom and sides of prepared soil subgrade. Secure in place to prevent wrinkling or folding from equipment tires and tracks. Overlap ends and edges a minimum of 18 in. in the direction of drainage. Temporary edge restraint shall be provided, as necessary or as directed by the Engineer, to complete the permeable paver installation in the phases as described in the GENERAL SCOPE OF WORK. Temporary edge restraint will not be measured separately for payment and its cost shall be merged into the unit price per SQUARE YARD for PERMEABLE PAVERS.

Provide the Permeable Subbase Aggregate in uniform lifts not exceeding 6 in., loose thickness and compact to at least 95 percent as per ASTM D 4254 to depths as indicated. Compact the Permeable Subbase Aggregate material with at least two passes in the vibratory mode then at least two in the static mode with a minimum 10 ton vibratory roller until there is no visible movement. Do not crush aggregate with the roller. Do not exceed the specified surface grade of the compacted Permeable Subbase Aggregate material more than $\pm 3/4$ in. over a 10 ft. long straightedge laid in any direction.

Provide the Permeable Base Aggregate material in uniform lifts not exceeding 6 in. over the compacted Permeable Subbase Aggregate material and compact to at least 95 percent as per ASTM D 4254 to depths as indicated. Compact the Permeable Base Aggregate material with at least two passes in the vibratory mode then at least two in the static mode with a minimum 10 ton vibratory roller until there is no visible movement. Do not crush aggregate with the roller. Do not exceed the specified surface grade of the compacted Permeable Base Aggregate material more than $\pm 1/2$ in. over a 10 ft. long straightedge laid in any direction. Grade and compact the upper surface of the Permeable Base Aggregate material sufficiently to prevent infiltration of the Permeable Setting Bed Aggregate material both during construction and throughout its service life.

Provide and spread Permeable Setting Bed aggregate evenly over the base course and screed to a nominal thickness of 1-1/2 in. Do not disturb screeded Permeable Setting Bed Aggregate. Do not substantially exceed screed area which cannot be covered by pavers in one day. Do not use Permeable Setting Bed Aggregate material to fill depressions in the base surface. Keep moisture content constant and density loose and constant until pavers are set and compacted. Inspect the Permeable Setting Bed Aggregate course prior to commencing the placement of the permeable interlocking concrete pavers.

Do not use unit pavers with chips, cracks, voids, discolorations, and other defects that might be visible in finished work. Mix pavers from several pallets or cubes, as they are placed, to produce uniform blend of colors and textures. Exercise care in handling face mix pavers to prevent surfaces from contacting backs or edges of other units. Provide permeable pavers using joint pattern as indicated at the end of this special provision. Adjust joint pattern at pavement edges such that cutting of edge pavers is minimized. Cut all pavers exposed to vehicular tires no smaller than one-third of a whole paver. **NO CONTINUOUS JOINTS WILL BE ALLOWED.** Place units hand tight against spacer bars. Adjust horizontal placement of laid pavers to align straight. When installation is performed with mechanical equipment, use only unit pavers with spacer bars on sides of each unit. Provide space between paver units of 1/32 in. wide to achieve straight bond lines. Do not exceed joint (bond) lines more than $\pm 1/2$ in. over 50 ft. from string

lines. Fill gaps between units or at edges of the paved area that exceed 3/8 inch with pieces cut to fit from full-size unit pavers. Cut unit pavers with motor-driven masonry saw equipment to provide clean, sharp, unchipped edges. All cutting shall consist of dustless water cutting. Cut units to provide pattern indicated and to fit adjoining work neatly. Use full units without cutting where possible. Hammer cutting is not acceptable.

Standard Pavers (Unilock Hollandstone, or approved equivalent) installed within the crosswalks shall maintain the joint pattern as indicated at the end of this special provision.

Do not allow traffic on installed pavers until Permeable Joint Aggregate has been vibrated into joints. Keep skid steer and forklift equipment off newly laid pavers that have not received initial compaction and Permeable Joint Aggregate material. Vibrate pavers into leveling course with a low-amplitude plate vibrator capable of a to 5000-lbf (22-kN) compaction force at 80 to 90 Hz. Perform at least three passes across paving with vibrator. Vibrate under the following conditions:

- After edge pavers are installed and there is a completed surface or before surface is exposed to rain.
- Compact installed concrete pavers to within 6 feet (1,800 mm) of the laying face before ending each day's work. Cover pavers that have not been compacted and leveling course on which pavers have not been placed, with nonstaining plastic sheets to prevent Permeable Setting Bed Aggregate from becoming disturbed.

Remove any cracked or damaged pavers and replace with new units prior to installing Permeable Joint Opening Aggregate material. Provide, spread and sweep Permeable Joint Opening Aggregate into joints immediately after vibrating pavers into Permeable Setting Bed course until full. Vibrate pavers and add Permeable Joint Aggregate material until joints are completely filled, then remove excess material. This will require at least 4 passes with a plate compactor. Do not exceed 1/32-inch unit-to-unit offset from flush (lippage). Do not exceed 1/8 inch in 10 feet from level, or indicated slope, for finished surface of paving. Remove excess Permeable Joint Aggregate broom clean from surface when installation is complete.

Verify final elevations for conformance to the drawings after sweeping the surface clean. Do not deviate final surface tolerance from grade elevations more than $\pm 3/8$ in. under a 10 ft straightedge or indicated slope, for finished surface of paving.

Set surface elevation of pavers 3/8 in. above adjacent drainage inlets, concrete collars or channels (no more than 1/4 in. in pedestrian areas). No greater than 1/2 in. difference in height shall exist between permeable pavers and adjacent paved surfaces (no more than 1/4 in. difference in pedestrian areas).

Remove and replace unit pavers that are loose, chipped, broken, stained, or otherwise damaged or that do not match adjoining units. Provide new units to match adjoining units and install in same manner as original units, with same joint treatment and with no evidence of replacement. Remove excess dirt, debris, stains, grit, etc. from exposed paver surfaces; wash and scrub clean. Clean Permeable Concrete Pavers in accordance with the manufacturer's written recommendations. Apply Sealer for Permeable Concrete Pavers in accordance with the manufacturer's written recommendations.

Protect completed work, as necessary, from damage due to subsequent construction activity on the site.

Provide additional Permeable Joint Aggregate material after 120 days and before 150 days after date of

Substantial Completion/Provisional Acceptance. At this time, Contractor shall fill permeable joint aggregate material full to the lip of the paver.



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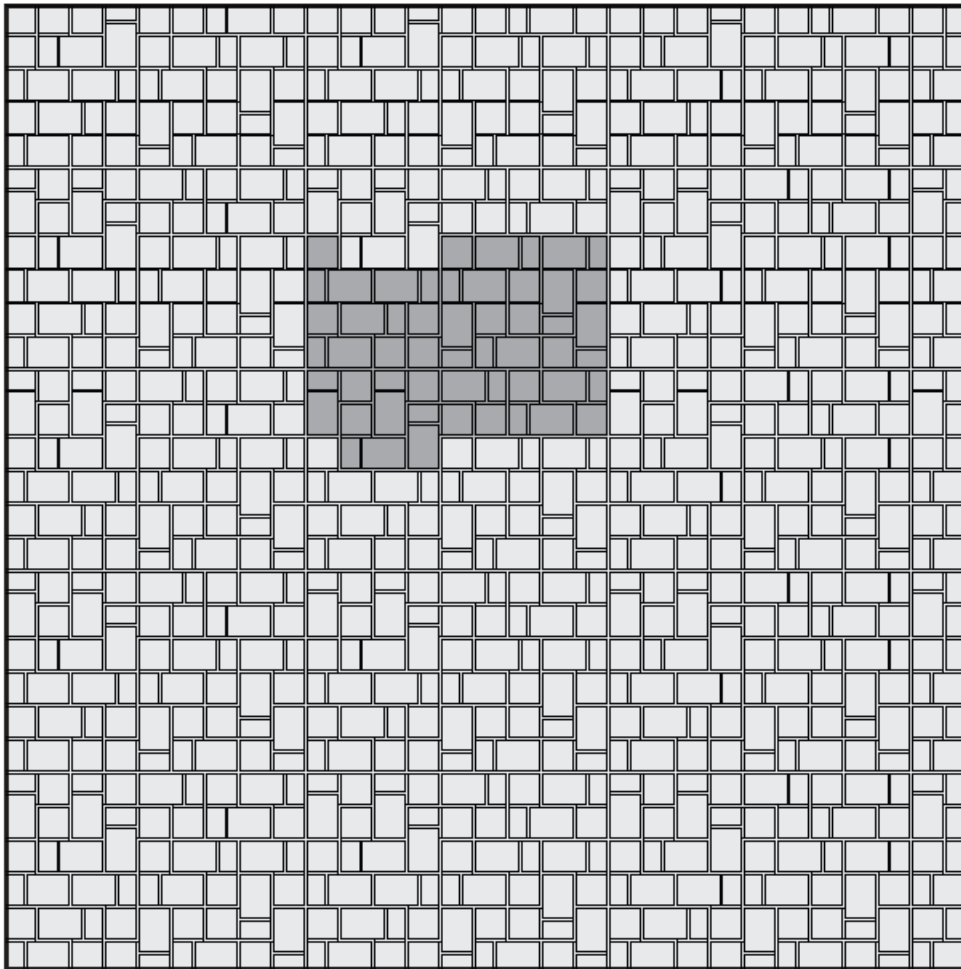
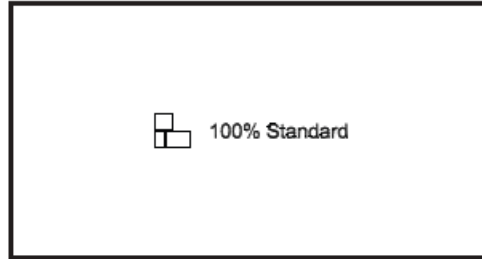
Notes:

AutoCAD® hatch pattern files can be downloaded from www.unilock.com for use in architectural drawings.

Some patterns may not necessarily reflect the percentages of stone sizes within a particular bundle configuration. In some cases you may have extras in one or more of the sizes. This must be accounted for in your planning and design.

Eco-Optiloc®

Pattern A



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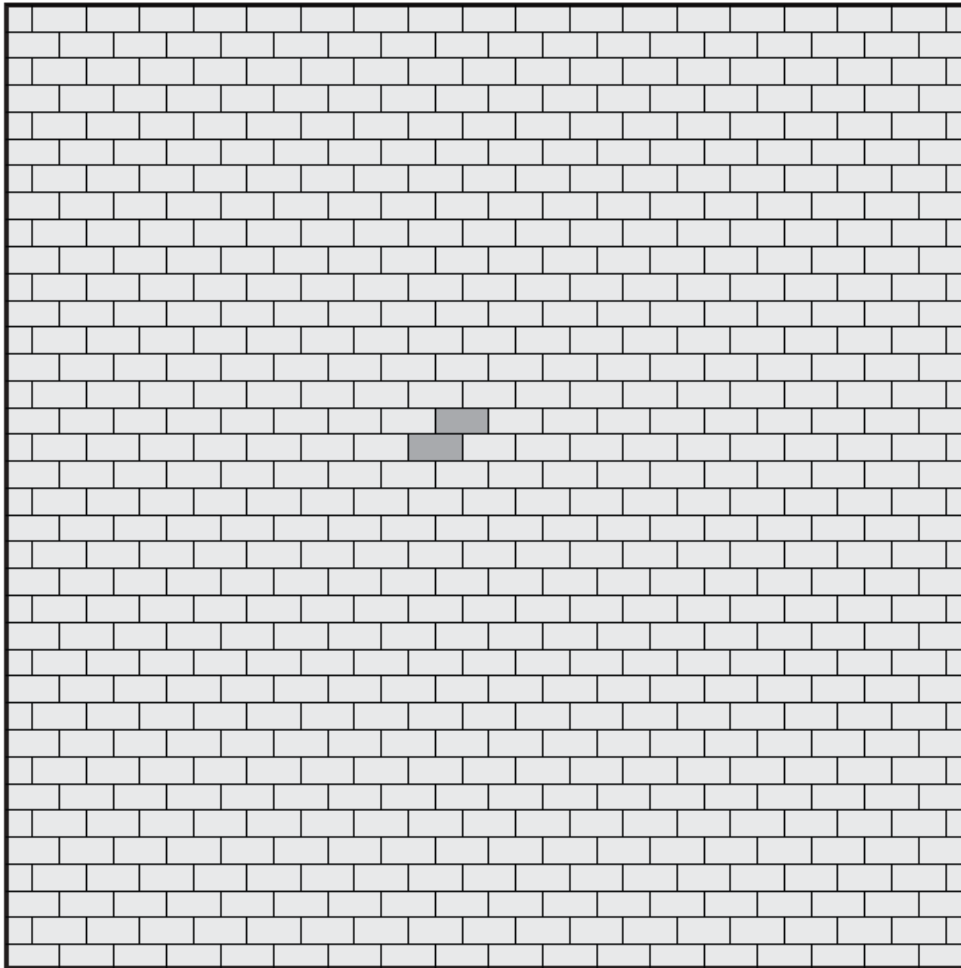
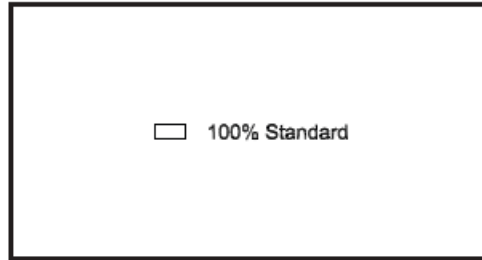
Notes:

AutoCAD® hatch pattern files can be downloaded from www.unilock.com for use in architectural drawings.

Some patterns may not necessarily reflect the percentages of stone sizes within a particular bundle configuration. In some cases you may have extras in one or more of the sizes. This must be accounted for in your planning and design.

Hollandstone®

Pattern B



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Boston Buffalo Chicago Cleveland Detroit New York Philadelphia Toronto

Method of Measurement: Measurement for payment will be based on area of newly placed permeable pavers.

Basis of Payment: This work will be paid for at the contract unit price per **SQUARE YARD** for:

**PERMEABLE PAVERS,
PERMEABLE JOINT OPENING AGGREGATE,
PERMEABLE SETTING BED AGGREGATE,**

**PERMEABLE BASE COURSE,
PERMEABLE SUB-BASE,**

which price shall include all backfilling, materials and transportation necessary to complete this item.

SP-56 HYDRODYNAMIC SEPARATOR

Description: This work shall consist of all labor, material and equipment required to provide and install a hydrodynamic separator at location shown on the plans or as directed by the Engineer. The hydrodynamic separator shall consist of a Contech, Vortsentry, HS60 model, or approved equivalent. The hydrodynamic separator shall be installed per manufacturer recommendations and as detailed in the plans. The contractor is required to submit shop drawing(s) for review prior to ordering the unit.

After completion of hydrodynamic separator installation, the Contractor shall provide instruction to Village Staff for proper operation and maintenance of the structures. Contractor shall provide Village Staff all instruction documents, manuals and parts lists for installed hydrodynamic separators.

Method of Measurement: This work will not be measured for payment. Payment will be based on Contract Quantities. By submission of a bid, Contractor agrees on Contract Quantities.

Basis of Payment: This work will be paid for at the contract unit price per **EACH** of the size specified as

HYDRODYNAMIC SEPARATOR,

which prices shall be payment in full for all labor, material and equipment necessary for excavation, spoil removal and disposal, installing, bedding, backfilling, connection of sewers, Village Staff instruction, instruction documents and parts lists and all incidental work herein specified.

SP-57 PAINT PAVEMENT MARKING

Description: This work shall be done in accordance with Section 780 of the SSRBC as adopted by the Illinois Department of Transportation, January 1, 2012.

Basis of Payment: This work shall be paid for at the contract unit prices per **FOOT** of applied paint pavement marking line for:

**PAINT PAVEMENT MARKING LINE - 4" WHITE,
PAINT PAVEMENT MARKING LINE - 24" WHITE,**

which price shall be payment in full for all work specified herein.

SP-58 TREE GRATE

Description: This work shall consist of all labor, material and equipment required to install tree grates at location shown on the plans or as directed by the Engineer.

Tree grates shall be cast iron conforming to ASTM A-48-76, Class 35 or better. Grates and frames shall be of the dimensions indicated in the plan details and consist of model R-8811 4'x6' (weight per set, 340

lbs) as manufactured by Neenah Foundry Company or an approved equal. Shop drawing submittals of the tree grates and frames shall be made to the Engineer for approval prior to delivery to the project.

Method of Measurement: This work will not be measured for payment. Payment will be based on Contract Quantities. By submission of a bid, Contractor agrees on Contract Quantities.

Basis of Payment: This work will be paid for at the contract unit price per **EACH** for;

TREE GRATE,

which includes all work specified herein.

SP-59 CONCRETE HEADER

Description: This work shall consist of all labor, material, and equipment required to install concrete headers at locations shown on the plans or as directed by the Engineer. All concrete headers shall be installed by methods and with materials in accordance with Articles 420 and 1020.04 of the SSRBC, except as amended herein.

The cost of all reinforcement bars shall be merged into the unit price per FOOT for CONCRETE HEADER.

Method of Measurement: Measurement for payment will be based on length of newly placed CONCRETE HEADER.

Basis of Payment: This work shall be paid for at the contract unit price per **FOOT** for:

CONCRETE HEADER,

which price shall be payment in full for all labor, material and equipment necessary for excavation, spoil removal and disposal, installing, bedding, backfilling, and all incidental work herein specified.

Village of Downers Grove

V. BID and CONTRACT FORM (Village)

*****THIS BID WHEN ACCEPTED AND SIGNED BY AN AUTHORIZED SIGNATORY OF THE VILLAGE OF DOWNERS GROVE SHALL BECOME A CONTRACT BINDING UPON BOTH PARTIES.**

Entire Form Must Be Completed If a Submitted Bid Is To Be Considered For Award

BIDDER:

V3 CONSTRUCTION GROUP, LTD.
Company Name

06-12-2012
Date

7325 JANES AVENUE
Street Address of Company

mfamiglietti@v3co.com
E-mail Address

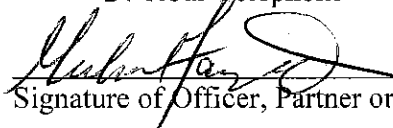
WOODRIDGE, ILLNOIS 60517
City, State, Zip

MIKE FAMIGLIETTI
Contact Name (Print)

(630) 724-9200
Business Phone

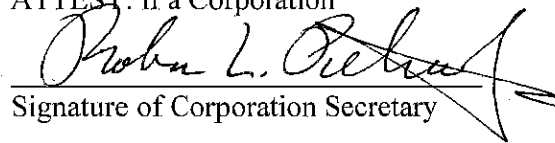
(630) 724-9200
24-Hour Telephone

(630) 724-9202
Business Fax


Signature of Officer, Partner or Sole Proprietor

ATTEST: if a Corporation

MIKE FAMIGLIETTI PRESIDENT
Print Name & Title


Signature of Corporation Secretary

We hereby agree to furnish the Village of Downers Grove all necessary materials, equipment, labor, etc. to complete the project within 90 calendar days from the date of the Notice to Proceed in accordance with the provisions, instructions and specifications for the unit prices shown on the Schedule of Prices.

VILLAGE OF DOWNERS GROVE:

ATTEST:

Authorized Signature

Village Clerk

Title

Date

Date

In compliance with the specifications, the above-signed offers and agrees, if this Bid is accepted within 90 calendar days from the date of opening, to furnish any or all of the services upon which prices are quoted, at the price set opposite each item, delivered at the designated point within the time specified above.

Village of Downers Grove

V. BID and CONTRACT FORM (Contractor)

*****THIS BID WHEN ACCEPTED AND SIGNED BY AN AUTHORIZED SIGNATORY OF THE VILLAGE OF DOWNERS GROVE SHALL BECOME A CONTRACT BINDING UPON BOTH PARTIES.**

Entire Form Must Be Completed If a Submitted Bid Is To Be Considered For Award

BIDDER:

V3 CONSTRUCTION GROUP, LTD.

Company Name

06/12/2012

Date

7325 JANES AVENUE

Street Address of Company

mfamiglietti@v3co.com

E-mail Address

WOODRIDGE, ILLNOIS 60517

City, State, Zip

MIKE FAMIGLIETTI

Contact Name (Print)

(630)724-9200

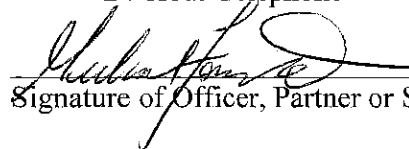
Business Phone

(630)724-9200

24-Hour Telephone

(630)724-9202

Business Fax

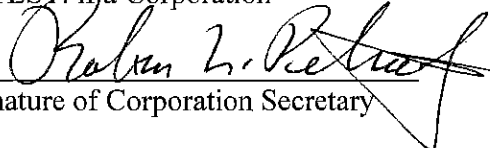


Signature of Officer, Partner or Sole Proprietor

MIKE FAMIGLIETTI PRESIDENT

Print Name & Title

ATTEST: if a Corporation



Signature of Corporation Secretary

We hereby agree to furnish the Village of Downers Grove all necessary materials, equipment, labor, etc. to complete the project within 90 calendar days from the date of the Notice to Proceed in accordance with the provisions, instructions and specifications for the unit prices shown on the Schedule of Prices.

VILLAGE OF DOWNERS GROVE:

ATTEST:

Authorized Signature

Village Clerk

Title

Date

Date

In compliance with the specifications, the above-signed offers and agrees, if this Bid is accepted within 90 calendar days from the date of opening, to furnish any or all of the services upon which prices are quoted, at the price set opposite each item, delivered at the designated point within the time specified above.

Village of Downers Grove

SCHEDULE OF PRICES:

PAY ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL COST
SP-3	CONSTRUCTION STAKING AND RECORD DRAWINGS	LSUM	1	\$7,500.00	\$7,500.00
SP-4	PRECONSTRUCTION VIDEOTAPING	LSUM	1	\$1,500.00	\$1,500.00
SP-6	TREE PROTECTION	FOOT	1,000	\$1.85	\$1,850.00
SP-7	TREE ROOT PRUNING	FOOT	225	\$5.70	\$1,282.50
20100210	TREE REMOVAL, OVER 15"	UNITS	38	\$70.00	\$2,660.00
SP-9	STREET SWEEPING AND DUST CONTROL	HOURL	40	\$135.00	\$5,400.00
SP-10	TRAFFIC CONTROL, MAINTENANCE OF TRAFFIC, DETOURS	LSUM	1	\$13,000.00	\$13,000.00
SP-11	COMBINATION CONCRETE CURB AND GUTTER REMOVAL	FOOT	2,500	\$2.60	\$6,500.00
SP-12	EARTH EXCAVATION	CU YD	1,700	\$37.00	\$62,900.00
SP-13	ADDITIONAL HAULING SURCHARGE, SPECIAL WASTE	LOAD	15	\$1,000.00	\$15,000.00
SP-14	AGGREGATE FOR TEMPORARY ACCESS	TON	150	\$75.00	\$11,250.00
SP-15	HMA DRIVEWAY REMOVAL	SQ YD	375	\$6.00	\$2,250.00
SP-15	HMA DRIVEWAY REPLACEMENT (3")	SQ YD	375	\$27.50	\$10,312.50
SP-17	P.C.C. SIDEWALK, REMOVAL	SQ FT	3,000	\$1.85	\$5,550.00
SP-17	P.C.C. SIDEWALK, 5 INCH, NEW	SQ FT	700	\$6.20	\$4,340.00
SP-17	P.C.C. SIDEWALK, 6 INCH, NEW	SQ FT	400	\$6.70	\$2,680.00
SP-18	P.C.C. SIDEWALK, 5" (COLORED)	SQ FT	3,000	\$9.50	\$28,500.00
SP-19	DETECTABLE WARNINGS	SQ FT	65	\$16.45	\$1,069.25
SP-20	COMBINATION CONCRETE CURB AND GUTTER, B6.12	FOOT	2,150	\$15.65	\$33,647.50
SP-20	COMBINATION CONCRETE CURB AND GUTTER, B6.18	FOOT	375	\$38.75	\$14,531.25
SP-20	COMBINATION CONCRETE CURB AND GUTTER, M3.12	FOOT	55	\$31.85	\$1,751.75
SP-21	P.C.C. DRIVEWAY REMOVAL	SQ YD	250	\$11.95	\$2,987.50
SP-21	P.C.C. DRIVEWAY REPLACEMENT (6")	SQ YD	250	\$60.00	\$15,000.00
SP-22	SANITARY SERVICE RECONNECTION	EACH	5	\$985.00	\$4,925.00
SP-23	UTILITY STRUCTURE TO BE ADJUSTED	EACH	12	\$600.00	\$7,200.00
SP-23	UTILITY STRUCTURE TO BE RECONSTRUCTED	EACH	1	\$710.00	\$710.00
SP-24	STORM SEWER, TYPE 1, 12", R.C.P.	FOOT	60	\$66.60	\$3,996.00
SP-24	STORM SEWER, PERFORATED PVC SDR-26, 12"	FOOT	550	\$54.60	\$30,030.00

Village of Downers Grove

SP-25	MANHOLES, CATCH BASINS, AND INLETS TO BE REMOVED	EACH	8	\$218.00	\$1,744.00
SP-26	STORM SEWER REMOVAL	FOOT	515	\$18.75	\$9,656.25
SP-27	STORM SEWER CONNECTION TO EXISTING MANHOLE	EACH	2	\$1,545.00	\$3,090.00
SP-28	CONNECT EXISTING STORM SEWER TO PROPOSED DRAINAGE STRUCTURE	EACH	6	\$1,545.00	\$9,270.00
SP-29	SELECTED GRANULAR BACKFILL, CA-7	CU YD	400	\$46.35	\$18,540.00
SP-29	SELECTED GRANULAR BACKFILL, CA-6	CU YD	850	\$37.00	\$31,450.00
SP-30	EXPLORATORY TRENCH, SPECIAL	CU YD	10	\$120.00	\$1,200.00
SP-31	TEMPORARY SURFACE OVER TRENCH - (AGGREGATE), 6"	SQ YD	1,350	\$8.80	\$11,880.00
SP-32	MANHOLE, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	1	\$2,535.00	\$2,535.00
SP-32	MANHOLE, TYPE A, 4'-DIAMETER, TYPE 1 FRAME AND GRATE (CLOSED LID)	EACH	4	\$2,315.00	\$9,260.00
SP-32	CATCH BASIN, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	2	\$2,425.00	\$4,850.00
SP-32	INLET, TYPE A, 2'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	2	\$1,650.00	\$3,300.00
SP-33	AMENDED SOIL FURNISH AND PLACE, 24"	SQ YD	65	\$67.50	\$4,387.50
SP-34	PERENNIAL PLANT INSTALLATION	UNIT	6	\$500.00	\$3,000.00
SP-35	RAIN GARDEN AREA STONE BEDDING, 36"	SQ YD	65	\$61.75	\$4,013.75
SP-36	PIPE UNDERDRAIN, 6"	FOOT	200	\$27.60	\$5,520.00
SP-37	RESILIENT-SEATED GATE VALVE (8") IN (5") DIAMETER VAULT	EACH	3	\$3,800.00	\$11,400.00
SP-37	RESILIENT-SEATED GATE VALVE (6") IN (5") DIAMETER VAULT	EACH	2	\$3,530.00	\$7,060.00
SP-37	RESILIENT-SEATED GATE VALVE (4") IN (5") DIAMETER VAULT	EACH	1	\$3,400.00	\$3,400.00
SP-37	4" VALVE	EACH	1	\$660.00	\$660.00
SP-37	6" VALVE	EACH	1	\$825.00	\$825.00
SP-37	(8") TAPPING SLEEVE AND VALVE IN (5") DIAMETER VAULT	EACH	1	\$5,075.00	\$5,075.00
SP-38	DUCTILIE IRON WATER MAIN PIPE (8")	FOOT	1,325	\$58.75	\$77,843.75
SP-38	DUCTILIE IRON WATER MAIN PIPE (6")	FOOT	35	\$105.00	\$3,675.00
SP-38	DUCTILIE IRON WATER MAIN PIPE (4")	FOOT	40	\$75.00	\$3,000.00
SP-41	WATER SERVICE, 1 1/2", SHORT, OPEN CUT	EACH	13	\$1,415.00	\$18,395.00
SP-41	WATER SERVICE, 1 1/2", LONG, PUSHED	EACH	9	\$2,685.00	\$24,165.00
SP-41	WATER SERVICE, 2", LONG, PUSHED	EACH	1	\$3,750.00	\$3,750.00
SP-46	FIRE HYDRANT WITH AUXILIARY VALVE	EACH	3	\$5,185.00	\$15,555.00

Village of Downers Grove

SP-47	CONNECTION TO EXISTING WATER MAIN, NON-PRESSURE, 8"	EACH	1	\$2,200.00	\$2,200.00
SP-47	CONNECTION TO EXISTING WATER MAIN, NON-PRESSURE, 6"	EACH	4	\$2,000.00	\$8,000.00
SP-48	ABANDONMENT OF OLD WATER MAIN	LSUM	1	\$2,150.00	\$2,150.00
SP-49	FIRE HYDRANT REMOVAL	EACH	2	\$440.00	\$880.00
SP-50	LINE STOP EXISTING MAIN, 6"	EACH	1	\$3,920.00	\$3,920.00
SP-51	STEEL CASING PIPE, 16"	FOOT	180	\$82.70	\$14,886.00
SP-52	PARKWAY RESTORATION, SALT TOLERANT SOD, SPECIAL	SQ YD	1,500	\$10.80	\$16,200.00
SP-52	SUPPLEMENTAL WATERING	UNIT	45	\$88.50	\$3,982.50
SP-53	REINFORCED TURF APPROACH	SQ YD	36	\$68.30	\$2,458.80
SP-54 PERMEABLE PAVERS (ECO-OPTILO) SQ YD 3,750 \$29.15 \$109,312.50					
SP-55	PERMEABLE PAVERS (ECO-OPTILO)	SQ YD	3,750	\$29.15	\$109,312.50
SP-55	PERMEABLE JOINT OPENING AGGREGATE (CRUSHED LIMESTONE)	SQ YD	3,750	\$0.80	\$3,000.00
SP-55	PERMEABLE SETTING BED AGGREGATE (CRUSHED LIMESTONE)	SQ YD	3,750	\$3.30	\$12,375.00
SP-55	PERMEABLE BASE COURSE	SQ YD	3,750	\$7.15	\$26,812.50
SP-55	PERMEABLE SUB-BASE	SQ YD	3,750	\$15.30	\$57,375.00
SP-56	HYDRODYNAMIC SEPARATOR	EACH	1	\$17,530.00	\$17,530.00
SP-57	PAINT, PAVEMENT MARKING LINE - 4" WHITE	FOOT	800	\$3.85	\$3,080.00
SP-57	PAINT, PAVEMENT MARKING LINE - 24" WHITE	FOOT	40	\$25.00	\$1,000.00
2100100 0	GEOTECH FAB F/GR STAB	SQ YD	4,025	\$1.70	\$6,842.50
4400010 0	PAVEMENT REMOVAL, FULL DEPTH	SQ YD	4,050	\$8.91	\$36,085.50
6710010 0	MOBILIZATION	L SUM	1	\$24,288.20	\$24,288.20
4060076 0	HMA BC IL-19.0 N50	TON	35	\$275.00	\$9,625.00
4060085 0	HMA SC MIX "C" N50, 1-1/2"	TON	6	\$275.00	\$1,650.00
4060098 2	HMA SURFACE REMOVAL - BUTT JOINT	SQ YD	12	\$16.50	\$198.00
SP-58	TREE GRATE	EACH	1	\$3,000.00	\$3,000.00
SP-59	CONCRETE HEADER	FOOT	55	\$115.00	\$6,325.00

TOTAL BASE BID: \$970,000.00

Village of Downers Grove

BID ALT 1:

PAY ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL COST
SP-55	PERMEABLE PAVERS (TOWN HALL)	SQ YD	3,750	\$80.30	\$301,125.00
SP-55	DEDUCT: PERMEABLE PAVERS (ECO-OPTILOC)	SQ YD	3,750	(-\$29.15)	(-\$109,312.50)

BID ALT 1 SUBTOTAL: \$191,812.50

BID ALT 2:

PAY ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL COST
SP-55	PERMEABLE JOINT OPENING AGGREGATE (GRANITE)	SQ YD	3,750	\$3.50	\$13,125.00
SP-55	DEDUCT: PERMEABLE JOINT OPENING AGGREGATE (CRUSHED LIMESTONE)	SQ YD	3,750	(-\$0.80)	(-\$3,000.00)

BID ALT 2 SUBTOTAL: \$10,125.00

BID ALT 3:

PAY ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL COST
SP-55	PERMEABLE SETTING BED AGGREGATE (GRANITE)	SQ YD	3,750	\$23.50	\$88,125.00
SP-55	DEDUCT: PERMEABLE SETTING BED AGGREGATE (CRUSHED LIMESTONE)	SQ YD	3,750	(-\$3.30)	(-\$12,375.00)

BID ALT 3 SUBTOTAL: \$75,750.00

Village of Downers Grove

BIDDER'S CERTIFICATION (page 1 of 3)

With regard to GROVE ST. RECONSTRUCTION, Bidder V3 CONSTRUCTION GROUP, LTD.
(Name of Project) (Name of Bidder)

hereby certifies the following:

1. Bidder is not barred from bidding this Contract as a result of violations of Section 720 ILCS 5/33E-3 (Bid Rigging) or 720 ILCS 5/33E-4 (Bid-Rotating);
2. Bidder certifies that it has a written sexual harassment policy in place and full compliance with 775 ILCS 5/2-105(A)(4);
3. Bidder certifies that not less than the prevailing rate of wages as determined by the Village of Downers Grove, DuPage County or the Illinois Department of Labor shall be paid to all laborers, workers and mechanics performing work for the Village of Downers Grove. All bonds shall include a provision as will guarantee the faithful performance of such prevailing wage clause. Bidder agrees to comply with the Illinois Prevailing Wage Act, 820 ILCS 130/1 *et seq.*, for all work completed. Bidder agrees to pay the prevailing wage and require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work pursuant to this Contract or related subcontract. Bidder and each subcontractor shall keep or cause to be kept an accurate record of names, occupations and actual wages paid to each laborer, workman and mechanic employed by the Bidder in connection with the contract. This record shall be sent to the Village on a monthly basis along with the invoice and shall be open to inspection at all reasonable hours by any representative of the Village or the Illinois Department of Labor and must be preserved for four (4) years following completion of the contract. Bidder certifies that Bidder and any subcontractors working on the project are aware that filing false payroll records is a Class A misdemeanor and that the monetary penalties for violations are to be paid pursuant to law by the Bidder, contractor and subcontractor. The Village shall not be liable for any underpayments. If applicable: Since this is a contract for a fixed public works project, as defined in 820 ILCS 130/2, Contractor agrees to post at the job site in an easily accessible place, the prevailing wages for each craft or type of worker or mechanic needed to execute the contract or work to be performed;
4. Bidder certifies that it is in full compliance with the Federal Highway Administrative Rules on Controlled Substances and Alcohol Use and Testing, 49 C.F.R. Parts 40 and 382 and that all employee drivers are currently participating in a drug and alcohol testing program pursuant to the Rules;
5. Bidder further certifies that it is not delinquent in the payment of any tax administered by the Department of Revenue, or that Bidder is contesting its liability for the tax delinquency or the amount of a tax delinquency in accordance with the procedures established by the appropriate Revenue Act. Bidder further certifies that if it owes any tax payment(s) to the Department of Revenue, Bidder has entered into an agreement with the Department of Revenue for the payment of all such taxes that are due, and Bidder is in compliance with the agreement.

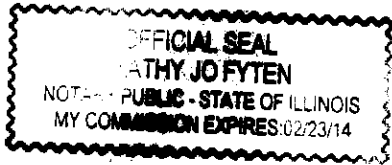
BIDDER'S CERTIFICATION (page 2 of 3)

BY: [Signature]
Bidder's Authorized Agent

3 6 - 4 1 5 2 1 5 6

FEDERAL TAXPAYER IDENTIFICATION NUMBER

or N/A
Social Security Number



Subscribed and sworn to before me

this 12TH day of JUNE, 2012.

[Signature]
Notary Public

(Fill Out Applicable Paragraph Below)

(a) Corporation

The Bidder is a corporation organized and existing under the laws of the State of ILLINOIS, which operates under the Legal name of V3 CONSTRUCTION GROUP, LTD., and the full names of its Officers are as follows:

President: MICHAEL FAMIGLIETTI, P.E.

Secretary: ROBIN PETROELJE, P.E.

Treasurer: ROBIN PETROELJE, P.E.

and it does have a corporate seal. (In the event that this bid is executed by other than the President, attach hereto a certified copy of that section of Corporate By-Laws or other authorization by the Corporation which permits the person to execute the offer for the corporation.)

(b) Partnership

Signatures and Addresses of All Members of Partnership:

N/A

BIDDER'S CERTIFICATION (page 3 of 3)

The partnership does business under the legal name of: N/A
which name is registered with the office of _____ in the state of _____.

(c) Sole Proprietor

The Bidder is a Sole Proprietor whose full name is: _____
and if operating under a trade name, said trade name is: N/A
which name is registered with the office of _____ in the state of _____.

6. Are you willing to comply with the Village's insurance requirements within 13 days of the award of the contract? YES

INSURER'S NAME: WILLIS GROUP

AGENT: JOHN ADAMS

Street Address: 425 MARTINGALE ROAD

City, State, Zip Code: SCHAUMBURG, IL 60173

Telephone Number: (847) 517-3450

I/We hereby affirm that the above certifications are true and accurate and that I/we have read and understand them.

Print Name of Company: V3 CONSTRUCTION GROUP, LTD.

Print Name and Title of Authorizing Signature: MIKE FAMIGLIETTI PRESIDENT

Signature: 

Date: 06/12/2012

Village of Downers Grove

MUNICIPAL REFERENCE LIST

Municipality: City of West Chicago
Address: 475 Main Street
Contact Name: Robert E. Flatter Phone #: 630-293-2200
Name of Project: Kresswood Native Basin
Contract Value: \$355,000.00 Date of Completion: 2008

Municipality: Village of Downers Grove
Address: 5101 Walnut Avenue
Contact Name: Andrew Sikich Phone #: 630-434-5460
Name of Project: Maple Ave. & Carpenter Street Sewer
Contract Value: \$945,000.00 Date of Completion: 2011

Municipality: City of Elmhurst
Address: 209 North York Street, Elmhurst, IL 60126
Contact Name: Mr. Stan Glab Phone #: 630-530-3020
Name of Project: Elmhurst Levy Improvements
Contract Value: \$850,000.00 Date of Completion: 2010

Municipality: City of Aurora
Address: 44 East Downer Place, Aurora, IL 60507
Contact Name: Mr. Stephen Andras Phone #: 630-256-3200
Name of Project: Indian Trail Road Extension
Contract Value: \$5.2M Date of Completion: 2008

Municipality: Village of Northbrook
Address: 655 Huehl Road, Northbrook IL 60062
Contact Name: Mike Bukolt Phone #: 847-272-5050
Name of Project: West Fork North Branch Stabilization
Contract Value: \$50K Date of Completion: Spring 2012

Village of Downers Grove

SUBCONTRACTORS LIST

The Bidder hereby states the following items of work will not be performed by its organization. (List items to be subcontracted as well as the names, addresses and phone numbers of the subcontractors.)

1) Midwest Brick Paving, Inc. Type of Work BRICK PAVING

Addr: 18557 Stateline Road City Antioch State IL Zip 60002

2) Elliot Construction Corp. Type of Work CONCRETE

Addr: 21 W 171 Hill Avenue City Glen Ellyn State IL Zip 60137

3) Accu-Paving Type of Work BIT. PAVING

Addr: 2665 South 25th Avenue City Broadview State IL Zip 60155

4) Pirtano Construction Co. Type of Work UTILITIES

Addr: 1766 Armitage Court City Addison State IL Zip 60101

5) _____ Type of Work _____

Addr: _____ City _____ State _____ Zip _____

6) _____ Type of Work _____

Addr: _____ City _____ State _____ Zip _____

7) _____ Type of Work _____

Addr: _____ City _____ State _____ Zip _____

8) _____ Type of Work _____

Addr: _____ City _____ State _____ Zip _____

VENDOR W-9 REQUEST FORM



The law requires that we maintain accurate taxpayer identification numbers for all individuals and partnerships to whom we make payments, because we are required to report to the I.R.S all payments of \$600 or more annually. We also follow the I.R.S. recommendation that this information be maintained for all payees including corporations.

Please complete the following substitute W-9 letter to assist us in meeting our I.R.S. reporting requirements. The information below will be used to determine whether we are required to send you a Form 1099. Please respond as soon as possible, as failure to do so will delay our payments.

BUSINESS (PLEASE PRINT OR TYPE):

NAME: V3 CONSTRUCTION GROUP, LTD.

ADDRESS: 7325 JANES AVENUE

CITY: WOODRIDGE

STATE: ILLINOIS

ZIP: 60517

PHONE: (630)724-9200 FAX: (630)724-9202

TAX ID #(TIN): 36-4152156

(If you are supplying a social security number, please give your full name)

REMIT TO ADDRESS (IF DIFFERENT FROM ABOVE):

NAME: N / A

ADDRESS: _____

CITY: _____

STATE: _____ ZIP: _____

TYPE OF ENTITY (CIRCLE ONE):

- | | |
|----------------------|---|
| Individual | Limited Liability Company –Individual/Sole Proprietor |
| Sole Proprietor | Limited Liability Company-Partnership |
| Partnership | Limited Liability Company-Corporation |
| Medical | <u>Corporation</u> |
| Charitable/Nonprofit | Government Agency |

SIGNATURE:

DATE: 06/12/2012

Apprenticeship and Training Certification

(Does not apply to federal aid projects. Applicable only to maintenance and construction projects that use Motor Fuel Tax funds or state grant monies.)

Name of Bidder: V3 CONSTRUCTION GROUP, LTD.

In accordance with the provisions of Section 30-22 (6) of the Illinois Procurement Code, the Bidder certifies that it is a participant, either as an individual or as part of a group program, in the approved apprenticeship and training programs applicable to each type of work or craft that the bidder will perform with its own forces. The Bidder further certifies for work that will be performed by subcontract that each of its subcontractors submitted for approval either (a) is, at the time of such bid, participating in an approved, applicable apprenticeship and training program; or (b) will, prior to commencement of performance of work pursuant to this Contract, begin participation in an approved apprenticeship and training program applicable to the work of the subcontract. The Illinois Department of Labor, at any time before or after award, may require the production of a copy of each applicable Certificate of Registration issued by the United States Department of Labor evidencing such participation by the contractor and any or all of its subcontractors. Applicable apprenticeship and training programs are those that have been approved and registered with the United States Department of Labor. The Bidder shall list in the space below, the official name of the program sponsor holding the Certificate of Registration for all of the types of work or crafts in which the Bidder is a participant and that will be performed with the Bidder's forces. Types of work or craft work that will be subcontracted shall be included and listed as subcontract work. The list shall also indicate any type of work or craft job category that does not have an applicable apprenticeship or training program. **The Bidder is responsible for making a complete report and shall make certain that each type of work or craft job category that will be utilized on the project is accounted for and listed. Return this with the Bid.**

OPERATORS UNION LOCAL 150, LABORERS UNION, CEMENT FINISHERS UNION

The requirements of this certification and disclosure are a material part of the Contract, and the Contractor shall require this certification provision to be included in all approved subcontracts. In order to fulfill this requirement, it shall not be necessary that an applicable program sponsor be currently taking or that it will take applications for apprenticeship, training or employment during the performance of the work of this Contract.

Print Name and Title of Authorizing Signature: MIKE FAMIGLIETTI PRESIDENT

Signature: 

Date: 06/12/2012

BUY AMERICA CERTIFICATION

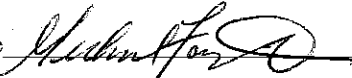
Certification requirement for procurement of steel, iron, or manufactured products when Federal funds (Grant Agreement or Cooperative Agreement) are used.

Instructions:

Bidder to complete the Buy America Certification listed below. Bidder shall certify EITHER COMPLIANCE OR NON-COMPLIANCE (not both). This Certification MUST BE submitted with the Bidder's bid response. Special Note: Make sure you have signed only one of the above statements – either Compliance OR Non-Compliance (not both).

Certificate of Compliance

The bidder or offeror hereby certifies that it **will meet** the requirements of 49 U.S.C. 5323(j)(1), as amended, and the applicable regulations in 49 CFR Part 661.

Signature 

Company Name V3 CONSTRUCTION GROUP, LTD.

Title PRESIDENT

Date 06/12/2012

Certificate of Non-Compliance

The bidder or offeror hereby certifies that it **cannot comply** with the requirements of 49 U.S.C. 5323(j)(1), as amended, and 49 C.F.R. 661, but it may qualify for an exception pursuant to 49 U.S.C. 5323(j)(2)(A), 5323(j)(2)(B), or 5323(j)(2)(D), and 49 C.F.R. 661.7.

Signature *****

Company Name *****

Title _____

Date _____

AFTER THIS CERTIFICATE HAS BEEN EXECUTED, A BIDDER MAY NOT SEEK A WAIVER.

Note: The U.S./Canadian Free Trade Agreement does not supersede the Buy America requirement.

Suspension or Debarment Certificate

Non-Federal entities are prohibited from contracting with or making sub-awards under covered transactions to parties that are suspended or debarred or whose principals are suspended or debarred. Covered transactions include procurement for goods or services equal to or in excess of \$100,000.00. Contractors receiving individual awards for \$100,000.00 or more and all sub-recipients must certify that the organization and its principals are not suspended or debarred.

By submitting this offer and signing this certificate, the Bidder certifies to the best of its knowledge and belief, that the company and its principals:

1. Are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any federal, state or local governmental entity, department or agency;
2. Have not within a three-year period preceding this Bid been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or local) transaction or contract under a public transaction, or convicted of or had a civil judgment against them for a violation of Federal or state antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
3. Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State, or local) with commission of any of the offenses enumerated in paragraph (2) of this certification; and
4. Have not within a three-year period preceding this application/proposal/contract had one or more public transactions (Federal, State or local) terminated for cause or default.

If the Bidder is unable to certify to any of the statements in this certification, Bidder shall attach an explanation to this certification.


Company Name: V3 CONSTRUCTION GROUP, LTD.

Address: 7325 JANES AVENUE

City: WOODRIDGE, ILLINOIS Zip Code: 60517

Telephone: (630) 724-9200 Fax Number: (630) 724-9202

E-mail Address: mfamiglietti@v3co.com

Authorized Company Signature: 

Print Signature Name: MIKE FAMIGLIETTI Title of Official: PRESIDENT

Date: 06/12/2012

CAMPAIGN DISCLOSURE CERTIFICATE

Village of Downers Grove

Any contractor, proposer, bidder or vendor who responds by submitting a bid or proposal to the Village of Downers Grove shall be required to submit with its bid submission, an executed Campaign Disclosure Certificate.

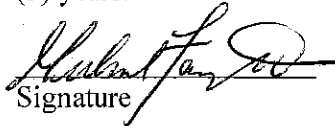
The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity bidding to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the bid or proposal release.

By signing the bid documents, contractor/proposer/bidder/vendor agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

Bidder/vendor has not contributed to any elected Village position within the last five (5) years.


Signature

MIKE FAMIGLIETTI
Print Name

Bidder/vendor has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: N/A
(company or individual)

To whom contribution was made: _____

Year contribution made: _____ Amount: \$ *****

Signature

Print Name

THE AMERICAN INSTITUTE OF ARCHITECTS

AIA Document A310 Bid Bond

KNOW ALL MEN BY THESE PRESENTS, THAT WE V3 Construction Group, Ltd

7325 Janes Avenue, Suite 100, Woodridge, IL 60517

as Principal, hereinafter called the Principal, and Washington International Insurance Company

475 North Martingale Road, Suite 850, Schaumburg, IL 60173

a corporation duly organized under the laws of the State of NH

as Surety, hereinafter called the Surety, are held and firmly bound unto Village of Downers Grove

801 Burlington, Downers Grove, IL 60515

as Obligee, hereinafter called the Obligee, in the sum of Ten Percent of Amount Bid

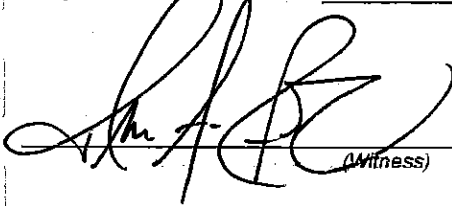
Dollars (\$ 10%),

for the payment of which sum well and truly to be made, the said Principal and the said Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a bid for Grove Street Reconstruction

NOW, THEREFORE, if the Obligee shall accept the bid of the Principal and the Principal shall enter into a Contract with the Obligee in accordance with the terms of such bid, and give such bond or bonds as may be specified in the bidding or Contract Documents with good and sufficient surety for the faithful performance of such Contract and for the prompt payment of labor and materials furnished in the prosecution thereof, or in the event of the failure of the Principal to enter such Contract and give such bond or bonds, if the Principal shall pay to the Obligee the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Obligee may in good faith contract with another party to perform the Work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

Signed and sealed this 13th day of June, 2012


(Witness)

V3 Construction Group, Ltd

(Principal)

(Seal)

By: 

PRESIDENT

(Title)

Washington International Insurance Company

(Surety)

(Seal)

By: 

Attorney-in-Fact Christine Eitel

(Title)

Ila Delman

(Witness)



NAS SURETY GROUP

NORTH AMERICAN SPECIALTY INSURANCE COMPANY
WASHINGTON INTERNATIONAL INSURANCE COMPANY

GENERAL POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, THAT North American Specialty Insurance Company, a corporation duly organized and existing under laws of the State of New Hampshire, and having its principal office in the City of Manchester, New Hampshire, and Washington International Insurance Company, a corporation organized and existing under the laws of the State of New Hampshire and having its principal office in the City of Schaumburg, Illinois each does hereby make, constitute and appoint: Christine Eitel

Its true and lawful Attorney-in-Fact, to make, execute, seal and deliver, for and on its behalf and as its act and deed, the following surety bond:

Principal: V3 Construction Group, Ltd

Bond Number: Bid Bond

Obligee: Village of Downers Grove

Bond Amount: See Bond Form

Bond Description: Grove Street Reconstruction

Provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed the amount of:

FIFTY MILLION (\$50,000,000) DOLLARS

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Boards of Directors of both North American Specialty Insurance Company and Washington International Insurance Company at meetings duly called and held on the 9th of May, 2012:

RESOLVED, that any two of the Presidents, any Managing Director, any Senior Vice President, any Vice President, any Assistant Vice President, the Secretary or any Assistant Secretary be, and each or any of them hereby is authorized to execute a Power of Attorney qualifying the attorney named in the given Power of Attorney to execute on behalf of the Company bonds, undertakings and all contracts of surety, and that each or any of them hereby is authorized to attest to the execution of any such Power of Attorney and to attach therein the seal of the Company; and it is

FURTHER RESOLVED, that the signature of such officers and the seal of the Company may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures or facsimile seal shall be binding upon the Company when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached.



By [Signature] Steven P. Anderson, Senior Vice President of Washington International Insurance Company & Senior Vice President of North American Specialty Insurance Company



By [Signature] David M. Layman, Vice President of Washington International Insurance Company & Vice President of North American Specialty Insurance Company

IN WITNESS WHEREOF, North American Specialty Insurance Company and Washington International Insurance Company have caused their official seals to be hereunto affixed, and these presents to be signed by their authorized officers this 25th day of May 2012.

North American Specialty Insurance Company
Washington International Insurance Company

State of Illinois
County of Cook ss:

On this 25th day of May 2012, before me, a Notary Public personally appeared Steven P. Anderson, Senior Vice President of Washington International Insurance Company and Senior Vice President of North American Specialty Insurance Company and David M. Layman, Vice President of Washington International Insurance Company and Vice President of North American Specialty Insurance Company, personally known to me, who being by me duly sworn, acknowledged that they signed the above Power of Attorney as officers of and acknowledged said instrument to be the voluntary act and deed of their respective companies.



[Signature] Donna D. Sklens, Notary Public

I, Jeffrey Goldberg, the duly elected Assistant Secretary of North American Specialty Insurance Company and Washington International Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney given by said North American Specialty Insurance Company and Washington International Insurance Company, which is still in full force and effect.

IN WITNESS WHEREOF, I have set my hand and affixed the seals of the Companies this 13th day of June, 2012.

[Signature] Jeffrey Goldberg, Vice President & Assistant Secretary of Washington International Insurance Company & Assistant Secretary of North American Specialty Insurance Company

Village of Downers Grove

BID SUBMITTAL CHECKLIST

Each Bidder's Bid Package must be submitted with all requisite forms properly completed, and all documentation included. The following list is not all-inclusive, but is designed to facilitate a good, competitive bidding environment.

1. Instructions to Bidders read and understood. Any questions must be asked according to the instructions.
2. Cover sheet filled-in
3. Bid Form copies filled-in. All copies must have original signatures and seals on them.
4. Bid Bond or cashier's check enclosed with bid package.
5. Schedule of Prices completed. Check your math!
6. Bidder Certifications signed and sealed.
7. Letter from Surety ensuring issuance of Performance and Labor Bonds.
8. Letter from Insurance Agent or Carrier ensuring issuance of required job coverage.
9. Municipal Reference List completed.
10. Vendor request form W-9 completed.
11. Affidavit (IDOT Form BC-57, or similar).
12. Bid package properly sealed and labeled before delivery. If sending by mail or messenger, enclose in a second outer envelope or container. Project plan sheets do not have to be included with the bid package.

*Washington International Insurance Company
475 North Martingale Road, Suite 850
Schaumburg, Illinois 60173*

June 4th, 2012

Village of Downers Grove
801 Burlington
Downers Grove, Illinois 60515

Re: V3 Construction Group, Ltd.
7325 Janes Avenue, Suite 100
Woodridge, Illinois 60517

Project: Grove Street Reconstruction
Project Estimate: \$1,250,000

To Whom It May Concern:

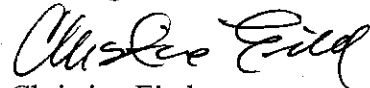
Please be advised that Washington International Insurance Company ("WIIC") currently executes bonds for V3 Construction Group, Ltd.

WIIC is willing to favorably consider providing payment and performance bonds on this project, subject to receipt of satisfactory contract documents and bond forms, and review of underwriting information when presented.

The arrangement to provide any bonds is a matter between V3 Construction Group, Ltd., and WIIC, and neither WIIC nor ourselves assume any liability to you or your third parties, if for any reason WIIC does not provide the bonds.

WIIC eagerly awaits receipt of the underwriting information and looks forward to assisting you on this project.

Sincerely,
Washington International Insurance Company



Christine Eitel
Attorney-In-Fact

NAS SURETY GROUP

NORTH AMERICAN SPECIALTY INSURANCE COMPANY
WASHINGTON INTERNATIONAL INSURANCE COMPANY

GENERAL POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, THAT North American Specialty Insurance Company, a corporation duly organized and existing under laws of the State of New Hampshire, and having its principal office in the City of Manchester, New Hampshire, and Washington International Insurance Company, a corporation organized and existing under the laws of the State of New Hampshire and having its principal office in the City of Schaumburg, Illinois each does hereby make, constitute and appoint: Christine Eitel

Its true and lawful Attorney-in-Fact, to make, execute, seal and deliver, for and on its behalf and as its act and deed, the following surety bond:

Principal: V3 Construction Group, Ltd

Bond Number: Bid Bond

Obligee: Village of Downers Grove

Bond Amount: See Bond Form

Bond Description: Grove Street Reconstruction

Provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed the amount of:

FIFTY MILLION (\$50,000,000) DOLLARS

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Boards of Directors of both North American Specialty Insurance Company and Washington International Insurance Company at meetings duly called and held on the 9th of May, 2012:

"RESOLVED, that any two of the Presidents, any Managing Director, any Senior Vice President, any Vice President, any Assistant Vice President, the Secretary or any Assistant Secretary be, and each or any of them hereby is authorized to execute a Power of Attorney qualifying the attorney named in the given Power of Attorney to execute on behalf of the Company bonds, undertakings and all contracts of surety, and that each or any of them hereby is authorized to attest to the execution of any such Power of Attorney and to attach therein the seal of the Company; and it is

FURTHER RESOLVED, that the signature of such officers and the seal of the Company may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures or facsimile seal shall be binding upon the Company when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached."



By [Signature]
Steven P. Anderson, Senior Vice President of Washington International Insurance Company
& Senior Vice President of North American Specialty Insurance Company



By [Signature]
David M. Layman, Vice President of Washington International Insurance Company
& Vice President of North American Specialty Insurance Company

IN WITNESS WHEREOF, North American Specialty Insurance Company and Washington International Insurance Company have caused their official seals to be hereunto affixed, and these presents to be signed by their authorized officers this 25th day of May, 2012.

North American Specialty Insurance Company
Washington International Insurance Company

State of Illinois
County of Cook ss:

On this 25th day of May, 2012, before me, a Notary Public personally appeared Steven P. Anderson, Senior Vice President of Washington International Insurance Company and Senior Vice President of North American Specialty Insurance Company and David M. Layman, Vice President of Washington International Insurance Company and Vice President of North American Specialty Insurance Company, personally known to me, who being by me duly sworn, acknowledged that they signed the above Power of Attorney as officers of and acknowledged said instrument to be the voluntary act and deed of their respective companies.



[Signature]
Donna D. Sklens, Notary Public

I, Jeffrey Goldberg, the duly elected Assistant Secretary of North American Specialty Insurance Company and Washington International Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney given by said North American Specialty Insurance Company and Washington International Insurance Company, which is still in full force and effect.

IN WITNESS WHEREOF, I have set my hand and affixed the seals of the Companies this 4th day of June, 2012.

[Signature]
Jeffrey Goldberg, Vice President & Assistant Secretary of Washington International Insurance Company & Assistant Secretary of North American Specialty Insurance Company



Phone: (847) 517 8900
Fax: (847) 517 9033
Website: www.willis.com

June 5, 2012

Village of Downers Grove
801 Burlington
Downers Grove, IL 60515

RE: V3 Construction Group Ltd./Grove Street Reconstruction

To Whom it May Concern:

As the Insurance Agent for V3 Construction Group Ltd. we certify that our Insured can comply with all Insurance requirements as indicated in the Contract Documents.

Sincerely,

John E Adams, CPCU
Sr. Vice President

4AKOR/M3630807

VILLAGE OF DOWNERS GROVE
DEPARTMENT OF PUBLIC WORKS

ADDENDUM NO. 1

FOR

GROVE STREET RECONSTRUCTION

ST-033

June 5, 2012

This addendum includes:

Clarifications, Revisions and Questions/Answers

and consists of the following pages:

Addendum pages – 2

Revised Call for Bid pages – 16

Revised Plan Sheets – 7

Soils Report - 21

The "Acknowledgement of Receipt" sheet of this addendum **MUST** be included in the bid package. Bid packages not including signed Acknowledgement of Receipt Sheet will be REJECTED.

CALL FOR BID REVISIONS

1. **REVISION:** The following pages within the advertised Call for Bids shall be replaced with the attached, corresponding pages:

35,36,38,56,58,59,66,68,71,72,73,78,82,83,84,85

The revisions made to pages **35,36,38,56,58,59,66,68,71,72** and **78** are minor in nature and were made to clarify/correct pay item descriptions.

The revision made to page **73** includes the removal of the sentence "Provide written density test results for soil subgrade, Permeable Base and Subbase Aggregate materials to the Owners, General Contractor and paver installation subcontractor".

Revisions made to pages **82-85** include bid quantity updates as well as corrections associated with the changes made to pay item descriptions throughout the rest of the document. Please review these pages carefully as some quantities have been revised and new pay items have been added.

PLAN SHEET REVISIONS

The following plan sheet revisions have been made to the attached plan sheets and have been bubbled for clarification purposes.

1. **REVISION:** The summary of quantities shown on Sheet 3 of the plan set has been updated.
2. **REVISION:** The existing sanitary sewer is now shown on Sheet 5 of the plan set. Also, all existing storm sewer and associated structures are now appropriately labeled for removal.
3. **REVISION:** Proposed storm sewer structure/frame and grate types are now shown on Sheets 6, 7, and 8 of the plan set. Proposed water main valves and vaults are now identified as well. Note the additional inlet and re-alignment of the proposed storm sewer system just west of the hydrodynamic separator.
4. **REVISION:** Notes have been provided, on Sheet 9 of the plan set, clarifying the location and types of proposed curb to be installed.
5. **REVISION:** The traffic control plan has been updated per Sheet 13 of the plan set.

All attached plan sheets shall replace their corresponding page in the original plan set.

QUESTIONS AND ANSWERS

The following are answers to questions that have been submitted by potential bidders:

- Q) There are 4" D.I. and 6" D.I. services, but no pay item – how will this be paid?
A) Pay items have been added to the list of pay items for 4" and 6" ductile iron water main pipe.
- Q) Are there any borings for this project?
A) Borings were completed for this project. The soils report has been attached to this addendum.
- Q) The quantity on the plans shows 4050 sy, while the pay item is 3750 sy?
A) The quantities shown in the summary of quantities are accurate. Quantities provided on the additional plan sheets are approximate and for reference only.

Any questions regarding the plans and/or specifications presented after the posting of this addendum will not be addressed via a second addendum. Therefore, the primary contractor **MUST** bid the project with the original plans and specs, including all revisions listed in this addendum.

**End of Addendum No. 1
June 5, 2012**

VILLAGE OF DOWNERS GROVE
DEPARTMENT OF PUBLIC WORKS

ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM

PROPOSAL/BID: GROVE STREET RECONSTRUCTION

PROPOSAL/BID NUMBER: ST-033

PROPOSAL/BID OPENING: June 13, 2012

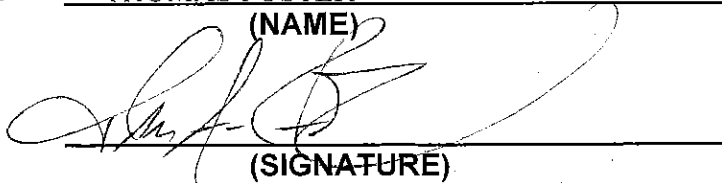
ADDENDUM NO.: 1

PROPOSER/BIDDER: V3 CONSTRUCTION GROUP, LTD.

ADDRESS: 7325 JANES AVENUE WOODRIDGE, ILLNOIS 60517

RECEIVED BY: THOMAS FOSTER

(NAME)



A handwritten signature in black ink, appearing to read 'Thomas Foster', is written over a horizontal line. The signature is cursive and somewhat stylized.

(SIGNATURE)

DATE: 06-12-2012

VILLAGE OF DOWNERS GROVE
DEPARTMENT OF PUBLIC WORKS

ADDENDUM NO. 2

FOR

GROVE STREET RECONSTRUCTION

ST-033

June 11, 2012

This addendum includes:

Elimination of Tree Pit

and consists of the following pages:

Addendum pages – 1

The "Acknowledgement of Receipt" sheet of this addendum **MUST** be included in the bid package. Bid packages not including signed Acknowledgement of Receipt Sheet will be REJECTED.

CALL FOR BID REVISIONS

REVISION: The Filterra Tree Pit item has been removed from the contract. Please strike from the base bid.

Any questions regarding the plans and/or specifications presented after the posting of this addendum will not be addressed via an additional addendum. Therefore, the primary contractor **MUST** bid the project with the original plans and specs, including all revisions listed in this addendum.

End of Addendum No. 2
June 11, 2012

**VILLAGE OF DOWNERS GROVE
DEPARTMENT OF PUBLIC WORKS**

ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM #2

PROPOSAL/BID: GROVE STREET RECONSTRUCTION

PROPOSAL/BID NUMBER: ST-033

PROPOSAL/BID OPENING: June 13, 2012

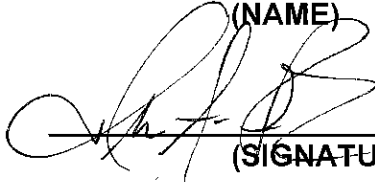
ADDENDUM NO.: 1

PROPOSER/BIDDER: V3 CONSTRUCTION GROUP, LTD.

ADDRESS: 7325 JANES AVENUE

RECEIVED BY: THOMAS FOSTER

(NAME)



(SIGNATURE)

DATE: 06-12-2012



V3 CONSTRUCTION GROUP BC 57 - CURRENT BACKLOG REPORT

Job: ALL
Job Status: A
Division: 200

Superintendent: ALL
Estimator: ALL
Project Manager: ALL

			Project Total to Date		
Project No.	Project Name	Project Manager	Total Contract Amount	Gross Revenue	Amount Remaining
CG10019	Millennium Trail Const.	Dianna L Johnson	1,327,000.00	918,587.29	408,412.71
CG10029	Barth Pond Shoreline Imp.	Dianna L Johnson	820,855.44	824,660.44	-3,805.00
CG11023	CDH-Fox Valley Med.Campus	Michael P Famiglietti	1,982,993.75	1,310,477.92	672,515.83
CG11026	Hofmann Dam-Phase Two	Dianna L Johnson	102,514.00	0.00	102,514.00
CG11027	Union Drainag W Fork Stab	Keith C Butkus	250,165.00	227,705.66	22,459.34
CG11028	COD - 2012 CM Services	Keith C Butkus	597,388.00	218,001.35	379,386.65
CG11029	CDH-Fox Valley Med.Campus	Michael P Famiglietti	86,205.00	37,000.00	49,205.00
CG12005	Fox Ridge Park	Dianna L Johnson	160,082.00	96,049.20	64,032.80
CG12007	NippersinkTrail Extension	Dianna L Johnson	459,800.00	0.00	459,800.00
CG12008	Casey Trail Connection	Dianna L Johnson	616,345.00	0.00	616,345.00
CG12009	IDOT #125-Millennium Trail	Keith C Butkus	637,131.90	0.00	637,131.90
Report Totals:			7,040,480.09	3,632,481.86	3,407,998.23



MIKE FAMIGLIETTI, P.E.

CONSTRUCTION DIVISION DIRECTOR

YEARS OF EXPERIENCE:

With V3: 15

Other: 5

EDUCATION:

Bachelor of Science

Civil Engineering

Purdue University

REGISTRATIONS:

Professional Engineer:

Illinois: 062-054914, 2001

CONTINUING

EDUCATION:

IDOT:

OSHA 30-Hours Training

Radiation Safety Training

UNIVERSITY OF

WISCONSIN:

Successful Construction
Management Techniques
& Procedures

Maintaining Asphalt
Pavements

Construction
Management Materials
Testing

Geotechnical Engineering

PROFESSIONAL

ASSOCIATIONS:

American Concrete

Mr. Famiglietti has over 20 years of experience in the construction industry with expertise in the management and execution of ecological, site development, infrastructure, and building projects. Specific project experience includes greenfield development, major redevelopment, retail and commercial construction, parks and ecological restoration. He is currently responsible for the overall construction operations and business development for V3's Construction Management and Contracting.

PROJECT EXPERIENCE

Country Lakes Park Phase 2, Naperville, Illinois – Project Director for this \$1.3 million park project for the Naperville Park District. The scope of work included construction of a large community playground, concrete plaza with shelter, an athletic field, basketball courts, parking lot with entry drive, asphalt trail, two wooden overlooks, landscaping, sports field lighting and parking lot lighting.

Commissioners Park, Naperville, Illinois – Project Director for this \$4.6 million project developing an 80-acre park site for Naperville Park District. Scope of work included construction of eleven playing fields, an in-line skate rink, detention basins, underground utilities, an asphalt path, two parking lots, a plaza area with a prefabricated restroom facility, an irrigation system, electrical improvements for parking lot lighting and field lighting, site furnishings and complete landscape restoration.

Lincoln Mall Redevelopment, Matteson, Illinois – Senior construction manager for this redevelopment of the Lincoln Mall. The work included in-line mall and anchor store demolition, reworking of existing mall systems to be operational following demolition, contaminated soil management and disposal, mass grading to expose lower level of mall and create uniform 2-story appearance, and overall management and construction of new outlots, utilities, parking lots and roadways. Total sitework construction budget exceeded \$20 million with over \$100 million in total redevelopment.

Fort Sheridan Forest Preserve, Lake County, Illinois – Project Director for this \$3.4 Million dollar remediation and restoration of 60 acres of land on the former Fort Sheridan Army Base. Scope of work included implementation of the Ft. Sheridan Preserve Remediation and Restoration-Remedial Action Plan-Central Plateau, which dictated the manner in which on-site stock pile material would be handled and placed as fill on the site. A diversion channel was constructed through the middle of the site to handle drainage that had been going to the ravines on the north and south sides of the property.



MIKE FAMIGLIETTI, P.E.

CONSTRUCTION DIVISION DIRECTOR

Also included was the stabilization of the ravine on the north side of the property by placing fill and rip rap in the bottom and installing log structures in strategic locations on the slopes.

Springbrook Prairie Trail, Naperville, Illinois – Project Director for this \$1.9 million project constructing 8.4 miles of trail for the DuPage County Forest Preserve. Scope of work also included installation of three bridges and three boardwalks, construction of a 42-car asphalt parking lot, detention pond and the mass planting of trees and shrubs.

Country Lakes Park – Phase 1, Naperville, Illinois – Project Director for the first phase of this \$320,000 park development. Work included mass grading, underground storm utilities, construction of a sled hill, a soccer field four detention basins and preparation for two future parking lots and entrance roads.

McDowell Grove Dam Modifications, DuPage County, Illinois – Project Director for this \$1.4 Million dollar dam modification project for DuPage County. Scope of work included by-pass pumping 700 LF of the West Branch DuPage River so that modifications could be made to the existing McDowell Grove Dam and all the sediment behind the dam and within the construction area could be removed. Channel bank loading material was placed in the construction area along with boulders, mushroom caps, root wads and plant vegetation to improve aquatic habitat in the river bed.

McDowell Grove Trail, DuPage County, Illinois – Project Director for this \$320,000 project for the DuPage County Forest Preserve. The scope of work included 1.5 miles of new limestone gravel trail construction, remove and replace concrete revetment mat, installation of 14 culvert crossings in the trail and restoration of 9.2 acres with native seed and planning of trees.

Cantera Development, Warrenville, Illinois – Construction project manager for this 650-acre mixed use business park including office, retail, and residential developments. Responsibilities were associated with the overall infrastructure development, building pad delivery, utility installations, parking lot and roadway construction. Scope of work included generating and managing annual budgets, bidding and negotiating contracts, interaction with the civil design engineer, architects, governing agencies, and Owners to determine land planning and overall logistics of construction. The total project budget for the infrastructure development exceeded \$39 million.

Cancer & Proton Treatment Center, Warrenville, Illinois – Senior construction manager for the construction of all sitework. Work includes all earthwork and remediation associated with delivering two building pads, installation of all underground utilities, management and handling of on-site soils, and full construction of the parking lots surrounding each building including lighting, landscaping and irrigation.

Tower Station Retail Development, West Chicago, Illinois – Construction manager for the conversion of a 23-acre residential and vacant lot site into a retail and office development. Work included overall mass grading for pad delivery, stormwater detention ponds, wetland mitigation and construction, retaining wall, underground utilities, parking lots and surrounding roadways. V3 also constructed a 23,400 square foot retail building. The initial work included completion of the surrounding site and parking followed by the



MIKE FAMIGLIETTI, P.E.

CONSTRUCTION DIVISION DIRECTOR

totaled over \$1.5 million in renovation for AIMCO and were partially funded by the Department of Housing and Urban Development (HUD).

Westbrook West Deck Reconstruction, Downers Grove, Illinois – Project director during the demolition and reconstruction 417 elevated balconies at this condominium project. The project scope consisted of removal of the existing patios and decks replaced with new footings, foundations, patios, structural steel, elevated concrete decks and handrails.

Office ADA Improvements, Naperville, Illinois – Project manager for this commercial office building renovation. Scope of work included exterior parking, landscape and front entry upgrades.

Weaver Landing, Batavia, Illinois – Construction project manager for a 72-lot high-end residential development. Scope of work included construction management during all phases of the infrastructure development.

Steeple Chase, Naperville, Illinois – Construction project manager for a 45-lot residential development. Scope of work included supervision and coordination of contractors performing the infrastructure development.

Timber Ridge Business Park, Joliet, Illinois – Project manager for this 300-acre commercial and retail business park.

Nobel & Piccolo Elementary School Site Improvements, Chicago, Illinois – Project manager for the sitework improvements at both schools. Responsibilities included supervision and coordination of contractors performing pavement demolition, grading, paving, underground utility installation, concrete pavement and lighting. Work required close coordination with the on-site general contractor, the Owner's program manager, and the Chicago Public Building Commission.

Prudential Office Plaza, Oak Brook, Illinois – Project manager responsible for assessing and executing on improvements to existing site conditions. Work included providing site inspection, recommendations and construction management for all site improvements.

Office Renovation, Chicago, Illinois – Project manager for an interior office renovation involving drywall, electric, HVAC, and flooring along with furniture and appliances.

Glenside Fire Station, Glenside, Illinois – Project director for the Glenside Fire Station office addition/renovation. This facility consists of a 3,500 square foot demolition of existing offices and construction of a new, 16,000 square foot, two-story, office addition while maintaining the existing engine bays and fully operational and functioning station. Principal new construction is load bearing masonry walls supporting pre-cast concrete plank floor and brick veneer.

2828 N. Burling Condos, Chicago, Illinois – Project director to renovate the exterior of this five-story, 60-unit condominium building in Chicago, Illinois. The scope of work for this project included removal of the vertical



MIKE FAMIGLIETTI, P.E.

CONSTRUCTION DIVISION DIRECTOR

sheet metal siding on the fourth and fifth floors and replacement with new fiber cement lap siding, removal of all windows and sliding doors and replacement with new Pella windows and doors, and finally trim and painting of the interior of each unit.

Kane County Department of Transportation Building Renovations, St. Charles, Illinois – Project director for this renovation project consisting of two buildings, the Division of Transportation Administration Building and one of the existing maintenance buildings. The scope of work included installation of Exterior Finish Insulation System (EFIS) on both building fronts. Two new entrance signs were installed and a solid fence was built to enclose the generators that are located directly in front of the maintenance building. New windows were also installed on the maintenance building.

Eden Independent Living, Chicago, Illinois – Project director and construction manager for this 65,000 square foot, 4-story, independent living facility rehabilitation in Chicago, Illinois. The structure was originally built in 1920 and the scope of work included complete interior demolition and reconstruction of 84 new apartment units with completely new mechanical systems, building offices and first floor retail build-outs. The project was financed through the Chicago Department of Housing and Urban Development and required close coordination between local officials, project owner and consultants.

First America Campus, Kalamazoo, Michigan – Manager of construction testing and inspection for this new corporate office complex consisting of two buildings totaling approximately 400,000 square feet with associated structure and surface parking.

United States Post Office, Kalamazoo, Michigan – Manager of construction testing and inspection for a new postal distribution center.

Bachelor Enlisted Quarters, Pendleton, California – Manager of construction testing and inspection of a new military housing facility at Camp Pendleton.

Hospital Retrofit, Travis Air Force Base, California – Manager of construction testing and inspection for the conversion of an old hospital into military office space with a construction cost of \$173 million.

Palisades Nuclear Power Plant Concrete Storage Casks, Covert, Michigan – Managed to construction and laboratory testing and inspection of sixteen concrete storage casks to be used for spent fuel rods. All work was supervised by the Nuclear Regulation Council (NRC) along with their professional consultants, Sierra Nuclear.

Coldwater High School Addition, Coldwater Michigan – Performed the geotechnical engineering for this high school addition, which included soil borings, laboratory testing, and foundation recommendations. Also managed the testing and inspection during construction of the high school addition.

Best Buy, Kalamazoo, Michigan – Managed the testing and inspection for the new store location.



MIKE FAMIGLIETTI, P.E. CONSTRUCTION DIVISION DIRECTOR

Hampton Inn & Suites, Kalamazoo, Michigan (and various other locations) – Managed the geotechnical engineering including soil borings, laboratory testing and foundation recommendations for new hotels in various locations in Michigan. Also provided management of the testing and inspection during construction.

Prairie Lakes Subdivision, Wasco, Illinois – Project Manager for this property that Harris Bank took control of from the developer and needed to complete the required punch list work to release its letter of credit. V3 provided assessment of the condition of property as compared to approved engineering plans and completed an analysis of County and Township punch list. There were over 200 storm structure repairs, clean-out and adjustments made. Removal and replacement of damaged curb and gutter, installation of concrete sidewalk in common area, and installation of approximately 3,500 LF of asphalt path were also performed. The project also included asphalt surface course installation with associated grinding and pavement patching, re-grading of topsoil stockpile in common space for useable recreation and permanent turf seeding, installation of street lighting and parkway restoration for erosion protection. V3 services included general contracting, earthwork and grading, site restoration, seeding and erosion control blanket, and construction layout.



DIANNA JOHNSON

SENIOR PROJECT MANAGER

YEARS OF EXPERIENCE:

With V3: 10

EDUCATION:

Master of Business
Administration
Regent University

Ms. Johnson has over 23 years of experience in management. Her construction management experience includes working with municipalities and developers on a variety of projects. She has experience in managing projects such as multi-purpose trail construction, stream bank stabilization, park developments and commercial site developments. She is responsible for coordinating the progress of the project and interacting with the owner and engineer. Dianna monitors the self-performing component of the project and schedules the subcontractor work as needed.

PROJECT EXPERIENCE

Barth Pond Shoreline & Pathway Improvements, Downers Grove, Illinois – Project Manager for this \$822,000 project for the Downers Grove Park District. Scope of work included removal of the existing sheet pile along the shoreline and installation of 1640 lf of Lannon stone and 390 lf of Coir Blocks for shoreline stabilization. Also included was new asphalt path, concrete path, concrete stairs, seeding restoration and new trees.

Elmhurst Levee Maintenance Improvements Project, Elmhurst, Illinois – Project Manager for this \$897,000 project for levee improvements for the City of Elmhurst. Scope of work included raising the elevation of approx. 3,115 LF of an existing earthen levee. Also included was the removal of trees, shrubs and all woody vegetation within 15 ft of the levee. Restoration was done with native and turf seeding.

Veterans Island Shoreline Stabilization, Aurora, Illinois – Project Manager for this \$677,400 project for the Fox Valley Park District. Scope of work included placing outcropping stone on concrete footings and placing new granite boulders for stabilization along the shoreline of Veteran Island Park in the Fox River. Also included was installation of permeable pavers, concrete paving, seat walls, new sand beach and landscape restoration of the island.

Millennium Trail – Litchfield Drive to Fairfield Road, Lake County, Illinois – Project Manager for this \$1.3 Million dollar project the Lake County Forest Preserves. Scope of work included construction of 2.5 miles of 12' wide asphalt trail, 210 lf timber bridge and 150 lf of boardwalk. Also included was boulder wall, new split rail fence and benches along the trail. Restoration of the trail was done using native seed and low maintenance turf seed.

Mallard Lake Preserve Improvements Phase 1 Development, DuPage County, Illinois – Project Manager for this \$2.1 Million dollar project for the Forest Preserve District of DuPage County's improvements to the Mallard Lake Preserve. Scope of work included a new 1 mile entrance drive, expansion of the existing parking lots, 7 new basins, aggregate trails and a 650 LF boardwalk.



DIANNA JOHNSON SENIOR PROJECT MANAGER

Also, 1300 LF of shoreline stabilization was done which included a boulder rock shoal and restoration of the shoreline with wetland seed and plantings. Restoration was done on all the new construction with turf and native seeding.

Orchard Valley Golf Course Shoreline Stabilization, Aurora, Illinois – Project Manager for the \$740,800 project for Holes 3, 4 & 17 Shoreline Stabilization at the Orchard Valley Golf Course. Scope of work included lannon stone and soil lifts for shoreline stabilization. Reconstruction of a timber retaining wall, golf course restoration of tee boxes, bunker, fairway and rough, irrigation system restoration and asphalt cart path.

I & M Canal State Trail Repairs, Utica, Illinois – Project Manager for this \$135,000 project for the IDNR. Scope of work included rebuilding a failed culvert crossing, excavating a drainage ditch in the canal and new trail construction.

Kickapoo Creek Restoration, Cole County, Illinois – Project Manager for this \$188,650 project for the IDNR. Scope of work included 1500 LF of stream stabilization using rip rap as bank stabilization and installing a peak stone toe. Two rock riffles were also installed.

Fort Sheridan Forest Preserve, Lake County, Illinois – Project Manager for this \$3.4 Million dollar remediation and restoration of 60 acres of land on the former Fort Sheridan Army Base. Scope of work included implementation of the Ft. Sheridan Preserve Remediation and Restoration-Remedial Action Plan-Central Plateau, which dictated the manner in which on-site stock pile material would be handled and placed as fill on the site. A diversion channel was constructed through the middle of the site to handle drainage that had been going to the ravines on the north and south sides of the property.

Also included was the stabilization of the ravine on the north side of the property by placing fill and rip rap in the bottom and installing log structures in strategic locations on the slopes.

McDowell Grove Dam Modifications, DuPage County, Illinois – Project Manager for this \$1.4 Million dollar dam modification project for DuPage County. Scope of work included by-pass pumping 700 LF of the West Branch DuPage River so that modifications could be made to the existing McDowell Grove Dam and all the sediment behind the dam and within the construction area could be removed. Channel bank loading material was placed in the construction area along with boulders, mushroom caps, root wads and plant vegetation to improve aquatic habitat in the river bed.

Hidden Lakes Forest Preserve, DuPage County, Illinois – Project Manager for this \$346,000 Ph2 Parking Lot and Trail Improvements project for the DuPage County Forest Preserve District. Scope of work included construction of a new 36 car parking lot, storm sewer improvements, 2 detention basins and new trail along the parking lot and new basin to provide a complete trail system around the lake. Also included in the work was installation of a new pedestrian bridge that had been provided by the Forest Preserve District. Restoration was completed with both native and turf seeding and erosion control blanket.

Reach 1 Streambank Stabilization Design/Build, Glenview, Illinois – Project Manager for this \$90,000 design/build streambank stabilization project along the North Branch of the Chicago River for the Village of Glenview. Scope of work included installing 3 tier soil lifts along 255 LF of shoreline and installation of a rock



DIANNA JOHNSON SENIOR PROJECT MANAGER

vane to divert river flow from direct shoreline impact. Restoration was completed with live willow stakes, prairie seeding and blanket.

Offsite Roadway Improvements - Heritage Crossing, South Elgin, Illinois – Project Manager for this \$540,000 roadway improvement project for MRC South Elgin, LLC. Scope of work included new signal installation at the east entrance of the Heritage Crossing commercial development on McLean Blvd in South Elgin. In addition turn lanes and underground utilities were added to McLean Blvd and Bowes Road.

Heritage Crossing of South Elgin, Illinois – Project Manager for this \$1.7 million dollar commercial site development for MRC South Elgin LLC. The 11 acre corner site was developed into 5 commercial lots with an interior roadway connecting Bowes Road and McLean Blvd in South Elgin. Scope of work included mass grading, underground utilities, new roadway and parking lots, curb and sidewalk, electrical for parking lot and street lighting and landscaping restoration.

Springbrook Tributary No. 2 Meander Project, DuPage County, Illinois – Project Manager for this \$3.6 million project of restoring an approx. 2.2 mile section of Spring Brook Creek to its historic floodplain condition for the DuPage County Forest Preserve. Scope of work included creating a new meandering creek channel. Stabilization methods included lining the new channel with aggregate, installing root wads along the shoreline and wrapping the topsoil along the banks with coir fiber blanket. The old creek channel was filled in as the new channel was constructed. An existing weir at the beginning of the creek project was removed and a new aggregate weir was installed. The restoration was completed with native seeding, wetland plugs and plantings of shrubs and trees.

Clark Island Renovation, Batavia, Illinois – Project Manager for this \$1.2 million project renovating a park for the Batavia Park District. Scope of work included 2 temporary crossings installed in the Fox River, installation of shoreline stabilization for Clark Island including fishing stations, pedestrian bridge demolition, installing 2 new pedestrian bridges, renovation of the shelter on Clark Island and a new asphalt bike path. Improvements were also made to the shoreline area of the park, which included a new BMX park, a new playground area, ball field lighting and restoration of an existing stone bridge.

Salt Creek Greenway Trail, Cook County, Illinois – Project Manager for this \$1.3 million project constructing 9 miles of asphalt trail for the Cook County Forest Preserve. Scope of work included the reconstruction of 6 miles of trail and new construction of 3 miles of trail. New concrete sidewalk and detectable warnings at several locations was done. Also, traffic signal work for crosswalks, installation of 17 new drop gates, new signage, and 13 locations of new crosswalk striping.

Oak Bluff Estates, Illinois – Project Manager for this \$708,000 subdivision project for Zeme, LLC. Scope of work included mass grading, construction of two ponds, handling sewer soils, grading of 20 lots and construction of roadways.

Manhattan Creek Restoration, Illinois – Project Manager for this \$700,000 creek restoration project creating a new creek channel corridor approx. 1 mile in length. Scope of work included excavating a new creek channel and grading the creek corridor. Old drain tiles were abandoned and redirected to the new creek channel. Also



DIANNA JOHNSON SENIOR PROJECT MANAGER

included were installing rock check dams, a new bike path and complete restoration of the area with wetland plugs and native seeding.

Fulton Street Parking Deck, Elgin, Illinois – Project Manager for this \$608,000 project doing the site work for a new 4 story parking deck in downtown Elgin, IL for Shales McNutt Construction. Scope of work included demolition of existing building and parking lots. Mass grading, footing excavation and backfill for the parking garage facility, grading for adjacent ramps, parking lot and Fulton Street reconstruction.

Golf Vista Estates Wetland Mitigation Site Work, Monee, Illinois – Project Manager for this \$347,000 project for MHC Homes. The scope of work included installation of storm sewer, a detention basin and mass grading of the northern portion of the Golf Vista Estates undeveloped property in Monee, IL.

McDowell Grove Trail, DuPage County, Illinois – Project Manager for this \$320,000 project for the DuPage County Forest Preserve. The scope of work included 1.5 miles of new limestone gravel trail construction, remove and replace concrete revetment mat, installation of 14 culvert crossings in the trail and restoration of 9.2 acres with native seed and planning of trees.

Country Lakes Park PH2, Naperville, Illinois – Project Manager for this \$1.3 million park project for the Naperville Park District. The scope of work included construction of a large community playground, concrete plaza with shelter, an athletic field, basketball courts, parking lot with entry drive, asphalt trail, two wooden overlooks, landscaping, sports field lighting and parking lot lighting.

Commissioners Park, Naperville, Illinois – Project Manager for this \$4.6 million project developing an 80-acre park site for Naperville Park District. Scope of work included construction of eleven playing fields, an in-line skate rink, detention basins, underground utilities, an asphalt path, two parking lots, a plaza area with a prefabricated restroom facility, an irrigation system, electrical improvements for parking lot lighting and field lighting, site furnishings and complete landscape restoration.

Springbrook Prairie Trail, Naperville, Illinois – Project Manager for this \$1.9 million project constructing 8.4 miles of trail for the DuPage County Forest Preserve. Scope of work also included installation of three bridges and three boardwalks, construction of a 42-car asphalt parking lot, detention pond and the mass planting of trees and shrubs.

West Branch Regional Trail, DuPage County, Illinois – Project Manager for this \$860,000 project constructing 2.8 miles of multi-purpose trail through Warrenville Woods, West Branch and Hawk Hollow Forest Preserves. This project was divided between three different site locations. Scope of work also included setting a pre-fabricated bridge in Warrenville Woods and the construction of a new parking lot and entrance in the West Branch preserve.

Country Lakes Park – Phase 1, Naperville, Illinois – Project Manager for the first phase of this \$320,000 park development. Work included mass grading, underground storm utilities, construction of a sled hill, a soccer field four detention basins and preparation for two future parking lots and entrance roads.



DIANNA JOHNSON

SENIOR PROJECT MANAGER

Community Fellowship Church, Carol Stream, Illinois – Project Manager for this \$265,000 site development for the new facilities. Project involved mass grading, underground storm utilities, building excavation, enlargement of an existing pond, construction of the building pad and parking lot areas, and the fill-in of three lagoons that were no longer needed.



ANDY GRAF

FIELD OPERATIONS DIRECTOR

YEARS OF EXPERIENCE:

With V3: 5

Other: 8

AREAS OF SPECIALIZED

SKILL:

OSHA 10 Hour

CPR Certified

Trained and tested in

Excavations, Confined

Space and Traffic

Protection

Competent Person Safety

Training

Mr. Graf has 18 years experience in the construction industry involving both on-site management and overall field operations. His project experience includes roadway construction, trail construction, mass grading, creek restoration, wetland mitigation, and shoreline stabilization. As Field Operations Director he is responsible for the coordination of all field personnel, equipment management, and quality assurance. He also assists in the preparation and submittal of over \$70 million in estimated construction bids annually.

PROJECT EXPERIENCE

Fort Sheridan Forest Preserve, Lake County, Illinois – Field Operations Director for this \$3.4 Million dollar remediation and restoration of 60 acres of land on the former Fort Sheridan Army Base. Scope of work included implementation of the Ft. Sheridan Preserve Remediation and Restoration-Remedial Action Plan-Central Plateau, which dictated the manner in which on-site stock pile material would be handled and placed as fill on the site. A diversion channel was constructed through the middle of the site to handle drainage that had been going to the ravines on the north and south sides of the property.

This also included the stabilization of the ravine on the north side of the property by placing fill and rip rap in the bottom and installing log structures in strategic locations on the slopes.

McDowell Grove Dam Modifications, DuPage County, Illinois – Field Operations Director for this \$1.4 Million dollar dam modification project for DuPage County. Scope of work included by-pass pumping 700 LF of the West Branch DuPage River so that modifications could be made to the existing McDowell Grove Dam and all the sediment behind the dam and within the construction area could be removed. Channel bank loading material was placed in the construction area along with boulders, mushroom caps, root wads and plant vegetation to improve aquatic habitat in the river bed.

Community Park West Phase 2, Glenview, Illinois – Field Operations Director for the construction of this new \$4.4 million sports and park complex for the Glenview Park District. The project included four fully furnished baseball fields with centralized decorative concrete plaza with shelter; children's play structures and a dog park with agility equipment. Scope of work included earthwork, detention basins, underground utilities, new roadway and parking lots, site lighting including sports field lighting and irrigation. The baseball fields were graded to very tight tolerances utilizing GPS controlled equipment.

Nouveau Kiskeya, Haiti – Field consultant on 11,500 acre real estate project in underdeveloped area of northwest Haiti. Scope of work included training and



ANDY GRAF

FIELD OPERATIONS DIRECTOR

supervising local Haitian workers in construction of a 3.5 mile paved road.

West Fork/Lot 16 Bank Stabilization, Glenview, Illinois – Superintendent for earthwork phase of shoreline stabilization on the North Branch of Chicago River including pool and riffle habitat. Scope included soil lifts, rock vane, coir logs, and boulder rock riffles.

Sunset Park Parking Lot- Lake in the Hills, Illinois – Superintendent for \$868,000.00 park improvement for Village of Lake in the Hills. Project scope included underground utilities, mass grading, paved trail, parking lot, and lime stabilization.

Orland Park Crossing (Off-Site), Orland Park, Illinois – Superintendent for road improvements along 143rd Street and LaGrange Road to support a retail development. Scope included road demolition, excavation, aggregate placement, and storm sewer.

Manhattan Creek Restoration, Manhattan, Illinois – Superintendent for this \$700,000 creek restoration project creating a new creek channel corridor approx. 1 mile in length. Scope of work included excavating a new creek channel and grading the creek corridor. Old drain tiles were abandoned and redirected to the new creek channel. Also included was installing rock check dams, a new bike path and complete restoration of the area with wetland plugs and native seeding.

Lake Scott, Lake in the Hills, Illinois – Superintendent for \$322,000 lake restoration for the Village of Lake in the Hills, IL. Scope included dredging, temporary channel diversion, tree removal, and landscaping.

Indian Trail Road, Aurora, Illinois – Superintendent for a \$1.2 million residential roadway extension including self-performed roadway grading, aggregate placement, storm sewer, detention basins, and box culvert excavation.

Country Lakes Park – Phase 2, Naperville, Illinois – Superintendent for this \$1.3 million park project for the Naperville Park District. Scope of work included construction of a large community playground, concrete plaza with shelter, an athletic field, basketball courts, parking lot with entry drive, asphalt trail, two wooden overlooks, landscaping, sports field lighting, and parking lot lighting.

Pape Island Shoreline Stabilization Project, Pistakee Lake, Fox Lakes, Illinois – Superintendent for shoreline stabilization along the perimeter of a 17-acre island in Pistakee Lake. Shoreline stabilization methods included joint plantings; log, rootball & boulder revetments; lunker structures; armorlock blocks; and vegetated gabions.

Commissioners Park, Naperville, Illinois – Superintendent for \$4.6 million project developing an 80-acre park site for Naperville Park District. Scope of work included construction of eleven playing fields, in-line skate rink, detention basins, underground utilities, asphalt path, two parking lots, plaza area with a prefabricated restroom facility, irrigation system, electrical improvements for parking lot lighting and field lighting, site furnishings and complete landscape restoration.



ANDY GRAF

FIELD OPERATIONS DIRECTOR

Springbrook Prairie Trail, Naperville, Illinois – Superintendent for \$1.8 million project constructing 8.4 miles of trail for the DuPage County Forest Preserve. Scope of work included installation of three bridges and three boardwalks, construction of a 42-car asphalt parking lot, detention pond and mass planting of trees and shrubs.

Country Lakes Park – Phase 1, Naperville, Illinois – Superintendent for the first phase of \$320,000 park development. Work included mass grading, underground storm utilities, construction of a sled hill, a soccer field, four detention basins and preparation for two future parking lots and entrance roads.

Frontier Sports Complex, Naperville, Illinois – Superintendent for 23-acre existing development. Work included mass grading and fine grading for four new baseball fields, central plaza area and sidewalks, along with asphalt path to tie into the existing path totaling \$154,000.

Liberty Trails, McHenry, Illinois – Superintendent for this \$140,000 residential development of 27-lots involving mass grading, two detention basins and 15,155 square yards of roadway.

127th Road Improvements, Plainfield, Illinois – Superintendent for the rebuilding of 127th Street from Route 59 to Van Dyke Road. The work consisted of widening the existing road, removal of portions of the existing road, reworking the right-of-way and constructing a detention pond.

Harnish Drive Soccer Fields, Algonquin, Illinois – Superintendent for this \$150,000 project consisting of mass grading for two soccer fields, three detention basins and a new sled hill.

Creekside Subdivision, Algonquin, Illinois – Superintendent for this 15-lot subdivision of single-family homes for Pulte Homes, Inc. Scope of work included mass grading building pads, mass and fine grading roadways, excavating, re-spreading, and fine grading of the detention ponds.

Spring Acres Hills Subdivision, Carpentersville, Illinois – Superintendent for this 85-lot housing development for Neumann Homes, Ltd. Project involved mass grading building pads, mass and fine grading the roadways, excavating, re-spreading, and fine grading of detention ponds.

Carrington Reserve Subdivision, West Dundee, Illinois – Superintendent for a 95-lot single-family housing development for Pulte Homes, Inc. Construction consisted of mass grading building pads, mass and fine grading roadways, excavating, re-spreading, fine grading, and installation of clay liner in the retention ponds.



DAN CIKAUSKAS

SUPERINTENDENT

AREAS OF SPECIALIZED SKILL:

OSHA 10 Hour
CPR Certified
Trained and tested in
Excavations, Confined
Space and Traffic
Protection
Competent Person Safety
Training

Mr. Cikauskas has 15 years of experience in the construction industry including trail construction, creek restoration, lake restoration, wetland mitigations, subdivision developments, roadways, demolition, and building excavation. He is responsible for the field employees on his projects, interaction with the owner, engineer, and testing services, and coordination of subcontractors.

PROJECT EXPERIENCE

Barth Pond Shoreline & Pathway Improvements, Downers Grove, Illinois – Superintendent for this \$822,000 project for the Downers Grove Park District. Scope of work included removal of the existing sheet pile along the shoreline and installation of 1640 lf of Lannon stone and 390 lf of Coir Blocks for shoreline stabilization. Also included was new asphalt path, concrete path, concrete stairs, seeding restoration and new trees.

Orchard Valley Golf Course Shoreline Stabilization, Aurora, Illinois – Superintendent for the \$740,800 project for Holes 3, 4 & 17 Shoreline Stabilization at the Orchard Valley Golf Course. Scope of work included lannon stone and soil lifts for shoreline stabilization. Reconstruction of a timber retaining wall, golf course restoration of tee boxes, bunker, fairway and rough, irrigation system restoration and asphalt cart path.

I & M Canal State Trail Repairs, Utica, Illinois – Superintendent for this \$135,000 project for the IDNR. Scope of work included rebuilding a failed culvert crossing, excavating a drainage ditch in the canal and new trail construction.

Kickapoo Creek Restoration, Cole County, Illinois – Superintendent for this \$188,650 project for the IDNR. Scope of work included 1500 LF of stream stabilization using rip rap as bank stabilization and installing a peak stone toe. Two rock riffles were also installed.

Veterans Island Shoreline Stabilization, Aurora, Illinois – Superintendent for this \$677,400 project for the Fox Valley Park District. Scope of work included placing outcropping stone on concrete footings and placing new granite boulders for stabilization along the shoreline of Veteran Island Park in the Fox River. Also included was installation of permeable pavers, concrete paving, seat walls, new sand beach and landscape restoration of the island.

McDowell Grove Dam Modifications, DuPage County, Illinois – Superintendent for this \$1.4 Million dollar dam modification project for DuPage County. Scope of work included by-pass pumping 700 LF of the West Branch DuPage River so that modifications could be made to the existing McDowell Grove Dam and all the sediment behind the dam and within the construction



DAN CIKAUSKAS SUPERINTENDENT

area could be removed. Channel bank loading material was placed in the construction area along with boulders, mushroom caps, root wads and plant vegetation to improve aquatic habitat in the river bed.

Springbrook Tributary No. 2 Meander Project, Du Page County, Illinois – Superintendent for this \$2.2 million project of restoring approx. 1.2 mile section of Spring Brook Creek to its historic floodplain condition for the Du Page County Forest Preserve. Scope of work included creating a new meandering creek channel. Stabilization methods included lining the new channel with aggregate, installing root wads along the shoreline and wrapping the topsoil along the banks with coir fiber blanket. The old creek channel was filled in as the new channel was constructed. An existing weir at the beginning of the creek project was removed and a new aggregate weir was installed. The restoration was completed with native seeding, wetland plugs and plantings of shrubs and trees.

Salt Creek Greenway Trail, Cook County, Illinois – Superintendent for this \$1.3 million project constructing 9 miles of asphalt trail for the Cook County Forest Preserve. Scope of work included the reconstruction of 6 miles of trail and new construction of 3 miles of trail. New concrete sidewalk and detectable warnings at several locations were done. Also, traffic signal work for crosswalks, installation of 17 new drop gates, new signage, and 13 locations of new crosswalk striping.

Hadley Valley West Wetland Mitigation, New Lenox Township, Illinois – Superintendent for excavation portion of \$2.9 million wetland mitigation associated with I-355 Extension. Scope included creek re-meandering, disabling drain tile, eroded channel embankment protection, weed seed bed stripping, erosion control, and installing boulder rock riffles.

Oak Bluff Estates, Lemont, Illinois – Superintendent for this \$708,000 subdivision development for Zeme, LLC. Scope of work included mass grading, construction of two ponds, handling sewer soils, grading of 20 lots, and construction of roadways.

Fulton Street Parking Deck, Elgin, Illinois – Superintendent for this \$608,000 project doing the site work for a new 4 story parking deck for Shales McNutt Construction. Scope of work included demolition of existing building and parking lots; mass grading, footing excavation and backfill for the parking garage facility; and grading for adjacent ramps, parking lot, and Fulton Street reconstruction.

Blackberry Creek Headwaters Wetland Mitigation Bank, Campton Township, Illinois – Superintendent for \$230,000 excavation scope of 98 acre wetland mitigation. Scope of work included disabling drain tile, installing level spreaders, installing in-line water control structures, storm sewer improvements, and berm construction.

Willow Lake Restoration, Lake in the Hills, Illinois – Superintendent for \$320,000 lake restoration for the Village of Lake in the Hills Public Works. Scope of work included dewatering, lake excavation, utility improvements, and erosion control. Project was awarded National 2007 American Public Works Project of Year for Environmental Projects under \$2,000,000.



DAN CIKAUSKAS

SUPERINTENDENT

Special Events Parking Lot & Roadway, Lisle, Illinois – Superintendant for \$690,000 project for Morton Arboretum. Scope included 1.1 acre parking lot demolition and new construction, roadway construction, 14,500 CY roadway embankment, and storm sewer improvements.

River Road Trail, McHenry, Illinois – Superintendant for \$900,000 trail construction project for McHenry County including trail grading, aggregate base course placement, underground utility improvements, and wetland mitigation excavation.

Golf Vista Estates Wetland Mitigation Site Work, Monee, Illinois – Superintendant for this \$347,000 project for MHC Homes. The scope of work included installation of storm sewer, a detention basin and mass grading of the northern portion of the Golf Vista Estates undeveloped property.

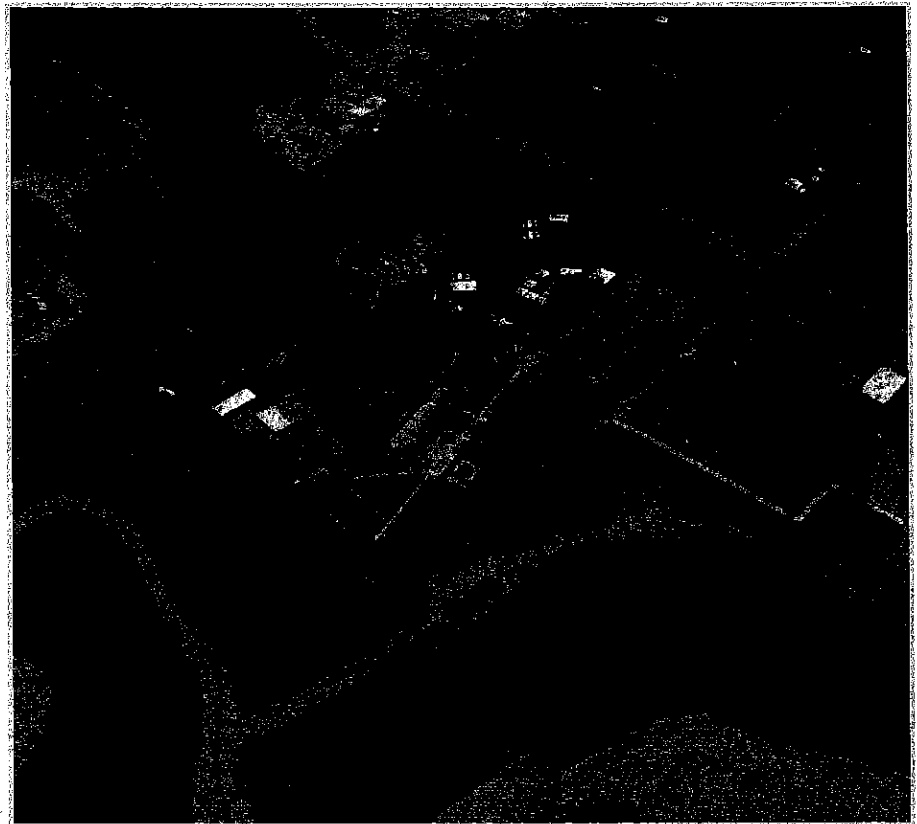


KANE COUNTY COUGARS STADIUM PARKING LOT

CLIENT: KANE COUNTY DEPARTMENT OF ENVIRONMENT

V3 SERVICES

- General Contracting
- Construction Layout
- Topographic Mapping
- Site Civil Design
- Resident Engineering
- Self-Performed Demolition
- Earthwork & Grading Design & Analysis
- Self-Performed Earthwork
- Self-Performed Base Course Grading & Preparation
- Self-Performed Storm Sewer & Underdrain System Installation



PROJECT DETAILS

- Location: Geneva, IL
- Total Construction Cost: \$1,900,000
- Year Completed: 2004

ACEC

*Engineering Excellence
Special Achievement Award*

- V3 designed and managed the reconstruction of a 10.5-acre parking lot facility at this minor league baseball facility
- The existing parking lot consisted of a worn gravel surface and one of the client's primary objectives was to consider more sustainable surface materials
- Research into alternative pavement surfaces and life-cycle budget analysis resulted in a recommendation of three different materials: Ecoloc pavers, "gravel grass" and traditional asphalt surface
- The Ecoloc pavers and "gravel grass" alternatives require open graded base courses and allow a large percentage of stormwater to infiltrate through the subsoil system
- An aggressive off-season winter construction schedule was substantially completed in a nine-week timeframe
- The project received the Engineering Excellence Special Achievement Award by the ACEC



MORTON ARBORETUM IMPROVEMENTS

CLIENT: MORTON ARBORETUM

V3 SERVICES

- General Contracting
- Earthwork & Grading

PROJECT DETAILS

- Location: Lisle, Illinois



- V3 Construction Group served as general contractor – as well as self-performing earthwork and aggregate base operations – for the site improvements at this major urban arboretum
- Improvements consisted of new roadways, detention basins, parking lots and the installation of underground utilities
- The scope of work also included exposed aggregate concrete sidewalks, site lighting, and construction of a new 500-stall open-cell brick paver parking lot to direct stormwater toward a natural filtration system
- The project required extreme levels of flexibility because construction commenced prior to all plans and permits being finalized





EXPERIENCE/REFERENCE RESUBMITTAL

FOR

GROVE STREET RECONSTRUCTION

Submitted by:

V3 Construction Group, Ltd.
7325 Janes Avenue
Woodridge, IL 60517

June 25, 2012



June 25, 2012

Mr. Andy Sikich
Village of Downers Grove
5101 Walnut Avenue
Downers Grove, IL 60515

**Re: Grove Street Reconstruction
Experience/Reference Resubmittal
Downers Grove, Illinois**

Dear Mr. Sikich:

V3 is pleased to submit the attached summary of experience as requested and as follow up to the bid submitted for the Grove Street Reconstruction Project. This submittal is in accordance with Special Provision 2 of the bid documents.

We are confident that V3's experience and expertise will be a valuable asset to this project and will meet the Village's high quality standards. We look forward to working with you as your partner in delivering a successful project.

If you have any questions concerning this proposal, please feel free to contact me directly by phone at 630-729-6223 or by e-mail at mfamiglietti@v3co.com

Sincerely,
V3 CONSTRUCTION GROUP, LTD.

Michael Famiglietti, P.E.
President

Enclosure: Experience/Reference Resubmittal

VILLAGE OF DOWNERS GROVE

DEPARTMENT OF PUBLIC WORKS

EXPERIENCE/REFERENCE RESUBMITTAL

FOR

GROVE STREET RECONSTRUCTION

ST-033

Bidders:

Upon further review of the submitted bids, it does not appear that the requirements set forth in Special Provision #2 have been fully addressed by any of the bidders. We would like to give you this opportunity to resubmit documentation as requested in SP-2 so that we may reconsider all responsible bidders. All supplemental information shall be sent to the Village of Downers Grove, 5101 Walnut Avenue, ATTN: Andy Sikich, in a sealed envelope marked "Grove Street - Experience/Reference Resubmittal". This information shall be submitted on or before Monday, June 25, 2012 @ 5:00 p.m. PLEASE NOTE THAT NO RE-SUBMITTAL OR REVISION OF ANY PORTION OF THE BID DOCUMENTS WILL BE ACCEPTED. BIDDERS SHALL ONLY RE-SUBMIT INFORMATION RELATIVE TO SP-2.

SP-2 QUALIFICATIONS OF BIDDER

In order to be considered a responsible bidder, in addition to those factors listed in Section 10.1 above, the bidder must have particular expertise in having successfully constructed projects of a similar size and scope, specifically including residential neighborhood street and utility removal and reconstruction and permeable paver installation. Bidder must submit the following information (if sub-contractors are proposed for earthwork, underground utility work, or permeable paver installation, similar information must be provided for each entity):

- a. Similar Project Experience
 - i. Bidder must provide detailed information regarding three (3) similar projects performed by the submitting firm within the past five (5) years.
 - ii. Bidder must submit a list of references of previous projects identifying the location of the work, the dollar value of the work, the owner or agency responsible for the work, and the name and phone number of the contact person as well as the Certification of Qualifications form with the Bid.
- b. Proposed Project Team - identify a project manager and full-time onsite construction supervisor (can be the same person), with qualifications. The individuals proposed must be utilized for the duration of this project unless an alternate is approved in writing by the Village.

Similar Project Experience

- i. Bidder must provide detailed information regarding three (3) similar projects performed by the submitting firm within the last five (5) years.*
- ii. Bidder must submit a list of references of previous projects identifying the location of the work, dollar value of the work, name and phone number of the contact person as well as the Certification of Qualifications form with the bid.*



HARVARD STREET, YORK STREET AND BRUSH HILL ROAD IMPROVEMENTS

OWNER: ELMHURST MEMORIAL HEALTHCARE/HAMMES COMPANY

V3 SERVICES & PROJECT SCOPE

- Traffic Control and Maintenance
- Pavement Demolition
- Excavation and Grading
- Underground Utility Installation and Reconstruction (storm sewer, watermain, sanitary sewer, underground cable ducts)
- Full Depth Pavement Construction
- Traffic Signal Installation
- Street Light Installation and Restoration

PROJECT DETAILS

- Location: Elmhurst, Illinois
- Final Contract Amount: \$2,982,737
- Governing Agency: City of Elmhurst
- Contact: Mr. Kent Johnson, P.E. Engineer 630-530-3020



- The Harvard Street, York Street and Brush Hill Road Improvements project consisted of the reconstruction of an existing residential neighborhood street (Harvard Street), the widening of an existing four lane arterial roadway (York Street) and the reconstruction of a frontage roadway for Illinois Rte 56 (Brush Hill Road)
- In all, 2,300 linear feet of roadway was reconstructed and 1,000 linear feet of roadway widening was performed. Also included with these improvements was the construction of 4.67 acres of parking lots within the existing residential neighborhood
- A detailed phasing plan was developed and implemented by V3 Construction in order to accommodate access for neighborhood residents as well as hospital construction
- V3 served as the prime contractor for this project and self performed traffic control management, demolition, excavation and grading, aggregate base installation, erosion control management and maintenance and restoration
- These improvements were constructed as part of the development of the new Elmhurst Memorial Healthcare complex.



MAPLE & CARPENTER STREET STORM REPLACEMENT

OWNER: VILLAGE OF DOWNERS GROVE

V3 SERVICES

- Construction Management
- Design/Build Services

PROJECT DETAILS

- Location: Downers Grove, Illinois
- Final Contract Amount: \$935,261
- Governing Agency: N/A
- Contact: Mr. Jim Tock Staff
Engineer 630-434-5460



- This project consisted of storm sewer replacements along Maple Street and Carpenter Street as well as structure installation for stabilization and dredging of St. Joseph Creek

- The roadway storm sewer improvements were installed to minimize flooding of the local areas.

- The St. Joseph Creek work included the fabrication and installation of a custom storm structure at the outfall of an eleven foot diameter storm pipe. This structure was fabricated to serve the purpose of capturing storm water and providing an outflow to the creek, as well as to improve safety to the adjacent homeowners and residents. The new structure includes a sump area to facilitate removal of accumulated sediment, ease of access for maintenance equipment, and slope stabilization to minimize sediment flowing into the creek.

- V3 served as the design/build contractor for this project. In order to provide for the most effective project, an extensive alternatives analysis was conducted. Through this process it was determined to shift the location of the outlet structure thereby eliminating the need for a 10' x 7' box culvert with all associated shoring, sheeting, and bracing as well as potential utility conflicts

- In addition to a significant cost savings, this solution provided for a more effective means of sediment removal as well as provides for a simpler approach for future work along St. Joseph Creek.





INDIAN TRAIL ROAD/FELTON ROAD IMPROVEMENTS

OWNER: CITY OF AURORA/KENSINGTON HOMES

V3 SERVICES & PROJECT SCOPE

- Traffic Control & Maintenance
- Traffic Signal Installation
- Pavement Demolition,
- Detention Basin Excavation
- Roadway Grading
- Stream Realignment
- Box Culvert Installation
- Underground Utility Installation (watermain, sanitary sewer and storm sewer)
- Dry Utility Relocations (gas, electric, phone and tv cable)
- Full Depth Pavement Construction
- Street Light Installation
- Irrigation Installation & Landscaping



- V3 served as the Construction Manager for the Indian Trail Road/Felton Road Improvements project which consisted of the reconstruction of an existing residential neighborhood street (Felton Road) as well as the construction of a new four lane arterial roadway (Indian Trail Road). In all, 4,200 linear feet of roadway was reconstructed and 3,700 linear feet of new roadway was built
- A detailed phasing plan was developed and implemented by V3 Construction in order to accommodate access for neighborhood residents
- V3 self performed traffic control management, demolition, detention basin excavation, roadway grading, stream realignment, aggregate base installation and erosion control management and maintenance
- These improvements were constructed in conjunction with the development of the Stonegate West subdivision in Aurora

PROJECT DETAILS

- Location: Aurora, Illinois
- Final Contract Amount: \$5,202,088
- Governing Agency: City of Aurora
- Contact: Mr. Steve Adhras
Assistant City Engineer
630-256-3200



MORTON ARBORETUM SITE IMPROVEMENTS

OWNER: MORTON ARBORETUM

V3 SERVICES & PROJECT SCOPE

- General Contracting
- Earthwork & Grading
- Traffic Control
- pavement demolition
- Mass Grading
- Underground Utility Installation (storm sewer, watermain and sanitary sewer)
- Asphalt Pavement construction
- Concrete curb and gutter
- Decorative Concrete Flatwork
- Permeable Aggregate base course construction
- Permeable Brick Paver Installation and Parking Lot Lighting Installation.



PROJECT DETAILS

- Location: Lisle, Illinois
- Final Contract Amount: \$3,995,100
- Governing Agency: N/A
- Contact: Mr. Kris Bachtell
Vice President 630-968-0074



- The Morton Arboretum Site Improvements project consisted of the reconstruction of 4,500 linear feet of existing local access roads within the Arboretum's grounds as well as the construction of a 22,000 square yard permeable brick paver parking lot for the new Visitor's Center
- 100,000 cubic yards of excavation was performed for roadway and parking lot construction as well as for stormwater detention.
- These improvements were all performed while the facility was open to the public.
- An important factor that was learned as a part of this project was the importance of the proper planning and staging of the permeable base construction to ensure no contamination of the permeable base course would occur
- Also, like many other projects, a detailed phasing plan was developed and implemented by V3 Construction in order to accommodate access for the visitors to the Arboretum.
- V3 served as the prime contractor for this project and self performed traffic control management, demolition, excavation and grading and permeable aggregate base installation.



**ADDITIONAL PROJECT EXPERIENCE
V3 CONSTRUCTION GROUP, LTD.**

Reference Information - 2009-2011 Projects	CONTRACT	OWNER	CITY	CONTACT	PHONE
Orland Park Basin Restoration	\$ 51,350.00	Village of Orland Park	Orland Park, IL 60462	Mr. Ed Wilmes	708-403-6350
DuPage County on-call Restoration	\$ 75,000.00	DuPage County Illinois	Wheaton, IL 60187	Mr. Greg Phillips	630-407-6679
Navistar Restoration	\$ 23,150.00	Navistar	Lisle, IL 60532	Mr. William Jerpe	630-753-3014
Braidwood Dunes Central Restoration	\$ 153,817.00	Forest Preserve District of Will County	Joliet, IL 60443	Mr. Floyd Catchpole	815-727-8700
Centerpoint Intermodal Restoration	\$ 900,000.00	Centerpoint Properties	Oak Brook, IL 60523	Mr. Brian Sheehan	630-586-8000
Messenger Woods	\$ 1,592,932.00	CorLands	Chicago, IL 60602	Mr. Joe Roth	312-863-6275
Blackberry Creek Headwaters	\$ 1,581,362.00	V3 Realty Company	Woodridge, IL 60517	Mr. David Lambert	630-724-1200
Chicago Park District Native Restoration	\$ 524,204.00	Chicago Park District	Chicago, IL 60611	Ms. Zhanna Yermakov	312-742-4122
Chicago Premium Outlets Wetland Restoration	\$ 357,490.00	Chicago Premium Outlets-Simon Property	Aurora, IL 60504	Mr. Mike Jones	630-236-2068
Union Drainage Streambank Stabilization	\$ 285,995.00	Union Drainage District #1	Deerfield, IL 60015	Mr. Ted Anderson	847-295-3322
Hofmann Dam Removal	\$ 102,510.00	US Army Corp of Engineers	Chicago, IL 60606	Ms. Regina Blair	312-846-5371
Alliant Courtyard	\$ 50,800.00	Alliant Credit Union	Chicago, IL 60666	Mr. Brian Kosko	773-462-2213
Cantigny Stream Stabilization	\$ 385,400.00	Cantigny	Wheaton, IL 60189	Mr. Scott Witte	630-260-8179
CDH Fox Valley Medical Center	\$ 1,931,000.00	Central DuPage Hospital	Wheaton, IL 60187	Mr. Charles Rusick	630-614-4902
Harold Hall Quarry Beach	\$ 421,800.00	Batavia Park District	Batavia, IL 60510	Mr. Jim Eby	630-879-5235
Elmhurst Memorial Hospital-Off Site Improvem.	\$ 3,300,000.00	Elmhurst Memorial Hospital	Elmhurst, IL 60126	Mr. Gene Farb	630-833-1400
DuPage River Trail Improvements	\$ 497,500.00	Illinois Department of Transportation	Plainfield, IL	Ms. Mary Ellen Mack	847-705-4465
Naperville Test Track Roadway	\$ 328,000.00	BMW/Infiniti/Mazda	Naperville, IL	Mr. Terry Leo	630-688-5500
River Bend Park Improvements	\$ 601,494.00	St. Charles Park District	St. Charles, IL	Mr. John Wessel	630-513-4373
Decatur Industry & Tech Parking Lot	\$ 270,000.00	City of Decatur	Decatur, IL	Mr. Peter Holmes	248-754-0889
Prairie Lakes Trail	\$ 42,028.00	JCF Real Estate	Schaumburg, IL 60173	Mr. Jason Hinkle	847-348-7800
Regents Pointe	\$ 86,014.00	Great Lakes Bank	Matteson, IL 60406	Mr. Thomas Agler	708-283-5800
Industry & Tech Parking Lot	\$ 276,000.00	Borg Warner, Inc.	Chicago, IL 60604	Mr. Peter Holmes	312-322-8500
Monarch-Sedgebrook Site Improvements	\$ 1,276,200.00	Senior Care Development	Harrison, NY 10528	Mr. Don Priest	203-389-1310
COD Capital Site Improvements	\$ 851,000.00	College of DuPage	Glen Ellyn, IL	Ms. Angela Knoble	630-942-4087
Millard Ravine Restoration	\$ 63,077.00	Park District of Highland Park	Highland Park, IL 60035	Ms. Rebecca Grill	847-579-4087
Barth Pond Shoreline Stabilization	\$ 822,000.00	Downers Grove Park District	Downers Grove, IL 60515	Mr. Todd Reese	630-963-1304
Prairie Lakes Infrastructure	\$ 851,500.00	JCF Real Estate	Schaumburg, IL 60173	Mr. Jason Hinkle	847-348-7800
Saganashkee Slough Embankment Repairs	\$ 200,430.00	Forest Preserve District of Cook County	River Forest, IL 60305	Mr. David Kircher	708-771-1172
Millennium Trail	\$ 1,327,000.00	Lake County Forest Preserve	Grayslake, IL 60030	Mr. Randy Seebach	847-968-3262
Kickapoo Creek Stabilization	\$ 188,650.00	Illinois Department of Natural Resources	Springfield, IL 62702	Beth Whetsell	217-785-5500
Veterans Island Stabilization	\$ 688,110.00	Fox Valley Park District	Aurora, IL 60506	Mr. Michael Erickson	630-897-0516
Elmhurst Levee Repairs	\$ 623,437.00	City of Elmhurst	Elmhurst, IL 60126	Stan Glab	630-530-3018
Goose Lake Dredging	\$ 78,000.00	Village of Lake in the Hills	Lake in the Hills, IL 60156	Fred Mullard	847-960-7505
I&M Canal Trail Restoration	\$ 135,300.00	Illinois Department of Natural Resources	Springfield, IL 62702	Kim Gibson	217-785-5500
Foss Park Drainage Improvements	\$ 675,394.00	East Skokie Drainage District	Lake Bluff, IL	Mr. Ted Anderson	847-295-3322
Mallard Lake Improvements	\$ 2,232,853.00	Forest Preserve Dist. of DuPage County	Wheaton, IL 60189	Ross Hill	630-933-7244
Reach 1 Glenview	\$ 89,956.00	City of West Chicago	West Chicago, IL 60185	Robert E. Flatter	630-293-2200
Kresswood Native Basin	\$ 355,000.00	City of West Chicago	West Chicago, IL 60185	Robert E. Flatter	630-293-2200
Spring Creek Tree Mitigation	\$ 2,471,376.00	Forest Preserve District of Will County	Joliet, IL 60433	Ms. Juli Mason	815-722-5373
Hadley Valley Wetland Restoration	\$ 6,044,036.00	Forest Preserve District of Will County	Joliet, IL 60433	Ms. Juli Mason	815-722-5373

CERTIFICATION OF QUALIFICATIONS

The proposer hereby certifies that he complies with all requirements of SP-2 including at least three (3) contracts of similar nature and scope within the last five (5) years, and has provided detailed supporting information.

Signed by:  (Corporate Seal)

Title: President

Name & Address: V3 Construction Group, Ltd.
(contractor or vendor) 7325 Janes Avenue
Woodridge, IL 60517

Project: GROVE STREET RCONSTRUCTION

Subscribed and sworn to before
me this 25 day of June, 2012

Kathy Jo Fyten



Midwest Brick Pavers Project Experience

Scope of Work for Grove Street Reconstruction:

**Permeable Paver Installation
Chip Base Installation**

Midwest Brick Pavers Proposed Project Team

Project Manager - Joel Elfering

Joel has 23 years experience in managing projects in the brick paving industry.

Construction Supervisor - Craig McKee

Craig has 26 years experience in the brick paving industry. He specializes in permeable applications and has been a Unilock Qualified Installer for 24 years.

MIDWEST

BRICK PAVING INC.

PROJECT REFERENCES

Naper Settlement Storm Management Improvements
Wight Construction, Inc. - Jane Huseman- 630-969-7000
2500 North Frontgate Rd. Darien, Il. 60561
45,000 s.f. of Eco Priora Permeable Pavers
Completion - 9-11.

Green Hills Pulic Library
A.J. Maggio Co.- Kurt Goudy- 847-437-7300
567 W. Algonquin Road Mount Prospect, Il. 60056
25,000 s.f. of Permeable Pavers
Completion 9/11

Good Samaritan Parking Lot Addition
Power Construction & Engineering - Joe Sauskas- 847-214-6350
2360 N. Palmer Dr. Schaumburg, Il. 60173
79,000 s.f. of Permeable Pavers
Completion 11/11

Pokagon Community Building - Dowajiac, MI
Majority Builders, Inc. - Matt Flick - 574-291-2091
62900 U.S. 31 South South Bend, IN. 46614
35,000 sq. ft. of Permeable Pavers
Completion 5/11

Governors State Univeristy - Permeable Parking Lot "B & C"
U.S. Cellular - Chicago White Sox Lot "L"
Rose Paving Co. - John Garcia - 708-430-1100
7300 W. 100th Place Bridgeview, Il 60455
517,000 s.f. of Permeable Pavers
Completion 11/10

Permable Paving Project - Charles City Iowa
Wicks Construction, Inc. Brad Wicks - 563-382-2325
148,000 s.f. of Residential Street Permeable Pavers
Completion 11/10

18557 Stateline Rd., Antioch, Illinois 60002
Telephone (847) 838-6550 Fax (847) 838-6552
Email midwestbrickpaving@msn.com
"We Pave the Way to the Future"

PirTano Construction Project Experience

Scope of Work for Grove Street Reconstruction:

Underground Utilities



NEIGHBORHOOD STREET AND UTILITY REMOVAL PROJECTS

PROJECT NAME	LOCATION	DESCRIPTION	VALUE	OWNER/AGENCY	CONTACT INFORMATION
IDOT Item 137	Village of Carpentersville	Full road Construction w/ new curb sidewalk, pavement & water main w/ new services & new storm sewer	\$5.2M	Village of Carpentersville	Mr. Ed Szydowski 847-551-3480
Eagle Heights	City of Elgin	Full road Construction w/ new curb sidewalk, pavement & water main w/ new services & new storm sewer	\$4.2M	City of Elgin	Mr. Steve Crede 630-724-3200
Carousel Drive Reconstruction	Village of Glenview	Full road Construction w/ new curb sidewalk, pavement & water main w/ new services & new storm sewer	\$1,049,064	Village of Glenview	Mr. Scott Huebner 847-376-0136



SP-2b: V3 Project Team

V3's project team is made up of extremely talented professionals including professional engineers and construction professionals. They are a group that leads V3 into the future with integrity, honesty, dedication to their work and a commitment to maintaining excellent working relationships with all of V3's clients.

V3 prides itself on client service. We keep our clients informed of our progress and we hit deadlines in order to assure our success. In reviewing the needs of this project, we are confident that we have the necessary personnel to achieve the goals and objectives for this project as set forth by the Village of Downers Grove.

V3 PROJECT TEAM

Senior Project Manager

Keith Butkus, P.E.

The Senior Project Manager (PM) will be the primary contact for the Owner. It is this position's responsibility to make sure that the project is fully executed and that all the available resources are utilized when appropriate. Responsibilities will include establishment of all project procedures, costs and schedule. During construction, the PM will be responsible for the management of all construction activities and team personnel as well as administration of the project.

Keith has managed civil construction projects for 20 years, including three of the projects listed as part of this qualifications package. In addition to these projects, he has also managed another substantial permeable paver project that was constructed as part of the Elfstrom Stadium Improvements for Kane County. Keith is a licensed Professional Engineer in the State of Illinois.

Field Operations Director

Andy Graf

The Field Operations Director responsibilities include the overall resource allocation (i.e. equipment and labor) for the earthwork operations as well as the monitoring and adjustment of field production related to all self-performed work. This also includes assisting the project management staff in the coordination and scheduling of all subcontracted work.

Andy has supervised civil construction projects for 20 years. He has expertise in both roadway construction and ecological restoration projects. He is well versed in the construction of permeable pavements, bio-swale construction, as well as traffic control management. Andy is OSHA 40 Hour certified.

Site Foreman

Dan Cikauskas

The Site Foreman will be responsible for directing all self-performed work and assist in the management and direction of each trade. His role will include quality assurance of the work, expediting construction, and managing the overall site logistics to achieve effective and efficient completion of the work. The site foreman will oversee all operations to ensure compliance with all plans, specifications, and procedures.

Dan has supervised excavation and ecological restoration crews for 15 years. He has expertise in both roadway construction and ecological restoration projects, with many roadway and restoration projects to his credit. Dan is OSHA 40 Hour certified.



KEITH BUTKUS, P.E.

SENIOR PROJECT MANAGER

YEARS OF EXPERIENCE:

With V3: 17
Other: 8

EDUCATION:

Bachelor of Science
Civil Engineering
University of Illinois –
Champaign

REGISTRATIONS:

Professional Engineer:
Illinois, 062-053670, 2000

SELECTED CONTINUING EDUCATION:

UNIVERSITY OF
WISCONSIN:
Successful Construction
Management Techniques
and Procedures

Risk Management

IDOT:
Documentation

Pavement Construction

Drainage Structure
Construction

AREAS OF SPECIALIZED SKILL:

Parks and Recreation
Construction

Infrastructure Construction

Mass Earthwork

Mr. Butkus has over 20 years of construction management and contracting experience involving private and public site work and infrastructure construction. He has a background in construction sequencing, scheduling and cost estimating as well as personnel and project management. Mr. Butkus is responsible for the construction management and/or general contracting of various infrastructure projects.

PROJECT EXPERIENCE

Euclid Ave./Harvard St. Reconstruction, Elmhurst, Illinois – Construction Management Project Manager for the reconstruction of two City of Elmhurst residential streets associated with the construction of the Elmhurst Memorial Hospital – York Street Campus. Total construction costs valued at approximately \$2.0 million.

Waubensee Community College Intersection Improvements, Sugar Grove, Illinois – General Contracting Project Manager for the reconstruction of the southern entrance into Waubensee Community College at Illinois Route 47 and Waubensee Drive. Work included self performed roadway demolition, roadway grading, storm sewer installation and aggregate base installation as well as the management of P.C.C. Pavement installation and traffic signal installation with a total construction value of \$700,000.

Morton Arboretum, Lisle, Illinois – General Contracting Superintendent for \$3.9 million sitework construction project including 95,000 cubic yards of self-performed earthwork, 4,500 lineal feet of new roadway, various storm sewer, sanitary sewer and water main improvements and the construction of a 500-stall brick-paver parking lot.

Stonegate West/Indian Trail Road, Aurora, Illinois – Project Manger for a \$9.5 million residential subdivision and roadway extension, of which \$1.2 million was self-performed roadway grading, aggregate placement, and storm sewer.

Brewster Creek Business Park, Bartlett, Illinois – Construction Management Project Manager for a 380-acre stone quarry reclamation with a projected 10 year infrastructure cost of \$50 million.

South Graue Woods, Elmhurst, Illinois – Resident Engineer for \$2.2 million reconstruction of the existing subdivision. Work included the observation and coordination of the installation of new storm sewer, sanitary point repairs, new water main and new pavement including curb and gutter. This project required many field revisions to work around existing utilities and to preserve the existing trees.

Harvard Street, York Street & Brush Hill Road Improvements, Elmhurst, IL – General contracting Project Manager for the reconstruction of 2,300 linear feet of existing Roadway, 1,000 Linear Feet of roadway widening and 4.67 acres of new parking lot construction associated with the construction of the new Elmhurst Memorial Healthcare Complex. Total construction costs valued at approximately \$3M.



KEITH BUTKUS, P.E.
SENIOR PROJECT MANAGER

College of DuPage, Infrastructure and Landscape Improvements Glen Ellyn, IL – Construction Project Manager for approximately \$12M in landscape and hardscape improvements. Work included the planning, scheduling and sequencing of decorative concrete, irrigation, masonry, ornamental fencing, underground utilities, decorative lighting and landscaping all as a part of the 2011-2012 campus wide improvements.

ADDITIONAL PROJECT EXPERIENCE AND REFERENCES AVAILABLE UPON REQUEST



ANDY GRAF

FIELD OPERATIONS DIRECTOR

YEARS OF EXPERIENCE:

With V3: 5
Other: 8

AREAS OF SPECIALIZED

SKILL:

OSHA 10 Hour
CPR Certified
Trained and tested in
Excavations, Confined Space
and Traffic Protection
Competent Person Safety
Training

Mr. Graf has 20 years experience in the construction industry involving both on-site management and overall field operations. His project experience includes roadway construction, trail construction, mass grading, creek restoration, wetland mitigation, and shoreline stabilization. As Field Operations Director he is responsible for the coordination of all field personnel, equipment management, and quality assurance. He also assists in the preparation and submittal of over \$70 million in estimated construction bids annually.

PROJECT EXPERIENCE

Indian Trail Road, Aurora, Illinois – Superintendent for a \$1.2 million residential roadway extension including self-performed roadway grading, aggregate placement, storm sewer, detention basins, and box culvert excavation.

127th Road Improvements, Plainfield, Illinois – Superintendent for the rebuilding of 127th Street from Route 59 to Van Dyke Road. The work consisted of widening the existing road, removal of portions of the existing road, reworking the right-of-way and constructing a detention pond.

Creekside Subdivision, Algonquin, Illinois – Superintendent for this 15-lot subdivision of single-family homes for Pulte Homes, Inc. Scope of work included mass grading building pads, mass and fine grading roadways, excavating, re-spreading, and fine grading of the detention ponds.

Fort Sheridan Forest Preserve, Lake County, Illinois – Field Operations Director for this \$3.4 Million dollar remediation and restoration of 60 acres of land on the former Fort Sheridan Army Base. Scope of work included implementation of the Ft. Sheridan Preserve Remediation and Restoration-Remedial Action Plan-Central Plateau, which dictated the manner in which on-site stock pile material would be handled and placed as fill on the site. A diversion channel was constructed through the middle of the site to handle drainage that had been going to the ravines on the north and south sides of the property.

This also included the stabilization of the ravine on the north side of the property by placing fill and rip rap in the bottom and installing log structures in strategic locations on the slopes.

McDowell Grove Dam Modifications, DuPage County, Illinois – Field Operations Director for this \$1.4 Million dollar dam modification project for DuPage County. Scope of work included by-pass pumping 700 LF of the West Branch DuPage River so that modifications could be made to the existing McDowell Grove Dam and all the sediment behind the dam and within the construction area could be removed. Channel bank loading material was placed in the construction area along with boulders, mushroom caps, root wads and plant vegetation to improve aquatic habitat in the river bed.

Community Park West Phase 2, Glenview, Illinois – Field Operations Director for the construction of this new \$4.4 million sports and park complex for the Glenview Park District. The project included four fully furnished baseball fields with centralized



ANDY GRAF

FIELD OPERATIONS DIRECTOR

decorative concrete plaza with shelter; children's play structures and a dog park with agility equipment. Scope of work included earthwork, detention basins, underground utilities, new roadway and parking lots, site lighting including sports field lighting and irrigation. The baseball fields were graded to very tight tolerances utilizing GPS controlled equipment.

Nouveau Kiskeya, Haiti – Field consultant on 11,500 acre real estate project in underdeveloped area of northwest Haiti. Scope of work included training and supervising local Haitian workers in construction of a 3.5 mile paved road.

West Fork/Lot 16 Bank Stabilization, Glenview, Illinois – Superintendent for earthwork phase of shoreline stabilization on the North Branch of Chicago River including pool and riffle habitat. Scope included soil lifts, rock vane, coir logs, and boulder rock riffles.

Sunset Park Parking Lot- Lake in the Hills, Illinois – Superintendent for \$868,000.00 park improvement for Village of Lake in the Hills. Project scope included underground utilities, mass grading, paved trail, parking lot, and lime stabilization.

Orland Park Crossing (Off-Site), Orland Park, Illinois – Superintendent for road improvements along 143rd Street and LaGrange Road to support a retail development. Scope included road demolition, excavation, aggregate placement, and storm sewer.

Country Lakes Park – Phase 2, Naperville, Illinois – Superintendent for this \$1.3 million park project for the Naperville Park District. Scope of work included construction of a large community playground, concrete plaza with shelter, an athletic field, basketball courts, parking lot with entry drive, asphalt trail, two wooden overlooks, landscaping, sports field lighting, and parking lot lighting.

Commissioners Park, Naperville, Illinois – Superintendent for \$4.6 million project developing an 80-acre park site for Naperville Park District. Scope of work included construction of eleven playing fields, in-line skate rink, detention basins, underground utilities, asphalt path, two parking lots, plaza area with a prefabricated restroom facility, irrigation system, electrical improvements for parking lot lighting and field lighting, site furnishings and complete landscape restoration.

Springbrook Prairie Trail, Naperville, Illinois – Superintendent for \$1.8 million project constructing 8.4 miles of trail for the DuPage County Forest Preserve. Scope of work included installation of three bridges and three boardwalks, construction of a 42-car asphalt parking lot, detention pond and mass planting of trees and shrubs.

Country Lakes Park – Phase 1, Naperville, Illinois – Superintendent for the first phase of \$320,000 park development. Work included mass grading, underground storm utilities, construction of a sled hill, a soccer field, four detention basins and preparation for two future parking lots and entrance roads.



DAN CIKAUSKAS

SUPERINTENDENT

AREAS OF SPECIALIZED SKILL:

OSHA 10 Hour
CPR Certified
Trained and tested in
Excavations, Confined Space
and Traffic Protection
Competent Person Safety
Training

Mr. Cikauskas has 15 years of experience in the construction industry including trail construction, creek restoration, lake restoration, wetland mitigations, subdivision developments, roadways, demolition, and building excavation. He is responsible for the field employees on his projects, interaction with the owner, engineer, and testing services, and coordination of subcontractors.

PROJECT EXPERIENCE

Barth Pond Shoreline & Pathway Improvements, Downers Grove, Illinois – Superintendent for this \$822,000 project for the Downers Grove Park District. Scope of work included removal of the existing sheet pile along the shoreline and installation of 1640 lf of Lannon stone and 390 lf of Coir Blocks for shoreline stabilization. Also included was new asphalt path, concrete path, concrete stairs, seeding restoration and new trees.

Orchard Valley Golf Course Shoreline Stabilization, Aurora, Illinois – Superintendent for the \$740,800 project for Holes 3, 4 & 17 Shoreline Stabilization at the Orchard Valley Golf Course. Scope of work included lannon stone and soil lifts for shoreline stabilization. Reconstruction of a timber retaining wall, golf course restoration of tee boxes, bunker, fairway and rough, irrigation system restoration and asphalt cart path.

Kickapoo Creek Restoration, Cole County, Illinois – Superintendent for this \$188,650 project for the IDNR. Scope of work included 1500 LF of stream stabilization using rip rap as bank stabilization and installing a peak stone toe. Two rock riffles were also installed.

Veterans Island Shoreline Stabilization, Aurora, Illinois – Superintendent for this \$677,400 project for the Fox Valley Park District. Scope of work included placing outcropping stone on concrete footings and placing new granite boulders for stabilization along the shoreline of Veteran Island Park in the Fox River. Also included was installation of permeable pavers, concrete paving, seat walls, new sand beach and landscape restoration of the island.

McDowell Grove Dam Modifications, DuPage County, Illinois – Superintendent for this \$1.4 Million dollar dam modification project for DuPage County. Scope of work included by-pass pumping 700 LF of the West Branch DuPage River so that modifications could be made to the existing McDowell Grove Dam and all the sediment behind the dam and within the construction area could be removed. Channel bank loading material was placed in the construction area along with boulders, mushroom caps, root wads and plant vegetation to improve aquatic habitat in the river bed.

Springbrook Tributary No. 2 Meander Project, Du Page County, Illinois – Superintendent for this \$2.2 million project of restoring approx. 1.2 mile section of Spring Brook Creek to its historic floodplain condition for the Du Page County Forest Preserve. Scope of work included creating a new meandering creek channel. Stabilization methods included lining the new channel with aggregate, installing root wads along the shoreline and wrapping the topsoil along the banks with coir fiber blanket. The old creek channel was filled in as the new channel was constructed. An



DAN CIKAUSKAS SUPERINTENDENT

existing weir at the beginning of the creek project was removed and a new aggregate weir was installed. The restoration was completed with native seeding, wetland plugs and plantings of shrubs and trees.

Salt Creek Greenway Trail, Cook County, Illinois – Superintendent for this \$1.3 million project constructing 9 miles of asphalt trail for the Cook County Forest Preserve. Scope of work included the reconstruction of 6 miles of trail and new construction of 3 miles of trail. New concrete sidewalk and detectable warnings at several locations were done. Also, traffic signal work for crosswalks, installation of 17 new drop gates, new signage, and 13 locations of new crosswalk striping.

Hadley Valley West Wetland Mitigation, New Lenox Township, Illinois – Superintendent for excavation portion of \$2.9 million wetland mitigation associated with I-355 Extension. Scope included creek re-meandering, disabling drain tile, eroded channel embankment protection, weed seed bed stripping, erosion control, and installing boulder rock riffles.

Oak Bluff Estates, Lemont, Illinois – Superintendent for this \$708,000 subdivision development for Zeme, LLC. Scope of work included mass grading, construction of two ponds, handling sewer soils, grading of 20 lots, and construction of roadways.

Fulton Street Parking Deck, Elgin, Illinois – Superintendent for this \$608,000 project doing the site work for a new 4 story parking deck for Shales McNutt Construction. Scope of work included demolition of existing building and parking lots; mass grading, footing excavation and backfill for the parking garage facility; and grading for adjacent ramps, parking lot, and Fulton Street reconstruction.

Blackberry Creek Headwaters Wetland Mitigation Bank, Campton Township, Illinois – Superintendent for \$230,000 excavation scope of 98 acre wetland mitigation. Scope of work included disabling drain tile, installing level spreaders, installing in-line water control structures, storm sewer improvements, and berm construction.

Willow Lake Restoration, Lake in the Hills, Illinois – Superintendent for \$320,000 lake restoration for the Village of Lake in the Hills Public Works. Scope of work included dewatering, lake excavation, utility improvements, and erosion control. Project was awarded National 2007 American Public Works Project of Year for Environmental Projects under \$2,000,000.

Special Events Parking Lot & Roadway, Lisle, Illinois – Superintendent for \$690,000 project for Morton Arboretum. Scope included 1.1 acre parking lot demolition and new construction, roadway construction, 14,500 CY roadway embankment, and storm sewer improvements.

River Road Trail, McHenry, Illinois – Superintendent for \$900,000 trail construction project for McHenry County including trail grading, aggregate base course placement, underground utility improvements, and wetland mitigation excavation.

Golf Vista Estates Wetland Mitigation Site Work, Monee, Illinois – Superintendent for this \$347,000 project for MHC Homes. The scope of work included installation of storm sewer, a detention basin and mass grading of the northern portion of the Golf Vista Estates undeveloped property.



Village of Downers Grove Contractor Evaluation

Contractor: V3

Project: Maple & Carpenter Storm Sewer Replacement & St. Joseph Creek Dredging

Primary Contact: Andrew Hubbard Phone: 630-729-6106

Time Period: June 2008 – September 2010

On Schedule (allowing for uncontrollable circumstances) yes no

Provide details if early or late completion: _____

Change Orders (attach information if needed): None

Difficulties / Positives: Contractor performed adequate work. Contractor was responsive and cooperative with Village requests.

Interaction with public:

excellent good average poor

(Attach information on any complaints or compliments)

General Level of Satisfaction with work:

Well Satisfied Satisfied Not Satisfied

Should the Village contract with this vendor in the future? Yes No

Reviewers: Jim Tock

Date: 09/10/10

2012-2016 Capital Project Sheet

Project # **ST-033**

Project Description

Roadway Reconstruction Grove St., Main to Carpenter

Project summary, justification and alignment to Strategic Plan

This project involves the reconstruction of Grove St, from Main to Carpenter. Grove Street is an old brick street, which has been overlaid with asphalt.

Cost Summary	New	Maintenance	Replacement	FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Years	TOTAL
Professional Services				15,000						15,000
Land Acquisition										-
Infrastructure		X		600,000						600,000
Building										-
Machinery/Equipment										-
Other/Miscellaneous										-
TOTAL COST				615,000	-	-	-	-	-	615,000

Funding Source(s)		FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Yrs	TOTAL
220-Capital Improvements Fund	▼	615,000						615,000
	▼							-
	▼							-
	▼							-
TOTAL FUNDING SOURCES		615,000	-	-	-	-	-	615,000

Project status and completed work

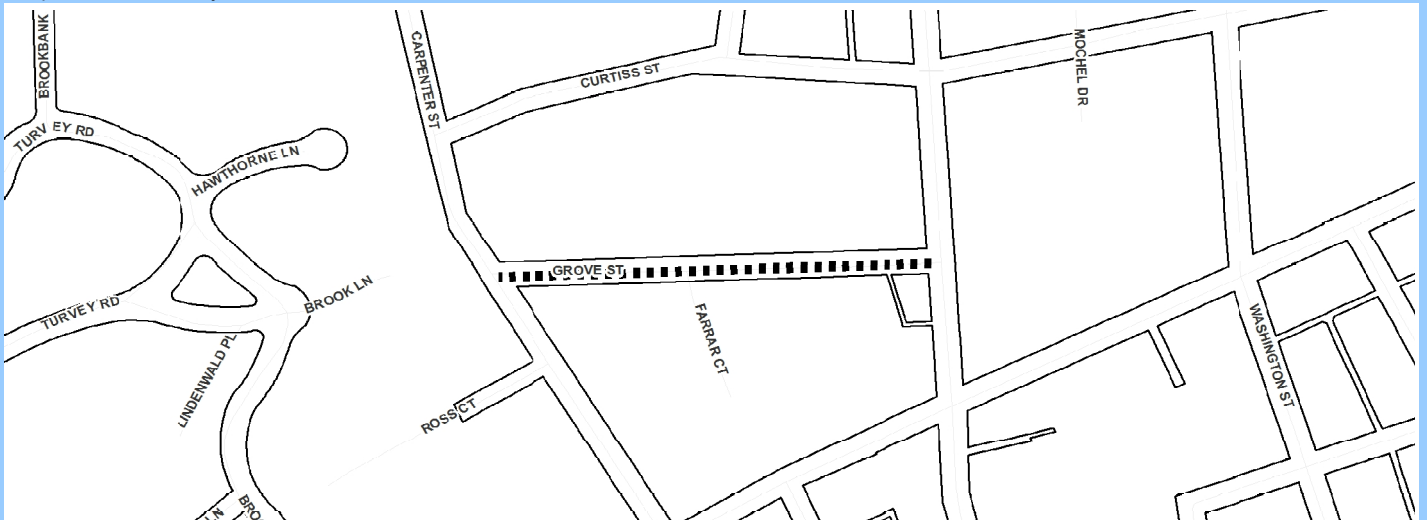
It is anticipated that construction will take place in 2012. Design work commenced by Staff in 2011.

Grants (funded or applied for) related to the project.

Impact-annual operating expenses	FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Yrs	TOTAL
Projected Operating Expense Impact:							-

The reconstruction of these roads will initially reduce current maintenance costs by eliminating the need for emergency patching, extra sweeping and removal of aggregate after snow plow operations.

Map/Pictures of Project



Priority Score B

Project Manager:

Andy Sikich

Program: 342

Department:

Public Works

Project Description

Green Streets/Sustainable Storm Water Program

Project summary, justification and alignment to Strategic Plan

It is the Village's ultimate goal to provide a storm sewer connection within 200' of every property. For many properties, however, such an improvement is many years in the future, as additional detention storage or significant downstream storm sewer improvements are required. This program is a cost-effective and environmentally responsible way to deal with nuisance drainage problems in areas with no drainage system, while helping the Village comply with the pollution prevention/good housekeeping aspects of the federally mandated NPDES requirements for MS4 communities. These improvements will likely include small diameter low-flow piping, on-site bio-retention facilities, rain gardens, etc. It is anticipated that the cost and long-term maintenance responsibilities associated with these improvements would be shared by the property owners, similar to the existing cost-share program.

Cost Summary	New	Maintenance	Replacement	FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Years	TOTAL
				Professional Services				15,000	15,000	15,000
Land Acquisition										-
Infrastructure										-
Building										-
Machinery/Equipment										-
Other/Miscellaneous		X		125,000	100,000	100,000	100,000	100,000		525,000
TOTAL COST				140,000	115,000	115,000	115,000	115,000	-	600,000

Funding Source(s)		FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Years	TOTAL
243-Stormwater Fund	▼	140,000	115,000	115,000	115,000	115,000		600,000
	▼							-
	▼							-
	▼							-
TOTAL FUNDING SOURCES		140,000	115,000	115,000	115,000	115,000	-	600,000

Project status and completed work

In 2011, Staff worked with a consultant to develop the program, creating typical details for the selected solutions, and preparing conceptual cost estimates. A pilot project was designed in-house, and will be constructed in 2012. Future projects would be funded on an annual basis, similar to the cost-share program.

Grants (funded or applied for) related to the project.

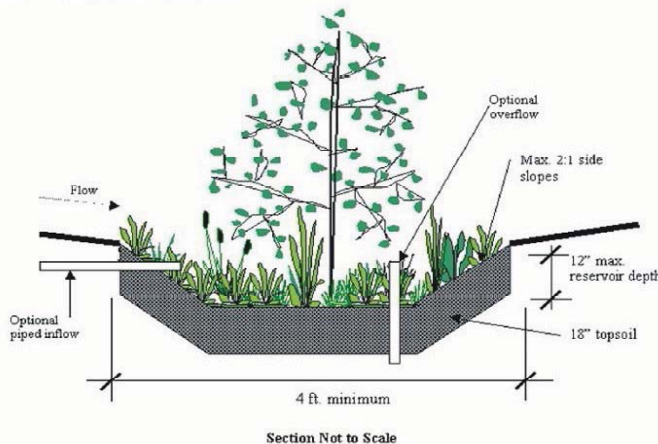
Possible grant funding will be investigated.

Impact-annual operating expenses	FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Yrs	TOTAL
Projected Operating Expense Impact:							-

Operating and maintenance costs unknown until design of each specific improvement is completed. It is estimated that impact will be minimal, as we plan to engage residents to assist with care and maintenance of plantings, etc.

Map/Pictures of Project

Landscape Infiltration



Source: US Environmental Protection Agency

Priority Score **B**

Project Manager: **Andy Sikich**

Program: **347** Department: **Public Works**

2012-2016 Capital Project Sheet

Project # **SW-073**

Project Description **Downtown Water Quality Improvements**

Project summary, justification and alignment to Strategic Plan

The Downtown Business District is nearly all impervious surface (pavement, roof, etc) and drains directly into St. Joseph's Creek. Currently, pollutants, debris and sediment can get carried directly into the stream system, suspended in storm water run-off from this area. It is anticipated that this project would involve the construction of structural Best Management Practices (BMP's) to reduce the discharge of pollutants and suspended solids into St. Joseph Creek, and to facilitate sediment removal. These will also help the Village comply with the federally mandated NPDES requirements for MS4 communities.

Cost Summary	New	Maintenance	Replacement	FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Years	TOTAL
				Professional Services				10,000		
Land Acquisition										-
Infrastructure	X			50,000	50,000	50,000	50,000	50,000	150,000	400,000
Building										-
Machinery/Equipment										-
Other/Miscellaneous										-
TOTAL COST				60,000	50,000	50,000	50,000	50,000	150,000	410,000

Funding Source(s)		FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Yrs	TOTAL
243-Stormwater Fund	▼	60,000	50,000	50,000	50,000	50,000	150,000	410,000
	▼							-
	▼							-
	▼							-
TOTAL FUNDING SOURCES		60,000	50,000	50,000	50,000	50,000	150,000	410,000

Project status and completed work

In 2011, a consultant was hired to develop possible strategies and techniques to introduce structural BMP's into the storm drainage system in the Downtown Business District. These will be constructed over a several year period, or as facilitated by street reconstruction.

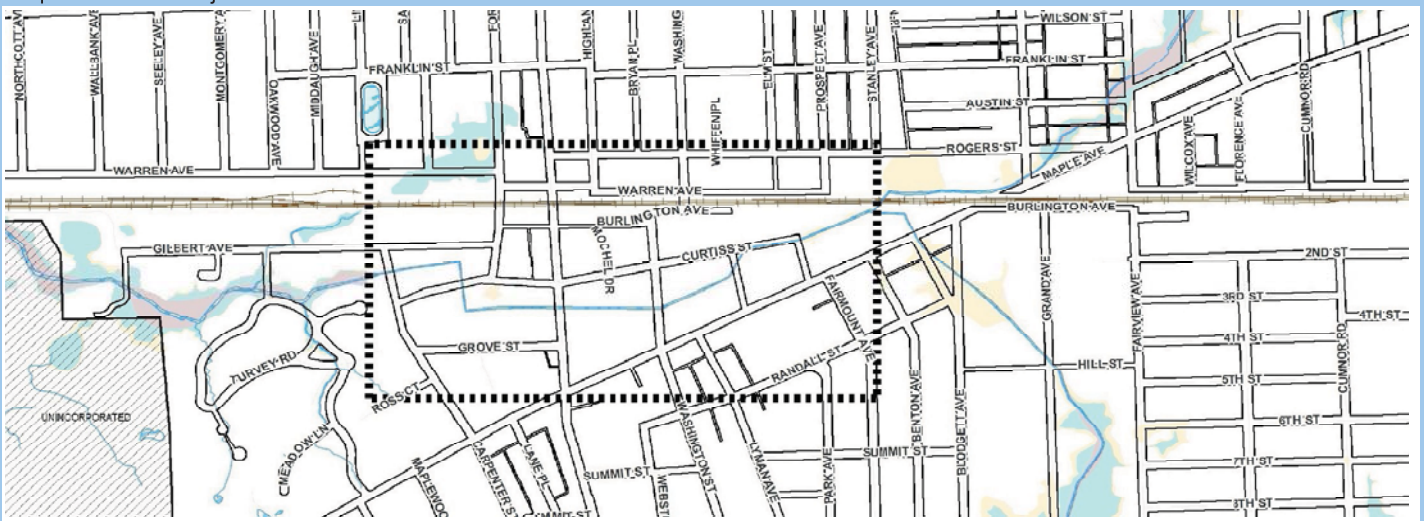
Grants (funded or applied for) related to the project.

Grant opportunities may be available.

Impact-annual operating expenses	FY 2012	FY 2013	FY 2014	FY 2015	FY 2016	Future Yrs	TOTAL
Projected Operating Expense Impact:							-

Impact on the operating budget will be determined after the project is final designed.

Map/Pictures of Project



Priority Score **A**

Project Manager: **Andy Sikich**

Program: **347** Department: **Public Works**