

**VILLAGE OF DOWNERS GROVE**  
**REPORT FOR THE VILLAGE COUNCIL MEETING**  
**MARCH 11, 2014 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
Special Use for a multiple family residence at 715-719 Rogers Street	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">✓</div> <div> Resolution  Ordinance  Motion  Discussion Only </div> </div>	Tom Dabareiner, AICP Community Development Director

**SYNOPSIS**

A special use ordinance has been prepared for a multiple family residence at 715-719 Rogers Street.

**STRATEGIC PLAN ALIGNMENT**

The goals for 2011-2018 include *Strong and Diverse Local Economy*.

**FISCAL IMPACT**

N/A

**RECOMMENDATION**

Approval on the March 18, 2014 active agenda per the Plan Commission's 7-1 positive recommendation. The Plan Commission found that the proposal is an appropriate use for the neighborhood, compatible with the Comprehensive Plan and meets all standards for approval of a Special Use found in Section 28.1902 of the Zoning Ordinance.

**BACKGROUND**

The petitioner proposes to demolish the existing one-story industrial building to construct a six-story (four stories of apartments on top and a two story open air parking structure), 48 unit apartment building at the southeast corner of Rogers Street and Prospect Avenue. Thirty-two units will be one-bedroom units and 16 will be two-bedroom units. Resident vehicular access will be from Prospect Avenue via the restricted lower parking level. Overflow resident and guest parking will be provided on the upper parking level, which is accessible from Rogers Street. The building includes a roof garden, which will occupy the southern portion of the roof over the residential floors.

Compliance with the Zoning Ordinance

Multiple family residential is an allowed Special Use in the DT district per Section 28.611(d)(1) of the Zoning Ordinance. Furthermore, the proposal meets all bulk requirements of the DT zoning district as shown below:

<b>715-719 Rogers Street</b>	<b>Required</b>	<b>Proposed</b>
Front Setback (Rogers St.)	10 ft.	10.08 ft.
Front Setback (Prospect Ave.)	10 ft.	10.08 ft.
Side Setback	5 ft.	5.36 ft.
Rear Setback (Parking Structure)	N/A	5.30 ft.

Rear Setback (Building)	20 ft.	49.77 ft.
Height	60 ft. max.	58.29 ft. (from Prospect Ave. average grade of 720.88 ft.)
FAR	2.5 max. (80,568 sq. ft.)	1.82 (58,546 sq. ft.)
Open Space - Total	N/A	15.8 % (5,096 sq. ft.)
Open Space – Front Yard	N/A	9.6 % (3,102 sq. ft.)
Parking	96 (2 per dwelling unit)	98
Units (calculated)	66 max.	48
Density (calculated)	89 du/ac max.	65 du/ac

The existing 32,227 square foot site consists of two parcels. Should the request be approved, the petitioner will be required to administratively consolidate the two lots.

#### Compliance with the Comprehensive Plan

The proposed multi-family residence is consistent with and meets the goals of the Comprehensive Plan as shown below:

<b>Comprehensive Plan Recommendations</b>	<b>How the Proposal is Consistent with the Comprehensive Plan</b>
New areas for Multi-family Residential uses are to be established based on proximity to the transportation network and to maximize their function as a transitional land use between single-family residential and commercial land uses.	The proposed multi-family development is: <ul style="list-style-type: none"> <li>• Within walking distance of two train stations; and</li> <li>• Serves as a transition between residential uses to the west and north, public/institutional uses to the south and industrial uses to the east.</li> </ul>
Promote residential development of a variety of housing and dwelling unit types and densities.	<ul style="list-style-type: none"> <li>• The proposed higher density housing supports nearby businesses in the downtown business and transition districts. Thus, the proposed density is appropriate given the proximity to the downtown.</li> <li>• The product being proposed may appeal to commuters and others looking to live near the downtown.</li> <li>• Few options currently exist for similar rental units near downtown.</li> </ul>

#### Engineering and Public Improvements

Improvements are proposed to both Prospect Avenue and Rogers Street. The petitioner will install curb and gutter on Prospect Avenue and provide a drop off lane out of traffic. The owner will be responsible for the maintenance of the drop off lane and will be required to enter into a license agreement with the Village for such maintenance. A new sidewalk will be installed along Prospect Avenue and the sidewalk on Rogers Street will be replaced. Both parkways will be restored.

Stormwater management and detention does not currently exist on the site and is not required per the Village's Stormwater and Flood Plain Ordinance. The petitioner, however, will provide a stormwater containment structure to provide a water quality improvement for site discharge, allowing for the capture

of oils and sediments prior to site runoff. Additionally, the proposed roof garden will reduce runoff and function as another stormwater best management practice.

#### Public Safety

Parking levels will be equipped with a dry pipe fire suppression system, while the residential floors will have a traditional wet pipe system. All floors will be equipped with automatic and manual fire alarms. The Fire Department can make use of access points on either Rodgers or Prospect.

#### Plan Commission - Public Hearing Concerns

The Plan Commission considered the petition at their February 3, 2014 meeting. Prior to the meeting, staff received no inquiries about the proposed development. During the meeting one resident expressed concerns about the proposal; another resident voiced support. The concerns raised by both the resident and Commissioners and how they are addressed are outlined below:

#### *Management and Security*

Questions were asked regarding how the development would be maintained and the security measures to be used. The owner indicated that the residents of this development would have access to a 24-hour property management hotline, key fobs would be used to limit access to the building and the lower parking level will have a gated entrance for access by residents only.

#### *Proposed Density*

Commissioners inquired about the density of the development as it compares to the previously approved development on this site. Higher densities are permitted by the Village in the downtown business and downtown transition zoning districts. Additionally, the proposed development's Floor Area Ratio is less than the maximum allowed in the DT zoning district—Floor Area Ratio is a tool used to regulate density.

#### *Traffic*

The Plan Commission raised concerns regarding the impact this development would have on existing traffic patterns in the area. A traffic review submitted at staff's request following the Plan Commission meeting estimates 27 total trips for the proposed development during the morning peak hour and 30 in the evening based on apartment vehicle trip generation rates in the *Trip Generation Manual*, 9<sup>th</sup> Edition, published by the Institute of Transportation Engineers. The review found that approximately 30% of Downers Grove residents near the downtown travel by alternate means, including public transportation. As such, it is anticipated that this development would only generate an additional 19 and 21 vehicle trips during the morning and evening peak hours, respectively. This new traffic is predominantly east-west in orientation along Rogers Street. Finally, the review determined that both Prospect Avenue and Rogers Street have more than sufficient capacity to accommodate the limited additional traffic generated from the proposed development.

#### *Building Design*

Attached is a report regarding the building design.

#### Prior Council Action Related to this Property

On May 6, 2008, the Village Council approved four items related to this property:

- (1) Rezoning of the property from Light Manufacturing (M-1) to Downtown Transition (DT);
- (2) Final Plat of Subdivision;
- (3) Special Use; and,
- (4) Final Planned Development (#50) with a variation to construct 16 townhomes.

The 2008 Final Plat, Special Use and Planned Development approvals lapsed because of the significant time of inactivity related to redevelopment to townhouses. The DT Downtown Transition zoning district remains in place.

**ATTACHMENTS**

Design Summary and Discussion

Location Map

Ordinance

Staff Report with attachments dated February 3, 2014

Draft Minutes of the Plan Commission Hearing dated February 3, 2014

Preliminary Traffic Review prepared by KLOA dated February 13, 2014

Letters from Residents



To: Dave Fieldman, Village Manager  
From: Tom Dabareiner, Community Development Director  
Date: March 7, 2014  
Re: **Design Summary and Discussion for 715-719 Rogers**

At the February 3, 2014 meeting, several Plan Commissioners expressed concern about the massing and character of the building as it relates to the surrounding properties. Related to the standards for approval, these concerns would fall into the “general welfare” category. One commissioner cast a dissenting vote based on the design.

The architect labels the building’s design as Post WWII Modern. Elements of Post WWII Modern include large volumes with minimal detailing. Critics unfavorably refer to this style as “institutional” in character.

As a Post WWII Modern building, it feels massive due to a lack of architectural details on its large, unadorned façades. The massing of the building could be made more interesting if vertical sections of the building were offset from one another to vary the depth of the façade and give the illusion that the façade consists of smaller masses instead of one large flat façade. Similarly, if the balconies projected from the building instead of being inset, the building may not appear as one large mass because the face of the building would have some delineation to break up the large plane of the façade. However, the architect favors the Post WWII Modern style and rejects staffs’ suggestions as incompatible with the defined style. Staff believes that while the defined style may be compromised, these changes could help make it more compatible with the surrounding neighborhood.

With respect to the character of the building, the Downtown Pattern Book also provides suggestions. Buildings located within the Downtown Transition zoning district may consist of some, if not all, of the preferred characteristics outline in the Pattern Book. That document encourages the use of detailing, openings and materials to create visual interest on building facades. The apartment’s use of a single building material and inset balconies on the proposed design do not meet the visually appealing goals found in the Pattern Book. The book’s guidelines also promote prominent entry features. In the proposed design the entrances are articulated through the use of landscaping but not reflected at all in the building design. Additionally, corner lot buildings should incorporate design elements to reflect the prominence of its location. The proposed building does not address the unique location through these design elements as they are contrary to the characteristics of the selected design.

In an established area of predominately residential two-story structures, remaining true to the Post WWII Modern architectural style limits the petitioner’s ability to address issues relating to massing and character. Although the proposed building meets the bulk requirements, this architectural style may not be the most appropriate design for the neighborhood. However, the question is whether it violates the “general welfare” standard, which is a less structured standard than those related to specific setback and height requirements.

Nevertheless, the commissioner with the dissenting vote did not agree that the use was appropriate for the neighborhood. He found that Standard A of the Special Use standards for approval, *the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community* had not been met.



0 25 50  
Feet

## 715-719 Rogers Street - Location Map



**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AUTHORIZING A SPECIAL USE TO PERMIT  
A MULTIPLE FAMILY RESIDENCE  
AT 715-719 ROGERS STREET**

WHEREAS, the following described property, to wit:

**Parcel 1**

THE WEST 80 FEET OF BLOCK 8 IN STANLEY'S ADDITION TO THE TOWN OF DOWNERS GROVE, A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 19, 1883 AS DOCUMENT 31767, IN DUPAGE COUNTY ILLINOIS.

**Parcel 2**

THAT PART OF BLOCK 8 IN STANLEY'S ADDITION TO DOWNERS GROVE IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 19, 1883 AS DOCUMENT 31767, COMMENCING AT THE NORTHEAST CORNER OF SAID BLOCK AND RUNNING THENCE EAST 80 FEET FOR A PLACE OF BEGINNING; THENCE EAST 50 FEET; THENCE SOUTH 248 FEET MORE OR LESS TO WARREN AVENUE; THENCE WEST, ALONG NORTH LINE OF WARREN AVENUE 50 FEET; THENCE NORTH 248 FEET MORE OR LESS TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as: 715-719 Rogers Street (PINs: 09-08-206-001, -002)

(hereinafter referred to as the "Property") is presently zoned "*D-T, Downtown Transition District*" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the Village of Downers Grove approved Ordinance No. 4968 entitled "An Ordinance Amending The Comprehensive Zoning Ordinance of The Village of Downers Grove, Illinois to Designate Rogers Street Redevelopment as Final Planned Development Number 50 with a Variation"; Ordinance No. 4969 entitled "An Ordinance Authorizing a Special Use for Planned Development #50 to Permit Construction of Attached Single Family Dwellings to Exceed One (1) Unit Per 4,000 Square Feet of Land Area in the Downtown Transition District"; and Resolution No. 2008-45 entitled "A Resolution Approving the Final Plat of Subdivision for Rogers Street Redevelopment Subdivision" dated May 6, 2006; and Ordinance No. 5703 entitled "An Ordinance Authorizing the Extension of a Special Use, Final Plat of Subdivision and Final Planned Development for 715-719 Rogers Street to May 6, 2010", dated September 15, 2009; all of which, in relation to the aforementioned described property, are hereby repealed in their entirety; and,

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28-611(d)(1) of the Zoning Ordinance be granted to permit a multiple family residence at 715-719 Rogers Street; and,

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove on February 3, 2014, and said Plan Commission has given the required public notice, has conducted a public

hearing respecting said petition and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the requested Special Use, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. The proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
2. The proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.
3. The proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located.
4. The proposed use is one of the special uses specifically listed for the district in which it is to be located and, if approved with restrictions as set forth in this ordinance, will comply with the provisions of the Downers Grove Zoning Ordinance regulating this Special Use.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

SECTION 1. That a Special Use of the Property is hereby granted to permit a multiple family residence at 715-719 Rogers Street within the DT zoning district.

SECTION 2. This approval is subject to the following conditions:

1. The Special Use shall substantially conform to the staff report, renderings, architecture and landscape plans prepared by Dean M. Pozarzycki, R.A. as revised and dated January 21, 2014, engineering plans and Stormwater Management Report prepared by RWG Engineering, LLC as revised and dated January 8, 2014, except as such plans may be modified to conform to the Village codes and ordinances.
2. The petitioner shall consolidate the two lots into a single lot of record pursuant to Section 20.507 of the Subdivision Ordinance.
3. Interior landscaped beds and stormwater containment structure shall be maintained.
4. The building shall be equipped with an automatic suppression and an automatic and manual fire alarm system.
5. Prior to the issuance of any building or development permits, the petitioner shall pay to the Village a \$500 fee-in-lieu per Village approved parkway tree subject to verification by the Village Forester.
6. The existing small sidewalk that runs north/south shall be relocated to align with the proposed Prospect Avenue sidewalk.

7. Parking shall be prohibited in the drop-off zone on Prospect Avenue.
8. The owner is responsible for maintaining the drop-off zone on Prospect Avenue. Prior to issuance of a Certificate of Occupancy, the owner shall enter into a license agreement with the Village of Downers Grove for the maintenance thereof.

SECTION 3. The above conditions are hereby made part of the terms under which the Special Use is granted. Violation of any or all of such conditions shall be deemed a violation of the Village of Downers Grove Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and or revocation of the Special Use granted herein.

SECTION 4. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

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Mayor

Passed:

Published:

Attest: \_\_\_\_\_

Village Clerk



**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE PLAN COMMISSION  
FEBRUARY 3, 2014 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
PC 50-13 715-719 Rogers Street	Special Use for a Multiple Family Residence	Kelley Chrisse Planner

**REQUEST**

The petitioner is requesting approval of a Special Use to permit the construction of a multiple family residence at 715-719 Rogers Street.

**NOTICE**

The application has been filed in conformance with applicable procedural and public notice requirements.

**GENERAL INFORMATION**

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**OWNER:** 1501 Ogden Associates, LLC  
1501 Ogden Ave.  
Downers Grove, IL 60515

**APPLICANT:** RMG Realty Group, LLC  
17W728 Butterfield Rd, Suite 105  
Oakbrook Terrace, IL 60181

**PROPERTY INFORMATION**

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**EXISTING ZONING:** DT, Downtown Transition District  
**EXISTING LAND USE:** Manufacturing/Industrial  
**PROPERTY SIZE:** 0.74 acres (32,227 square feet)  
**PINS:** 09-08-206-001, -002

**SURROUNDING ZONING AND LAND USES**

	<b>ZONING</b>
<b>NORTH:</b>	R-6, Multiple Family Residential
<b>SOUTH:</b>	DT, Downtown Transition
<b>EAST:</b>	M-1, Light Manufacturing
<b>WEST:</b>	DT, Downtown Transition

**FUTURE LAND USE**  
Single Family Residential  
Institutional/Public/Train  
Low Intensity Office  
Downtown/Mixed Use

**ANALYSIS**

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**SUBMITTALS**

This report is based on the following documents, which are on file with the Department of Community Development:



1. Application/Petition for Public Hearing
2. Project Narrative
3. Boundary and Topographic Survey
4. Architectural Drawings dated January 21, 2014
5. Engineering Drawings dated January 8, 2014
6. Stormwater Management Report dated January 8, 2014
7. Renderings

## **PROJECT DESCRIPTION**

The petitioner is requesting approval of a Special Use to construct a multiple family residence at 715-719 Rogers Street. The property at the southeast corner of Prospect Avenue and Rogers Street is zoned DT, Downtown Transition district. The proposed use is permitted as a Special Use in the DT district.

On May 6, 2008, the current owner received multiple approvals to construct 16 townhomes on the site. The Village Council approved the Rezoning of the property from Light Manufacturing (M-1) to Downtown Transition (DT), a Final Plat of Subdivision, a Special Use and a Final Planned Development (#50) with a variation. The Final Plat of Subdivision, Special Use and Planned Development approvals have lapsed due to inactivity. For clarity in record keeping, the ordinances granting the Special Use (4969), Planned Development #50 (4968) and extension (5073) will be rescinded by the Village Council in conjunction with this petition.

With the rezoning of the subject site in 2008, this property is on the easternmost edge of the DT district. The site backs up to the Burlington Northern Santa Fe railroad and, beyond that, the Downers Grove Village Hall. Residential properties are located to the west and north of the property with many multiple family residential properties in the vicinity. The properties to the east are manufacturing/industrial and the parcel immediately east contains an electrical transformer.

The petitioner is proposing to raze the existing structure and construct a four story, 48-unit apartment building with a roof garden all of which sit on a two story parking structure. Of the 48 total dwelling units proposed, 32 are one bedroom and 16 are two bedroom units. One bedroom apartments will have 700 square feet of floor area, whereas the two bedroom units will have 1,071 square feet of space. Each dwelling unit has a covered balcony ranging from 34 square feet for one bedrooms to 103 square feet in the two bedrooms. Each apartment will have individual mechanical systems. The mechanical equipment used for the common areas will be located in the middle of the flat roof to ensure that screening requirements are met.

Given the proximity to the train stations at Main Street and Fairview Avenue, the proposed development will be marketed to commuters. The product being proposed is upscale rental that will appeal to commuters and others looking to live near the downtown. As such, the units will have high end finishes like hardwood flooring, stainless steel appliances and granite counter tops. Washers and dryers will be provided in each unit and each unit has a balcony. Each residential floor will have a trash chute that will go to an enclosed trash room located in the lower parking level. The roof garden, surrounded by landscape planters, is an additional amenity being proposed.

With a significant grade differential on this site, the petitioner has proposed using the grade difference to create two levels of parking. The lower level of the parking structure will be accessible from Prospect Avenue and restricted to residents through a gated entrance, whereas the grade level parking will be available to visitors and accessible from Rogers Street. Both levels of the parking structure will be "open air" in which natural ventilation will be provided. There will be a total of 98 parking spaces provided, where 96 are required; 48 of which will be assigned parking spaces on the lower level and 50 will be

unassigned parking spaces on the grade level parking. Four of the 98 parking spaces will be accessible for persons with a disability; two on each parking level. To achieve the open air goal in the lower parking level, the petitioner has proposed using large openings that have security grills, similar to that seen on the first floor in the downtown parking garage. A four foot knee wall will extend along the entire perimeter on the upper parking level to screen the parking from pedestrians and adjacent properties. Landscaping along the parking structure is being proposed to provide additional buffering of the parking area.

The main pedestrian entrance will be on the upper parking level. Arriving to the site from Prospect Avenue, pedestrians will be greeted by a large entry stair and ramp flanked by extensive landscaping. Pedestrians arriving to the site on Rogers Street will enter through a landscaped area at grade into the parking level or directly into the north stairwell. Visitors that arrive by vehicle will enter the site through the upper parking level. Once inside the “open air” parking level, pedestrians from either entrance will cross the drive aisle to get to the elevator lobby. The applicant has proposed using brick pavers in the pedestrian areas as a walking surface and/or striping areas of the drive aisle to alert oncoming motorists of pedestrian traffic.

The design of the building is Post WWII Modern with its large volumes and clean detailing. The volumes are mainly delineated by the vertical expression of solids (wall) and voids (balconies and open air parking). The proposed construction of the parking structure is concrete, whereas the apartment building construction will be a combination of steel and concrete. Two options for the façade are being contemplated by the applicant: terra cotta cladding system or utility brick embedded in precast concrete panels. The terra cotta cladding system is the applicant’s preferred building façade but both options are represented in the sample board provided. Both options propose a similar medium brown material with a contrasting charcoal color for the sun shade (baguette), balustrades, and metal fascia above the balconies.

The parking structure occupies the majority of the site, whereas the residential footprint is much smaller. The building is situated such that it becomes a prominent feature at the corner of Prospect Avenue and Rogers Street. The petitioner will be providing extensive landscaping at the pedestrian entrances and additional landscaping around the exterior of the building. Interior landscape beds being proposed are intended to minimize the traditional parking garage experience and provide a greater connection to the outside. In addition to the exterior landscaping and interior landscape beds, the roof garden will also have landscape planters around the perimeter. An irrigation system using recycled rain water is anticipated to be used for both the landscaping on the roof deck and in the interior beds.

#### **COMPLIANCE WITH THE COMPREHENSIVE PLAN**

According to the Future Land Use Plan, the subject property is designated for low intensity office uses although the property is located in the DT district and its current land use is industrial. The Residential Policy Recommendations in the Comprehensive Plan encourage multi-family developments to be located in areas where it can function as a transitional land use. The proposed development meets this goal as it will serve as a transition from residential uses on the west to the industrial uses on the east. The proposed use will also serve as a good transition in the future when the properties to the east convert from industrial to low intensity office uses. The Residential Areas Plan also calls for a diversity of housing types, sizes and prices. This proposal provides high quality rental units near downtown where few options currently exist. Staff believes the proposed use is consistent with the intent of the Comprehensive Plan, will compliment the existing residential development to the north and west and provides a transition to the existing manufacturing uses to the east.

#### **COMPLIANCE WITH THE ZONING ORDINANCE**

The 715-719 Rogers Street property is zoned DT, Downtown Transition. Per Section 28.611(d)(1) of the Zoning Ordinance, multiple family dwellings are permitted as Special Uses. The proposed development



complies with all applicable bulk and parking requirements of the Zoning Ordinance, which are highlighted in the table below:

<b>715-719 Rogers Street</b>	<b>Required</b>	<b>Proposed</b>
Front Setback (Rogers St.)	10 ft.	10.08 ft.
Front Setback (Prospect Ave.)	10 ft.	10.08 ft.
Rear Setback (Parking Structure)	N/A	5.30 ft.
Rear Setback (Building)	20 ft.	49.77 ft.
Height	60 ft.	58.29 ft. (from Prospect Ave. average grade of 720.88 ft.)
FAR	2.5 max. (80,568 sq. ft.)	1.82 (58,546 sq. ft.)
Open Space - Total	N/A	15.8 % (5,096 sq. ft.)
Open Space – Front Yard	N/A	9.6 % (3,102 sq. ft.)
Parking	96 (2 per dwelling unit)	98

The design was reviewed against the Design Guidelines for the Downers Grove Downtown Business District and meets the applicable guidelines. Specifically, the building's design is true to a single architectural style that will provide a distinctive aesthetic, contributing to the character of the neighborhood. The parking area will be screened from pedestrian view with a knee wall and landscaping. Contrasting colors will be used to accentuate architectural details. Additional material detailing being proposed on the walls of the parking levels will add articulation along the pedestrian path. The projection of the sun shades (baguettes) break the plane of the residential floors and create visual interest that is of pedestrian scale.

The existing 32,227 square foot site consists of two parcels. Section 28.1000 (d) of the Zoning Ordinance requires the construction of a principal structure to occur on a single Lot of Record. Should the request for Special Use approval be granted, the petitioner will administratively consolidate the two lots pursuant to Section 20.507 of the Subdivision Ordinance prior to building permit issuance.

## **ENGINEERING/PUBLIC IMPROVEMENTS**

The petitioner is proposing to improve Prospect Avenue by installing a curb and gutter and replacing the existing curb cuts with a new 25 foot wide curb cut into the lower parking level. The petitioner has also proposed a drop off lane on Prospect Avenue near the main entrance to the building. Parking will be prohibited in this drop off lane. An existing curb cut and sidewalk along Rogers will be removed and replaced with a new curb and gutter. A new sidewalk will be installed along Prospect Avenue and the sidewalk along Rogers Street will be replaced. The small north/south sidewalk that currently exists at the corner of Prospect and Rogers shall be relocated to align with the new Prospect Avenue sidewalk.

Both the Prospect Avenue and Rogers Street parkways will be restored. Although the intention is to protect the parkway trees on Rogers Street, if the trees are damaged the petitioner will be charged the assessed value of both trees at the time of building permit issuance. The petitioner will be charged a fee in-lieu of installing new parkway trees in the amount of \$500 per tree. The Village Forrester has reviewed the plans and has determined that two trees will be sufficient for the Prospect Avenue parkway but the removal of trees in the Rogers Street parkway may require additional fees in-lieu plus the appraised value of the trees.

No change is being proposed to the existing overhead electrical lines along Prospect Avenue, but new electrical service will be brought into the building underground. A new six inch water main will be installed and tap into the existing main on Prospect Avenue to provide water service to the development. The Downers Grove Sanitary District approved the request for sanitary sewer service to this development at their December 10, 2013 meeting.

Stormwater currently flows from north to south onto the vacated Warren Avenue corridor and then is drained into a culvert along Prospect Avenue. Stormwater management and detention does not currently exist on the site and with a net increase of 1,072 square feet of new impervious for the proposed development, detention or volume control best management practices (VCBMPs) are not required per the Village's Stormwater and Flood Plain Ordinance. The petitioner, however, is providing a containment structure to provide a water quality improvement for site discharge, allowing for the capture of oils and sediments prior to site runoff. Onsite runoff from the roof and upper parking level will be routed through the aforementioned containment structure to filter the discharge before entering the storm sewer system. Additionally, the proposed roof garden will reduce runoff and act as another stormwater best management practice.

#### **PUBLIC SAFETY REQUIREMENTS**

The Fire Prevention Division of the Fire Department has reviewed the application. Access for the Fire Department will be along Rogers Street and Prospect Avenue. Per the Fire Prevention Division Chief, no entry into the site will be necessary. The parking levels will be equipped with a dry pipe fire suppression system, while the dwelling floors will have a traditional wet pipe system. All floors will be equipped with fire alarms, as required. The building's fire protection system will be reviewed during the building permit process to ensure a proper level of protection.

#### **NEIGHBORHOOD COMMENT**

Notice was provided to all property owners 250 feet or less from the subject property in addition to posting the public hearing sign and publishing a legal notice in the *Downers Grove Suburban Life*. Staff has not received any comments regarding the proposal at this time.

#### **FINDINGS OF FACT**

The applicant is requesting a Special Use approval for a multiple family residence. The proposed use meets the standards for granting a Special Use as outlined below:

##### ***Section 28.1902 Standards for Approval of Special Uses***

*The Village Council may authorize a Special Use by ordinance provided that the proposed Special Use is consistent and in substantial compliance with all Village Council policies and land use plans, including but not limited to the Comprehensive Plan, the Future Land Use Plan and Master Plans and the evidence presented is such as to establish the following:*

- (a) That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*

Redevelopment of this site into a multiple family residence will enhance the character of the neighborhood and eliminate the outdated industrial building that exists on the site today. On the fringe of the DT district, this is an ideal location for this use as it provides a transition from the intended business uses in the Downtown Business district to lower density residential uses and also serves as a buffer for the existing residential uses from the existing light manufacturing uses. The close proximity of this site to the Main Street and Fairview Avenue train stations provides an upscale housing option for

commuters. The proposed development meets many of the goals for residential development as stated in the Comprehensive Plan. This standard is met.

- (b) *That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*

The proposed multiple family residence will not have a negative impact on the health, safety, moral or general welfare of the general vicinity. The proposed use, multiple family residential, is an allowable special use in the DT zoning district. The development will contribute to the general welfare of the community by providing higher density housing that is in close proximity to the downtown to support nearby businesses. With upscale rental as is being proposed, the product will provide a housing option that appeals to younger households and empty nesters, which is a goal of the Comprehensive Plan. As such, this standard is met.

- (c) *That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.*

The petitioner is not requesting any zoning variations. The proposal will meet all requirements of the Village's Zoning Ordinance. This standard is met.

- (d) *That it is one of the Special Uses specifically listed for the district in which it is to be located.*

The proposed multiple family residential use is permitted as a Special Use in the DT district, according to Section 28.611(d)(1) of the Zoning Ordinance. This standard is met.

## RECOMMENDATIONS

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The proposal is consistent and compatible with the Comprehensive Plan, Zoning Ordinance and surrounding zoning and land use classifications. Based on the findings listed above, staff recommends the Plan Commission make a positive recommendation to the Village Council regarding PC 50-13 subject to the following conditions:

1. The Special Use shall substantially conform to the staff report, renderings, architecture and landscape plans prepared by Dean M. Pozarzycki, R.A. as revised and dated January 21, 2014, engineering plans and Stormwater Management Report prepared by RWG Engineering, LLC as revised and dated January 8, 2014, except as such plans may be modified to conform to the Village codes and ordinances.
2. The petitioner shall consolidate the two lots into a single lot of record pursuant to Section 20.507 of the Subdivision Ordinance.
3. Interior landscaped beds shall be maintained.
4. The building shall be equipped with an automatic suppression and an automatic and manual fire alarm system.
5. Prior to the issuance of any building or development permits, the petitioner shall pay to the Village a \$500 fee-in-lieu per Village approved parkway tree subject to verification by the Village Forrester.
6. The existing small sidewalk that runs north/south shall be relocated to align with the proposed Prospect Avenue sidewalk.
7. The drop-off zone on Prospect Avenue shall only be used for temporary parking.

Staff Report Approved By:

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Tom Dabareiner, AICP  
Director of Community Development

TD:kc  
-att

P:\P&CD\PROJECTS\PLAN COMMISSION\2013 PC Petition Files\PC-50-13 715-719 Rogers - Special Use for Multi-Family in DT\Staff  
Report PC-50-13.doc

Narrative Description  
Special Use Petition 719 Rogers Street.  
RMG Realty Group, Petitioner

The petitioner is seeking approval of a Special Use in order to build a 48 dwelling unit multiple family residence on the DT zoned parcel of land located at the southeast corner of Rogers Street and Prospect Avenue. The site is currently improved with an early 20<sup>th</sup> century industrial/warehouse style of building that will be razed in conjunction with the construction and development of the proposed multiple-family apartment building.

The Village previously reviewed a redevelopment project on this site for a 16-unit townhouse planned development, which the Village approved in May 2008. Due to a variety of economic and market conditions the previous plans could not be implemented. The petitioner is requesting that they planned development approval be abrogated by the Village Council and be replaced with the special use which is now being requested.

The DT Downtown Transitional zoning district lists Multiple-family dwellings as an authorized Special Use under Section 28.611 (d)(1). This zoning district has established that the maximum floor area ratio for buildings (exclusive of the floor area devoted to parking structures), is to be 2.5. The minimum floor area for one-bedroom dwellings is to be 500 ft<sup>2</sup> and the minimum floor area for two-bedroom dwellings is to be 620 ft<sup>2</sup>. Yards are to be as follows: front 10 feet; side 5 feet and rear 20 feet, however parking either open or enclosed is permitted within the rear yard area according to Section 28.1100 (e)(1). Additionally, this zoning district has a maximum building height of 60 feet as measured along the average grade of the frontage of the building. Parking is required at the rate of 2 parking spaces per dwelling unit.

The subject property is a 32,227 ft<sup>2</sup> parcel of land. The recorded dimensions of this property are 130.00 feet along the north, 248.00 feet along the east, 130.00 feet along the south and 248.00 feet along the west. It is slightly trapezoidal as the corners are slightly off of 90 degree angles, thus the slight area discrepancy.

The subject property has a noticeable amount of topographic change. Along the Rogers Street frontage of the property the elevations range from approximately 726.45 feet at the northwest corner to approximately 720.28 feet at the northeast corner. Along its Prospect Avenue frontage, the greatest change in grade occurs with a range from an elevation of approximately 726.45 feet to approximately 712.95 feet. To round this issue out, the site has an elevation of approximately 714.09 feet as measured near the southeast corner. No part of the subject property is located within flood plane.

The petitioners RMG Realty Group is petitioning as the contract purchaser of the subject property. RMG Realty is a family owned development company whose principals have a long-term relationship with Downers Grove. Several of the principles of the company have been residents of the Village until relatively recently. Although principles of RMG have been involved for decades in the "large building" commercial real estate business in the employment of other developers, the proposed development is RMG Realty's first new construction building. They have indicated that Downers Grove is an exceptionally attractive community to develop and invest in because of its history of excellent government management and the high quality of development the community has commanded. Investors clearly understand and appreciate that Downers Grove is a sound community for development and investment.

The proposed building is to be constructed as a masonry and steel building. The lower levels will primarily be poured concrete while the upper levels will be a combination of erected steel and concrete. The exterior of the building is proposed to be either a medium warm brown brick or a medium warm brown panelized terra cotta. In addition to the masonry exterior material the building will also include some metal fascia above the apartment deck area and the decks will have vertical metal balustrade guardrails.

The proposed building complies with applicable bulk regulations as follows. With respect to setback, the building is proposed to be sited on the property as follows: front yard along Rogers will range from 11.68 feet at the northwest corner to 10.08 feet at the northeast corner; front yard along Prospect Avenue will be setback 10.08 feet as measured at the northwest corner and will be setback 24.08 feet at the southwest corner; side yard along the east, the parking levels of the building will be setback a distance ranging from 5.36 feet as measured at the northeast corner to 5.38 feet as measured at the southeast corner, while the residential floors will be setback from the east side lot line a distance of approximately 55 feet from the east property line; and the rear yard along the south, the parking levels of the building will be setback a distance ranging from 6.71 feet as measured at the southeast corner to approximately 5.30 feet as measured at the southwest corner, while the residential floors will be setback approximately 55 feet from the south property line.

The height of the building as measured from the average grade along the Rogers Street frontage of the building is to be 54'2- $\frac{1}{4}$ " and the height of the building as measured from the average grade along the Prospect Avenue frontage of the building is to be 58' 3- $\frac{3}{16}$ ".

The floor area ratio of the proposed building is to be 1.82. This is based upon the building having a total floor area of 58,402 ft<sup>2</sup>, which includes all floor space exclusive of the floor area devoted to parking.

The plans for developing the subject property propose that the mostly subgrade lower level and the ground floor be devoted to structured parking facilities, with 49 parking spaces on the lowest level and 50 spaces on the ground floor level. The two lowest floors are proposed to measure 114' 6" from east to west by 231' 2 ½" from north to south. There will be two handicap parking spaces for each of the levels. Access to the upper level will be off of Rogers street towards the east side of the building and access to the lower level will be via gated garage access off of Prospect Avenue near the south side of the building. Resident access to the residential floors will be available at each parking level by means of an elevator as well as by means of two separate stairwells one near the north end of the building and the other near the southwest corner of the building.

Floors 2, 3, 4 and 5 will each have a total of 12 apartment units: four 2-bedroom units and eight 1-bedroom units. The upper residential floors have a footprint area, which is smaller than the two parking levels. The residential floors have a north to south dimension of 187' and an east to west dimension that ranges from 64'6" as measured along the north wall, 74'4" through the midsection of the building and 68'6" as measured along the south. The floor areas of the 1-bedroom units will be 700 ft<sup>2</sup> plus a 34 ft<sup>2</sup> protected deck area (each deck will have walls on three side and will be covered above). The floor areas of the 2-bedroom units are to be 1,071 ft<sup>2</sup> plus a 103 ft<sup>2</sup> protected deck area.

The building will be constructed with a fire suppression system with an alarm system on all floors. The fire suppression system for the two parking levels will be a dry pipe system while the residential levels will have the more typical wet pipe sprinkler system.

The dwelling units are being designed to appeal to higher end clients. In addition to the generally larger floor areas being offered, the amenities of the units are going to be of a high standard. Finishes are to include broadloom carpets in the bedrooms, hardwood and tile floors in the other living area, stainless steel finish appliances and granite counter tops in the kitchens and in-unit washer and driers.

The building will have trash chutes at each floor level with an enclosed trash room at the upper parking level.

The southerly end of the building's roof area will feature a roof deck for the building's residents. The proposed deck will measure approximately 43 feet x 61 feet with an area of 2,771 ft<sup>2</sup>. The roof top deck is bounded by landscape planters along the west, south and easterly sides. The landscaping on the westerly side will have an area of 1,004 ft<sup>2</sup>, and the landscaping on the southerly and easterly side of the deck will have an area of 1,618 ft<sup>2</sup>. The landscaping for the deck has been chosen to several varieties of trees including Skyline Honey Locusts, Sango Karu Japanese Maples, and Sargent Junipers; a variety of different decorative grasses including Autumn Moor Grass and Karl Foerster, which is a feather grass. Plant materials,

the growing medium and ground cover have been chosen to function properly in a rooftop environment.

Grade level landscaping of the site will include a variety of plant materials including sod and Burr Oaks along the east side; sod, Maple Viburnums and English Yews on the south side; sod, Sango Karu Japanese Maples, Skyline Honey Locusts, Sargent Junipers, Common Junipers, Blue Oat Grass, Autumn Moor grass and Karl Foerester feather grass along the west side; and Sango Karu Japanese Maples, Skyline Honey Locust, and Sargent Junipers. There will also be a variety of perennials planted along the north and west sides of the building.

With respect to public improvements, the re-development of the subject property will require that the pavement along the east side of Prospect Avenue to be saw cut and milled in order for curbs and gutters to be installed. Additionally, the petitioner will be responsible to install sidewalks along the entire Prospect frontage of the subject property.

With respect to sanitary sewer service, the Downers Grove Sanitary District's Board of Local Improvements has met on this project and has determined that there is adequate sanitary sewer capacity available.

With respect to domestic water, there is adequate water supply available to this building. As part of the building permit process a determination will be made as to adequacy of the water pressure to serve the upper floors of the building. If necessary a booster pump will be provided to satisfy domestic water flow pressure.

Finally, in conjunction with the special use application, the petitioner has submitted a detailed storm water management plan to the Village, which includes a water quality feature using best management design practices. The petitioner is of the opinion that the storm water management plan is in full compliance with the applicable provisions of the Village's storm water regulations.

#### Conclusion:

The petitioner is requesting approval of a special use petition for a multiple-family residential building, which has been prepared in a manner to the best of the petitioner's ability to be consistent with the requirements of the underlying DT Downtown Transitional zoning district's standards. Care and consideration has been given to the objectives for developments in the general downtown area as such are expressed in the Village Comprehensive Plan. As this development is to be a long-term investment both for the petitioners and for the Village, every effort will be made to develop and construct the proposed building to a high standard and then to maintain it, at a high standards over the buildings lifetime as well.



**Petitioner's Response to Special Use Standards**  
**Special Use Petition 719 Rogers Street.**  
**RMG Realty Group, Petitioner**

*Section 28.1902 Standards for Approval*

*The Village may authorize a special use by ordinance provided that the proposed Special Use is consistent and in substantial compliance with all Village Council policies and land use plans, including but not limited to the Comprehensive Plan, the Future Land Use Plan and Master Plan and the evidence presented is such as to establish the following:*

With respect of the proposal being in compliance with the Village Comprehensive Plan, the site is at the east edge of the Downtown/Mixed Use area. The site's location takes advantage of the pedestrian-friendly environment of the Downtown and future residents of the proposed residences will add to the customer base. Residents of the proposed building will add to the population who are the shopping and dining patrons, they may add to the work force of downtown employment and obviously this development will add to the living opportunities for existing and future Village residents. The construction of the proposed 48 dwelling-unit residential building will bring a significant investment to the Downtown area especially as it will replace a manufacturing building which has now reached its economic obsolescence.

The design of the proposed building and site has attempted to meet the Comprehensive Plan's objective of reinforcing the walkable nature of the Downtown based upon its relative location to the Downtown and as the building is to be sited relatively close to the sidewalk line. Parking for the proposed residences is to be located within or on the parking structure that makes up the lowest two levels of the building. Such location of the parking screens the street view from the parking area that serves the subject building.

Finally, the proposed development concept meets the Comprehensive Plan's objective, which urges that development in and around the Downtown should focus on the Transit-Oriented opportunities that the Downtown location offers. Clearly, the proposed building has been conceived as a railroad-oriented facility, both with its location immediately north of the Burlington Northern tracks and with respect to its convenient location as it relates to the Village's easterly two commuter stations. The Main Street station is the more obvious commuter rail facility for this site being only 1,300 feet from the east end of the platform at Washington Street and the tracks and approximately 2,100 feet from the site to the Main Street Station building. Additionally, the subject site is also within walking distance of the Fairview Station, which is a walking distance of approximately 2,900 feet. Anyone who works in the City and desires to live within a desirable suburban downtown area that is also within walking distance of a train station will find the location of the proposed multiple family development to be most desirable.

*(a) That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*

A housing stock, which offers a variety of living opportunities with a variety of different amenities, is a key land use element for any successful community. Different types of dwellings serve the needs of different residents depending on their work destinations, their age or their stage of life. The proposed facility clearly is oriented to residents who have a need or a desire to live near the Village's Downtown. This living opportunity offers many commercial and service opportunities as well as convenient access excellent transportation opportunities.

The replacement of the current industrial building with a new modern residential building is a very desirable modification to the neighborhood as such an investment will add to the relative value of the neighborhood and may lead to additional redevelopment investment in the future. Investment and improvements tend to spawn similar actions by others.

*(b) That the use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*

The petitioner is of the opinion that the proposed special use when approved and constructed will have no negative effect on the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property value in the vicinity. This determination has been made based upon the following.

First, the proposed use is an authorized use in the underlying DT Downtown Transition District. The zoning on the property was first the result of careful legislative consideration in drafting the rules and regulation of the district. The codification of the DT zoning district clearly took into consideration the unique confluence of the presence of the Burlington Northern railroad tracks, the presence to the west of the Village's Downtown/CBD area and the presence generally to the north and to the immediate west of a mixture of different types of residential uses. The application of the DT zoning specific to the subject site resulted following a public hearing to determine if a rezoning to DT was appropriate. A similar public hearing consideration took place concerning properties to the immediate west of the subject property. The recommendations that resulted from the public hearing were subsequently considered by the Village Council, which implemented the rezoning with the adoption of appropriate ordinances.

Second, the use is consistent with the specific land uses that either abut the site or are present in the surrounding area. The basic variety of residential and industrial uses as well as the presence of a major freight and commuter passenger railroad

line has coexisted essentially since the late 19<sup>th</sup> Century with no apparent negative implications to the health, safety, morals, or to the general welfare of anyone living or working in the immediate area. A simple visual inspection of the area shows the area to be a desirable both to live in and in which to conduct commerce. It appears to be clear that the subject use will no more be injurious to property values than has any similar use that has been established either in the immediate area or in the greater downtown area of the Village.

Third, the redevelopment of the subject site will replace a tired, early 20<sup>th</sup> century industrial building which has come to the end of its economic usefulness, with a modern convenient high quality residential building.

*(c) That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.*

The petitioner has caused to be prepared detailed and specific supportive material including a site plan, landscape plan, building elevation drawings, interior drawings depicting the proposed residential dwellings, plans for the structured parking as well as detailed site engineering plans and studies which have been submitted to the Village along with the application seeking approval for a special use.

The purpose of providing such detailed drawings and documentation is to provide an in-depth evaluation of the suitability of the various elements which make up a development in order to demonstrate to the municipal authority that the proposed development has been prepared in a manner which meets or exceeds all applicable Village of Downers Grove zoning and land use regulations. The petitioner is of the opinion that the plans being submitted in support of the proposed special use petition clearly prove that the requested special use complies with the regulations of the specific zoning district as well as to the applicable general requirements of the Zoning Ordinance.

*(d) That it is one of the special uses specifically listed for the district in which it is to be located.*

According to the provisions of section 28.611(d)(1) Residential, Multiple family dwellings, is listed as an authorized special use in the underlying DT Downtown Transition District. The petitioner is specifically requesting approval of a special use that clearly represents this listed and authorized land use.





WEST (PROSPECT AVE.) ELEVATION





**NORTH (ROGERS ST.) ELEVATION**







RWG ENGINEERING, LLC  
CIVIL ENGINEERING — REAL ESTATE CONSULTING — PROJECT MANAGEMENT  
ILLINOIS PROFESSIONAL DESIGN FIRM #184-006370  
LIMITATION OF WARRANTY OF ENGINEER'S  
INSTRUMENTS OF SERVICE

THE ENGINEER AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	□	■
INLET	○	●
PRECAST FLARED END SECTION	▽	▼
CONCRETE HEADWALL	∩	∩
VALVE VAULT	⊗	⊗
VALVE BOX	⊗	⊗
FIRE HYDRANT	⋈	⋈
BUFFALO BOX	⊙	⊙
CLEANOUT	⊗	⊗
SANITARY SEWER	—▲—	—▲—
FORCE MAIN	—C—	—C—
STORM SEWER	—C—	—C—
WATER MAIN	—...—	—...—
CONSTRUCT WATER MAIN UNDER SEWER		—C—
GRANULAR TRENCH BACKFILL		▨
STREET LIGHT	⋈	⋈
ELECTRICAL CABLE	—E—	—E—
2" CONDUIT ENCASEMENT		▨
ELECTRICAL TRANSFORMER OR PEDESTAL	⊗	⊗
POWER POLE	⋈	⋈
STREET SIGN	⋈	⋈
GAS MAIN	—G—	—G—
TELEPHONE LINE	—T—	—T—
CONTOUR	---749---	---749---
SPOT ELEVATION	X(750.00)	X750.00
WETLANDS	---	---
FLOODWAY	---	---
FLOODPLAIN	---	---
HIGH WATER LEVEL (HWL)	---	---
NORMAL WATER LEVEL (NWL)	---	---
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
SLOPE BANK	→	→
TREE WITH TRUNK SIZE	*6"	*6"
SOIL BORING	⋈	⋈
TOPSOIL PROBE	⋈	⋈
FENCE LINE, WIRE OR SILT	—X—	—X—
FENCE LINE, CHAIN LINK OR IRON	—○—	—○—
FENCE LINE, WOOD OR PLASTIC	—□—	—□—
CONCRETE SIDEWALK	---	---
CURB AND GUTTER	---	---
DEPRESSED CURB	---	---
REVERSE PITCH CURB & GUTTER	---	---
EASEMENT LINE	---	---

ABBREVIATIONS

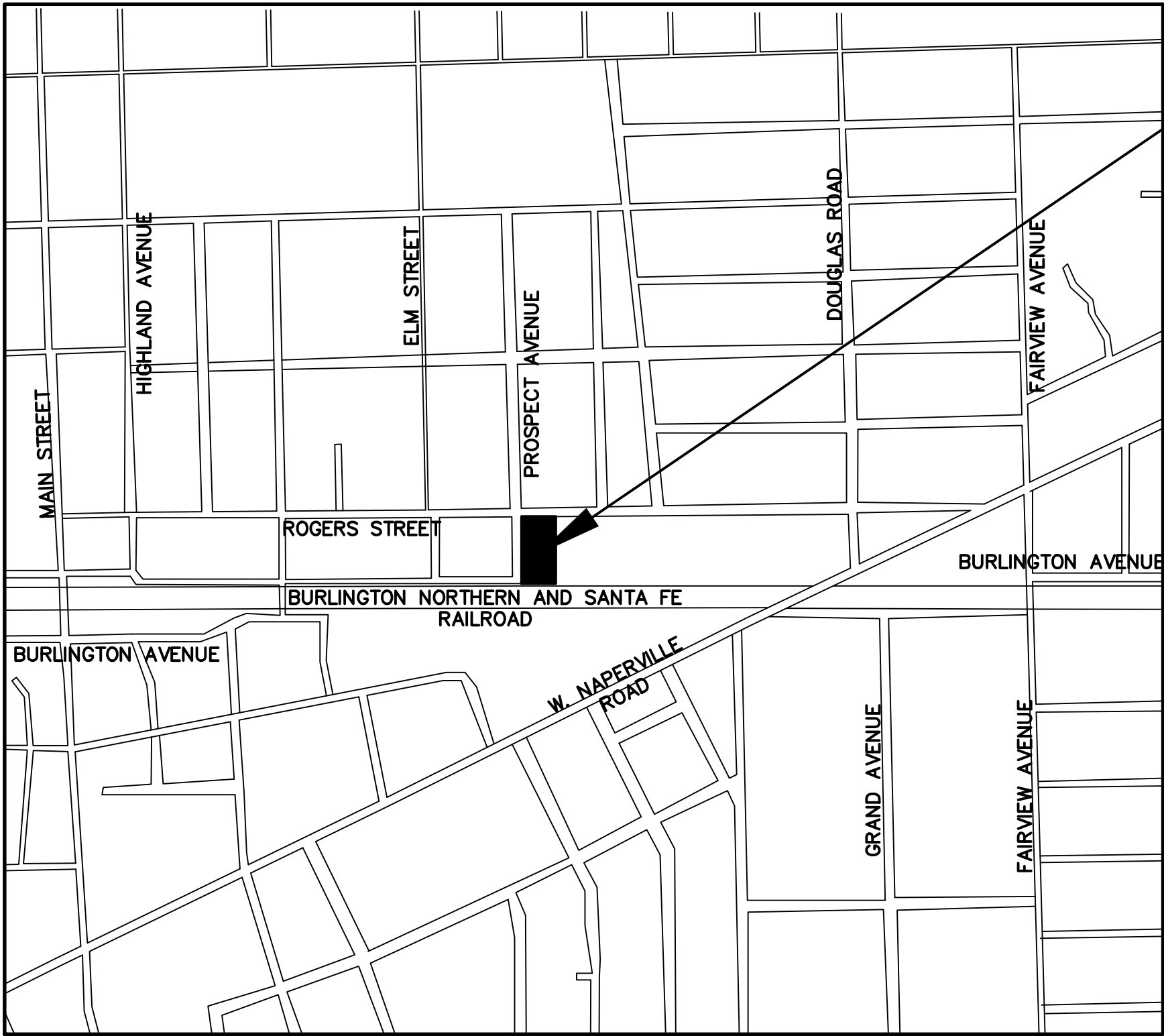
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TW	TOP OF WALL
INV	INVERT	W	WALK/SIDEWALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE



Formerly JULIE 1-800-892-0123

PROPOSED IMPROVEMENTS  
FOR  
719 ROGERS STREET APARTMENTS  
DOWNERS GROVE, ILLINOIS

LOCATION MAP



SITE LOCATION

GENERAL NOTES

- The contractor shall notify the following governmental agencies at least two working days prior to commencement of construction:
  - Village of Downers Grove Engineering and Public Works Department (630)-434-5500
  - Downers Grove Sanitary District (630)-969-0664
- The contractor shall notify all utility companies and arrange for their facilities to be located prior to work in any easement, right-of-way, or suspected utility location. Repair of any damage to existing facilities shall be the responsibility of the contractor. Utility locations shown herein are for graphic illustration only and are not to be relied upon.
- Prior to commencement of any offsite construction, the contractor shall secure written authorization that all offsite easements have been secured, and that permission has been granted to enter onto private property.
- Elevations shown herein reflect NAVD 1988 datum.
- The boundary and topographic survey data for this project is based on a field survey prepared by Webster, McGrath & Ahlberg LTD, dated October 7, 2013. The contractor shall verify existing conditions prior to commencing construction and shall immediately notify the engineer in writing of any differing conditions.
- RWG Engineering, LLC, its employees and agents are not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor, and any other entity performing work at the site. Neither the owner nor the engineer assumes any responsibility for job site safety or for the means, methods or sequences of construction.

PLANS PREPARED FOR

RMG REALTY GROUP

17W728 BUTTERFIELD ROAD, SUITE 105  
OAK BROOK TERRACE, IL 60181  
(847) 778-9626

INDEX OF SHEETS

- TITLE SHEET
- EXISTING CONDITIONS/ DEMOLITION PLAN
- SITE GEOMETRIC AND PAVING PLAN
- SOIL EROSION AND SEDIMENT CONTROL PLAN
- GRADING PLAN
- UTILITY PLAN
- PLAN AND PROFILE — PROSPECT AVENUE
- PROJECT NOTES AND SPECIFICATIONS
- CONSTRUCTION STANDARDS & DETAILS
- CONSTRUCTION STANDARDS & DETAILS

85% PROGRESS  
01/08/2014

BENCHMARKS

SOURCE BENCHMARK:  
DU PAGE COUNTY BENCHMARK 0006; PID DK3312A 305 INCH BRASS DSC SET IN CONCRETE +/- 0.2' ABOVE GRADE AT THE NORTHEAST CORNER OF WASHINGTON STREET AND WARREN AVENUE; STATION IS 57.4' SE OF A POWER POLE, 49.5' E OF A LIGHT POLE AND 79.4' NE OF A FIRE HYDRANT. ELEVATION = 718.78 (NAVD 88)

SITE BENCHMARK:  
CROSS CUT ON SIDEWALK EXTENSION TO ROGERS STREET AT THE SOUTHEAST CORNER OF ROGERS STREET AND PROSPECT AVENUE. ELEVATION = 726.97 (NAVD 1988)

DATE	REVISION	DRAWN BY
1. 01/08/2014	PER VILLAGE REVIEW	JP

719 ROGERS STREET APARTMENTS  
DOWNERS GROVE, ILLINOIS  
TITLE SHEET

RWG Engineering, LLC  
975 E. 22nd Street, Suite 400, Wheaton, IL 60189  
Phone: (630) 774-9501 www.rwg-engineering.com  
Civil Engineering - Real Estate Consulting - Project Management

PROJECT NO. 06803613
DATE 11/15/2015
SCALE NONE
PROJ. MGR. RWG
PROJ. ASSOC. MRM
DRAWN BY JP

SHEET

1 OF 10

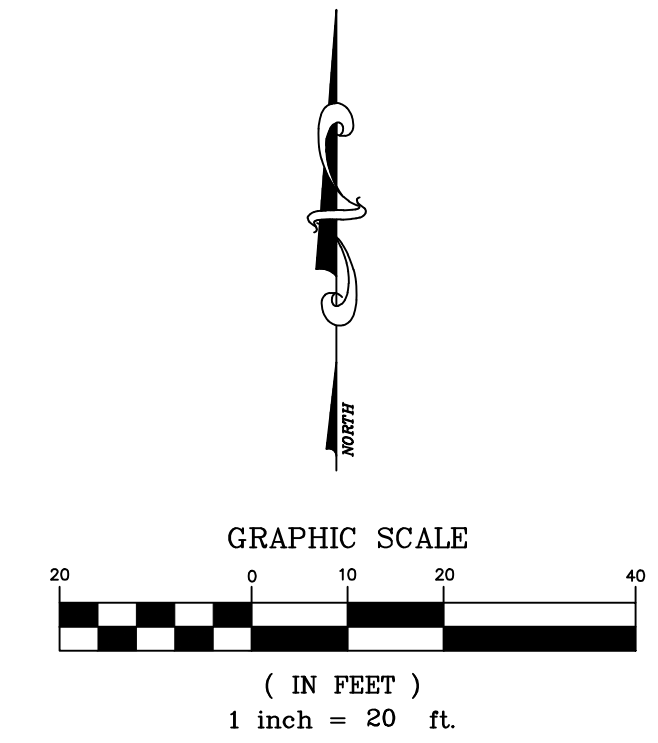
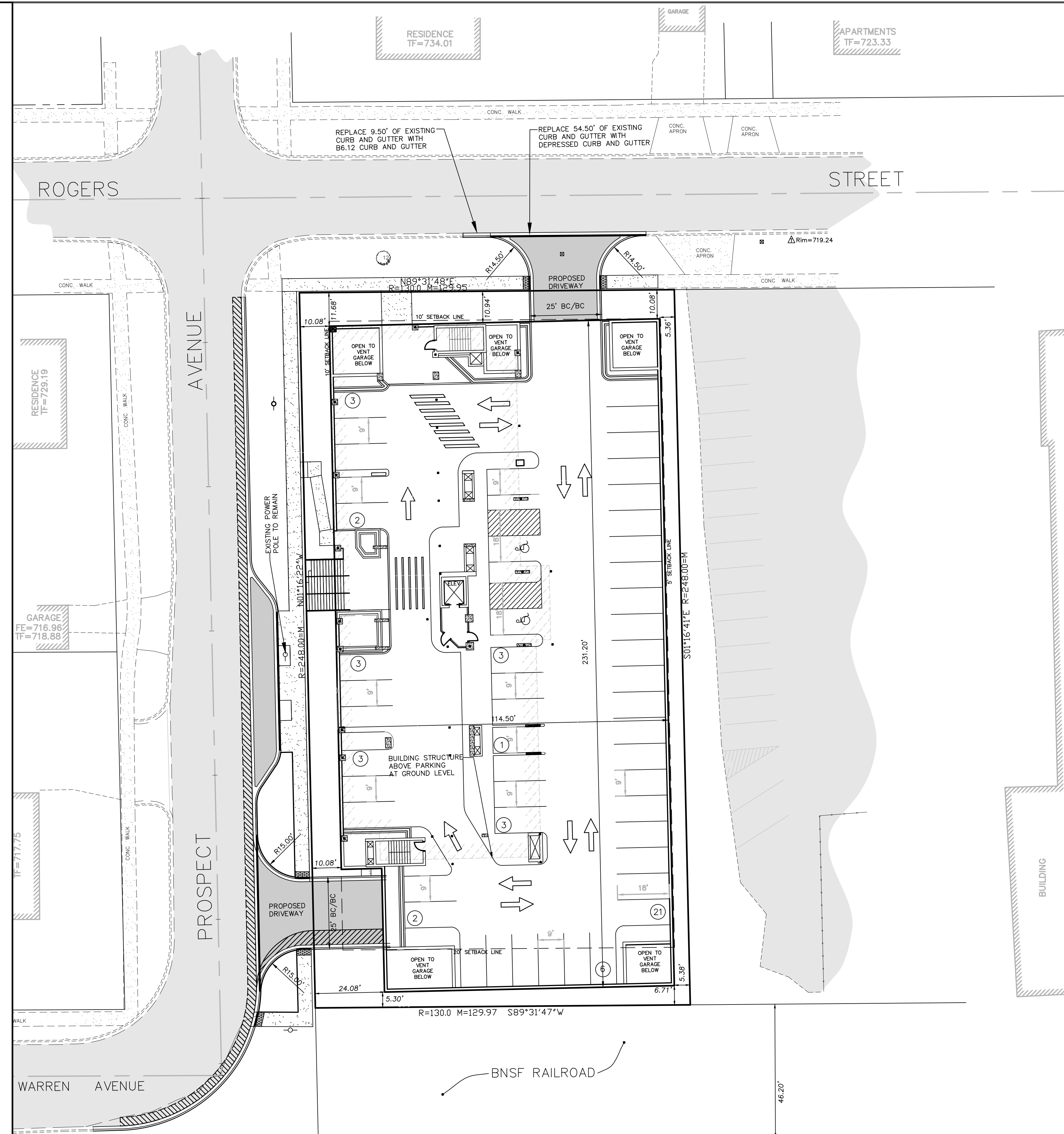
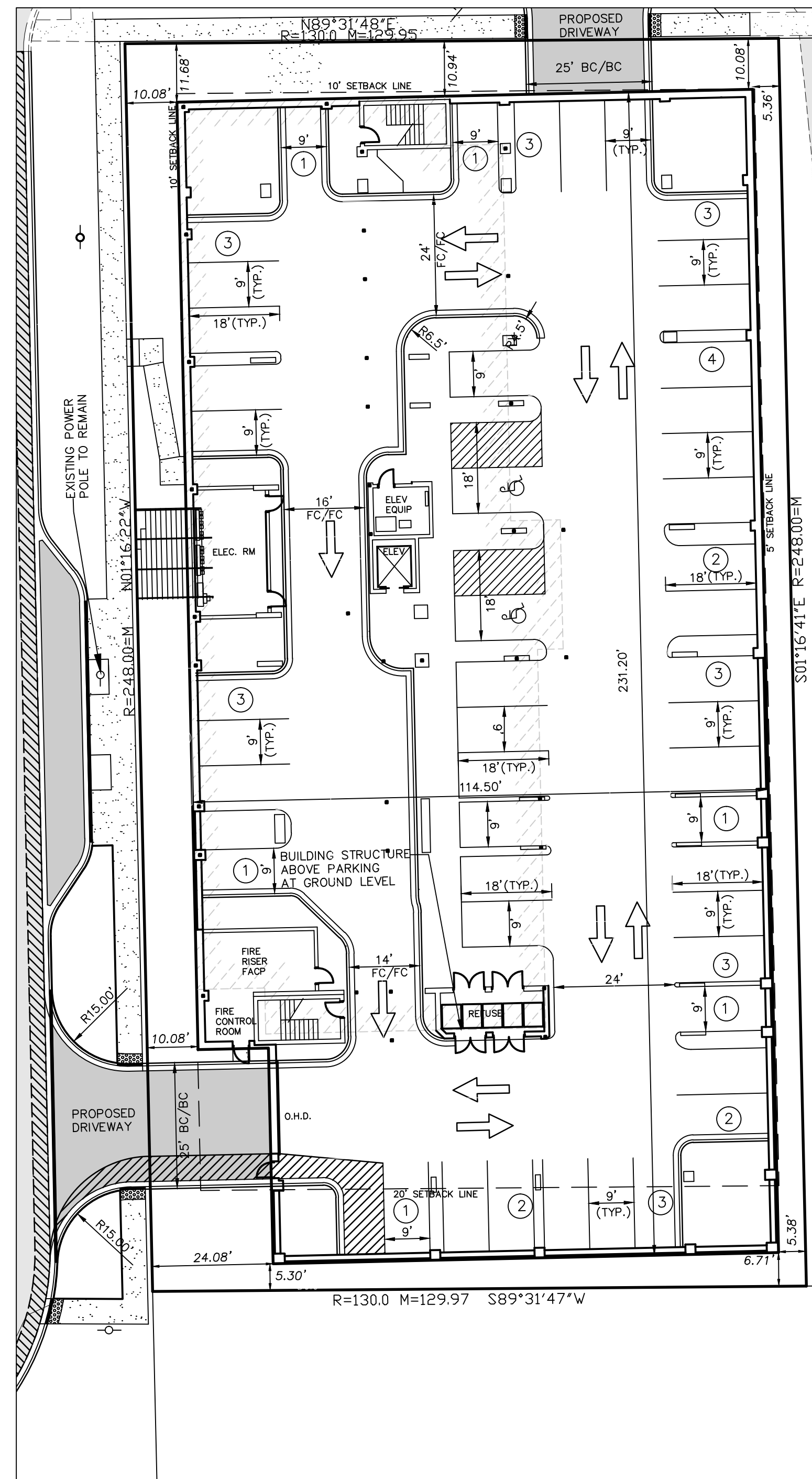
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EXPIRATION DATE: 11/30/15

© COPYRIGHT 2013







SITE DATA:	
LOT SIZE:	0.7398 Ac
HARDSCAPE(SF): (ALL IMPERVIOUS)	0.5899 Ac
LANDSCAPE(SF): (ALL PERVIOUS)	0.1499 Ac
PARKING(REQ+HG+MC=TOTAL):	94+48 = 98

SURFACE IMPROVEMENT LEGEND:

- ASPHALT PAVEMENT**
- 1" HOT-MIX ASPHALT SURFACE COURSE, SUPERPAVE MIX "X", 190, 100  
2" 1/2" HOT-MIX ASPHALT BINDER COURSE, SUPERPAVE MIX "X", 190, 100  
3" HOT-MIX BASE COURSE, SUPERPAVE MIX "X", 190, 100  
0.30 GAL/SY BITUMINOUS PRIME COAT (MC-30)  
12" CRUSHED AGGREGATE BASE COURSE (CA-6) TYPE B
- CONCRETE SIDEWALKS**
- 5" (6" AT DRIVEWAY CROSSINGS) - PCC CONCRETE (SEE SPECS FOR MIXTURES)
- CA - AGGREGATE BASE COURSE, CA-6, TYPE B
- BL12 CURB AND GUTTER (OR 6" MOUNTING CURB)
- REVERSE PITCH CURB-OUT FLARE (OR PITCH-OUT MOUNTING CURB)
- DEPRESSED CURB
- ADA CURB RAMP WITH DETECTABLE WARNING  
(EX. REPLACE RED POLYMER COMPOSITE PLATES)
- FLA CURB AND GUTTER (OR 6" MOUNTING CURB)

SITE GEOMETRIC AND PAVING NOTES:

- [illegible]

**7119 ROGERS STREET APARTMENTS**  
DOWNERS GROVE, ILLINOIS  
SITE GEOMETRIC AND PAVING PLAN

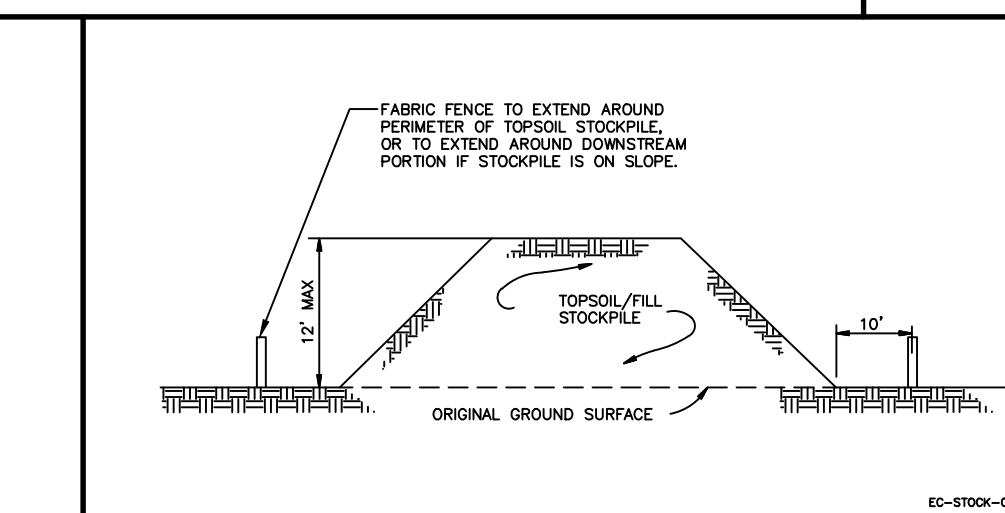
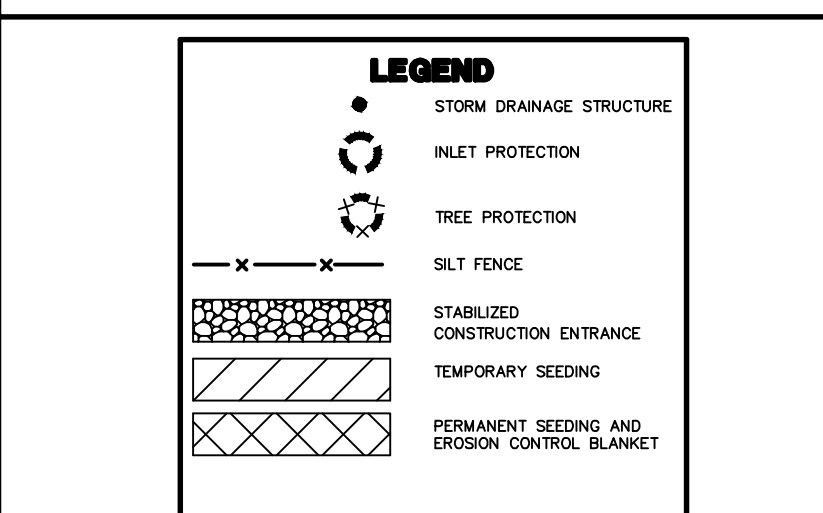
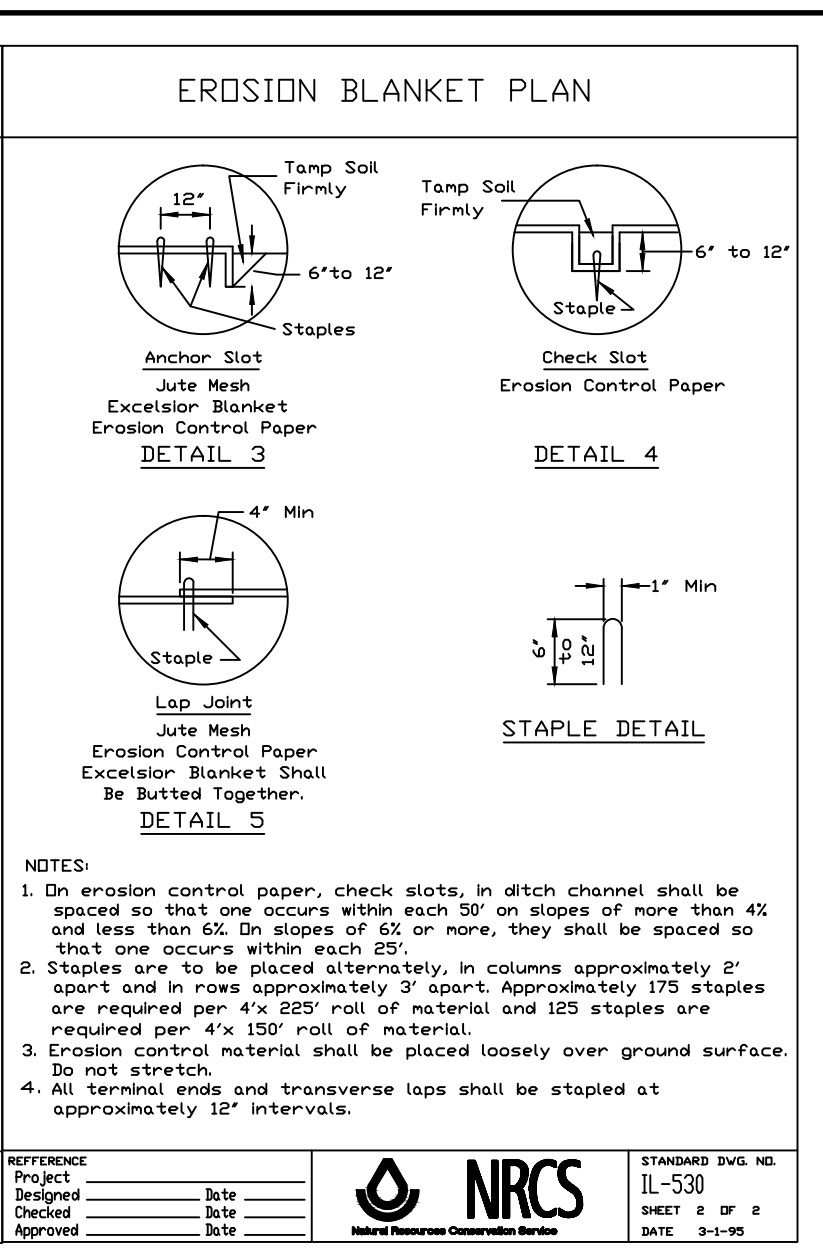
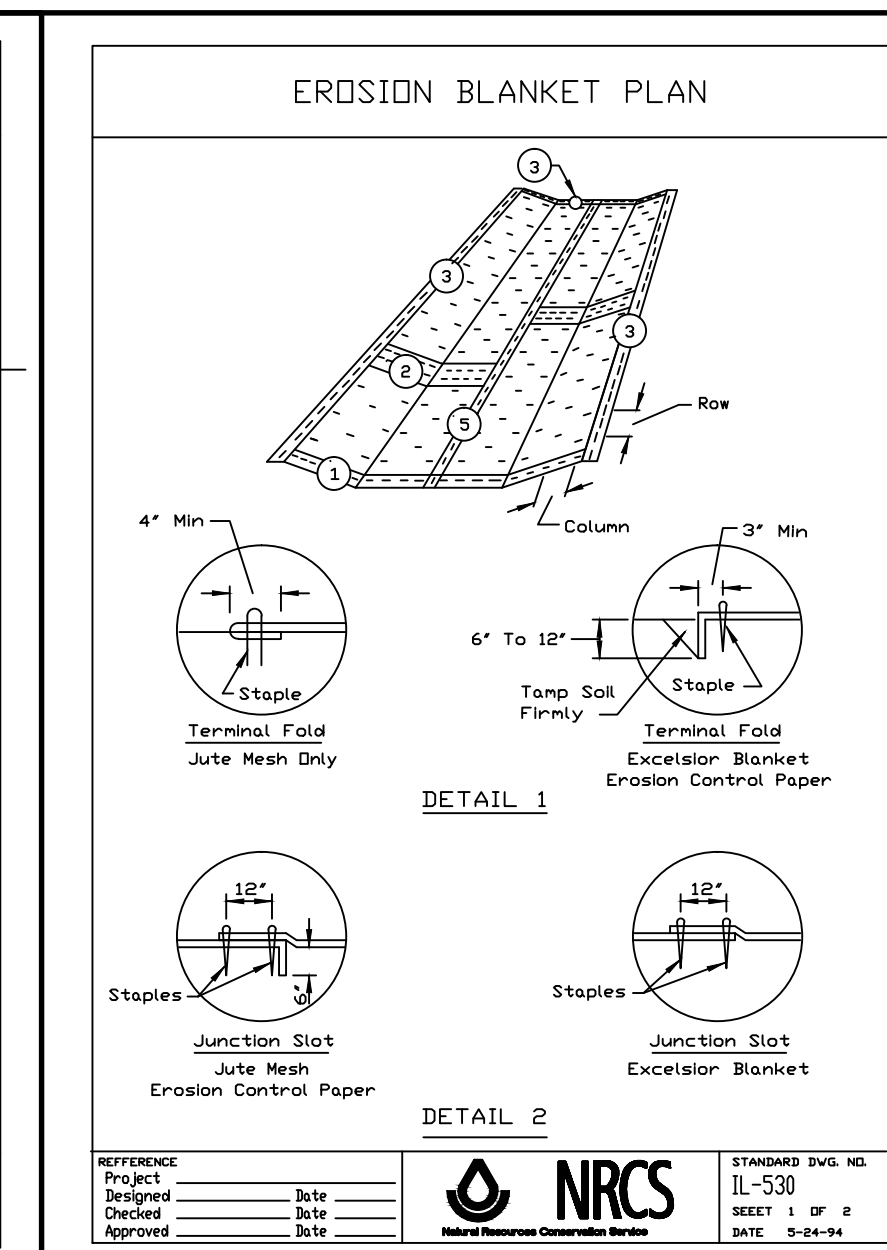
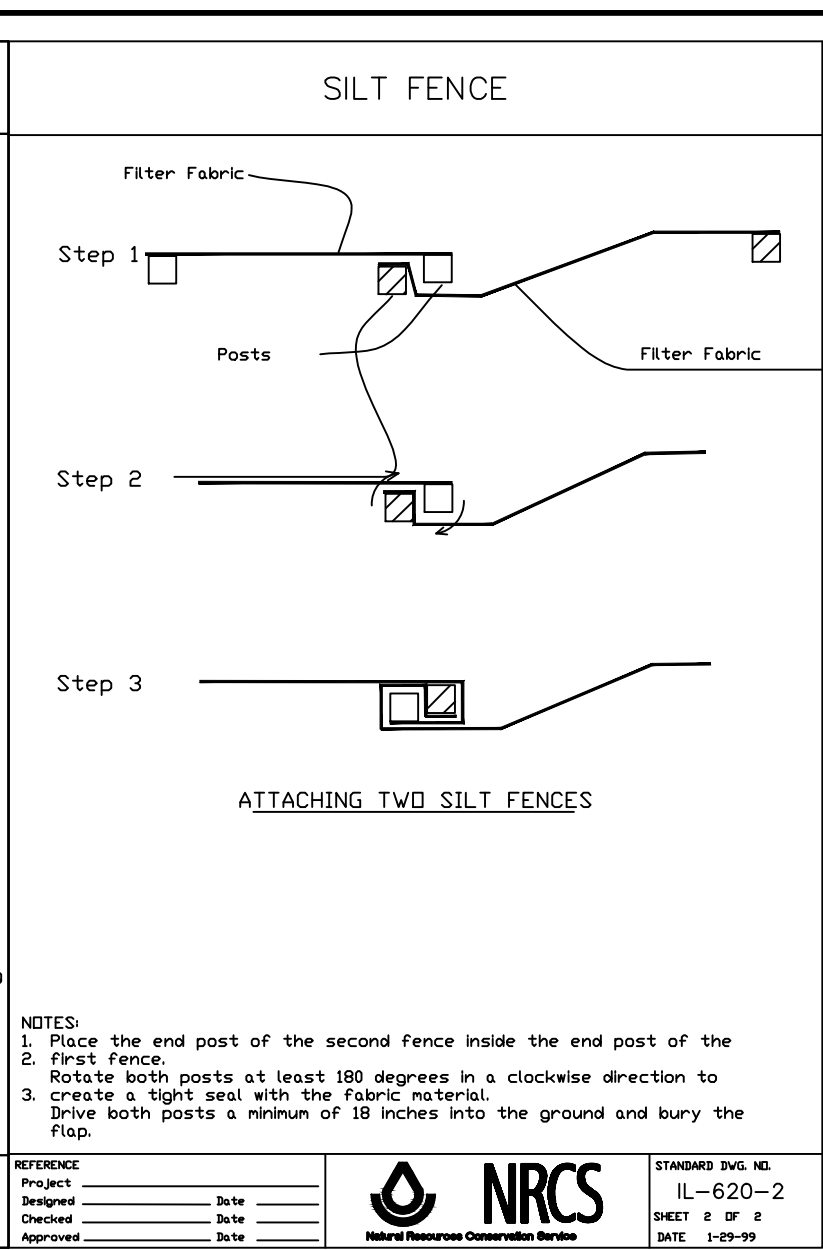
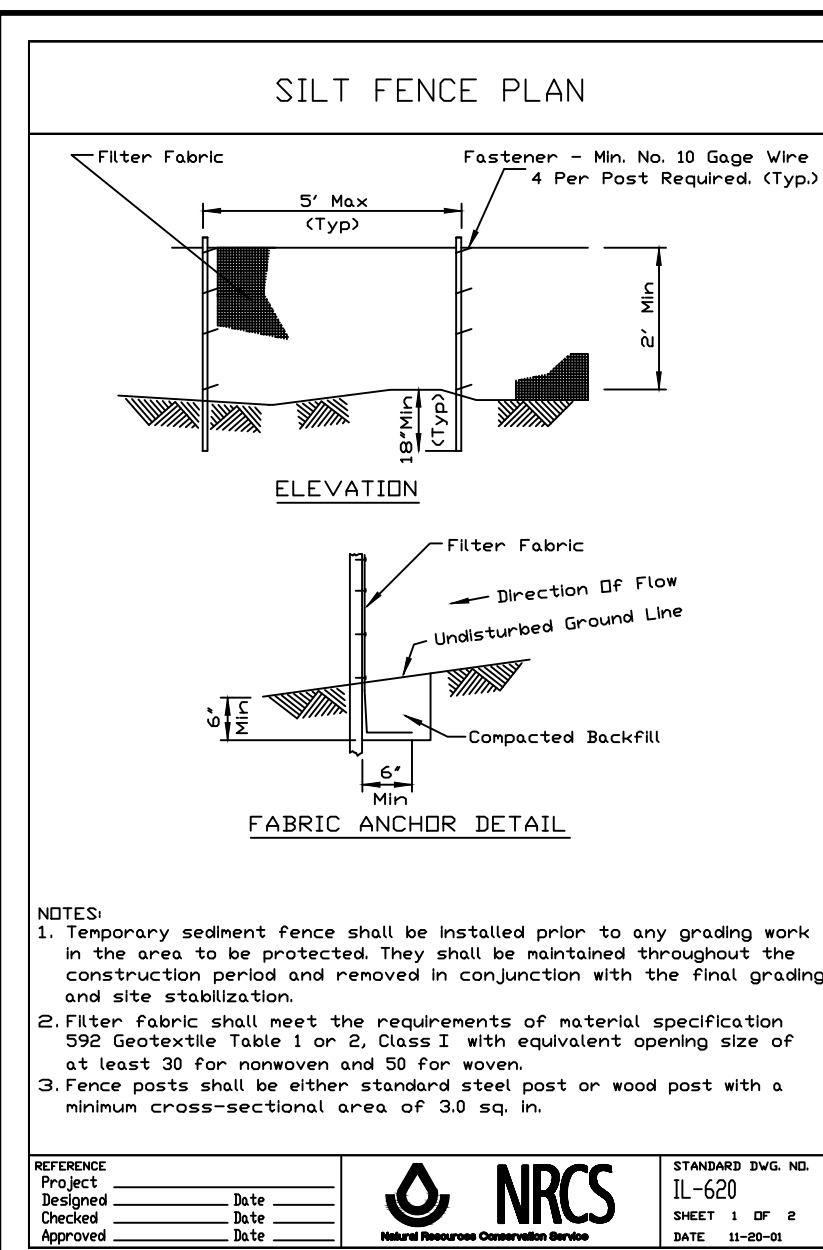
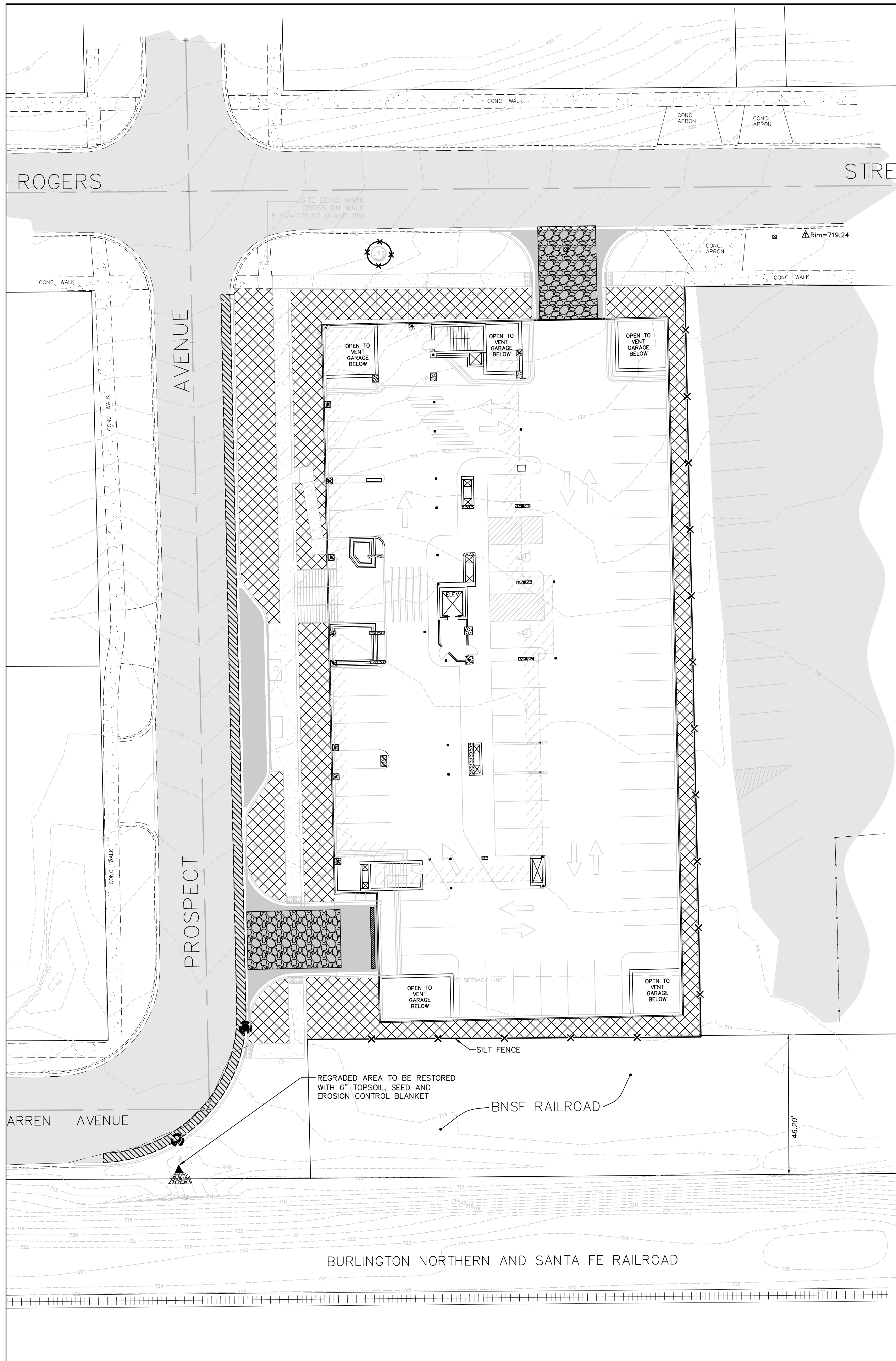
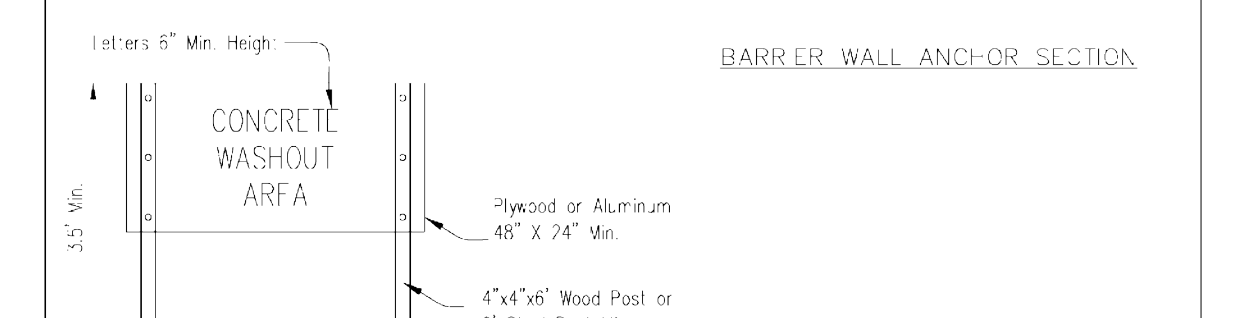
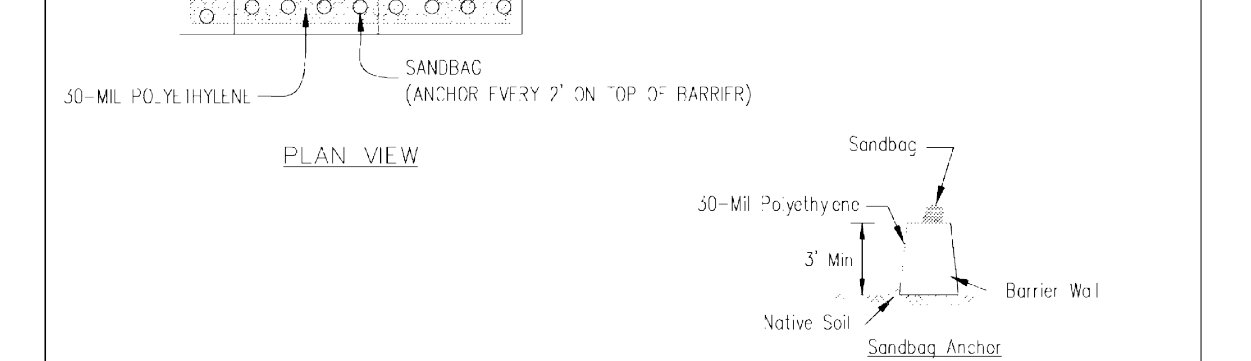
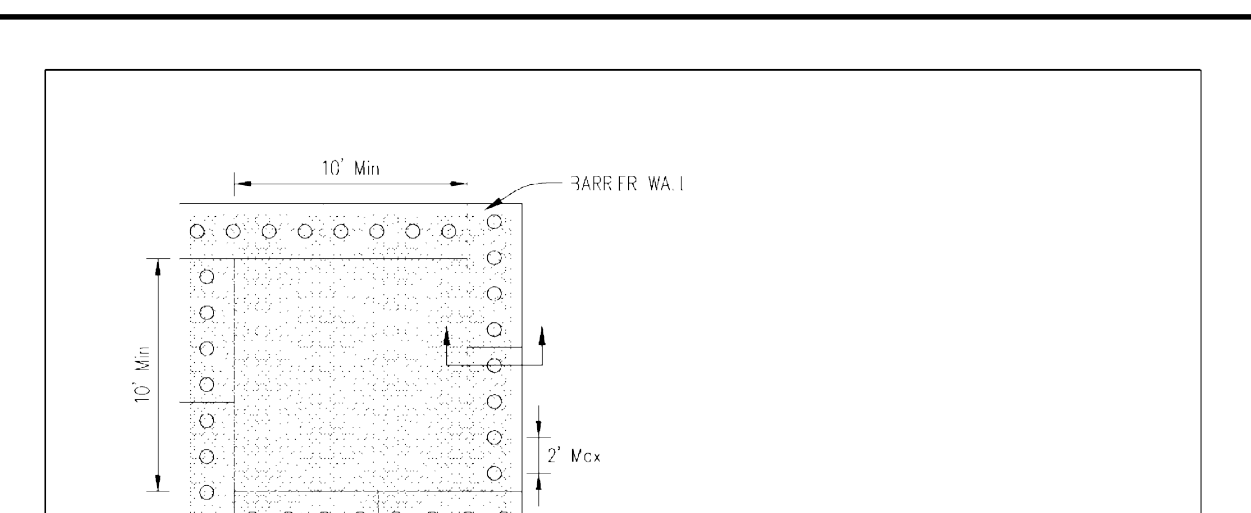
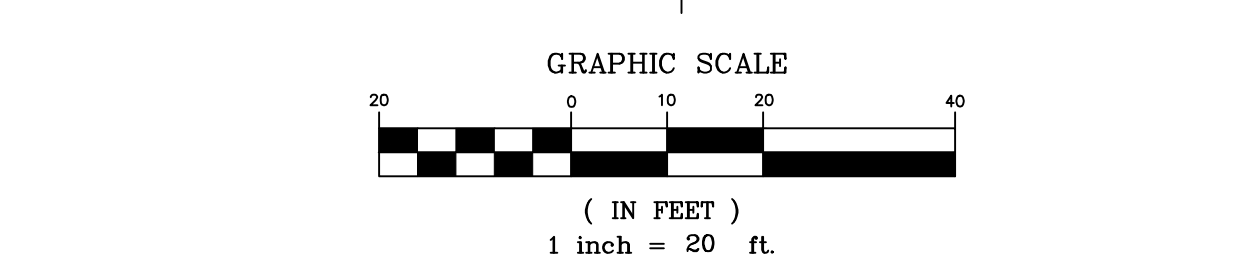
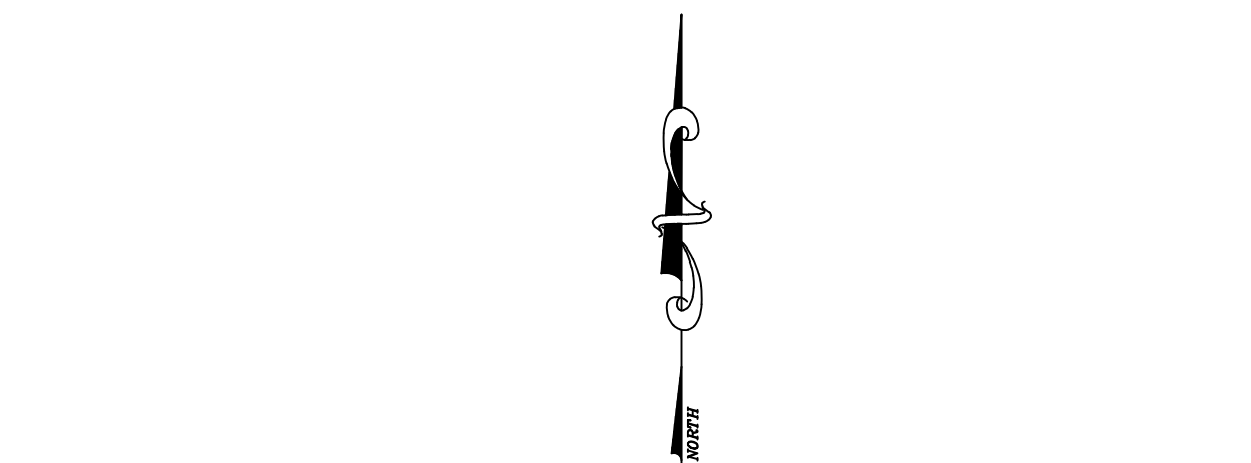
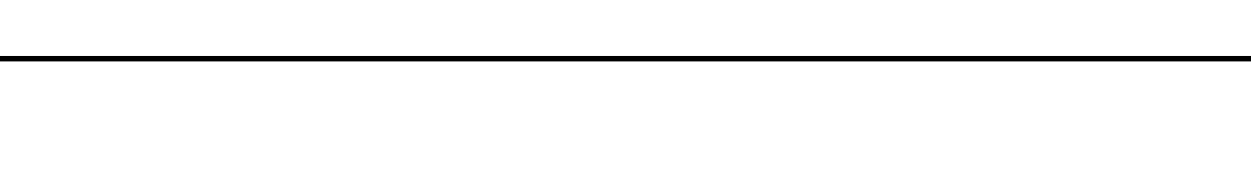
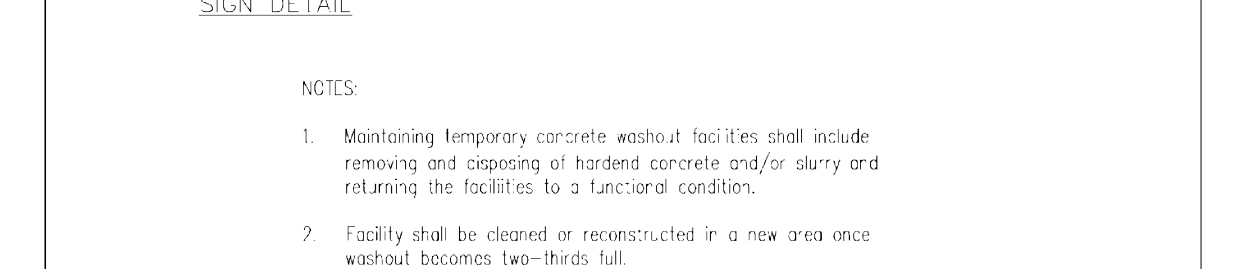
**RWG Engineering, LLC**  
975 E. 22nd Street, Suite 400, Wheaton, IL 60189  
Phone: (630) 774-9501 [www.rwg-engineering.com](http://www.rwg-engineering.com)  
Civil Engineering - Real Estate Consulting - Project Management

PROJECT NO. 06803613  
DATE 11/22/2013  
SCALE 1"=20'  
PROJ. MGR. RWG  
PROJ. ASSOC. MRM  
DRAWN BY JP

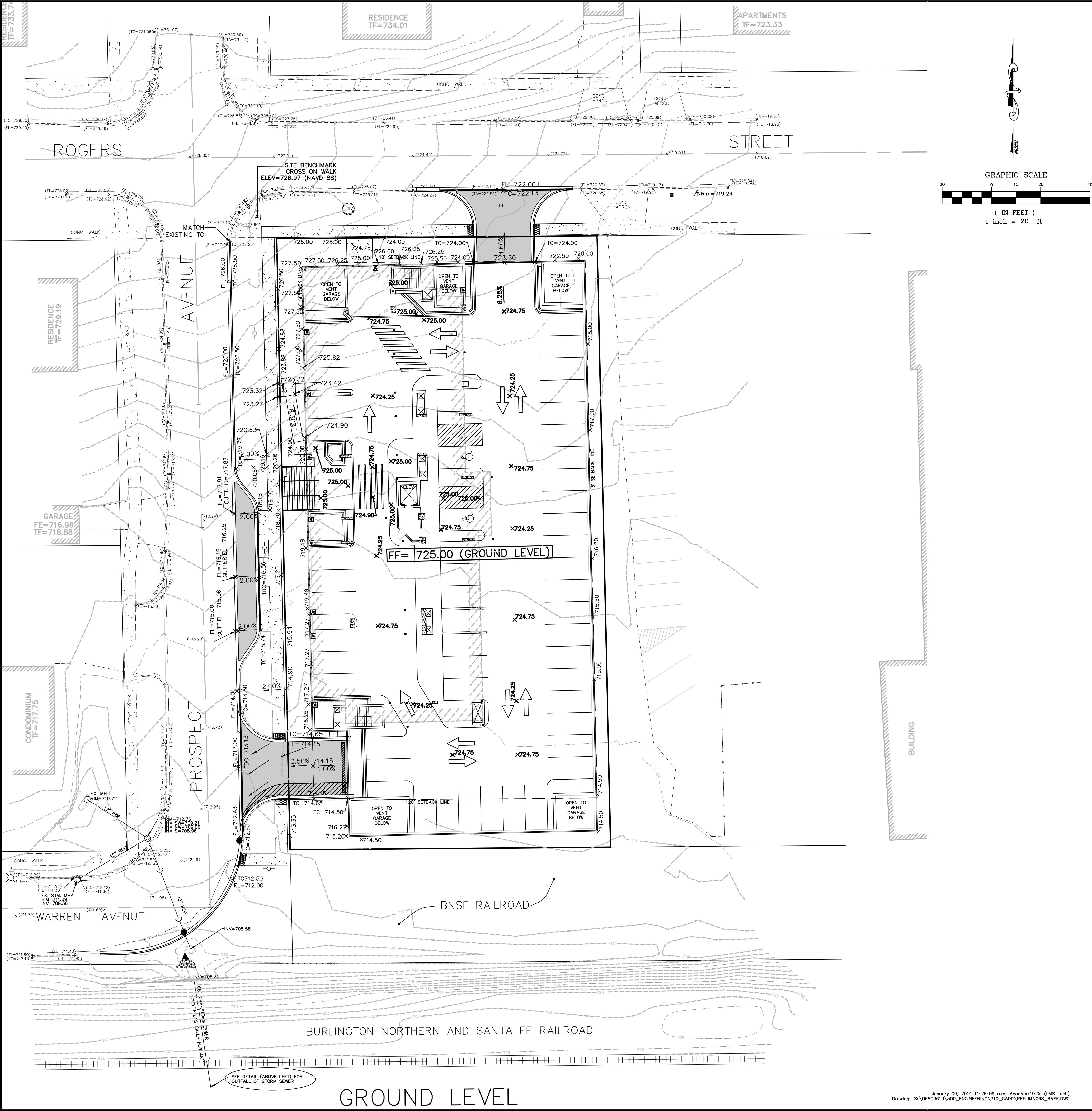
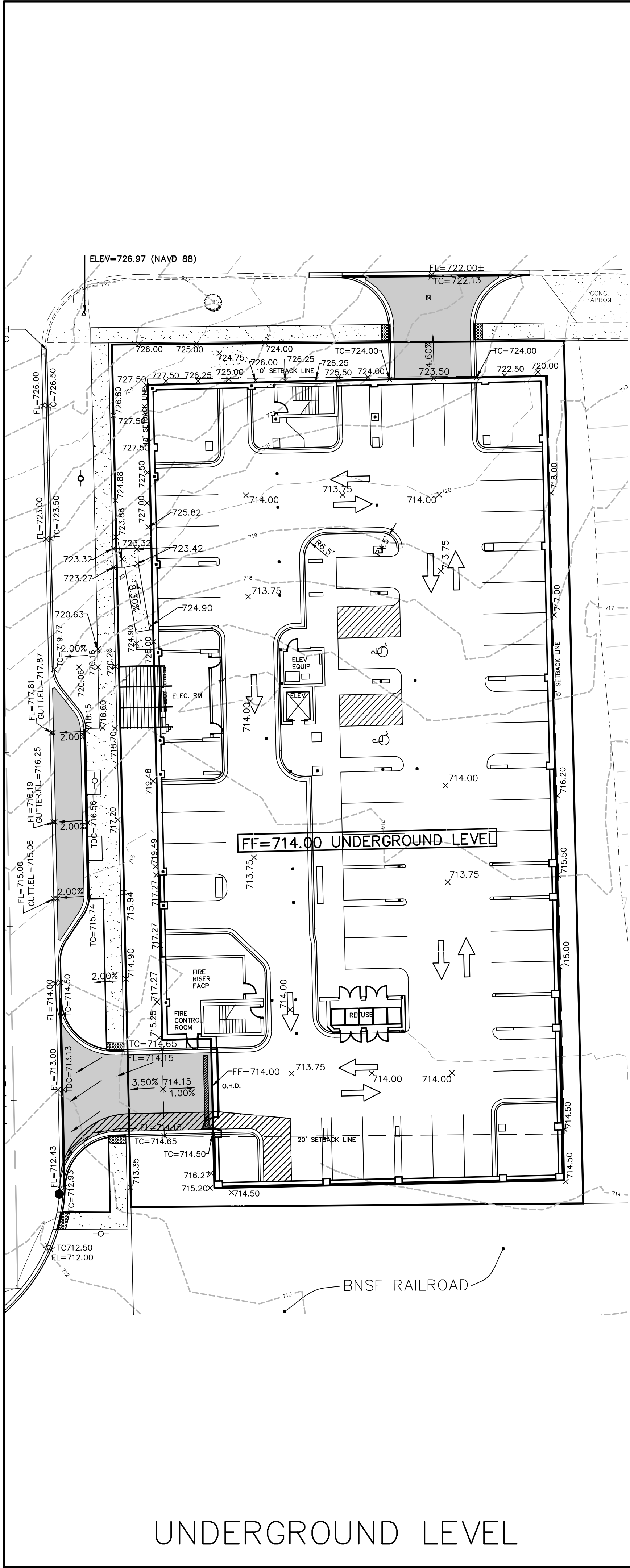
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3 OF 10

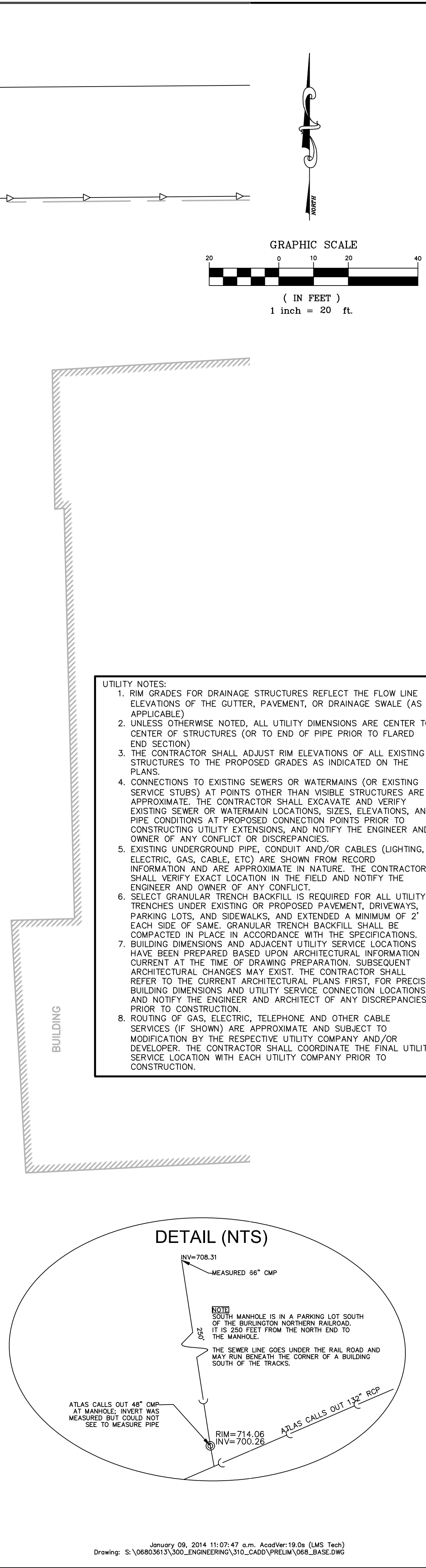
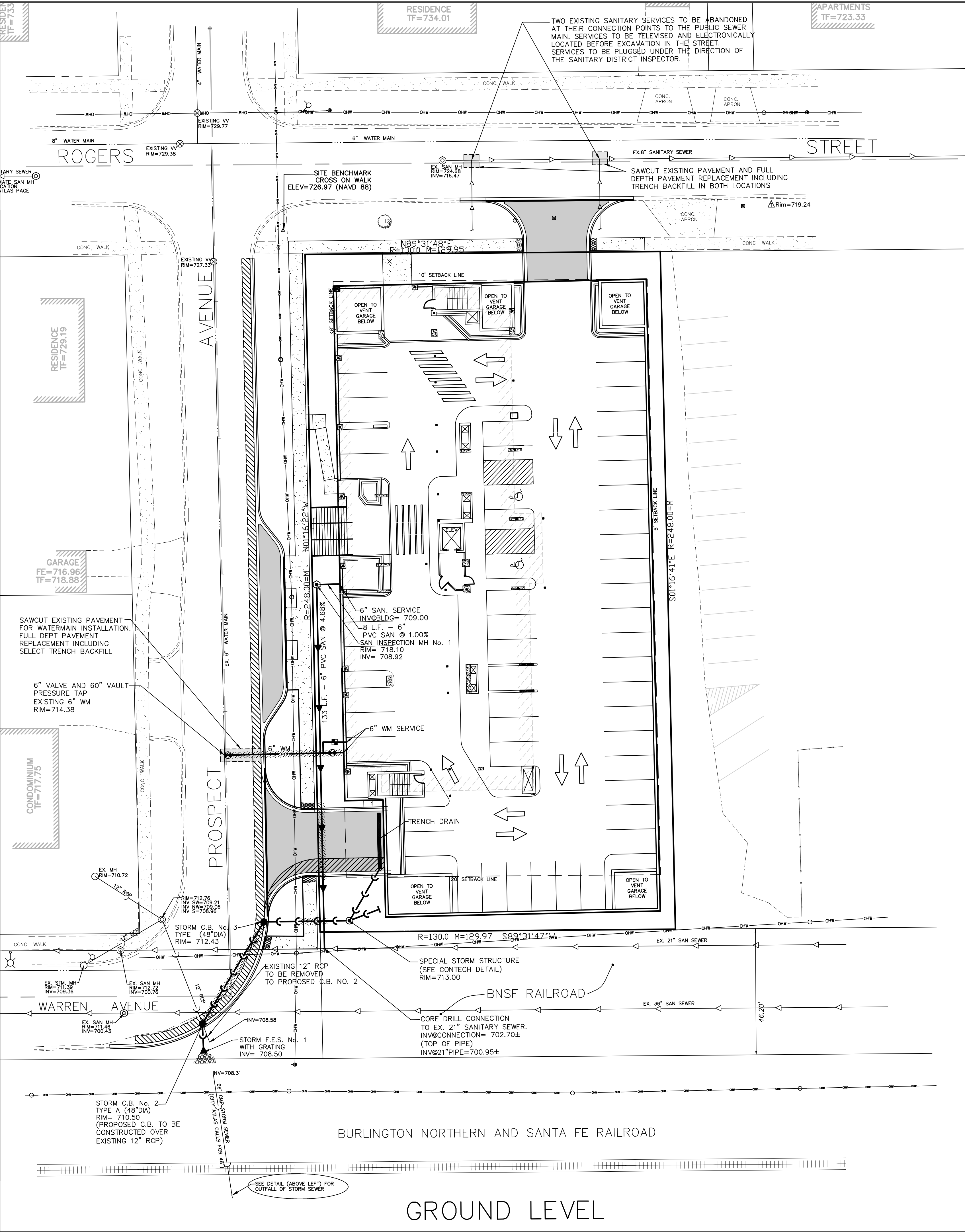
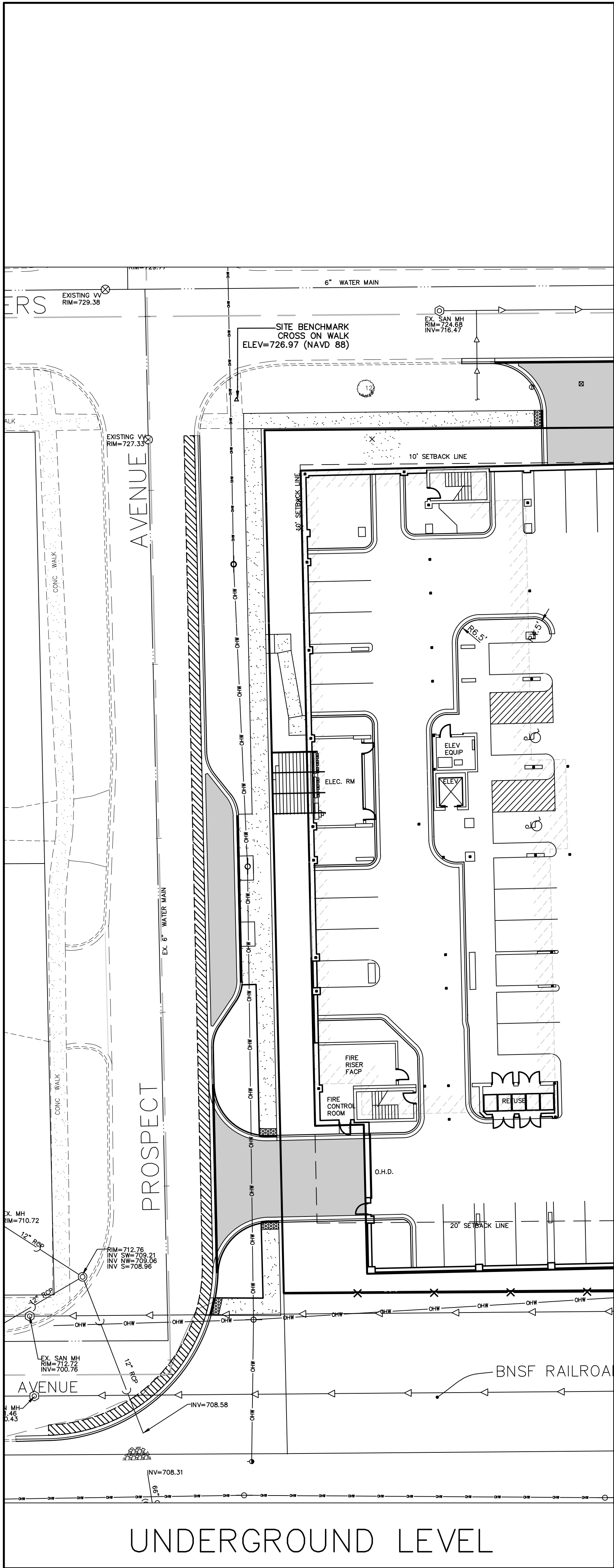
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[illegible][illegible]





<b>719 ROGERS STREET APARTMENTS</b> DOWNERS GROVE, ILLINOIS GRADING PLAN	
<b>RWG Engineering, LLC</b> 975 E. 22nd Street, Suite 400, Wheaton, IL 60189 Phone: (630) 774-9501 www.rwg-engineering.com Civil Engineering - Real Estate Consulting - Project Management	
PROJECT NO. 06803613	DATE 11/15/2013
SCALE 1"=20'	PROJ. MGR. RWG
PROJ. ASSOC. MRB	DRAWN BY JRP
SHEET <b>5</b> OF <b>10</b>	



- UTILITY NOTES:
1. RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATIONS OF THE GUTTER, PAVEMENT, OR DRAINAGE SWALE (AS APPLICABLE)
  2. UNLESS OTHERWISE NOTED, ALL UTILITY DIMENSIONS ARE CENTER TO CENTER OF STRUCTURES (OR TO END OF PIPE PRIOR TO FLARED END SECTION)
  3. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO THE PROPOSED GRADES AS INDICATED ON THE PLANS
  4. CONNECTIONS TO EXISTING SEWERS OR WATERMAINS (OR EXISTING SERVICE STUBS) AT POINTS OTHER THAN VISIBLE STRUCTURES ARE APPROXIMATE. THE CONTRACTOR SHALL EXCAVATE AND VERIFY EXISTING SEWER OR WATERMAIN LOCATIONS, SIZES, ELEVATIONS, AND PIPE CONDITIONS AT PROPOSED CONNECTION POINTS PRIOR TO CONSTRUCTING UTILITY EXTENSIONS, AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT OR DISCREPANCIES
  5. EXISTING UNDERGROUND PIPE, CONDUIT AND/OR CABLES (LIGHTING, ELECTRIC, GAS, CABLE, ETC) ARE SHOWN FROM RECORD INFORMATION AND ARE APPROXIMATE IN NATURE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION IN THE FIELD AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT.
  6. SELECT GRANULAR TRENCH BACKFILL IS REQUIRED FOR ALL UTILITY TRENCHES UNDER EXISTING OR PROPOSED PAVEMENT, DRIVEWAYS, PARKING LOTS, AND SIDEWALKS, AND EXTENDED A MINIMUM OF 2' EACH SIDE OF SAME. GRANULAR TRENCH BACKFILL SHALL BE COMPACTED IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.
  7. BUILDING DIMENSIONS AND ADJACENT UTILITY SERVICE LOCATIONS HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE TIME OF DRAWING PREPARATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THE CONTRACTOR SHALL REFER TO THE CURRENT ARCHITECTURAL PLANS FIRST, FOR PRECISE BUILDING DIMENSIONS AND UTILITY SERVICE CONNECTION LOCATIONS AND NOTIFY THE ENGINEER AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  8. ROUTING OF GAS, ELECTRIC, TELEPHONE AND OTHER CABLE SERVICES (IF SHOWN) ARE APPROXIMATE AND SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY AND/OR DEVELOPER. THE CONTRACTOR SHALL COORDINATE THE FINAL UTILITY SERVICE LOCATION WITH EACH UTILITY COMPANY PRIOR TO CONSTRUCTION.

DRAWN BY		REVISIONS	
JP		PER VILLAGE REVIEW	
DATE		DATE	
01/09/2014		01/09/2014	
PROJECT NO.		PROJECT NO.	
06803613		06803613	
DATE		DATE	
11/15/2013		11/15/2013	
SCALE		SCALE	
1"=20'		1"=20'	
PROJ. MGR.		PROJ. MGR.	
MRG		MRG	
PROJ. ASSOC.		PROJ. ASSOC.	
MRG		MRG	
DRAWN BY		DRAWN BY	
JP		JP	
SHEET			
6 OF 10			

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Phone: (630) 774-9501 www.rwg-engineering.com  
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**719 ROGERS STREET APARTMENTS**  
DOWNERS GROVE, ILLINOIS  
UTILITY PLAN



NEW APARTMENT COMPLEX  
AT  
715-719 ROGERS STREET  
DOWNERS GROVE, ILLINOIS  
FOR  
R.M.G. REALTY GROUP  
17w728 Butterfield Rd., Oakbrook Terrace, IL.

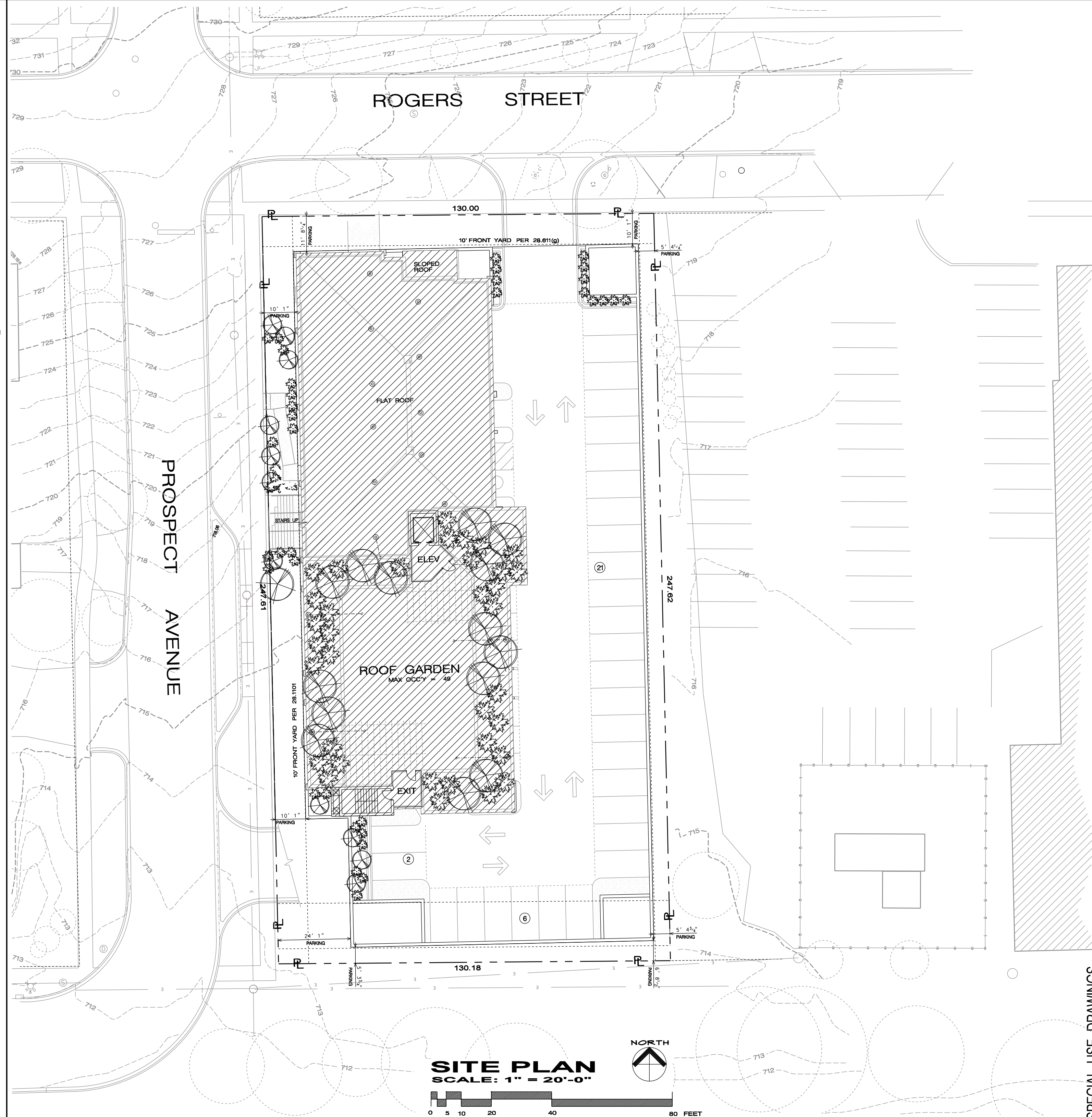
SCHEDULE OF SYMBOLS  
& MATERIALS  
RE: ALL DRAWINGS (UNO) NOTE:  
THERE MAY BE MINOR DEVIATIONS

SYMBOLS

- DETAIL OR SECTION NUMBER  
TITLE  
SCALE  
SHEET WHERE IT IS REFERENCED FROM  
DIRECTION OF CUT  
SECTION NUMBER  
BUILDING OR WALL OR DETAIL SECTION  
SHEET NUMBER WHERE DRAWN  
DIRECTION OF CUT  
PARTIAL SECTION NUMBER  
SHEET NUMBER WHERE DRAWN  
DETAIL NUMBER  
SHEET NUMBER WHERE DRAWN  
AREA OF ENLARGEMENT  
ROOM NAME  
ROOM NUMBER  
WINDOW NUMBER  
DOOR NUMBER  
FINISH PER SCHEDULE SHOWN ON  
THAT SHEET  
NEW GRADE ELEVATION  
EXIST GRADE ELEVATION  
IF SHOWN BELOW (OUTSIDE OF BOX)  
SPOT FINISH GRADE ELEVATION  
KEYNOTE, EQUIPMENT ITEM, PER  
SCHEDULE SHOWN ON THAT SHEET  
COLUMN, BUILDING GRID  
FINISH ELEVATION  
HIDDEN LINE  
CENTERLINE, WITNESS LINE, LIMIT LINE,  
EXTENSION LINE  
DEFINES VIEWING DIRECTION  
FOR INTERIOR ELEVATIONS  
INTERIOR ELEVATION NUMBER  
LOCATION IF NOT ON SAME SHEET  
REVISION NUMBER AND AREA

MATERIALS

- EXIST NEW REMOVED  
BRICK OR CMU  
STUD PARTITION  
MASONRY WALL  
CONCRETE  
DRAINAGE FILL  
METAL  
BATT INSULATION  
RIGID INSULATION  
GYPSUM BOARD  
PLYWOOD

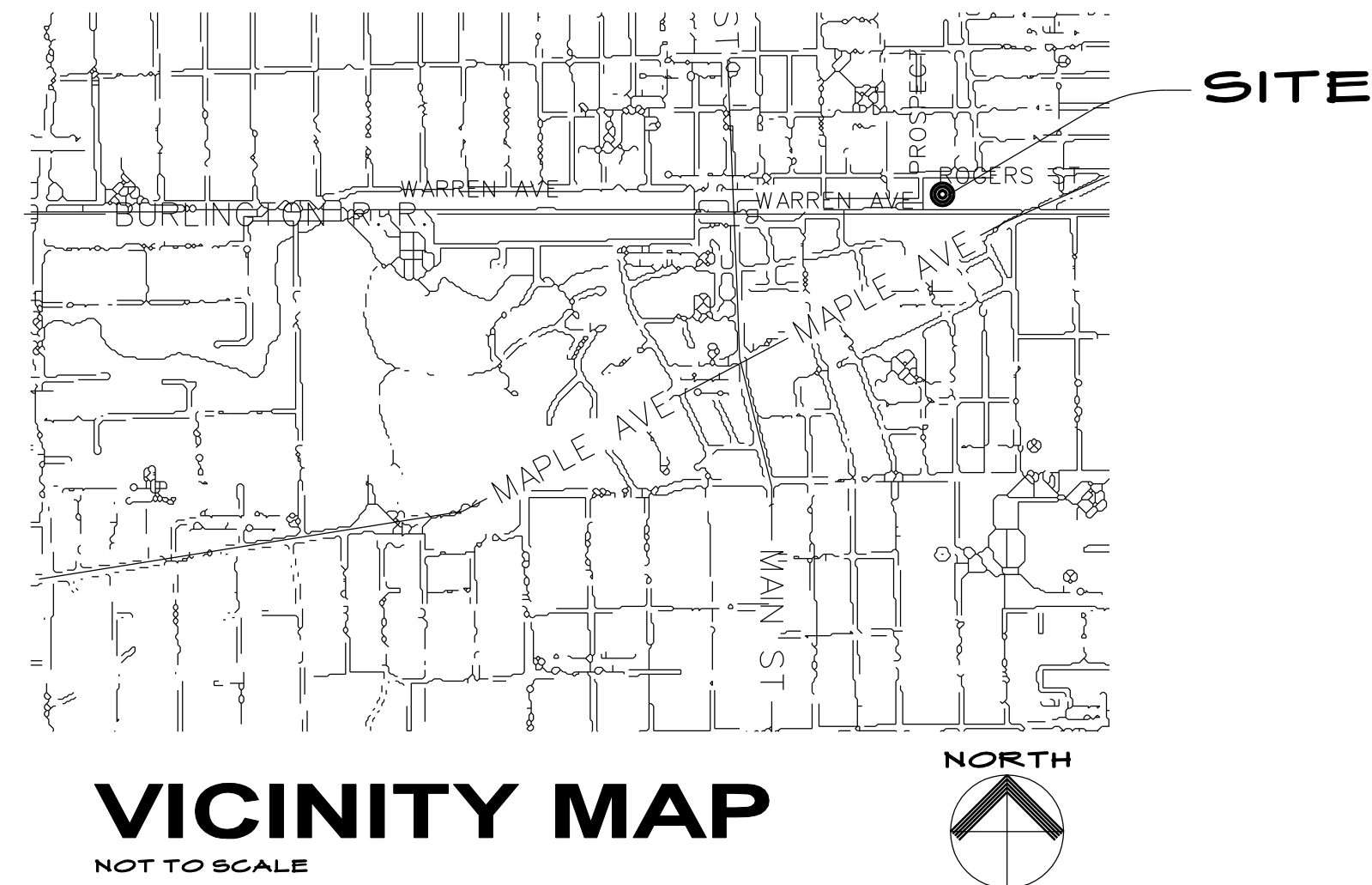


SPECIAL USE DRAWINGS

DRAWING INDEX

SHEET TITLE

A-1	TITLE SHEET / INDEX / PROJECT SUMMARY DATA / SITE PLAN
A-2	PROSPECT AVE. LEVEL BASEMENT FLOOR PLAN
A-3	ROGERS ST. FIRST FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	3rd FLOOR, 4th FLOOR, 5th FLOOR PLANS
A-6	ROOF PLAN, ENLARGED APARTMENT PLANS
A-7	WEST ELEVATION, NORTH ELEVATION, BUILDING SECTION
A-7b	EAST ELEVATION, SOUTH ELEVATION
A-8	LANDSCAPE PLAN AND GENERAL DETAILS
A-9	GREEN SPACE SUMMARY DATA
A-10	PHOTOMETRIC PLANS, ROGERS ST. REFLECTED CLG. PLAN



PROJECT SUMMARY DATA:

SITE AREA TOTAL	32,227 SQ. FT. (0.74 AC. APPROX.)
SITE DIMENSIONS (NOM.)	130' X 248' (APPROX) SEE SURVEY
ZONING DISTRICT	D.T.
FRONT YARD SETBACK	10'
CORNER LOT SETBACK (WEST)	10'
SIDE YARD SETBACK (PRINCIPAL BUILDING)	5'
SIDE YARD SETBACK (PARKING)	5'
REAR YARD SETBACK (PRINCIPAL BUILDING)	20'
REAR YARD SETBACK (PARKING)	5'
MAXIMUM BUILDING HEIGHT ALLOWED	60' ABV. AVERAGE (MEAN) ESTABLISHED GRADE
MEAN ESTABLISHED GRADE ON ROGERS STREET	724.73' AVERAGE ELEVATION
MEAN ESTABLISHED GRADE ON PROSPECT AVE.	784.73'
MEAN ESTABLISHED GRADE ON PROSPECT AVE.	720.88' AVERAGE ELEVATION
MEAN ESTABLISHED GRADE ON PROSPECT AVE. (ELEVATION)	780.88'
PROPOSED BUILDING HEIGHT ELEV. TO ROOF	779.17'
MULTI-UNIT RESIDENTIAL ALLOWED?	YES (VIA SPECIAL USE PERMIT)
M.L.A. (MINIMUM LOT AREA) PER UNIT	N / A
DWELLING UNIT MAXIMUM ALLOWED?	RELATED TO F.A.R. AND PARKING PROVIDED
TOTAL NUMBER OF DWELLING UNITS PROPOSED	48 TOTAL DWELLING UNITS
NUMBER OF 1 BEDROOM D.U.'s PROPOSED	32 700 S.F. ± 54 S.F. DECK
NUMBER OF 2 BEDROOM D.U.'s PROPOSED	16 1071 S.F. ± 109 S.F. DECK
F.A.R. ALLOWED	2.5
MAXIMUM APPLICABLE BLDG. AREA PER ZONING F.A.R.	80,535 SQ. FT. MAX.
PROPOSED APPLICABLE BLDG. AREA (APPLICABLE TO F.A.R.)	58,546 SQ. FT. PROPOSED
PARKING REQUIREMENTS PER ZONING	2 PER D.U.
TOTAL PARKING REQUIRED	96 CARS
A.D.A. REQUIRED WITHIN TOTAL	4 @ A.D.A.
TOTAL PARKING PROPOSED	98 CARS
A.D.A. PROPOSED WITHIN REQUIRED TOTAL	4 @ A.D.A.
OPEN SPACE REQUIRED	N / A

SITE GENERAL DATA:

SITE AREA = 32,227 SQ. FT. (0.7398 AC)

FLOOR AREA RATIO ORDINANCE LIMITATIONS IN D.T. ZONING = 2.5  
AREAS ALLOCATED TO PARKING EXCLUDED

PRELIMINARY DATA

UNDERGROUND FLOOR (LEVEL P).....	48 CARS PROVIDED
GRADE FLOOR (LEVEL 1).....	50 CARS PROVIDED
SECOND FLOOR.....	12 DWELLING UNITS
THIRD FLOOR.....	12 DWELLING UNITS
FOURTH FLOOR.....	12 DWELLING UNITS
FIFTH FLOOR.....	12 DWELLING UNITS
ROOF.....	NO DWELLING UNITS

TOTAL DWELLING UNITS.....48

PARKING REQUIRED @ 2 PER D.U. = 96 CARS

98 TOTAL CARS PROVIDED  
(4 ARE REDUCED TO BE A.D.A.)

FLOOR AREA SHOWN

1702 GROSS EQUIP. (ETO)
902 GROSS ENTRY (ETO)
12380 GROSS
12380 GROSS
12380 GROSS
12380 GROSS
6422 ROOF GARDEN

S.T. BLDG. AREA = 58546 S.F.

F.A.R. PROPOSED = 1.82

DEAN M. POZARYCKI, R.A.  
ARCHITECT  
IL REG. NO. 001-08720  
ARCHITECTURE \* LAND USE \* PLANNING  
4728 MAIN STREET, DOWNERS GROVE, IL  
OHIO REG. NO. A-83-07387  
630-960-1443

Rathje Planning Services, Inc.  
412 CHICAGO AVENUE  
DOWNERS GROVE, IL 60515  
phone 630-963-4891 630-290-8819 (cell)  
rathje@comcast.net

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15 AUG. 2013 20 NOV. 2013  
19 AUG. 2013 8 DEC. 2013  
4 OCT. 2013  
REVISION 19 DEC. 2013  
REVISION 8 JAN. 2014  
REVISION 21 JAN. 2014  
REVISION 21 JAN. 2014  
REVISION 21 JAN. 2014

NEW APARTMENT COMPLEX  
AT  
715-719 ROGERS STREET  
DOWNERS GROVE, ILLINOIS  
FOR  
R.M.G. REALTY GROUP  
17w728 Butterfield Rd., Oakbrook Terrace, IL.

SHEET TITLE  
INDEX  
SUMMARY DATA  
SITE PLAN

PROJECT NO. D-016-13

SHEET

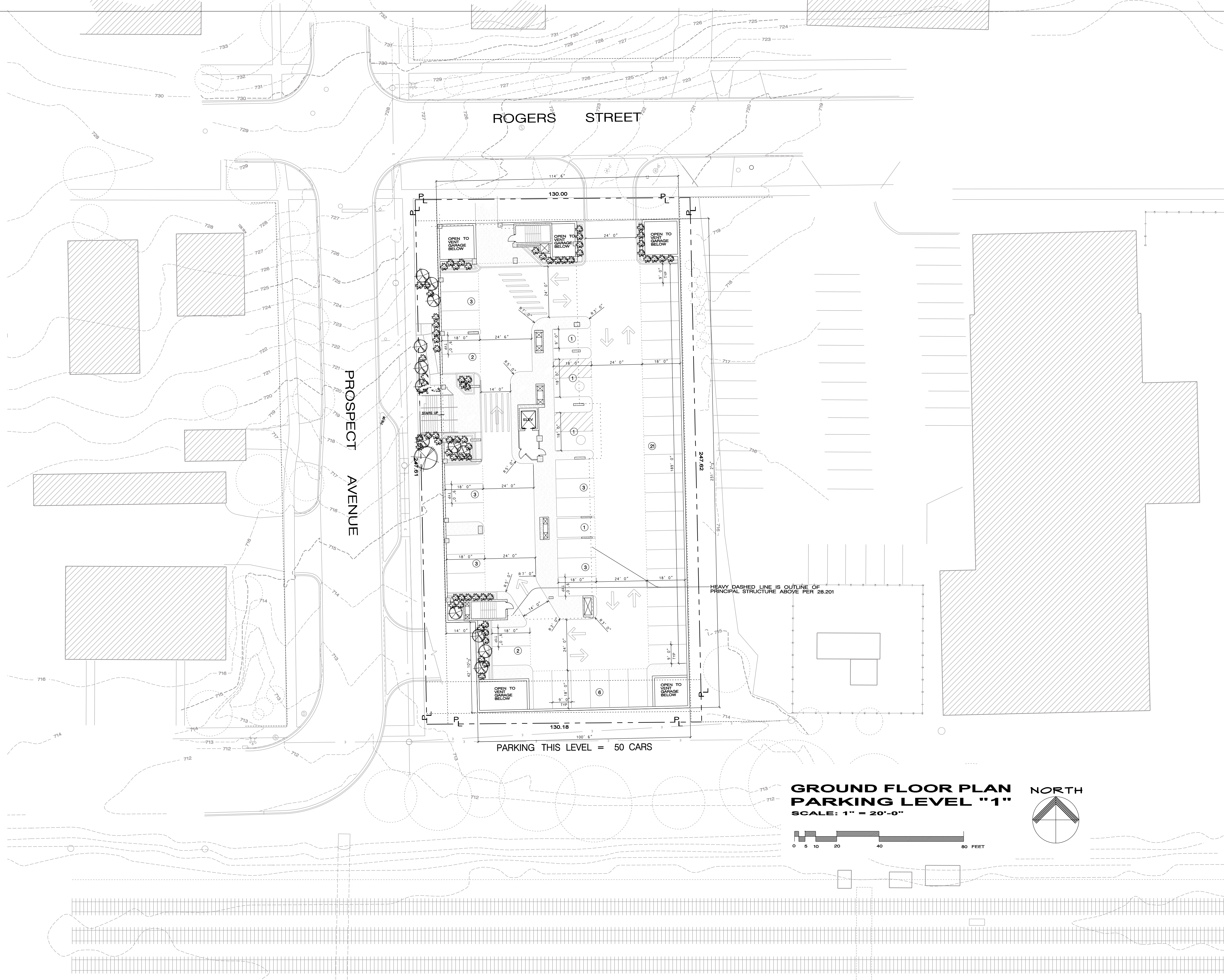
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SHT 1 OF 11 TOTAL SHEETS

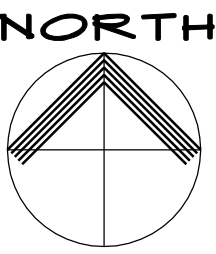
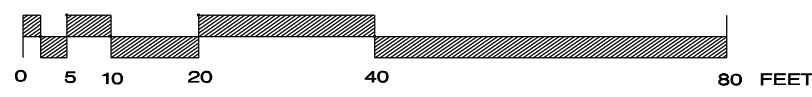








**GROUND FLOOR PLAN  
PARKING LEVEL "1"**  
SCALE: 1" = 20'-0"



SPECIAL USE DRAWINGS

DEAN M. POZARYZCKI, R.A.  
ARCHITECT  
IL REG. NO. 001-08720  
ARCHITECTURE • LAND USE • PLANNING  
4728 MAIN STREET, DOWNERS GROVE, IL  
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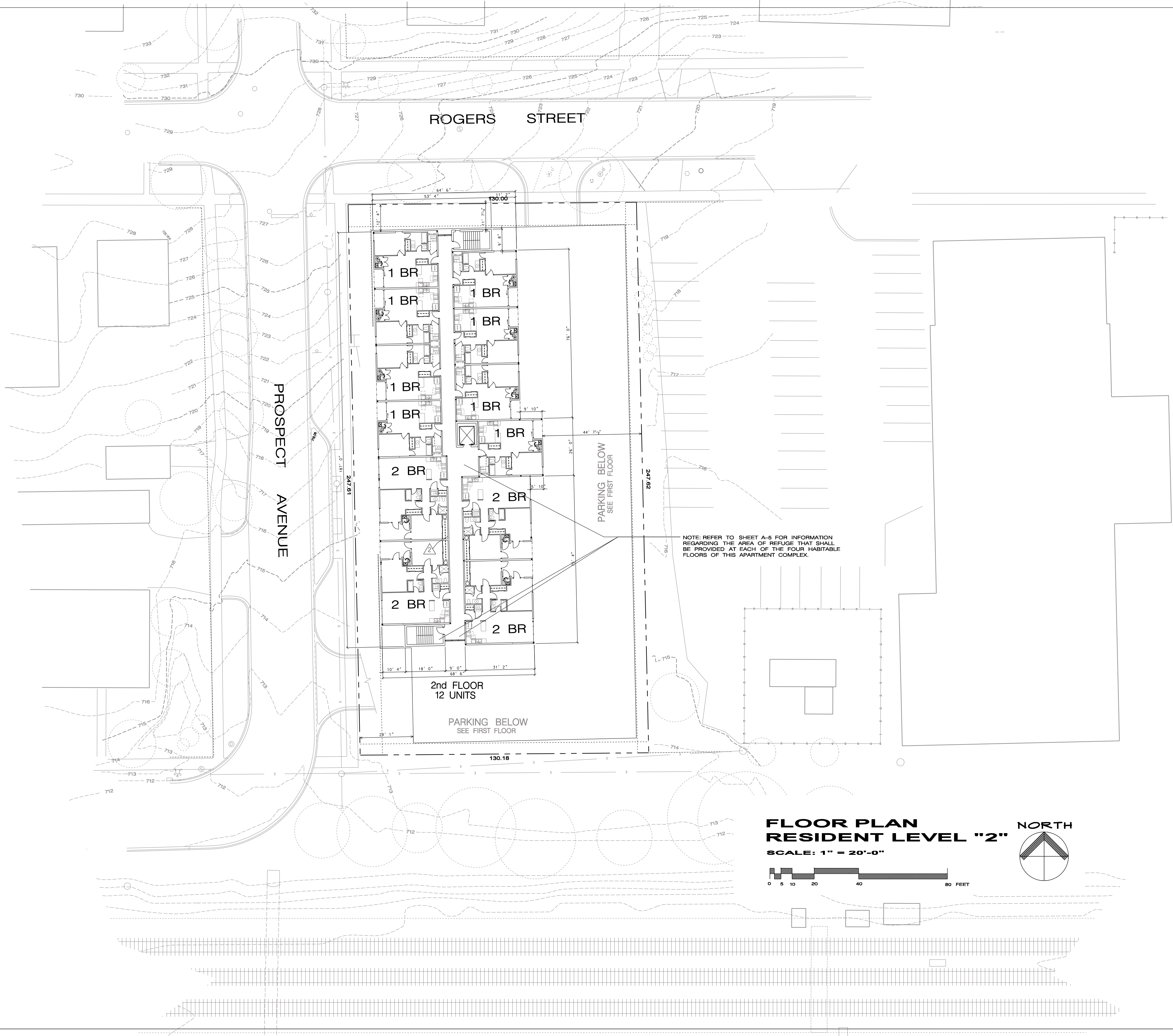
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REVISION	8 JAN 2014 PER STAFF COMMENTS
REVISION	21 JAN 2014 PER STAFF COMMENTS
REVISION	

**NEW APARTMENT COMPLEX**  
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**DOWNERS GROVE, ILLINOIS**  
**FOR**  
**R.M.G. REALTY GROUP**  
17w728 Butterfield Rd., Oakbrook Terrace, IL.

SHEET TITLE  
**ROGERS ST  
LEVEL  
FIRST  
FLOOR  
PLAN**

PROJECT NO. **D-016-13**  
SHEET  
**A-3**  
SHT 3 OF 11 TOTAL SHEETS





**FLOOR PLAN  
RESIDENT LEVEL "2"**  
SCALE: 1" = 20'-0"  
NORTH

SPECIAL USE DRAWINGS

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ARCHITECT  
ARCHITECTURE \* LAND USE \* PLANNING  
4728 MAIN STREET, DOWNERS GROVE, IL  
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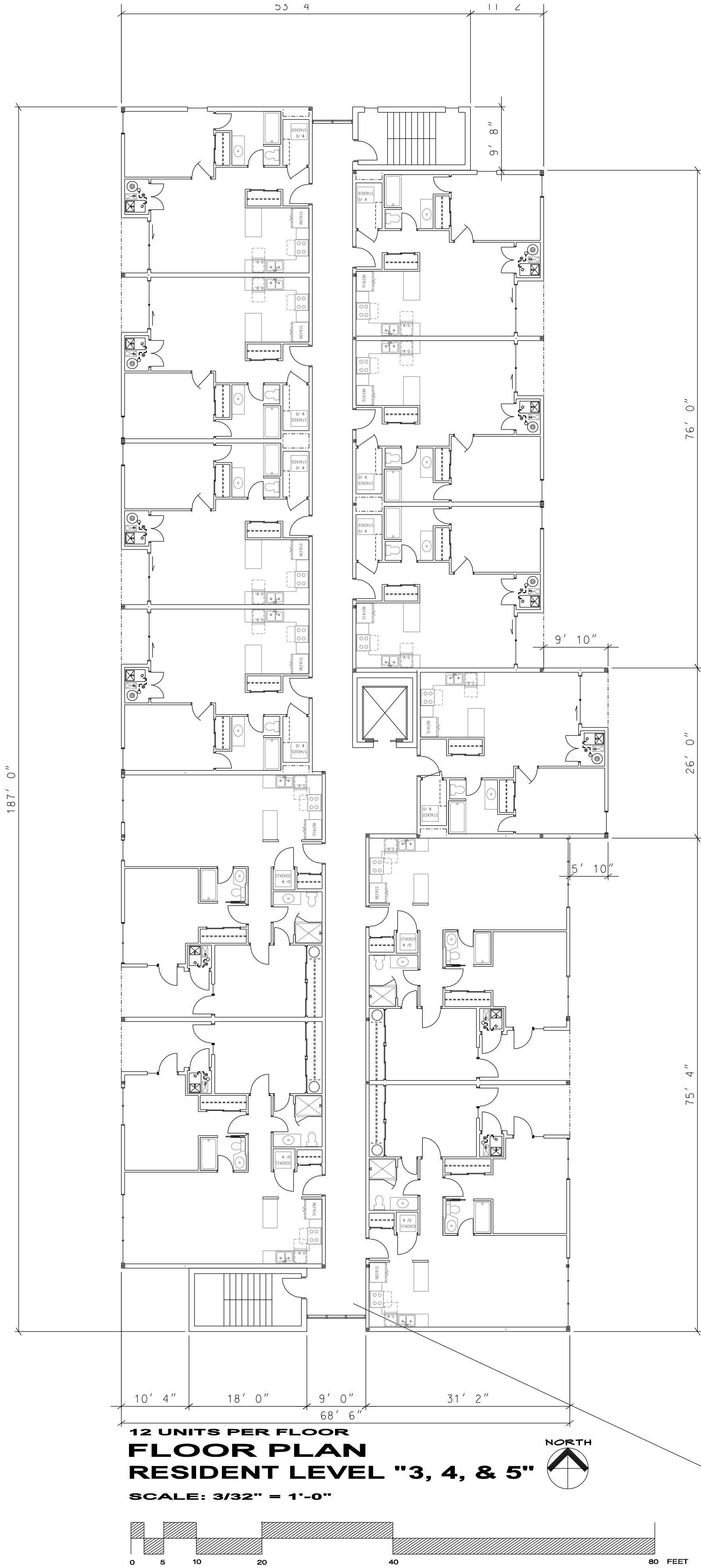
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phone 630-963-4891 630-290-8819 (cell)  
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FOR  
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SHEET TITLE  
2nd FLOOR  
PLAN  
PROJECT NO. D-016-13  
SHEET  
A-4  
SHT 4 OF 11 TOTAL SHEETS





NOTE:

EACH FLOOR SHALL HAVE AN AREA OF REFUGE COMPLYING WITH 1007 I.B.C. WHICH MAY BE EITHER THE COMMON COORIDOR (PER 1007.3 AND 1007.6 I.B.C. , AS LONG AS THE COORIDOR COMPLIES WITH SMOKE PROOF ENCLOSURE AND EMERGENCY COMMUNICATION REQUIREMENTS) OR MAY BE VIA SMOKE PROOF DOORS ON HOLD OPEN DEVICES NEAR THE FREE AREA AT DOOR TO STAIRS AS LONG AS THE AREA COMPLIES WITH 1007 I.B.C., OR MAY BE VIA INCREASING THE LANDING AREA WITHIN THE LANDING OF THE STAIR WELL AS LONG AS LANDING IS OF SIZE FOR THE REQUIRED NUMBER OF WHEEL CHAIRS PER 1007 I.B.C. AND WITH SMOKE ENCLOSURE AND COMMUNICATION AMMENITIES SO REQUIRED.

FINAL DETERMINATION OF METHOD OF AREA OF REFUGE WILL BE SHOWN ON THE CONSTRUCTION DOCUMENTS SUBMITTED FOR PERMITS

SPECIAL USE DRAWINGS

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**DOWNERS GROVE, ILLINOIS**  
**FOR**  
**R.M.G. REALTY GROUP**  
17w728 Butterfield Rd., Oakbrook Terrace, IL.

SHEET TITLE

3rd FLOOR  
4th FLOOR  
5th FLOOR

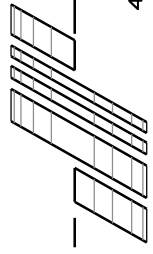
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**A-5**

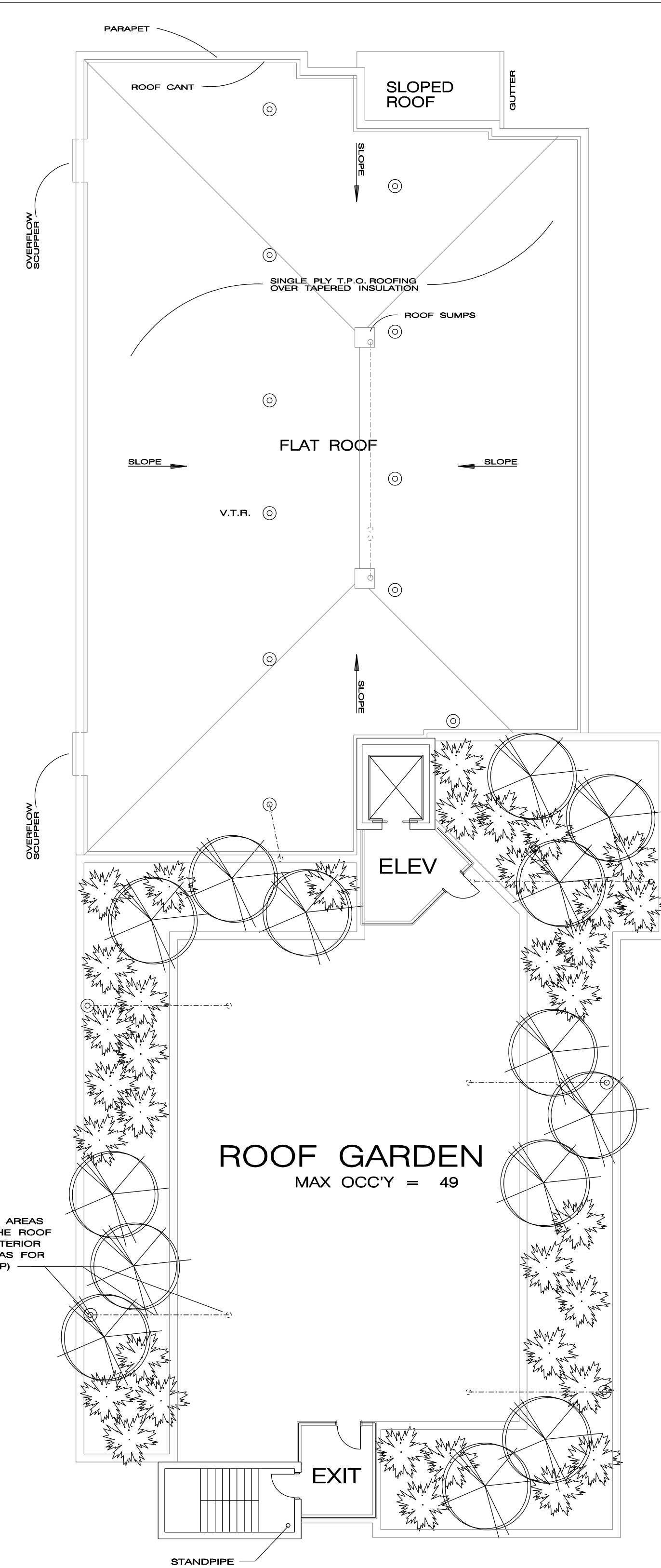
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412 CHICAGO AVENUE  
DOWNERS GROVE, IL 60515  
phone 630-963-4891  
kathjes@comcast.net

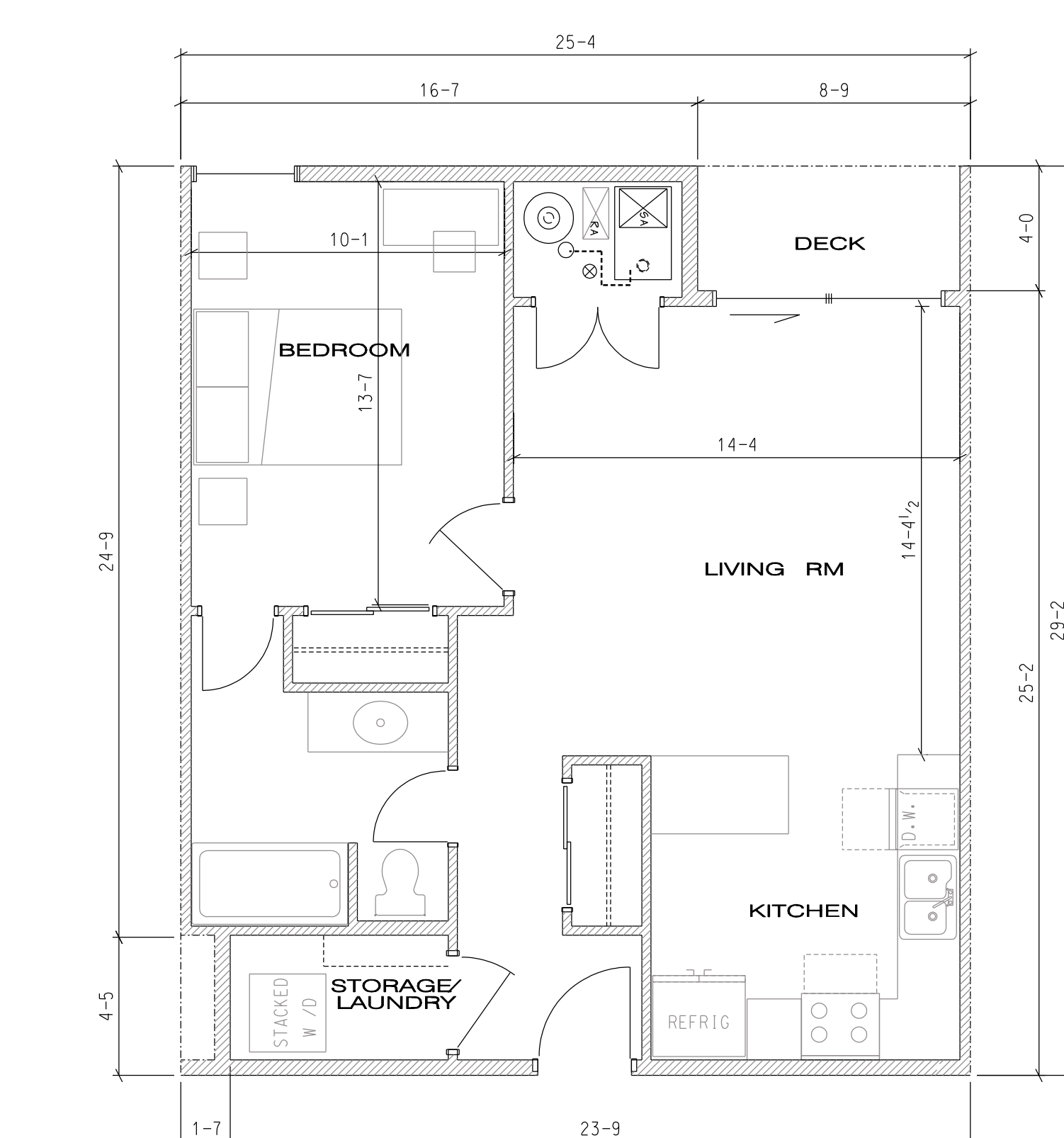
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REVISION	6 JAN 2014 PER STAFF COMMENTS
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REVISION	

**DEAN M. POZARZYCKI, R.A.**  
ARCHITECT IL REG. NO. 001-018720  
ARCHITECTURE • LAND USE • PLANNING  
4728 MAIN STREET, DOWNERS GROVE, IL  
OHIO REG. NO. A-83-07287 630-960-1443

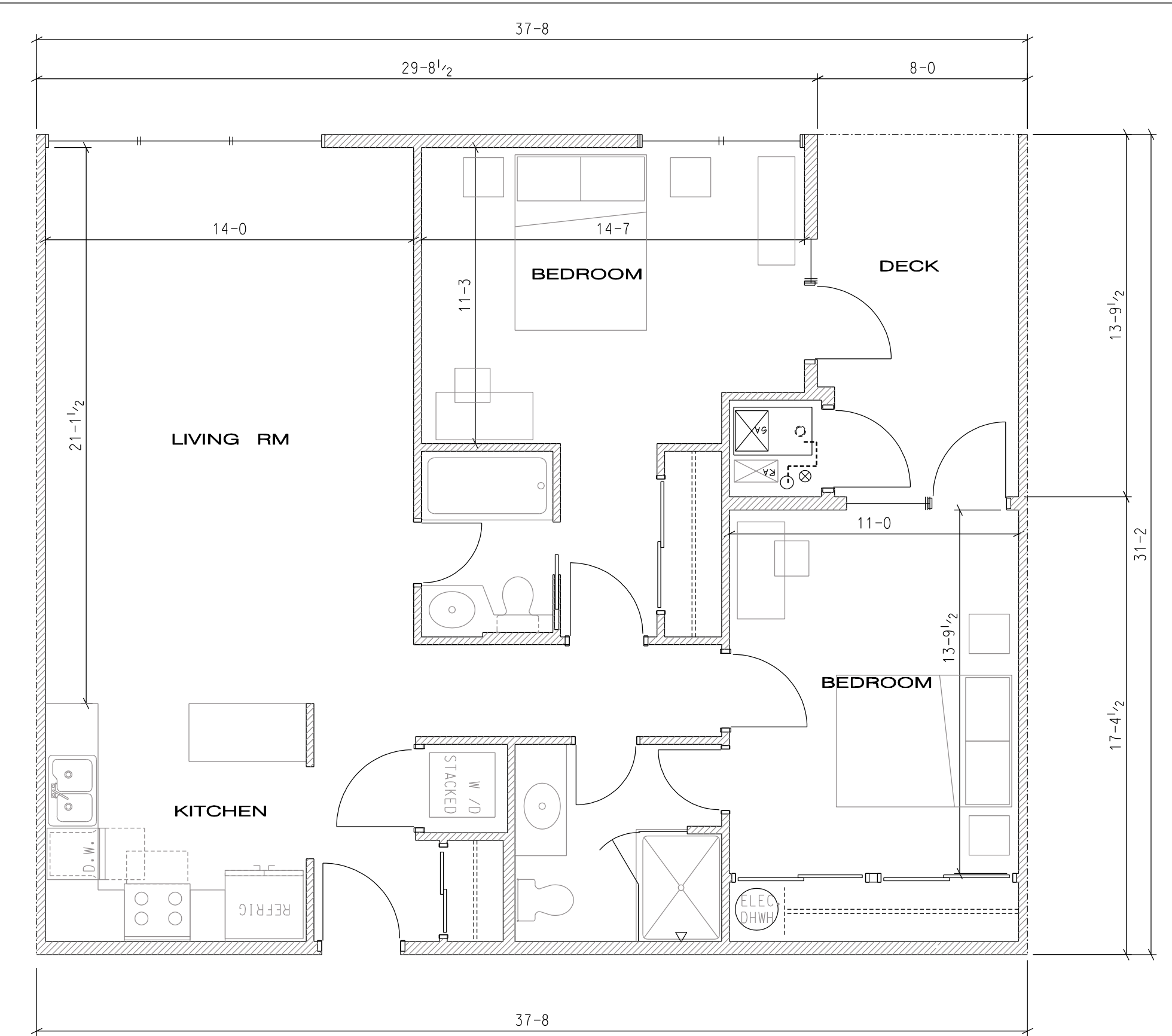
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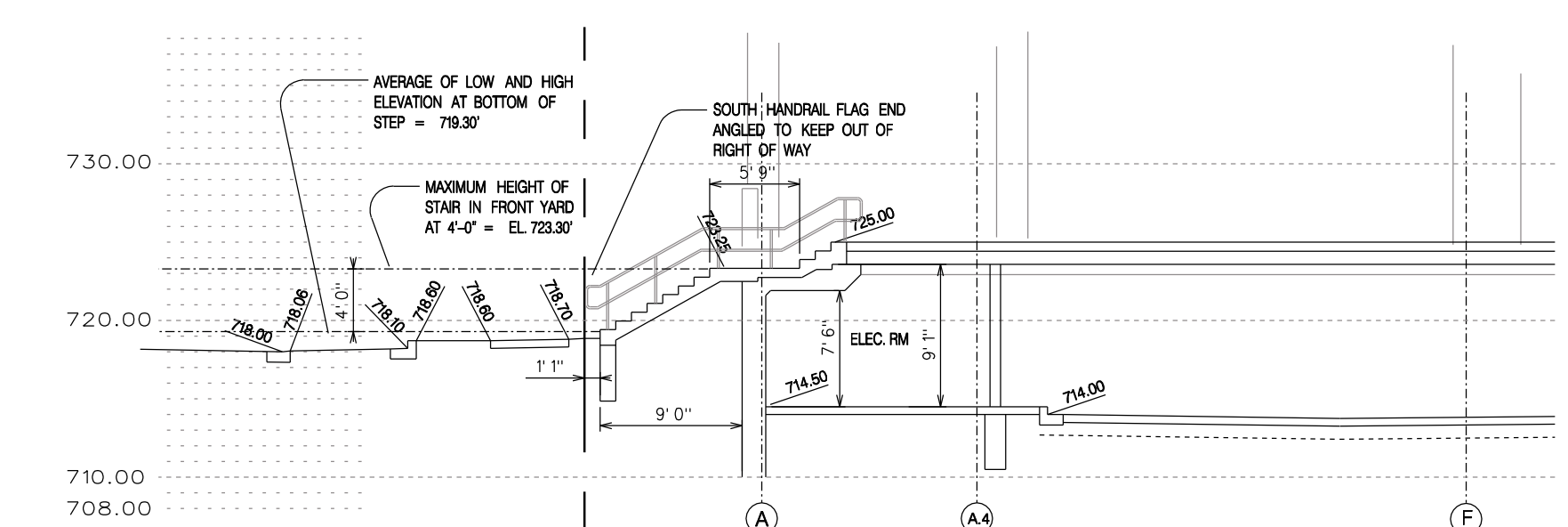
**ROOF PLAN  
PENTHOUSE LEVEL**  
SCALE: 3/32" = 1'-0"



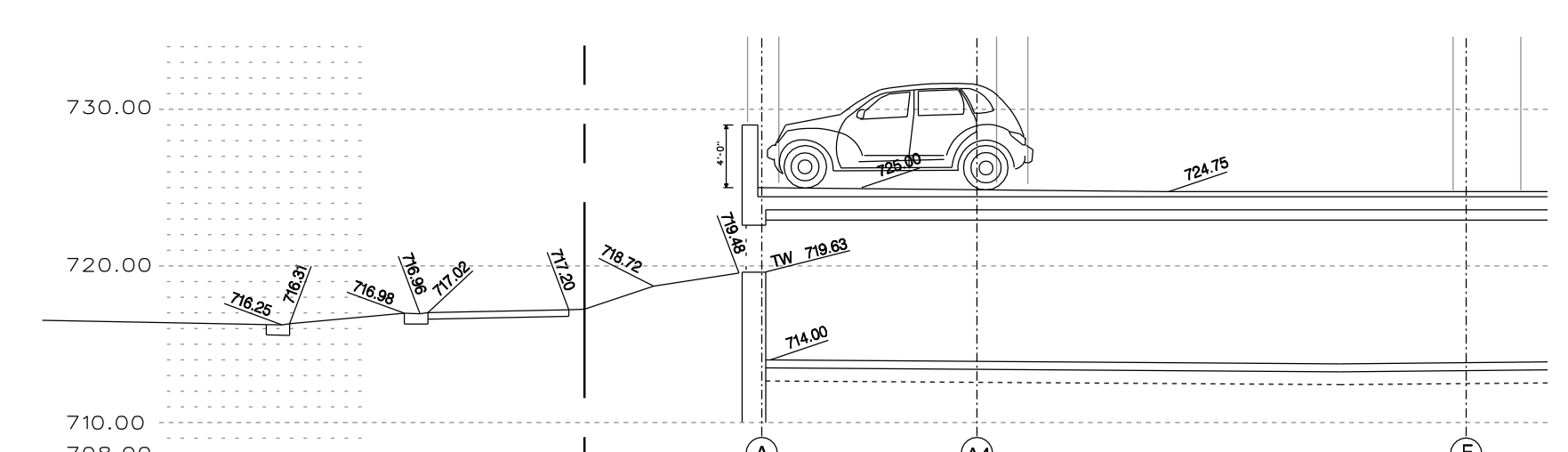
**1 BEDROOM PLAN**  
SCALE: 1/4" = 1'-0"  
700 SQ. FT. + 34 S.F. DECK



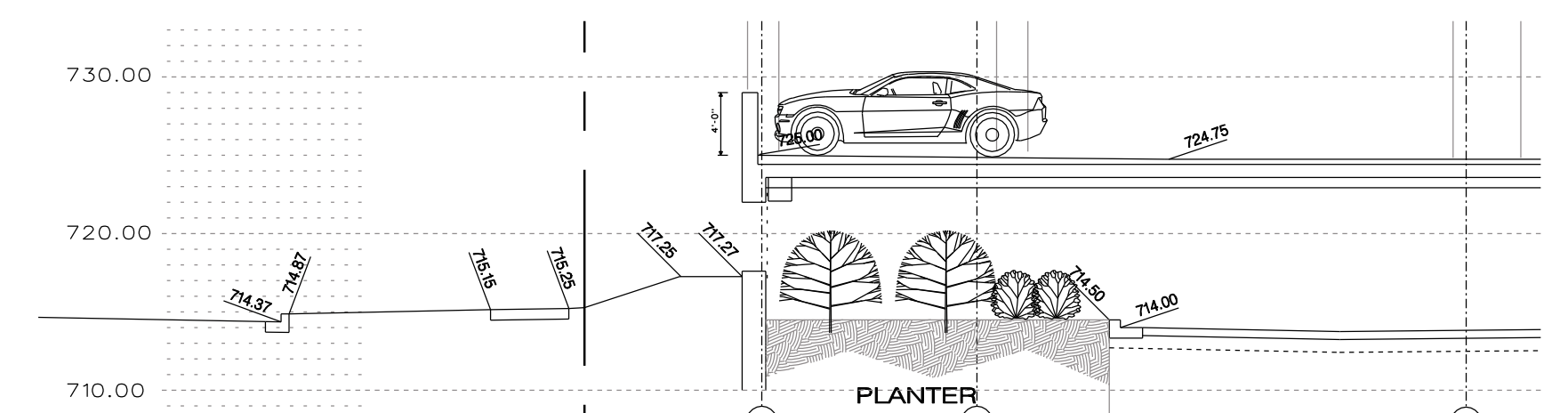
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SCALE: 1/4" = 1'-0"  
1071 SQ. FT. + 103 S.F. DECK



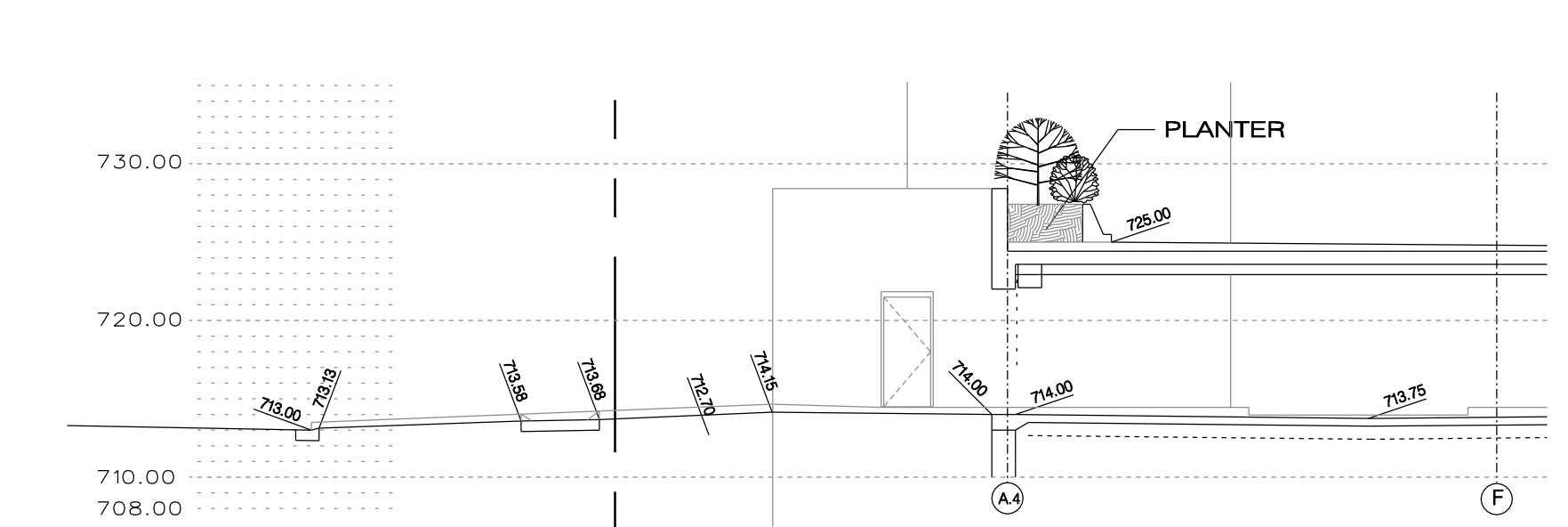
**DETAIL 1**  
SCALE: 1" = 10'-0" A-2



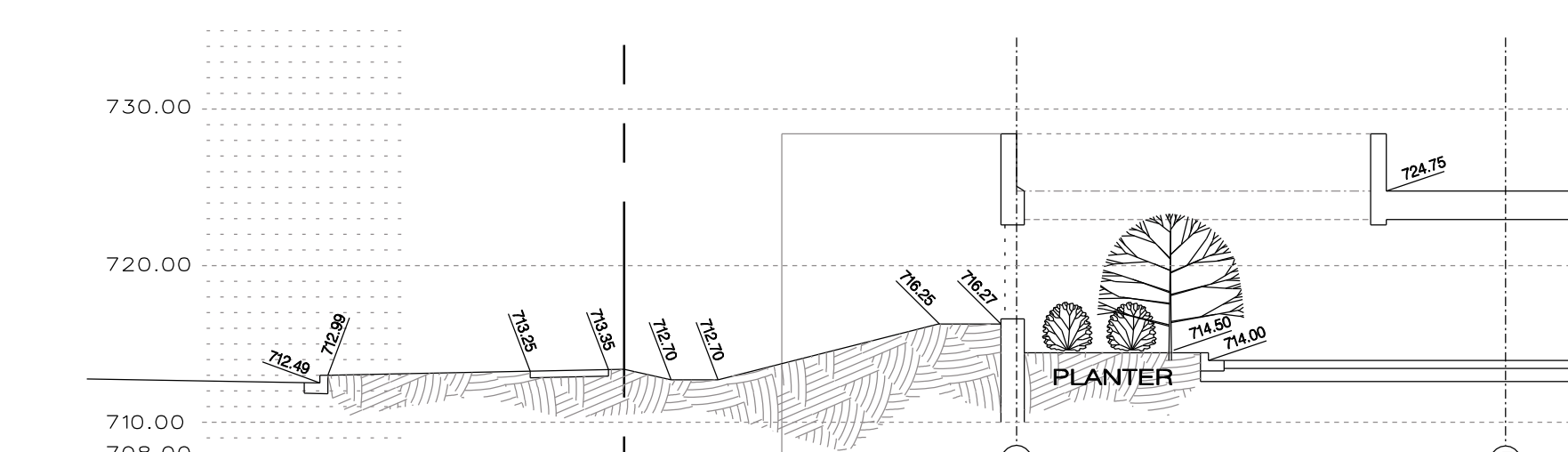
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SCALE: 1" = 10'-0" A-2



**DETAIL 3**  
SCALE: 1" = 10'-0" A-2



**DETAIL 4**  
SCALE: 1" = 10'-0" A-2



**DETAIL 5**  
SCALE: 1" = 10'-0" A-2

DEAN M. POZARYCKI, R.A.  
ARCHITECT  
ILL. REG. NO. 001-08720  
ARCHITECTURE \* LAND USE \* PLANNING  
4728 MAIN STREET, DOWNERS GROVE, IL  
OHIO REG. NO. A-83-07287 630-960-1443

**Rathje Planning Services, Inc.**  
412 CHICAGO AVENUE  
DOWNERS GROVE, IL 60515  
phone 630-963-4891 630-290-8819 (cell)  
rathjes@comcast.net

DATE ISSUED	
15 AUG 2013	19 NOV 2013
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REVISION	12 DEC 2013
REVISION	12 DEC 2013
REVISION	8 JAN 2014
REVISION	21 JAN 2014
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**NEW APARTMENT COMPLEX**  
715-719 ROGERS STREET  
DOWNERS GROVE, ILLINOIS  
FOR  
R.M.G. REALTY GROUP  
17W728 Butterfield Rd., Oakbrook Terrace, IL.

SHEET TITLE  
**ROOF PLAN  
ENLARGED  
APT. PLANS**  
PROJECT NO. D-016-13  
SHEET  
**A-6**  
SHT 6 OF 11 TOTAL SHEETS

SPECIAL USE DRAWINGS



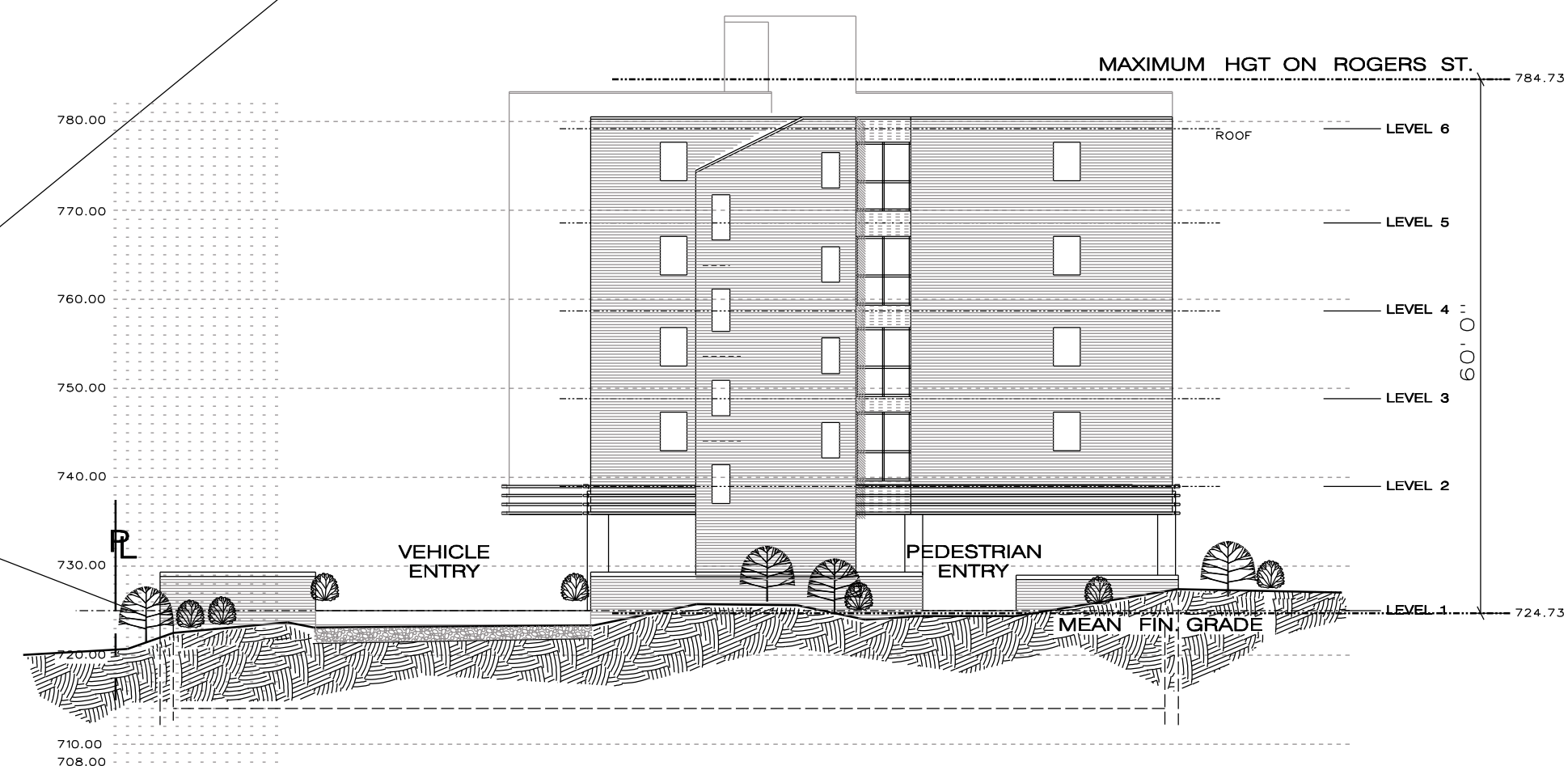


WEST (PROSPECT AVE.) ELEVATION

SCALE: 1/16" = 1'-0"

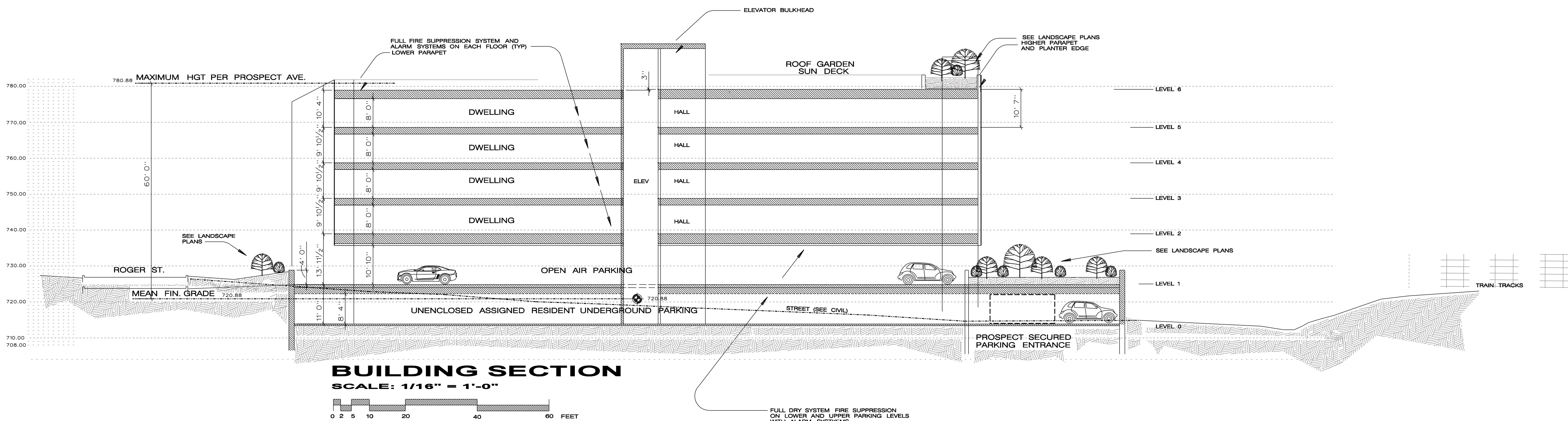


THESE ARE A DESIGN DEVELOPMENT DRAWING ELEVATIONS INTENDED TO SHOW GENERALIZED DESIGN CONCEPTS. THEY ARE NOT INTENDED TO BE AN EXACTING DETAILED CONSTRUCTION DOCUMENT. REFER TO SHEET A-9 FOR DETAILED INFORMATION REGARDING THE PROSPECT LEVEL EXTERIOR WALLS (FOR INFORMATION REGARDING THE FINISHED GRADE ELEVATION AND OPENINGS IN THE EXTERIOR WALL THAT WILL HAVE SECURITY GRILLAGE CONSISTING OF VERTICAL STEEL BARS OF TYPE AND SPACING SIMILAR TO THE EXISTING DOWNERS GROVE PUBLIC PARKING STRUCTURE.



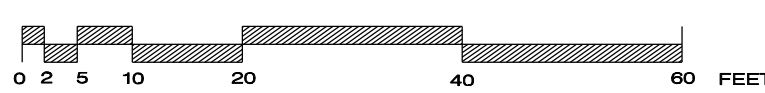
NORTH (ROGERS ST.) ELEVATION

SCALE: 1/16" = 1'-0"



BUILDING SECTION

SCALE: 1/16" = 1'-0"



DEAN M. POZARYCKI, R.A.  
ARCHITECT  
ILL. REG. NO. 001-08720  
ARCHITECTURE • LAND USE • PLANNING  
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OHIO REG. NO. A-83-07837 630-960-1443

Rathje Planning Services, Inc.  
412 CHICAGO AVENUE  
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phone 630-963-4891 630-290-8819 (cell)  
rathjes@comcast.net

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	& TITLES
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REVISION	21 JAN 2014
	PER STAFF COMMENTS
REVISION	

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R.M.G. REALTY GROUP  
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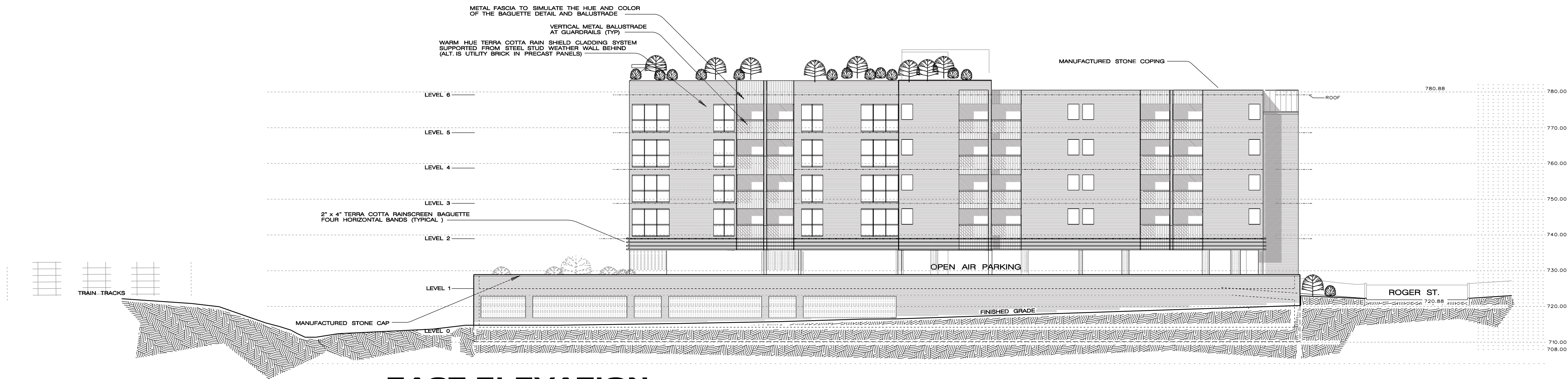
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ELEVATIONS  
BUILDING  
SECTION

PROJECT NO. D-016-13  
SHEET

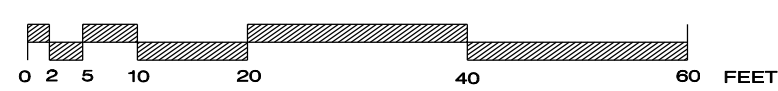
A-7  
SHT 7 OF 11 TOTAL SHEETS

SPECIAL USE DRAWINGS

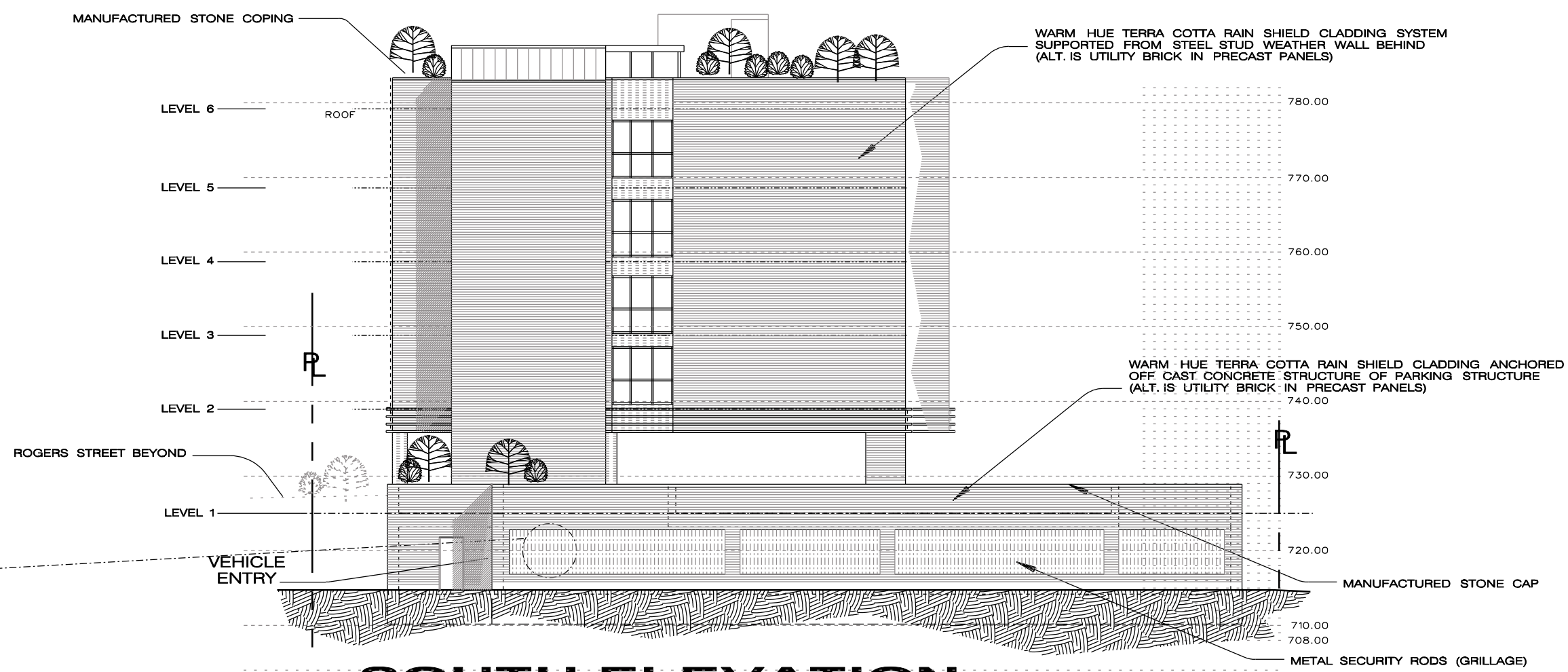




**EAST ELEVATION**  
SCALE: 1/16" = 1'-0"



SECURITY GRILLAGE  
METAL BARS



**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



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SPECIAL USE DRAWINGS

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IL REG. NO. 001-08720  
ARCHITECTURE \* LAND USE \* PLANNING  
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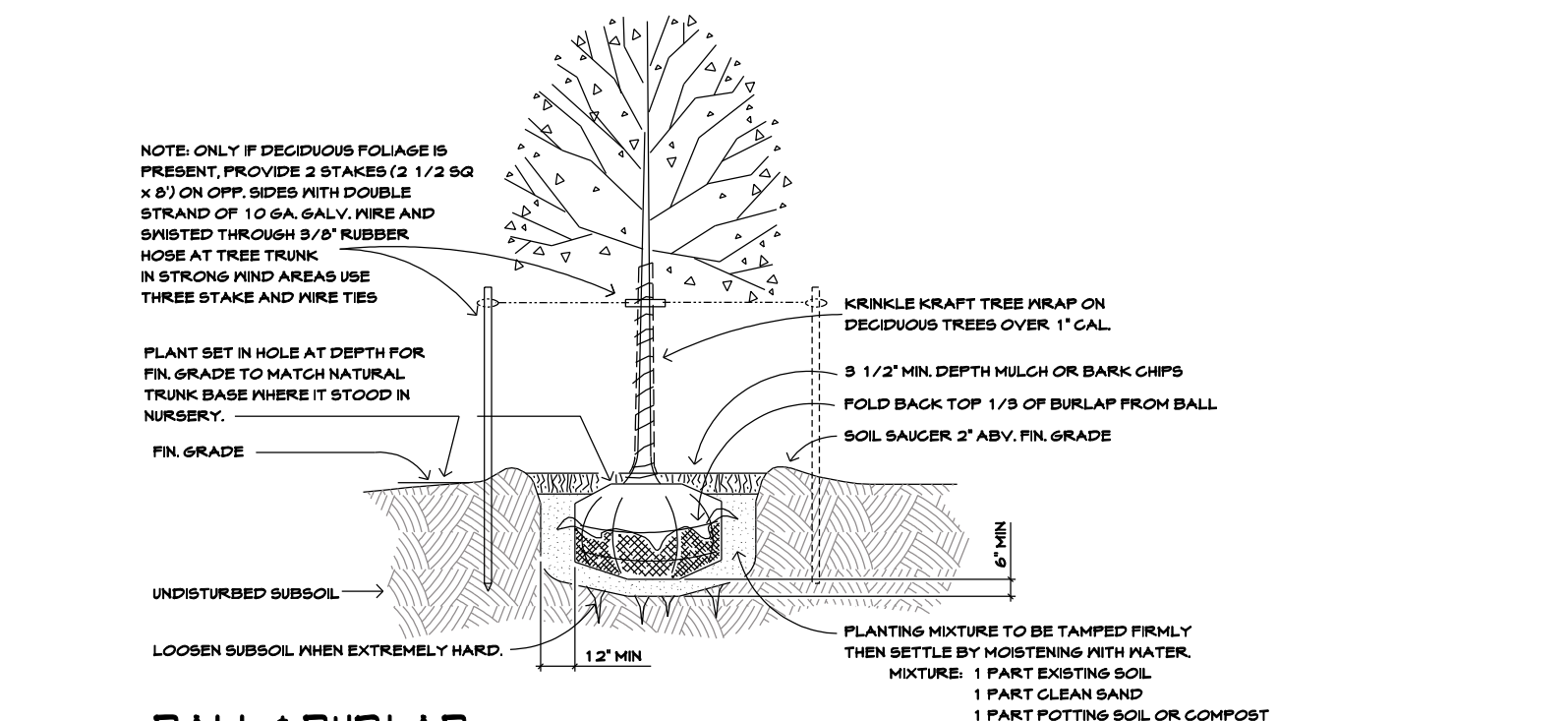
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412 CHICAGO AVENUE  
DOWNERS GROVE, IL 60515  
phone 630-963-4891  
kathje@comcast.net

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NEW APARTMENT COMPLEX  
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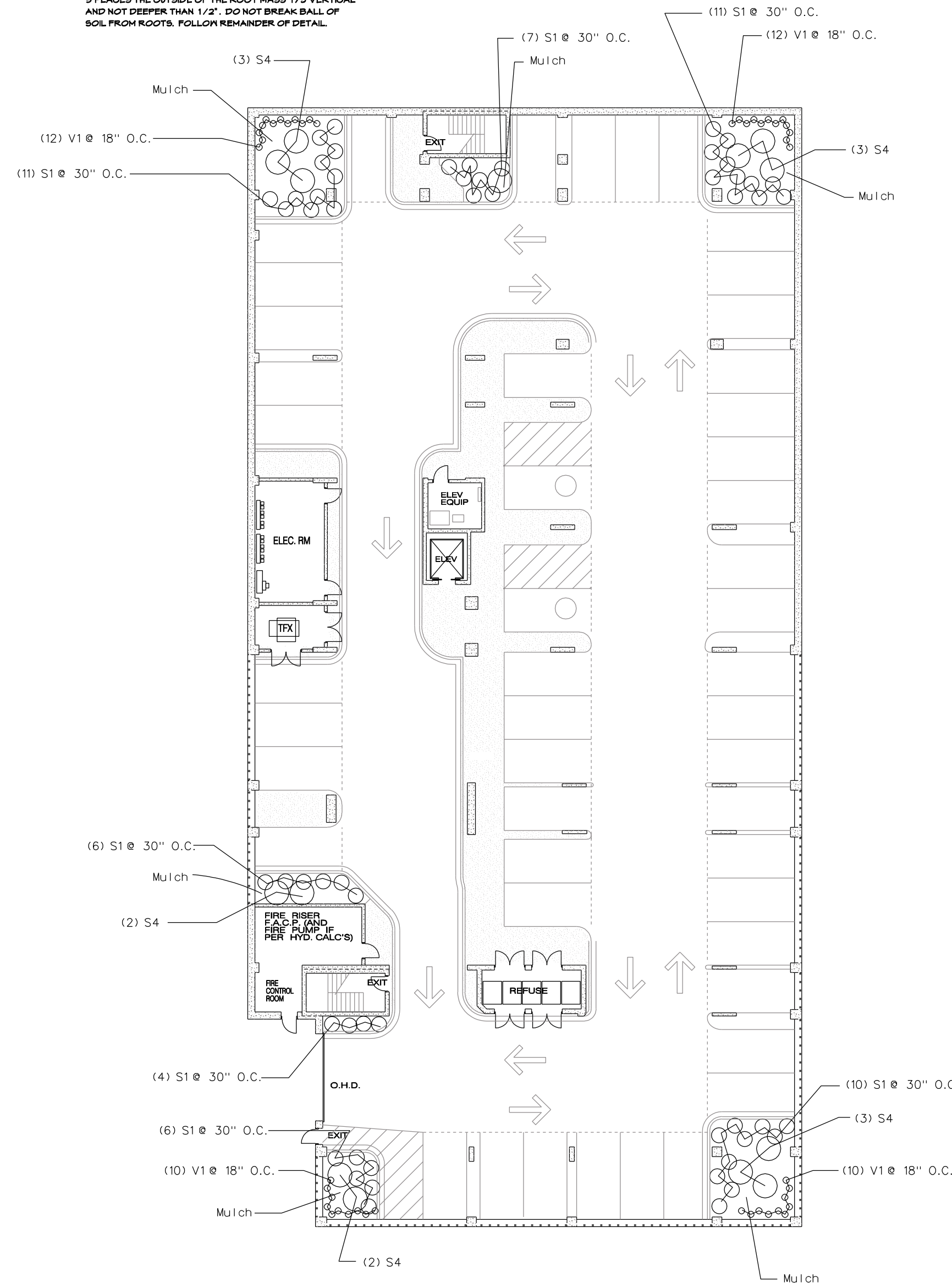
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ELEVATIONS  
ELEVATIONS  
PROJECT NO. D-016-13  
SHEET  
A-7b  
SHT 8 OF 11 TOTAL SHEETS





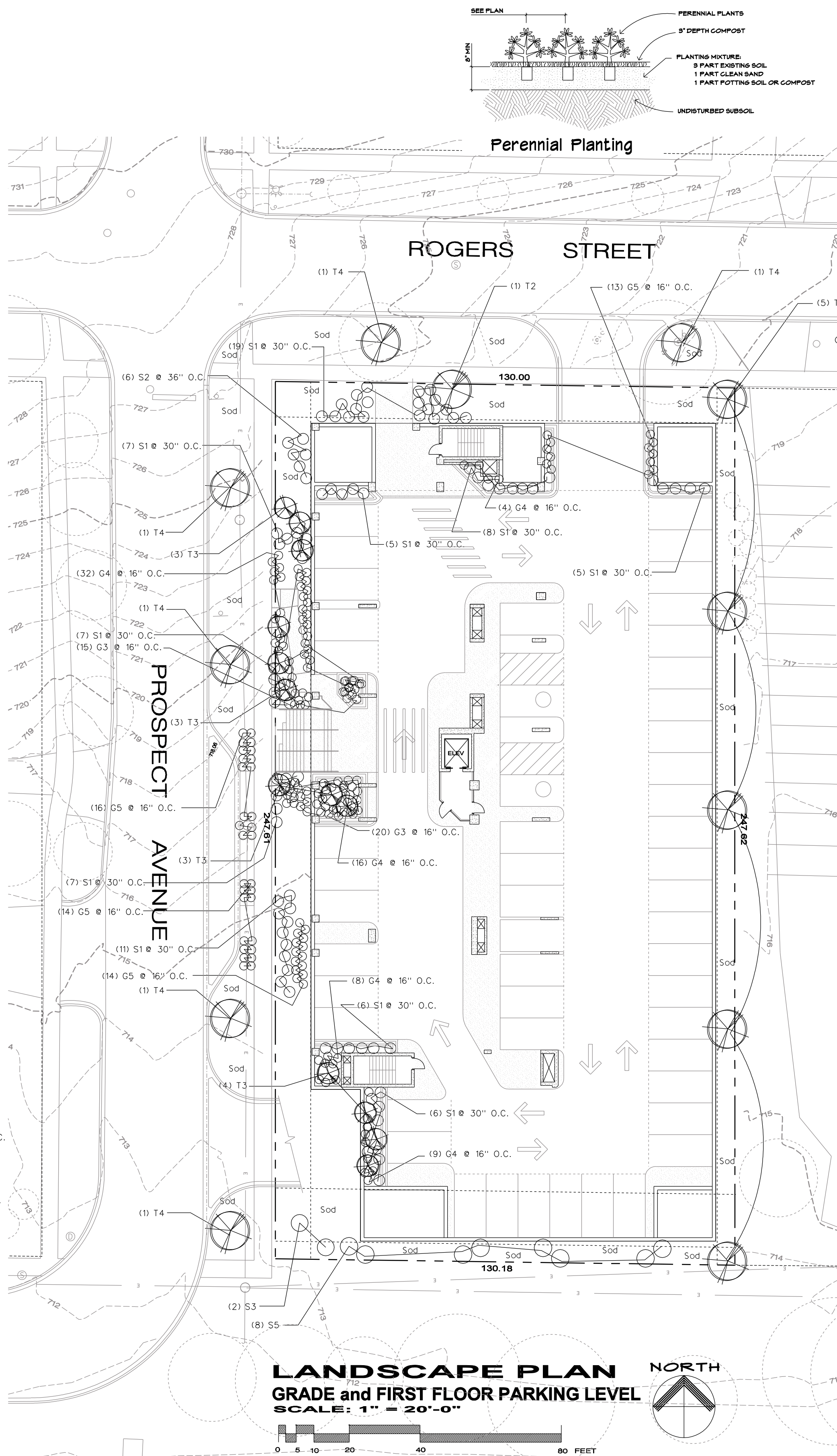
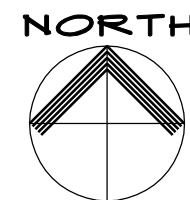
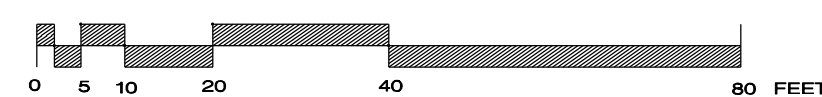
### BALL & BURLAP Deciduous & Evergreen Tree Planting

IF PLANTS ARE CONTAINER GROWN WITHOUT BURLAP, REMOVE CONTAINER AND SCARIFY (CUT VERTICALLY) AT 9 PLACES THE OUTSIDE OF THE ROOT MASS 1/3 VERTICAL AND NOT DEEPER THAN 1/2". DO NOT BREAK BALL OF SOIL FROM ROOTS. FOLLOW REHABER OF DETAIL.



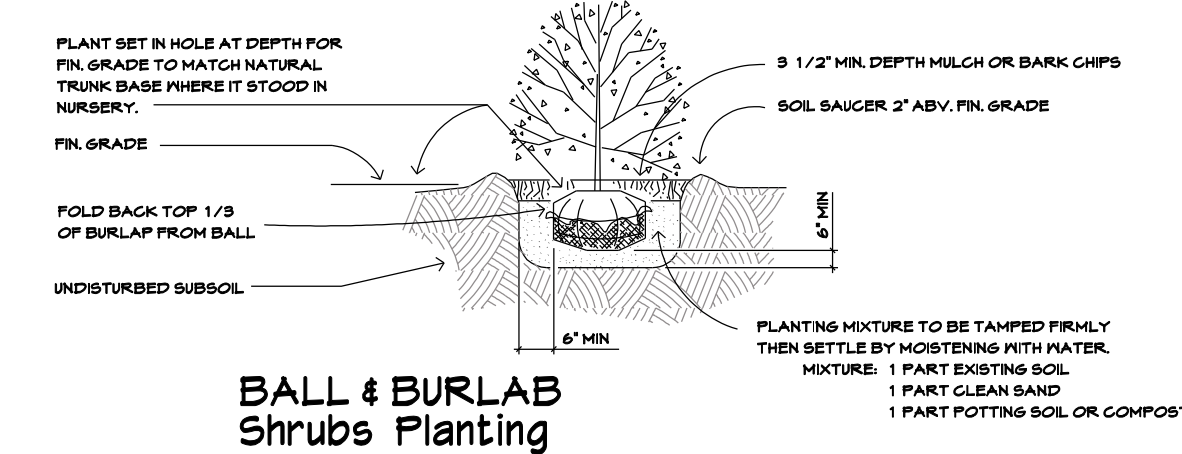
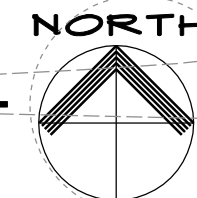
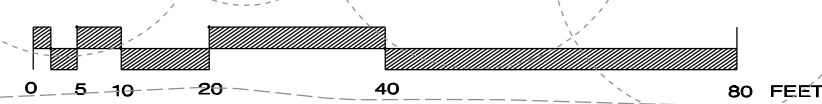
### LANDSCAPE PLAN PROSPECT AVE. PARKING LEVEL "P"

SCALE: 1" = 20'-0"

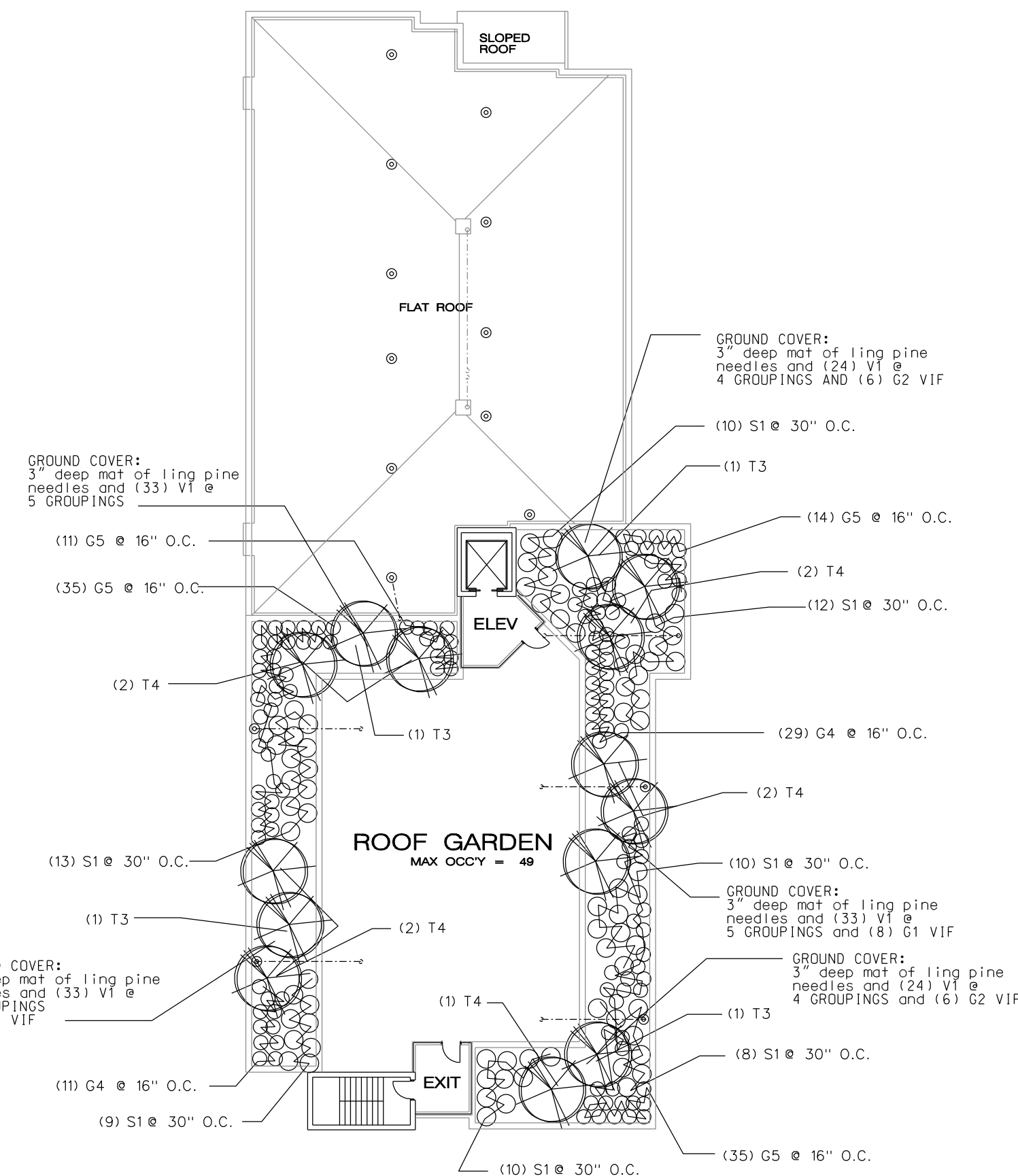


### LANDSCAPE PLAN GRADE AND FIRST FLOOR PARKING LEVEL

SCALE: 1" = 20'-0"

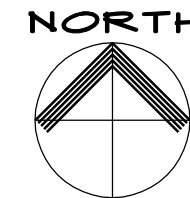
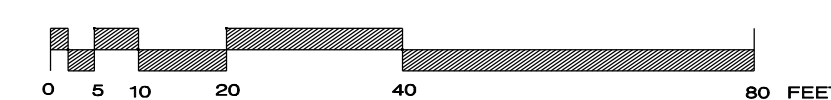


### BALL & BURLAP Shrubs Planting



### LANDSCAPE PLAN ROOF DECK LEVEL

SCALE: 1" = 20'-0"



PROPOSED NEW PLANTINGS LEGEND								
The actual may be substituted for similar stock selected from readily available material having the same size, growth pattern, color, exposure, and tolerant to this Planting Zone.								
	KEY	U.S.D.A. SYMBOL	QTY.	SIZE	APPROX. CENTER TO CENTER SPACING	BOTANICAL NAME	COMMON NAME	
TREES	T-1	QUMA2	6	2 1/2"	PER PLAN	Quercus Macrocarpa	Bur Oak	
	T-2	ACGI	1	2 1/2"	PER PLAN	Acer Ginnalo Maxima 'Autum' Blaze'	Amur Maple	
	T-3	ACPA2	17	2 1/2"	PER PLAN	Acer Palmatum var. Matsumurae	Sango Karu Japanese Maple	
	T-4	GLTR	14	2 1/2"	PER PLAN	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	
SHRUBS / BUSH	S-1	JUCH4	208	24"	30" o.c.	Juniperus chinensis var. 'sargentii'	Sargent Juniper	
	S-2	JUCO6	6	24"	36" o.c.	Juniperus communis var. 'Eflusa'	Common Juniper	
	S-3	TABAB0	2	48" HT	PER PLAN	Taxus Baccata	English Yew	
	S-4	ACPA2	13	2 gal.	PER PLAN	Acer Palmatum var. Dissectum Inaba Shidare	Inaba Shidare Japanese Maple	
	S-5	VIAC	8	18"	30" o.c.	Viburnum Acerifolium	Mapleleaf Viburnum	
GRASSES / REED / HERB / SEDGE / GROUND COVER	SOD	—	9300 S.F.	35% mix	—	Poa Pratensis	Kentucky Bluegrass	
				45% mix	—	Lolium Perenne	Perennial Ryegrass	
				20% mix	—	Festuca Arundinacea	Tall Fescue	
	G-1	PENH	16	1 gal.	18" o.c.	Pennisetum alopecuroides 'Hornem'	Dwarf Fountain Grass	
	G-2	RUSPS	12	1 gal.	14" o.c.	—	Salmonberry	
	G-3	—	35	1 gal.	16" o.c.	Helictotrichon sempervirens	Blue oat grass	
	G-4	SEAU3 / SEEL4	77	1 gal.	16" o.c.	Sesleria autumnalis	Autumn moorgrass	
	G-5	CAST36	185	1 gal.	18" o.c.	Calamagrostis x acutiflora	Karl Foerster	
	VINE	V-1	CLV14	191	1 gal.	18" o.c.	Clematis Viorna	Leatherflower

SPECIAL USE DRAWINGS

DEAN M. POZARYCKI, R.A.  
ARCHITECT  
ILL. REG. NO. 001-08720  
ARCHITECTURE • LAND USE • PLANNING  
4728 MAIN STREET, DOWNERS GROVE, IL  
OHIO REG. NO. A-83-07387 630-960-1443

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phone 630-963-4891 630-290-8819 (cell)  
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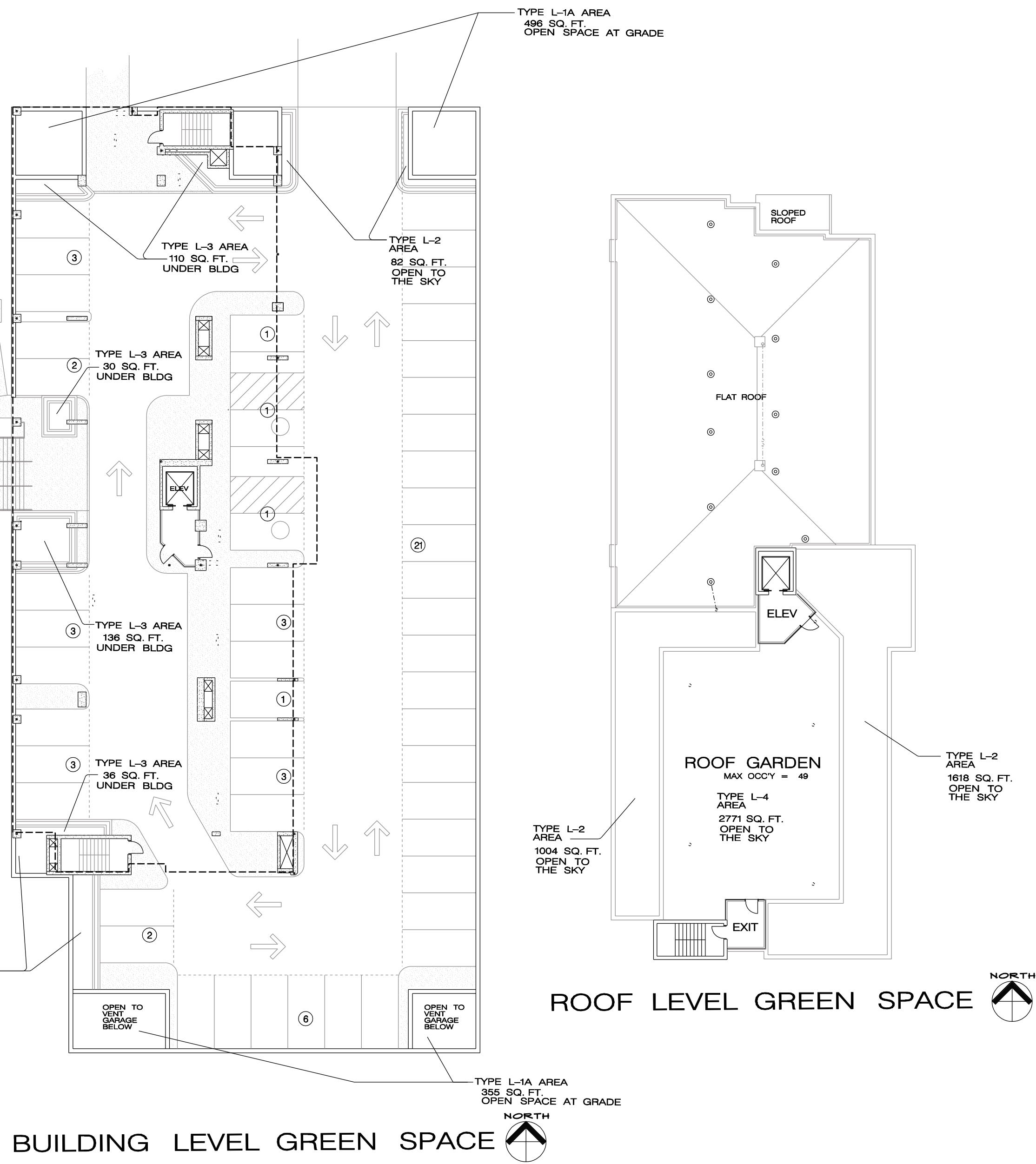
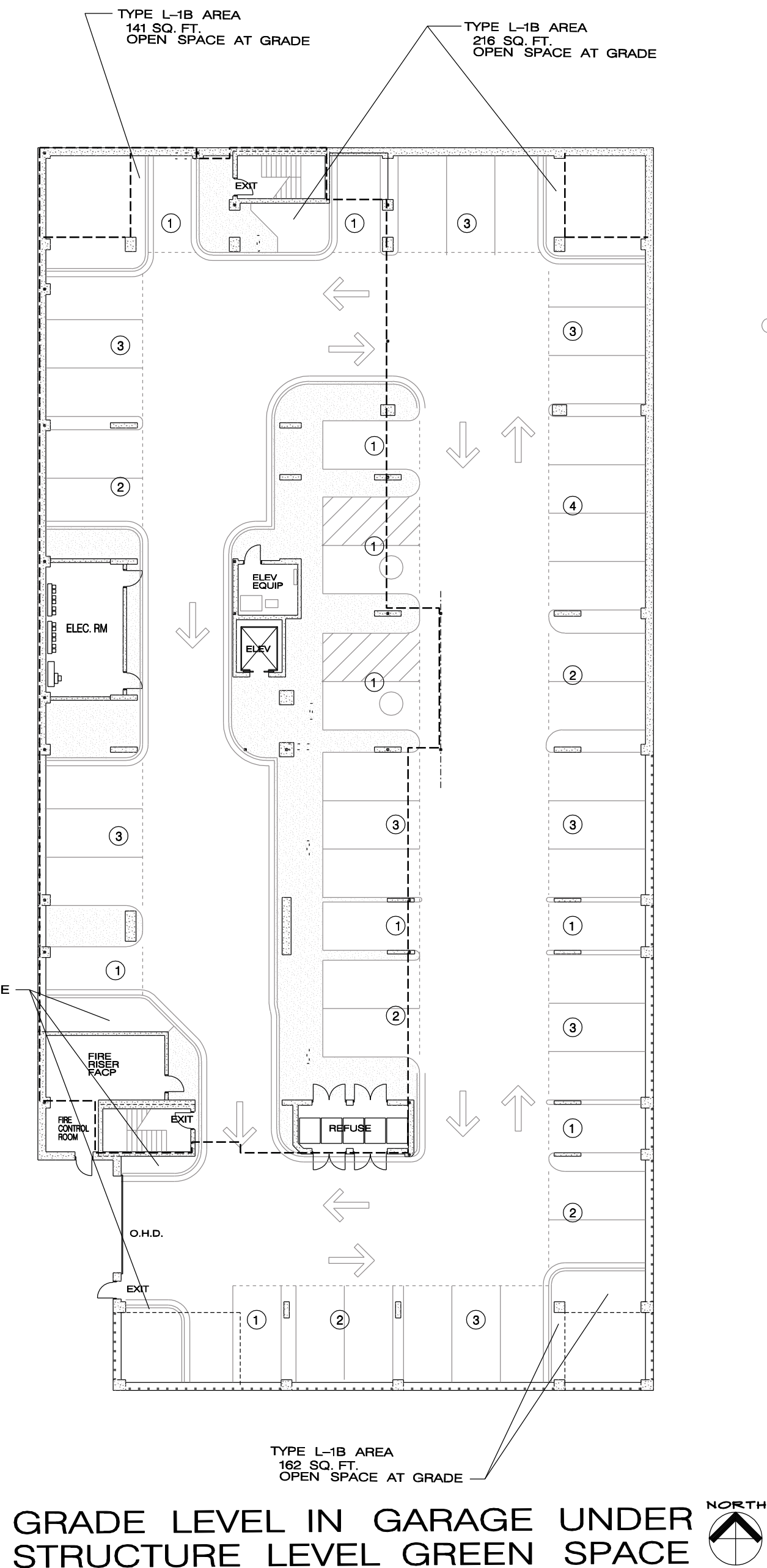
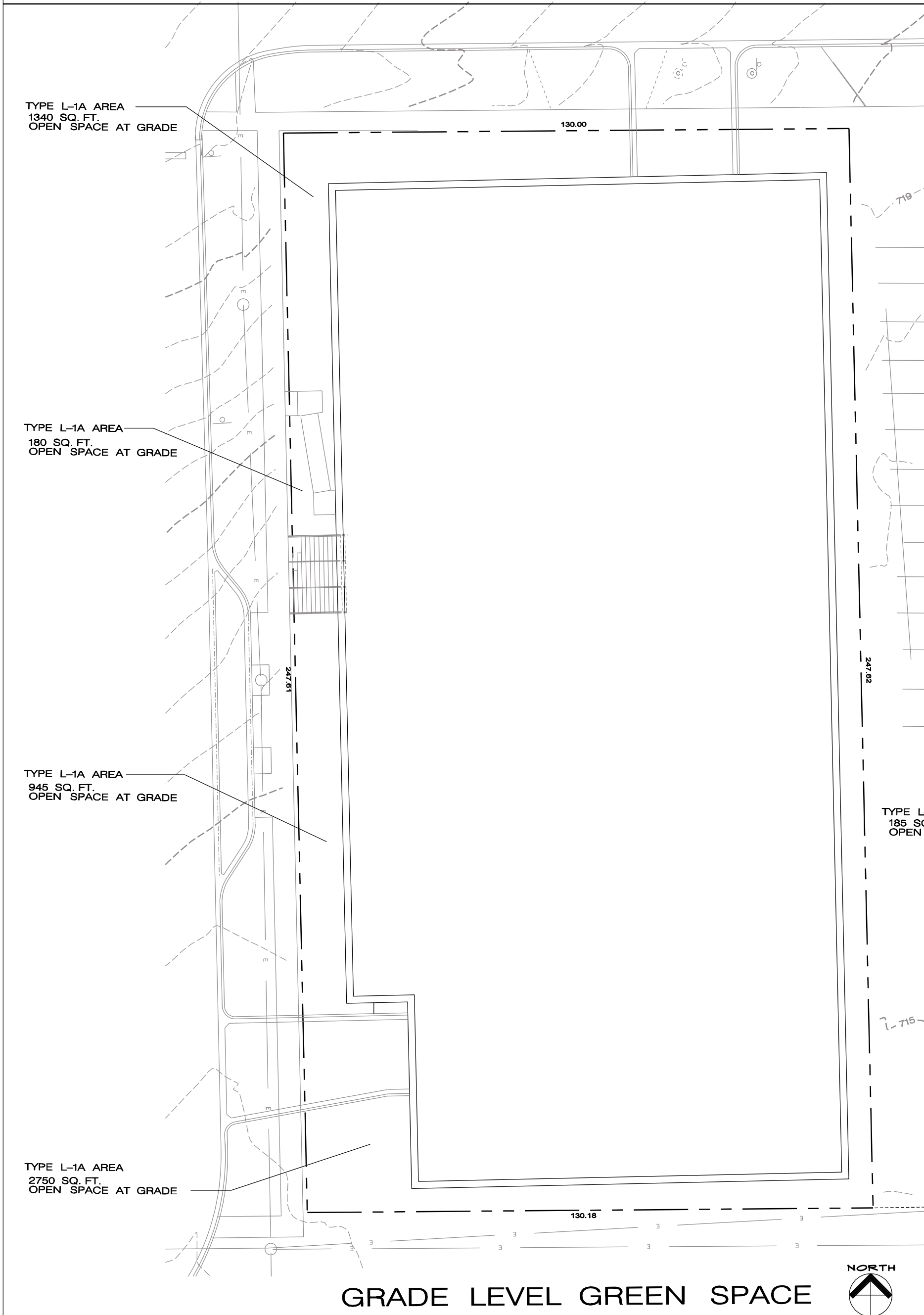
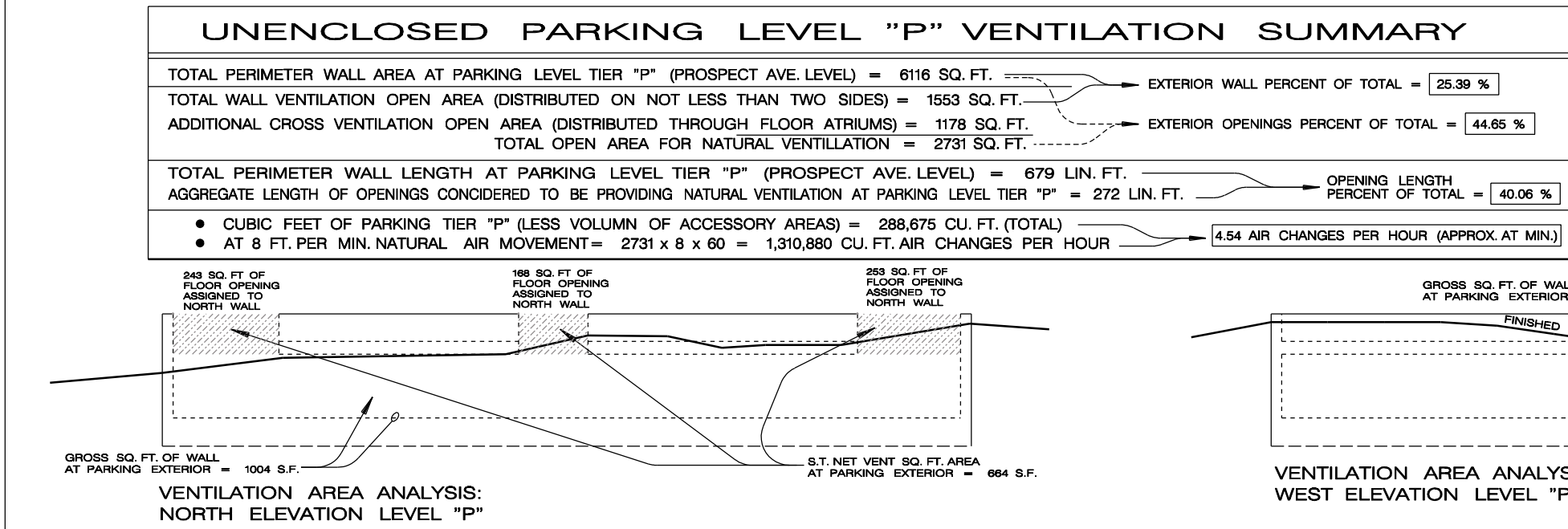
NEW APARTMENT COMPLEX  
AT  
715-719 ROGERS STREET  
DOWNERS GROVE, ILLINOIS  
FOR  
R.M.G. REALTY GROUP  
17w728 Butterfield Rd., Oakbrook Terrace, IL

SHEET TITLE  
LANDSCAPE PLAN

PROJECT NO. D-016-13  
SHEET

A-8  
SHT 9 OF 11 TOTAL SHEETS





COMMON GREEN SPACE SUMMARY DATA:			
NOTE: TYPE "L" AREAS ARE PERVIOUS LANDSCAPED AREAS NOTED OTHERWISE			
SITE AREA TOTAL		32,227 SQ. FT. (0.7398 Ac)	
OPEN SPACE TYPE	SUBTOTAL SQ. FT. PER TYPE		SUBTOTAL SQ. FT. TYPE "L"
L-1A AREAS = GREEN SPACE AT GRADE OPEN TO THE SKY	6096 SQ. FT.		12,756 SQ. FT.
L-1B AREAS = GREEN SPACE AT GRADE WITH STRUCTURE ABOVE	704 SQ. FT.		
L-2 AREAS = INTENSIVE, AND EXTENSIVE GREEN PERVIOUS LANDSCAPE SPACE ON STRUCTURE OPEN TO THE SKY	2913 SQ. FT.		
L-3 AREAS = INTENSIVE AND EXTENSIVE GREEN PERVIOUS LANDSCAPE SPACE ON STRUCTURE OPEN TO THE ENVIRONMENT SHELTERED UNDER BUILDING	312 SQ. FT.		
L-4 = MIXED EXTENSIVE, MODULAR, AND PARTIALLY PERVIOUS WITH DRAINAGE TO VEGETATIVE AREAS	2771 SQ. FT.		
<div>INTENSIVE GREEN PERVIOUS: WITH AT LEAST 1 FOOT (OR MORE) OF SOIL DEPTH WITH TREES AND SHRUBS ETC., WITH DESIGN INTEGRATION TO WATER SHEAD SYSTEM.</div> <div>EXTENSIVE GREEN PERVIOUS: WITH 5 INCHES TO 8 INCHES OF SOIL WITH HARDY GRASSES AND SMALL PLANTS WITH DESIGN INTEGRATION TO WATER SHEAD SYSTEM.</div> <div>MODULAR GREEN SYSTEM: PORTABLE SOIL CONTAINERS WITH OR WITHOUT PARTIAL WATER SHEAD STORAGE DEPENDING UPON SYSTEM DESIGN.</div>	CUMULATIVE SUBTOTALS	6770 SQ. FT. → 9683 → 9,995 → 12,776	
	PERCENTAGE OF TOTAL SITE	21.02% → 30.06% → 31.03% → 39.66%	

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OHIO REG. NO. A-83-07387  
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phone 630-963-4891 630-230-8819 (cell)  
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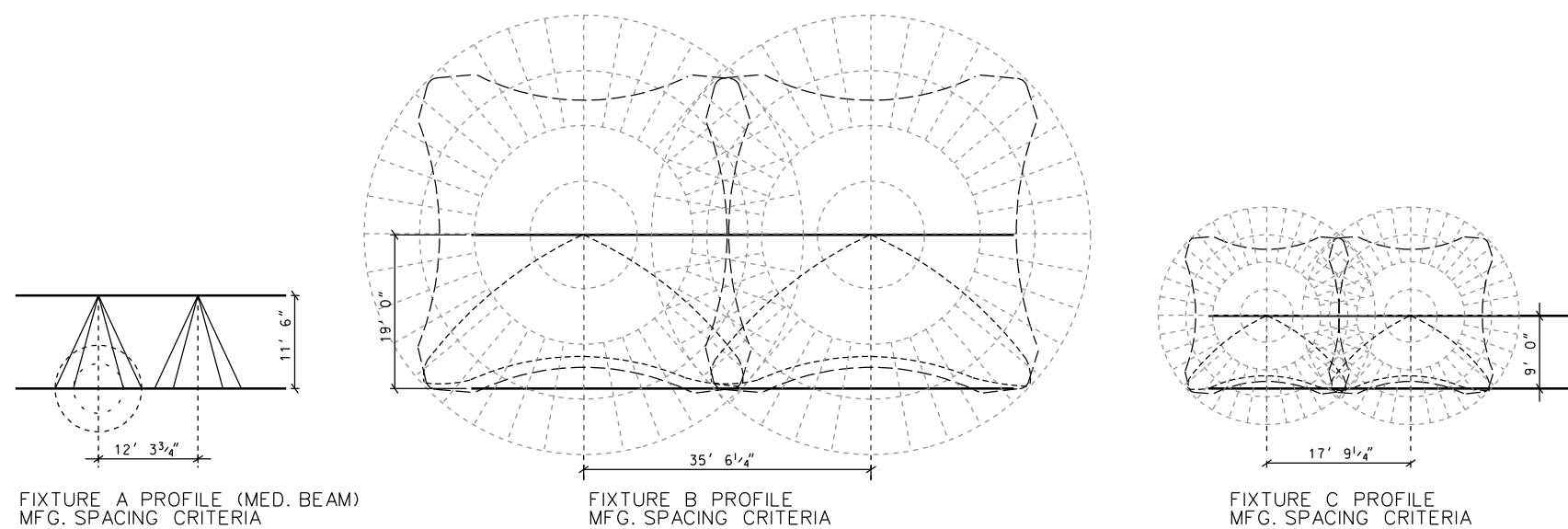
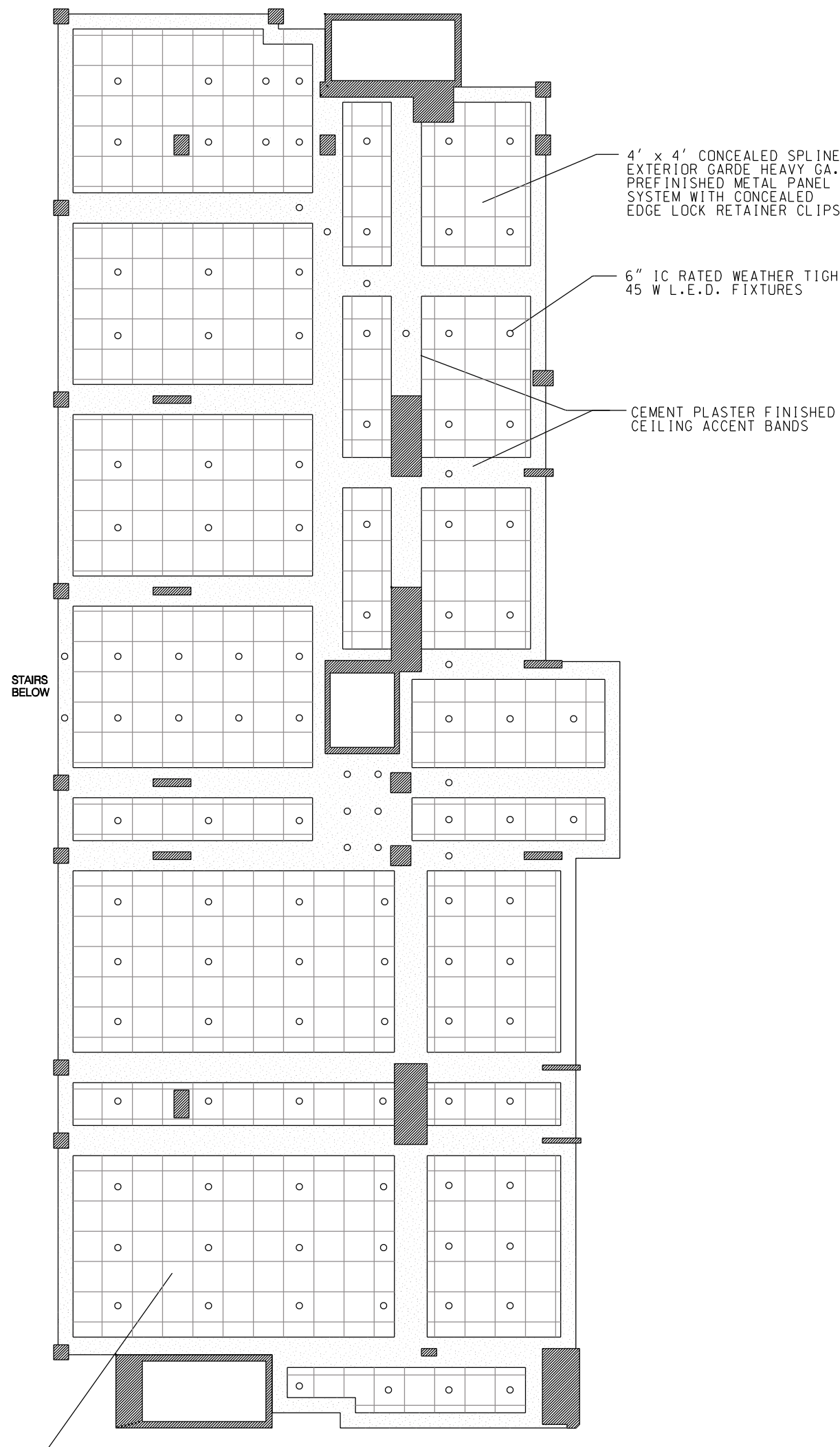
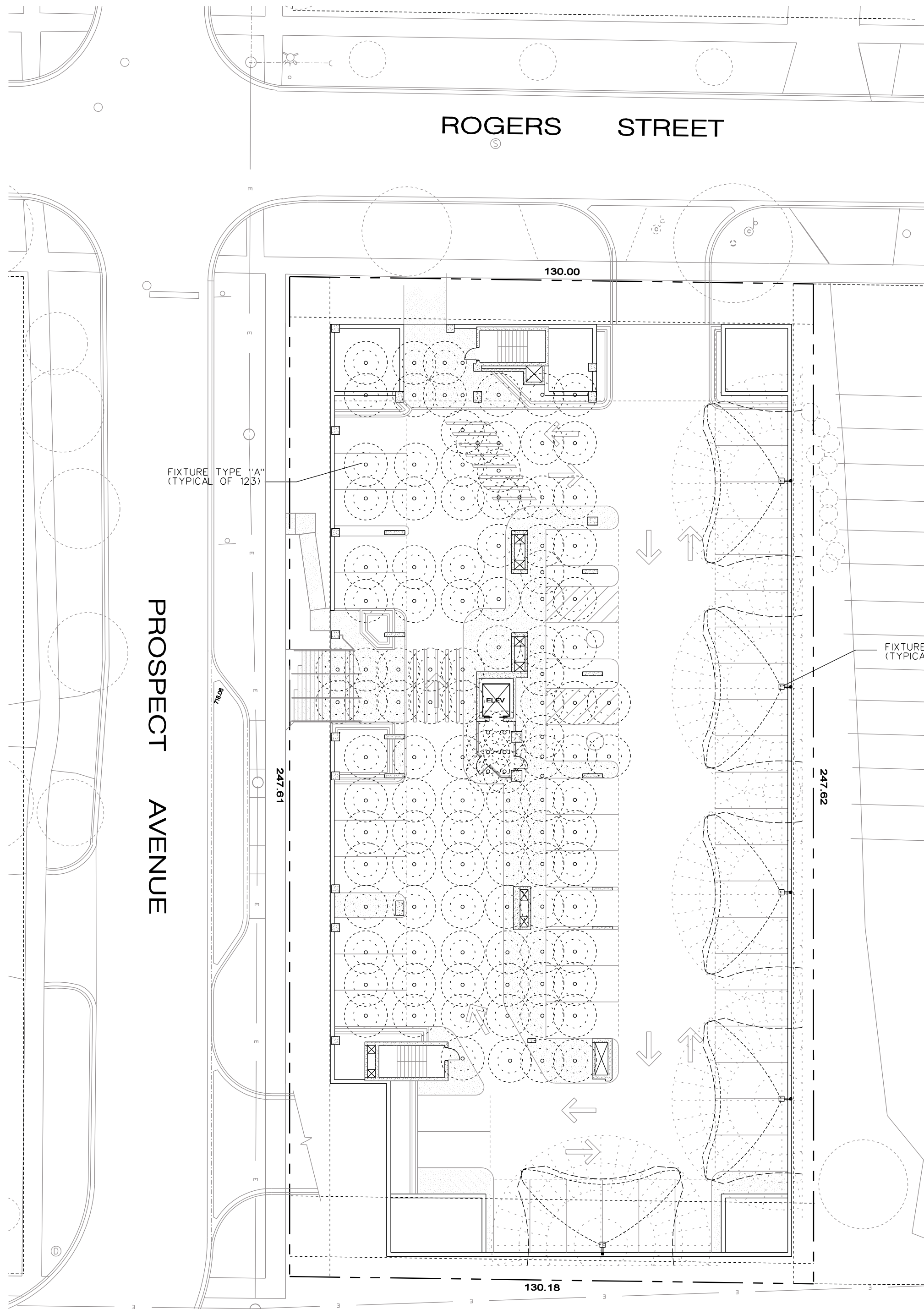
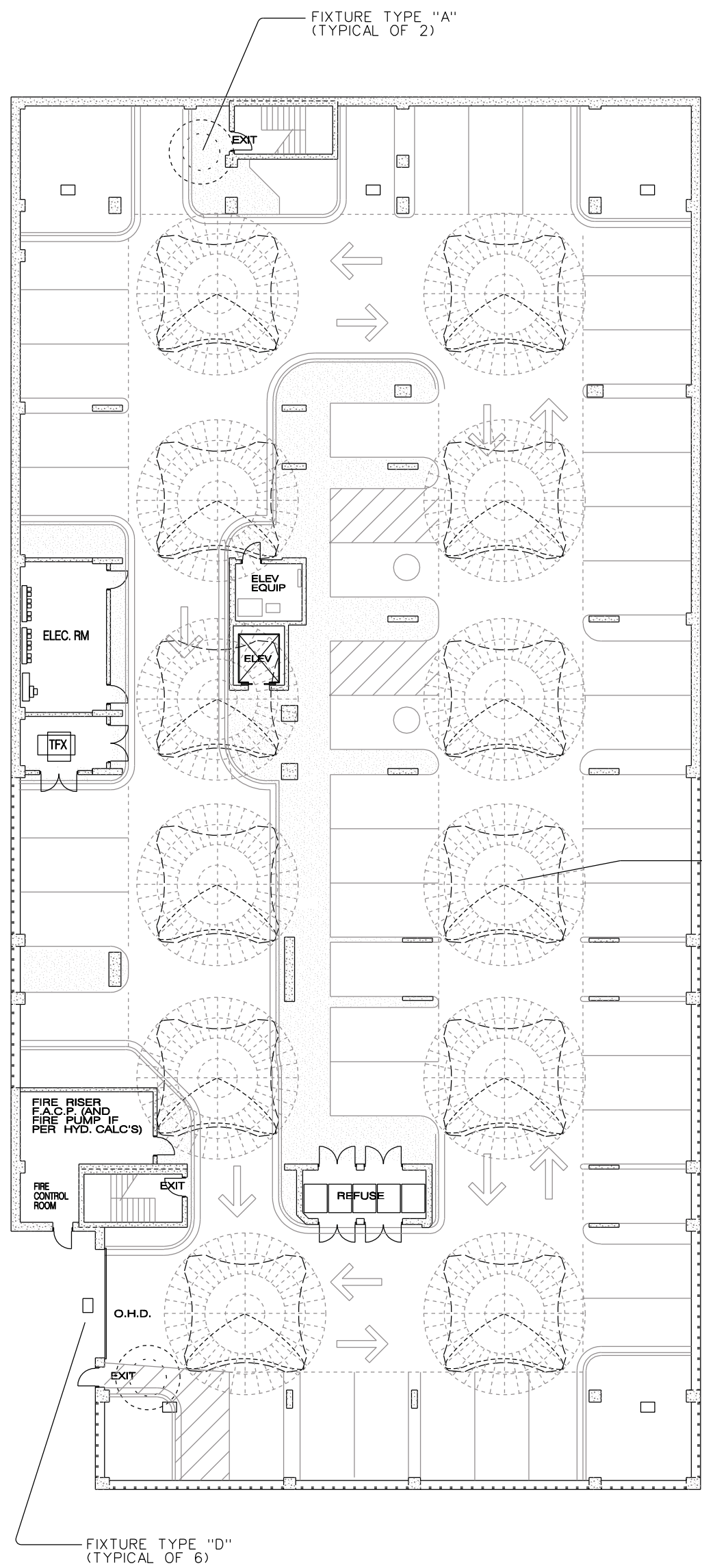
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17w728 Butterfield Rd., Oakbrook Terrace, IL

SHEET TITLE  
GREEN  
SPACE  
SUMMARY  
DATA

PROJECT NO. D-016-13  
SHEET  
A-9  
SHT 10 OF 11 TOTAL SHEETS

SPECIAL USE DRAWINGS





I.E.C.C. ELECTRICAL LIGHTING LOAD ALLOWANCE (PARTIAL TABLE)					
USAGE AREA	GROSS RELATED LIGHTED FLOOR AREA	LPD (W/SQ FT)	MILPA (W) (MAX. ALLOWED)	USAGE AREA SUBTOTAL LIGHTING WATTS SHOWN	
PROSPECT GARAGE LEVEL	25,870 sq. ft.	x 0.3	7,761 w	6,332 w	
ROGERS ST. "GARAGE AREA"	12,380 sq. ft.	x 0.3	3,714 w	4,746 w	
OPEN PARKING AREA (ZONE 3)	10,390 sq. ft.	x 0.10	1,039 w	1,000 w	
		x			
		x			
BUILDING SUMMARY			12,514 w	7,378 w	

LUMINAIRE TABLE							
QUANTITY	MARK	LUMINAIRE DESCRIPTION	MOUNTING HEIGHT	WORK PLANE HEIGHT	FIXTURE LUMEN OUTPUT	LUMINAIRE SPACING CRITERIA	WATTS PER FIXTURE
123	A	L-1540-G2 (INDY LED 8" HYPERBOLIC OPEN APERTURE)	11'-4"	GRADE SURFACE	1431	1.07	42 w
5	B	SS2-B16-6K-UN-FT (ACCULITE "AREOS" LOW PROFILE LED) FORWARD THROW	19'-0"	GRADE SURFACE	16,886	1.9 : 1	200 w
12	C	IS1-A12-4K-UN-5L (ACCULITE LOWBAY LED)	9'-0"	GRADE SURFACE	11,275	1.84	129 w
6	D	WP2-40W LED-4IK-UN-TP (ACCUPAK LED SECURITY)	11'-4"	GRADE SURFACE	1463	N/A	37 w

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SHEET TITLE  
PHOTOMETRIC PLANS  
ROGERS ST. REFLECTED CEILING PLAN  
PROJECT NO. D-016-13  
SHEET  
A-10  
SHT 11 OF 11 TOTAL SHEETS

SPECIAL USE DRAWINGS

VILLAGE OF DOWNERS GROVE  
PLAN COMMISSION MEETING  
PUBLIC HEARING

FEBRUARY 3, 2014, 7:00 P.M.

Chairwoman Urban called the February 3, 2014 meeting of the Plan Commission to order at 7:00 p.m. and led the Plan Commissioners and the public in the recital of the Pledge of Allegiance.

**ROLL CALL:**

**PRESENT:** Chairwoman Urban, Mr. Beggs, Mr. Cozzo, Mrs. Lupescu (ex-officio), Mr. Matejczyk, Mr. Quirk, Ms. Rabatah, Mr. Rickard, Mr. Waechter

**ABSENT:** Mr. Webster; ex-officios Mr. Menninga and Ms. Souter

**STAFF PRESENT:** Senior Planner Stan Popovich and Planner Kelley Chrisse

**VISITORS:** Ken Rathje, Rathje Planning Services; Dean Pozarzycki, Architect; Michael Gatto, RMG Realty Group; Bob Gundmunson, RWG Engineering, LLC - 975 E. 22<sup>nd</sup> Street, Wheaton, IL; Henry Schmidt, Moldtronics; Christina Benson - 841 Rogers Downers Grove; Bill Kay - 2100 Ogden Avenue, Downers Grove

Chairwoman Urban provided a brief review of the meeting's protocol. Mr. Beggs wanted to confirm that the petitions being reviewed tonight are subject to the current zoning ordinance even though recommended revisions to the zoning ordinance have been sent to the Village Council. Mr. Popovich confirmed that transitional provisions are included in the proposed zoning ordinance and it is anticipated that the revisions to the zoning ordinance would be adopted and possibly effective around mid-April. Any cases approved under the current zoning ordinance would receive permits for same, even if the new zoning ordinance is in effect at the time a building permit is issued.

Chairwoman Urban swore in those individuals who would be speaking on the following two petitions:

**FILE PC 50-13:** A petition seeking approval of a Special Use to construct a multiple-family residential structure at 715-719 Rogers Street. Property is zoned DT Downtown Transition District; Property located on the southeast corner of Rogers Street and Prospect Ave., commonly known as 715-719 Rogers Street, Downers Grove, IL; RMG Realty Group, LLC, petitioner; 1501 Ogden Associates, LLC, Owner.

Planner Kelley Chrisse summarized the request before the commissioners, noting the Village Council in May 2008 made various approvals to allow the construction of a 16 townhomes on the site. The site was rezoned from M-1 to Downtown Transition as part of the approval and it received special use, planned development and final plat of subdivision. Since that time, however, the approvals lapsed and staff was asking that those prior approvals be rescinded.



The site location and surrounding area were pointed out, along with the current one-story industrial building which would be razed in order to construct a 48-unit upscale apartment building with roof garden. The property, containing two lots, would have to be administratively consolidated should approval be granted. Four floors of dwelling units (1 and 2-bedroom units) are planned to be constructed above a two-story, open-air parking structure. A list of amenities followed.

Due to the west-to-east grade differential of 6 feet and the north-to-south grade differential of 13 feet, it allowed for the construction of the parking structure where the lower level will be accessible from Prospect Avenue for residents only through a gated entry. Forty-eight (48) assigned spaces will exist with two spaces being handicap accessible. Grade level parking will be at Rogers Street, where guests can access the garage. On this level there will be 50 parking spaces -- two being handicap accessible. A four-foot knee wall will surround this level and will also be open. Pedestrian access to the building was explained.

Building elevations, architecture, and materials were reviewed, with Ms. Chrisse mentioning that two facade options were being proposed by the petitioner: 1) a terracotta cladding system; and 2) a utility brick embedded in pre-cast concrete panels. Color will be medium brown with charcoal colored sunshades, balustrades and metal fascia. Perspectives of the two facades followed. A review of the building's landscaping briefly followed and, per Ms. Chrisse, the village forester reviewed the landscape plans with a concern about the continued maintenance of the interior beds, which staff has incorporated into a condition. However, an irrigation system has been proposed where recycled rain will water the roof garden and the interior beds.

Public improvements were discussed with staff noting that the current sidewalk stub that exists does not align with the sidewalk on the other side of Rogers Street and staff is requesting that they align. Both parkways will be restored with parkway trees, as determined by the village forester. Ms. Chrisse stated that because the stormwater currently flowed into a culvert on Prospect Avenue and because the net increase of new impervious was only 1,000 sq. feet, it did not require detention or volume control best management practices. However, the petitioner was proposing to install a containment structure to be located at the southwest corner of the site to improve water quality for site discharge and to receive run-off from the roof and grade level parking prior to entering the storm sewer system. The roof garden will also reduce run-off.

Per Ms. Chrisse, the Fire Prevention division chief had indicated to staff that access will be from Rogers Street and Prospect Avenue, where entry into the site is not required. A dry pipe fire suppression system is being proposed for the parking levels along with a traditional wet pipe system for the residential floors. All floors will have a fire alarm system.

Setbacks and bulk regulations were reviewed by Ms. Chrisse who indicated she inadvertently omitted the five-foot side yard setbacks in her report but confirmed the proposal does meet the requirements. While no open space was required for the Downtown Transition area, she stated the petitioner was increasing the amount of green space from what currently exists.

Lastly, the Standards for Approval for a special use have all been met and staff recommended that the Plan Commission make a positive recommendation to the Village Council subject to staff's conditions in its report.

A number of questions arose regarding the length of the leases, the type of security for the building, the maintenance of the garbage chute (odor control); recycling; snow removal maintenance; whether an on-site manager will exist and what is meant by “temporary parking” for the drop-off zone on Prospect Avenue. After staff’s explanation of the temporary parking, it was suggested that it have clearer language to which staff was open to commissioner revisions. Asked why there was a special use, staff clarified that the special use request was due to the proposal being in the Downtown Transition area and a multiple family structure required a special use. Details followed as well as what was approved back in 2008, i.e., 16 townhomes. Mr. Quirk expressed concern about the density being proposed now.

Petitioner, Mr. Ken Rathje with Rathje Planning Services, Downers Grove briefly introduced his team and walked through the steps of how he and his client decided upon the site. Details followed how the building was determined to fit into the site, specifically, working with the site’s grade. Access and security were reviewed again briefly. Common mechanical equipment would be on the roof clustered near the middle north end of the building and be screened from the ground while at the south end of the roof would be the garden area that would use recycled water and for other landscaped areas. Further landscaping details followed with Mr. Rathje explaining that the village forester has indicated that the petitioner pay \$500 per tree and the forester would select the appropriate trees and plant them. The one existing tree on Rogers Street will be protected while another existing tree, located near the driveway, may be of concern due to construction damage, and, if damaged, per the staff report, the petitioner would have to work under the village’s assessment formula and compensate for the existing tree. Again, Mr. Rathje addressed stormwater issues, public improvements, and properly aligning the sidewalks.

A more thorough review of the upscale amenities followed, as well as building material (concrete/steel), and the fact that once the soil bearing capacity will be determined once the existing building was razed, then the appropriate building material would be decided. Security would consist of a key-FOB system and a 24-hour camera system; trash odor would be handled depending on the frequency of the garbage removal; there would be no recycling facility; a nearby manager would be available 24 hours for emergencies; leases would typically be for one year; the temporary drop off area was envisioned to be no more than a 15 minute limit; the special use would exist for the life of the property and the zoning ordinance did not distinguish between rental or for-sale properties. Any conversion to condominiums would be done through the state’s Condominium Act. The type of roof vegetation that was considered was explained and clarified further.

Lastly, Mr. Rathje addressed the standards for special use which he believed were consistent and in compliance with the village’s Comprehensive Land Use Plan. He emphasized that the proposal took advantage of the pedestrian-environment in the downtown area, it was a commuter-oriented and transit-oriented proposal, as the proposed building would be 1,300 feet walking distance to the downtown trains station. The standards for a special use were reviewed in detail by Mr. Rathje.

Per commissioner questions, Mr. Rathje explained that the building would be leased typically for one year which was the standard model; the 24 hour hot line would be managed by a local rep (probably one of the owners) who would be responsible to organize and hire the various trades necessary, such as snow plowing. Because the temporary parking was located on village right-of-way, it would be subject to village standards. Mr. Rathje explained the soil bearing process and the trash chute eliminating process. Mr. Waechtler suggested having a person on the premises, especially for late night security.

Mr. Michael Gatto, with RMG Realty Group, discussed his own background with housing and security issues in the downtown Chicago area as compared to what would be needed for this development; the fact that he has a property management service which is family operated and in the vicinity. Because he believed the building was small enough, having an on-site 24-hour security person was not necessary. However, he did envision having a person on-site for the lease out process for the first two years.

Commissioner concern was raised regarding the six-story height of the building versus the surrounding two-story structures in the area and the fact that Stations Crossing, located at Main and Rogers Streets, was the same cross-section as what was being proposed, to which Mr. Rathje explained that proposed building was consistent with many of the other multi-family buildings in and around the downtown area and the height was established by right and any other use could come in and build without a special use. Additionally, the density of the downtown had increased over the years.

Asked what a containment tank was, Mr. Bob Gundmunson, with RWG Engineering, explained it was best described as an “oil/sediment separator” to improve the effluent leaving the site. A description of the tank facility followed.

Mr. Dean Pozarzycki, 4728 Main Street, Downers Grove, architect for the proposal, discussed the photometric lighting system will be all LED. Details followed. As to the lighting overspill on the upper parking level, the fixtures will be “dark sky” quality with lumens directed appropriately. During the construction drawing phase is when a foot candle analysis (based on the LEDs), will be done. Lighting compliance will meet the village’s ordinance regulations as it relates to lighting overspill. Details followed regarding the types of fixtures that will be used to control spillage.

Per Mr. Rathje, signage will comply with the village’s ordinance. There will be no separate tenant storage space in the garage or building. Visitors and residents will have access to the upper parking level and parking at the lobby level will be controlled with a key-FOB system. Lastly, Mr. Rathje indicated that a traffic impact study was not done due to the size of the project. The prior 16-unit townhouse project, however, he surmised would have had 8 to 10 trips in per day, per unit, for an estimated 128 trips in per day. Not knowing the characteristics of the occupants of the proposed building, but estimating that one-third to one-half would be rail commuters, he estimated it would drop the trips by half or more. His estimates followed. He agreed that the character of building would also change over time, along with its tenants, i.e., some people may take the train over time or change jobs, but the goal was to keep them there. To have a reasonable number of parking spaces was a luxury tenants would pay for and Mr. Rathje, citing parking numbers he reviewed from a traffic manual, estimated there would be an over-supply of parking spaces. As to how the amount of parking for this development compared with the project approved previously, Mr. Rathje explained that the townhome proposal would have had two spaces per unit or 32 parking spaces and few guest parking spaces as compared to five or six times that amount for this development.

Asked what would prevent commuters from parking in the open parking lot, Mr. Rathje indicated that such vehicles would be towed and impounded if it were to become an issue; no different than the surface level parking lots. The owner would have to hire a towing company. Lastly, Chairwoman Urban inquired how the petitioner decided upon the “post World War II Modern” architectural style and what other options were considered.

Architect, Mr. Dean Pozarzycki returned to the podium and explained he looked overseas for styles of architecture, and while it was aesthetically artificial, he wanted to stay true to the current form and time period. He wanted to represent the neighborhood relative to the outside materials.

Chairwoman Urban indicated she had difficulty understanding how the architecture was a transition and felt it was more institutional looking and she questioned if it fit into the neighborhood, i.e., the color was monotone through all four sides that are 60 feet tall and stretch a full block; the windows on Prospect, to the south, were attractive but moving to the north, those windows were lost and also along Rogers. She noted the building appears to be one that had been constructed for a previous use and converted, but here the developer is building from scratch. The cornice line includes a stone coping, but is very flat and plain, she doesn't see lintels or columns.

Mr. Pozarzycki noted that if he was looking for a different time period, those details would be seen, but he clarified it was a simple building and buildings are experienced in three-dimensional forms and other elements exist in the design that relate to the building. He reminded commissioners the architecture was a personal taste. He also reminded the commissioners that two approaches to the building were being considered: a very heavy massive concrete-type structure and another one was light relative to the soil characteristics. Mr. Pozarzycki proceeded to discuss the difference in the brick and terracotta cladding system and preferred not to see too many colors but instead rely on the sun and natural environment to do the "play around the building three-dimensionally."

Mr. Waechtler noted the building looks a little 'blah,' but he wasn't sure what the architect could do to make the building a little more colorful. Taking away the landscaping, he thought the building looked more commercial and institutional versus residential. He thinks maybe they could examine opportunities to modify the building and make it appear more residential.

Chairwoman Urban opened up the meeting to the public.

Mr. Henry Schmidt, President and owner of Moldtronics, an adjoining property, commented that the location for the development was not ideal, Rogers Street could not handle the number of people that would live there, and the proximity of the building to the train was less than ideal.

Ms. Christina Benson, 841 Rogers Street, believed the development was wonderful for the neighborhood, attracting younger people who spend money in the area who bring in business and revenue. She found the building attractive.

Mr. Rathje closed by stating he believed the project could bring value to the community and asked for the commissioners' support. Regarding the air conditioning system, Mr. Pozarzycki explained the air conditioning unit will have its own condenser that will be concealed within the deck area. Details followed. Regarding the heating and air conditioning systems, the venting will be through the wall system into the balconies and through the building's roof. A parapet will shield the mechanicals.

Hearing no further comments, Chairwoman Urban closed public comment and invited the commissioners to deliberate.

Mr. Waechtler again, thanked the petitioner and team members for the amount of time spent on the presentation and for bringing in samples. He reminded the commissioners the site sat vacant for

many years and the proposal could be a good improvement, bringing in business, the commuters, etc. He recommended that the petitioner, prior to going to Village Council, consider having a late night security guard on site and to add some aesthetic details to the building. Also, per his question to staff, Mr. Popovich clarified the lot consolidation is a process that can be done administratively prior to building permit issuance.

Other positive comments followed. Mrs. Rabatah asked if the commissioners would be amenable to changing staff's condition No. 7 to state that "parking be prohibited in the drop-off zone on Prospect Avenue" and to add that the containment structure will be maintained also. Mr. Cozzo summarized that the proposal complied with the village's Comprehensive Plan, Zoning Ordinance, and with the Special Use Standards. He supported approval of the proposal.

However, Mr. Quirk confirmed his understanding that back in 2008 the site was rezoned to Downtown Transition and today's proposal was not to change that rezoning but that the commission was recommending approval/denial of a special use for multi-family. However, he challenged Standard A, stating there were vacancies in the village and he voiced concern about the construction materials and quality, as these have not been determined. He stated the size and scope of the project in the proposed location did not make sense and did not enhance the character. While he supported redevelopment, he did not support the project as presented. Chairwoman Urban voiced concern about the density but noted that the bulk requirements were met, which allows the density and she reiterated her previously-suggested aesthetic changes to soften the building in order to transition from what was being proposed to the single-family zoning. However, the overall bulk was met without asking for variances.

The actual landscape plan was referenced.

**WITH RESPECT TO FILE PC 50-13, MR. WAECHTLER MADE A MOTION THAT THE PLAN COMMISSION FORWARD TO THE VILLAGE COUNCIL A POSITIVE RECOMMENDATION TO INCLUDE STAFF'S CONDITIONS 1 THRU 7 WITH CHANGES ON NO. 3 AND NO. 7, AS PROPOSED BY COMMISSIONER RABATAH:**

- 1. THE SPECIAL USE SHALL SUBSTANTIALLY CONFORM TO THE STAFF REPORT, RENDERINGS, ARCHITECTURE AND LANDSCAPE PLANS PREPARED BY DEAN M. POZARZYCKI, R.A. AS REVISED AND DATED JANUARY 21, 2014, ENGINEERING PLANS AND STORMWATER MANAGEMENT REPORT PREPARED BY RWG ENGINEERING, LLC AS REVISED AND DATED JANUARY 8, 2014, EXCEPT AS SUCH PLANS MAY BE MODIFIED TO CONFORM TO THE VILLAGE CODES AND ORDINANCES.**
- 2. THE PETITIONER SHALL CONSOLIDATE THE TWO LOTS INTO A SINGLE LOT OF RECORD PURSUANT TO SECTION 20.507 OF THE SUBDIVISION ORDINANCE.**
- 3. INTERIOR LANDSCAPED BEDS AND THE STORMWATER CONTAINMENT STRUCTURE SHALL BE MAINTAINED.**
- 4. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC SUPPRESSION AND AN AUTOMATIC AND MANUAL FIRE ALARM SYSTEM.**
- 5. PRIOR TO THE ISSUANCE OF ANY BUILDING OR DEVELOPMENT PERMITS, THE PETITIONER SHALL PAY TO THE VILLAGE A \$500 FEE-IN-LIEU PER**

**VILLAGE APPROVED PARKWAY TREE SUBJECT TO VERIFICATION BY THE VILLAGE FORRESTER.**

- 6. THE EXISTING SMALL SIDEWALK THAT RUNS NORTH/SOUTH SHALL BE RELOCATED TO ALIGN WITH THE PROPOSED PROSPECT AVENUE SIDEWALK.**
- 7. PARKING SHALL BE PROHIBITED IN THE DROP-OFF ZONE ON PROSPECT AVENUE.**

**SECONDED BY MR. BEGGS. ROLL CALL:**

**AYE: MR. WAECHTLER, MR. BEGGS, MR. COZZO, MR. MATEJCZYK,  
MRS. RABATAH, MR. RICKARD, CHAIRWOMAN URBAN.  
NAY: MR. QUIRK**

**MOTION CARRIED. VOTE: 7-1**

Mr. Quirk reiterated his earlier comments and did not believe the Standard A was met.

(The commission took a break at 9:17 p.m. and reconvened at 9:23 p.m.)

MEMORANDUM TO: Michael Gatto  
RMG Realty Group

FROM: Michael A. Werthmann, PE, PTOE  
Principal

DATE: February 13, 2014

SUBJECT: Preliminary Traffic Review  
719 Rodgers Street Development  
Downers Grove, Illinois

This memorandum summarizes the results of a preliminary traffic review conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed residential development to be located in Downers Grove, Illinois. The site is located in the southeast quadrant of the intersection of Rodgers Street with Prospect Avenue. As proposed, the development is to contain 48 apartments with access to the parking garage provided via one access drive on Rodgers Street and one access drive on Prospect Avenue.

The purpose of this review was to (1) estimate the trips to be generated by the development and (2) preliminarily review the roadway system serving the site.

### **Estimated Site Traffic Generation**

The number of peak hour vehicle trips estimated to be generated by the proposed 48 apartments was based on Apartment (Land-Use Code 220) vehicle trip generation rates contained in the *Trip Generation Manual*, 9<sup>th</sup> Edition, published by the Institute of Transportation Engineers (ITE). **Table 1** shows the peak hour traffic to be generated by the proposed development. However, given the location of the development to the downtown area and the two Metra Stations, it is expected that the number of new trip generated by the development will be reduced. A review of the 2010 census data shows that approximately 70 percent of the residents in the area of the site drive to work. The other 30 percent of the residents use alternative modes of transportation, including public transportation, bicycling and walking to commute to work. As such, the number of new trips to be generated by the development will likely be less than that shown in Table 1.

Table 1  
SITE-GENERATED TRAFFIC VOLUMES

Type/Size	Morning Peak Hour			Evening Peak Hour		
	In	Out	Total	In	Out	Total
Apartments (48 units)	5	22	27	20	10	30

Note: Estimated trips do not assume any reductions for the alternative modes of transportation serving the area.

### Preliminary Review of Area Roadways

To determine the volume of traffic on the area roadway system, KLOA, Inc. obtained daily traffic counts from the Village of Downers Grove for both Rodgers Street and Prospect Avenue. **Table 2** shows the daily traffic volumes. From the table it can be seen that both roads carry a relatively low volume of traffic, particularly Prospect Avenue. A two-lane collector road such as Rodgers Street has a daily capacity of approximately 8,000 to 10,000 vehicles. With a daily volume of approximately 3,500 vehicles, it can be seen that Rodgers Street is operating at approximately 35 to 45 percent of its capacity. As such, the roadway system serving the development has sufficient reserve capacity to accommodate the limited additional traffic to be generated by the development.

Table 1  
DAILY TRAFFIC VOLUMES

Road	Year	Daily Volume
Prospect Avenue north of Rodgers Street	2009	220
Prospect Avenue south of Rodgers Street	2009	300
Rodgers Street West of Prospect Avenue.	2009	2,750
Rodgers Street East of Douglas Road	2011	3,580



Rec'd 2/26/14

February 15, 2014

ATTN: Mayor Martin Tully  
801 Burlington Ave  
Downers Grove, IL 60515

Commissioner Sean Durkin  
Commissioner Geoff Neustadt  
Commissioner Bob Barnett

Commissioner Becky Rheintgen  
Commissioner David Olsen  
Commissioner Greg Hose

RE: Rogers & Prospect Apartments Proposal

Mayor Martin Tully & Commissioners:

Please accept this letter as notice of my disapproval of, and objection to, the proposed apartment complex contemplated at the South East intersection of Rogers St. & Prospect St. I believe that the standards for approving a special use permit have not been met or have yet to be satisfactorily proven.

Standard 1 requires:

*(a) That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*

This standard cannot be met without addressing the availability of housing supply in the village today. I question the need of this project as there remain un-finished multi-family projects in our downtown business district as of today. Additionally I feel that this building will not contribute to the welfare of the single family housing neighborhood, as it is a high density, institutional structure in what is currently a residential neighborhood. This proposed structure is 6 stories in height, with a proposed 48 units and 64 bedrooms. Currently, no structure in the neighborhood is greater than two stories.

Standard 2 requires:

*(b) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*

This standard cannot be met without addressing traffic density and volumes on Rogers and on the local roads that will ultimately be used to go to and from highways, shopping, and entertainment areas. This project as proposed calls for 98 parking spaces. Vehicles to this neighborhood, and traffic will absolutely be increased on residential roads not intended to be thoroughfares. This project is also increasing the traffic density near Washington Park where children congregate, and are encouraged to congregate. Further, the lack of true, long term residential qualities in the proposed building, and its sheer height, will be ultimately detract from property values in the neighborhood as they currently exist. Rather than maintaining the true single family residential qualities, the proposal will promote a high density, high volume area detracting from property values, detracting from improvements in the single family residences, and causing injury to these properties and the park.

In addition, the current zoning for this neighborhood is Downtown Transition, intended to provide a transition from a future planned light commercial district to the East and the current Downtown zoning district, and was not intended for this scale project - effectively "book-ending" or "partitioning" the two districts.

Based upon this I believe that the standard for approving this special use permit has not been met, and request that you vote against its approval as it is proposed today. Previously, this property was last approved for only 16 townhomes, very residential in nature and three stories in height.

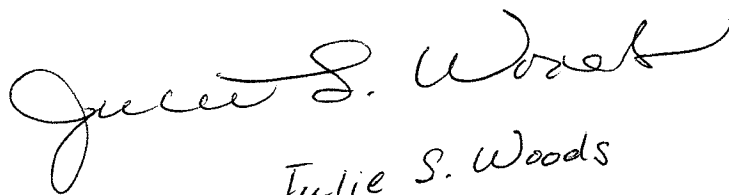
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I encourage a community meeting forum be required with the developer - as is a typical good practice for developments of this nature - so that the Village can further consider community suggestions & feedback for the project prior to any further vote on this proposal. I believe this site to be an excellent opportunity for redevelopment, but it must fit within the character of our neighborhood.

Respectfully submitted for your consideration,



Alan J. Woods



Julie S. Woods

Rec'd 2-26-14

February 15, 2014

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801 Burlington Ave  
Downers Grove, IL 60515

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*Robert Steiner* Robert Steiner 4613 Stonewall Ave DG 60515

February 15, 2014

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801 Burlington Ave  
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Shaun Harte  
5337 Meadow Ln  
D D 60515

February 15, 2014

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801 Burlington Ave  
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Robert Harte  
5337 Meadow Ln  
DM 60515



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This standard cannot be met without addressing the availability of housing supply in the village today. I question the need of this project as there remain un-finished multi-family projects in our downtown business district as of today. Additionally I feel that this building will not contribute to the welfare of the single family housing neighborhood, as it is a high density, institutional structure in what is currently a residential neighborhood. This proposed structure is 6 stories in height, with a proposed 48 units and 64 bedrooms. Currently, no structure in the neighborhood is greater than two stories.

Standard 2 requires:

*(b) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*

This standard cannot be met without addressing traffic density and volumes on Rogers and on the local roads that will ultimately be used to go to and from highways, shopping, and entertainment areas. This project as proposed calls for 98 parking spaces. Vehicles to this neighborhood, and traffic will absolutely be increased on residential roads not intended to be thoroughfares. This project is also increasing the traffic density near Washington Park where children congregate, and are encouraged to congregate. Further, the lack of true, long term residential qualities in the proposed building, and its sheer height, will be ultimately detract from property values in the neighborhood as they currently exist. Rather than maintaining the true single family residential qualities, the proposal will promote a high density, high volume area detracting from property values, detracting from improvements in the single family residences, and causing injury to these properties and the park.

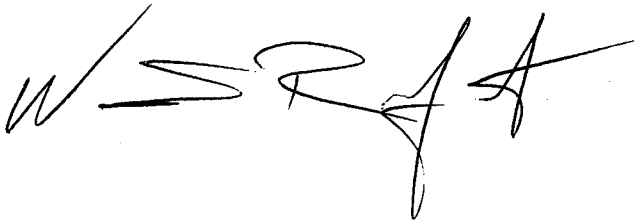
In addition, the current zoning for this neighborhood is Downtown Transition, intended to provide a transition from a future planned light commercial district to the East and the current Downtown zoning district, and was not intended for this scale project - effectively "book-ending" or "partitioning" the two districts.

Based upon this I believe that the standard for approving this special use permit has not been met, and request that you vote against its approval as it is proposed today. Previously, this property was last approved for only 16 townhomes, very residential in nature and three stories in height.

Finally, the Village must consider that, over time, such a high density, high volume use will be transient in nature, and that maintenance and use may vary drastically from any potential acceptable special use. At that time the neighborhood will be left with a uncharacteristic six story, 48 unit building. Such a proposal, simply, fails to embue itself to the "general welfare" of the people and residences in the vicinity.

I encourage a community meeting forum be required with the developer - as is a typical good practice for developments of this nature - so that the Village can further consider community suggestions & feedback for the project prior to any further vote on this proposal. I believe this site to be an excellent opportunity for redevelopment, but it must fit within the character of our neighborhood.

Respectfully submitted for your consideration,

A handwritten signature in black ink, appearing to read 'W R Grant', with a stylized flourish at the end.

William R Grant  
4800 Prospect Ave  
Downing Grove, IL  
60515