

VILLAGE OF DOWNERS GROVE
Report for the Village Council Meeting
3/7/2017

SUBJECT:	SUBMITTED BY:
1560 75th Street - Planned Unit Development Amendment	Stan Popovich, AICP Director of Community Development

SYNOPSIS

The petitioner is requesting approval of a Planned Unit Development Amendment to allow the construction of a new medical office building at 1560 75th Street.

STRATEGIC PLAN ALIGNMENT

The goals for 2015-2017 include *Strong and Diverse Local Economy*.

FISCAL IMPACT

N/A

RECOMMENDATION

Approval on the March 14, 2017 active agenda per the Plan Commission's unanimous 7:0 positive recommendation. Staff concurs with the Plan Commission's recommendation. The Plan Commission found that the new development is appropriate for the property and the overall PUD, compatible with the current and draft updated Comprehensive Plan and meets all standards for approval of a Planned Unit Development Amendment per Section 28.12.040.

BACKGROUND

The petitioner is proposing to construct a new medical office building at 1560 75th Street. The property is an outlot in "The Grove Shopping Center", located along 75th Street. The property is zoned B-2/PUD, General Retail Business/Planned Unit Development. The 38,810 square foot parcel is currently occupied by a restaurant (Pizza Hut) building. The proposal is to demolish the existing building and construct a new building, 43 parking spaces and associated site improvements.

Compliance with the Zoning Ordinance

The property is zoned B-2/PUD, General Retail Business/Planned Unit Development. The proposed development meets all zoning ordinance requirements. The petitioner is not requesting any variations from the bulk standards. The Planned Unit Development #9 was established in the 1980s. When the current Zoning Ordinance was adopted in 2014, the previously approved Planned Developments were reclassified as Planned Unit Developments per Section 4.030.C of the Zoning Ordinance and their zoning classifications were automatically updated from B-2 to B-2/PUD.

Compliance with the Comprehensive Plan

The current Comprehensive Plan's (Plan) Future Land Use Map designates this property as *Corridor Commercial*. The current Plan specifically mentions that the 75th Street corridor continue to contain a blend of neighborhood oriented commercial retail, offices and service uses. These commercial areas have a "unique character" and should provide "the daily needs of local residents" and the larger region. The Commercial and Office Area Goal #1, Objective #7 recommends the Village "recognize, support and encourage the catalytic role of medical services in appropriate locations within the Village".

The Village is currently in the process of updating the Comprehensive Plan and included the examination of the 75th Street corridor within the scope of the project. The Grove Shopping Center is identified as the only catalyst site in the 75th Street corridor. The plan notes that the center could be redeveloped into a life-style center consisting of a variety of uses and any business types that are targeted should complement the Downers Park Plaza shopping center at the northeast corner of 75th Street and Lemont Road. The 75th Street redevelopment concept also notes that existing outlots can be complemented by new outlot development.

The proposed development is consistent with the goals of the current and draft updated Comprehensive Plan.

Public Comment

There were no public comments received at the Plan Commission meeting.

ATTACHMENTS

Ordinance

Aerial Map

Staff Report with attachments dated February 6, 2017

Draft Minutes of the Plan Commission Hearing dated February 6, 2017

ORDINANCE NO. _____**AN ORDINANCE APPROVING AN
AMENDMENT TO PLANNED UNIT DEVELOPMENT #9
TO ALLOW CONSTRUCTION OF A MEDICAL OFFICE BUILDING
AT 1560 75TH STREET**

WHEREAS, the Village Council has previously adopted Ordinance No. 5047, on March 3, 2009, designating the property described therein as Planned Unit Development #9 and subsequent amendments thereto; and,

WHEREAS, the Owners have filed a written petition with the Village conforming to the requirements of the Comprehensive Zoning Ordinance and requesting an amendment to Planned Unit Development #9 to allow construction of a medical office building at The Grove Shopping Center property located at 1560 75th Street and,

WHEREAS, such request was referred to the Plan Commission of the Village of Downers Grove, and the Plan Commission has given the required public notice, conducted a public hearing for the petition on February 6, 2017, and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the requested petition, subject to certain conditions; and,

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, allowing construction of a medical office building; and

WHEREAS, the Village Council has considered the record before the Plan Commission, as well as the recommendations of Plan Commission.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, DuPage County, Illinois, as follows:

SECTION 1. That the provisions of the preamble are incorporated into and made a part of this ordinance as if fully set forth herein.

SECTION 2. That a Planned Unit Development Amendment is hereby authorized to approve construction of a medical office building at 1560 75th Street.

SECTION 3. That approval set forth in Section 2 of this ordinance is subject to the findings and recommendations of the Downers Grove Plan Commission regarding File 17-PLC-0001 as set forth in the minutes of their February 6, 2017 meeting.

SECTION 4. The approval set forth in Section 2 of this ordinance is subject to the following conditions:

1. The Planned Unit Development Amendment shall substantially conform to the staff report dated February 6, 2017; and drawings prepared by CESO, Inc., dated January 27, 2017, except as such plans may be modified to conform to the Village codes and ordinances.

2. The building shall be equipped with an automatic fire suppression system and an automatic and manual fire alarm system.
3. All proposed signage must comply with the requirements of the Zoning Ordinance.

SECTION 5. That the medical office building is consistent with and complimentary to the overall planned unit development site plan and with the requirements of the "*B-2/PUD, General Retail Business/Planned Unit Development*" zoning district.

SECTION 6. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

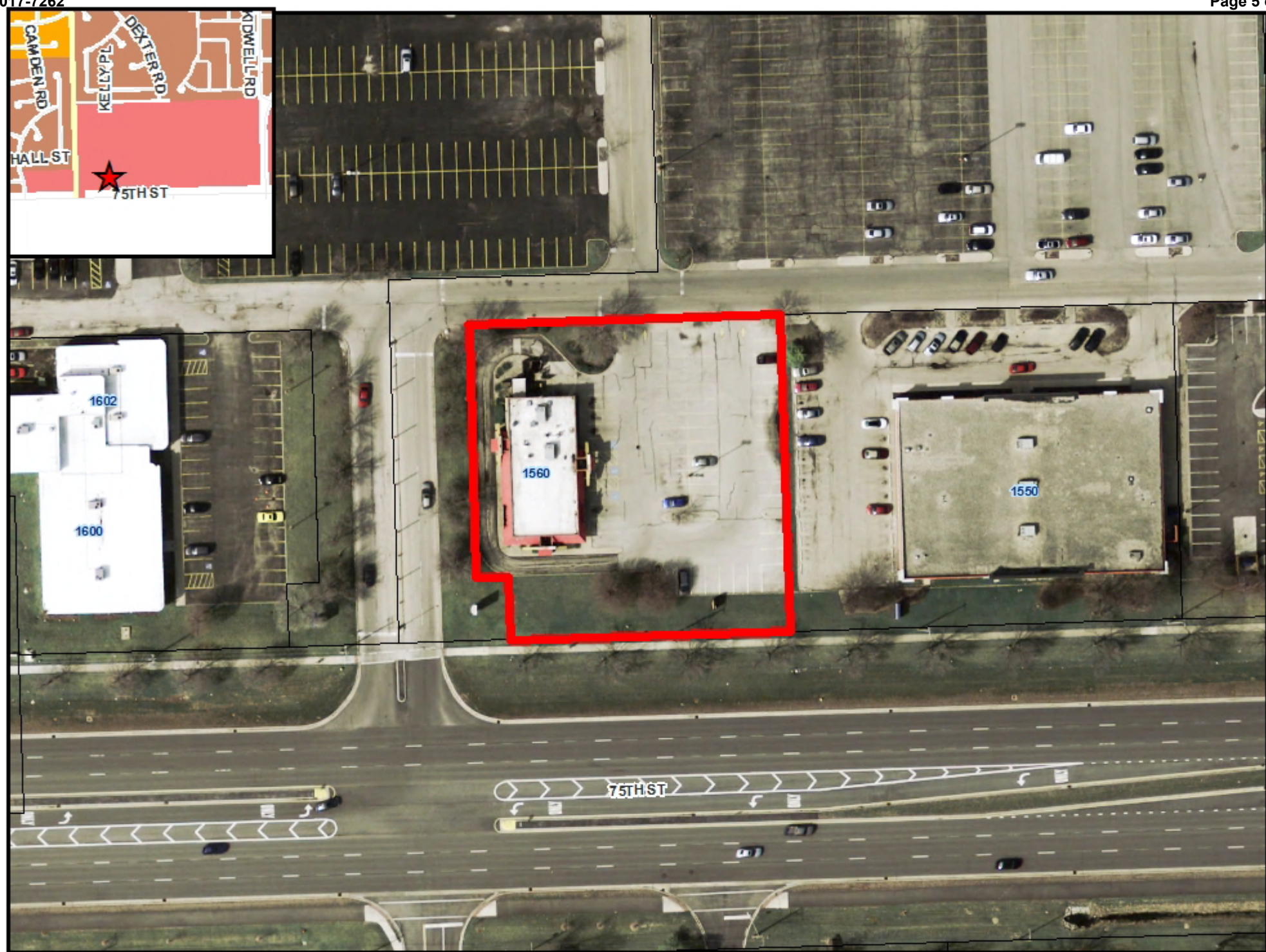
SECTION 7. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

Mayor

Passed:

Published:

Attest: _____
Village Clerk



0 30 60
Feet

1560 75th Street - Location Map





**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
FEBRUARY 6, 2017 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
17-PLC-0001 1560 75 th Street	PUD Amendment	Swati Pandey, Planner

REQUEST

The petitioner is requesting approval for an amendment to Planned Unit Development #9 to allow the construction of a new medical office building at 1560 75th Street.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

APPLICANT: MedExpress
1001 Consol Energy Drive
Canonsburg, PA 15317

OWNER: GW Downers PH LLC
2211 N Elston Avenue No. 304
Chicago, IL 60602

PROPERTY INFORMATION

EXISTING ZONING: B-2/PUD, General Retail Business/Planned Unit Development
EXISTING LAND USE: Shopping Center
PROPERTY SIZE: 38,810 sq ft (0.89 acres)
PINS: 09-30-201-013

SURROUNDING ZONING AND LAND USES

ZONING

East: B-2, General Retail Business
WEST: B-2, General Retail Business
NORTH: B-2, General Retail Business
SOUTH: B-2, Community Shopping
 (Village of Woodridge)

FUTURE LAND USE

Corridor Commercial
 Corridor Commercial
 Corridor Commercial
 Community Commercial

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Project Narrative
2. Plat of Survey
3. Architectural Plans
4. Engineering Plans
5. Landscape Plan
6. Photometric Plan
7. Elevations and Renderings
8. Traffic Impact Study

PROJECT DESCRIPTION

The petitioner is proposing to construct a new medical office building at 1560 75th Street. The property is an outlot of "The Grove Shopping Center", located along 75th Street. It is zoned B-2/PUD, General Retail Business/Planned Unit Development. The 38,810 square foot parcel is currently occupied by a restaurant (Pizza Hut) building. The proposal is to demolish the existing building and construct a new building and associated site development. The petitioner is requesting approval of an amendment to Planned Unit Development #9 to allow the construction of a new medical office building and parking on-site.

The petitioner is proposing to build a new 4,737 square foot medical building. The project site is approximately 0.89 acres and will include a medical services building with 43 parking spaces. MedExpress is a national chain of full-service, walk-in urgent care facilities with doctor's offices and diagnostic services. As currently proposed, daily hours of operation for the facility will be 8:00 AM to 8:00 PM, seven days a week.

The entrance to the building will be located at the northeast corner, facing north and east. The primary material used for the exterior of the building is fiber cement panels in dual colors to match the two corners and tower elements in the northeast and southwest corners of the building. The towers will have glass panels with signage setback three feet behind the storefront system. All windows will have an awning or canopy above it. Roof top mechanical units will be screened by the parapet wall as shown in the elevation plan and line of sight plan. The proposed signage for the building will be in compliance with the sign ordinance.

An ADA accessible path is proposed from the entrance of the building to the sidewalk along 75th Street as required. The trash enclosure is located in the northeast corner of the property, enclosed with a masonry wall and gate. Parking is provided on the north and east side of the building and exceeds the requirements of parking per the Zoning Ordinance. There will be two ADA accessible parking spaces in front of the building on the east side.

The petitioner is proposing landscaping in conformance with the Village requirements. Landscaping is provided on all four sides of the property, including along the streets and the drive aisle to the west, with a mix of shade trees and landscape materials such as shrubs and ornamental trees. The parking lot islands are provided with the requisite landscape material. Parking lot and site lighting is provided around the proposed development. A photometric plan has been submitted in compliance with site lighting regulations.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The current Comprehensive Plan's (Plan) Future Land Use Map designates this property as *Corridor Commercial*. *Corridor Commercial* uses include - a blend of neighborhood oriented commercial retail, offices and service uses that provide services and retail opportunities to the nearby neighborhoods and the surrounding region. The current Plan specifically mentions that the 75th Street corridor continue to contain a range of these types of uses. These commercial areas have a "unique character" and should provide "the daily needs of local residents" and the larger region. The Commercial and Office Area Goal #1, Objective #7 recommends the Village "recognize, support and encourage the catalytic role of medical services in appropriate locations within the Village". The goal encourages the Village to enhance the economic vitality, productivity, appearance and function of the commercial corridor including 75th Street.

The Village is currently in the process of updating the Comprehensive Plan and included the examination of the 75th Street corridor within the scope of the project. The 75th Street focus area plan notes the Village should encourage and promote redevelopment of the Grove Shopping Center, required dumpster screening and reduce the heat island effect through on-site shade. The Plan notes the largest shopping center in this corridor provides the best opportunity for redevelopment that could change the dynamics of 75th Street.

The Grove Shopping Center is also identified as the only catalyst site in the 75th Street corridor. The plan notes that the center could be redeveloped into a life-style center consisting of a variety of uses and any business types that are targeted should complement the Downers Park Plaza shopping center at the northeast corner of 75th Street and Lemont Road. The 75th Street redevelopment concept also notes that existing outlots can be complemented by new outlot development.

The proposed development is consistent with the goals of the current and draft updated Comprehensive Plan.

COMPLIANCE WITH ZONING ORDINANCE

The property is zoned B-2/PUD, General Retail Business/Planned Unit Development. The Planned Unit Development #9 was established in the 1980s. When the current Zoning Ordinance was adopted in 2014, the previously approved Planned Developments were reclassified as Planned Unit Developments per Section 4.030.C of the Zoning Ordinance and their zoning classifications were automatically updated from B-2 to B-2/PUD.

The bulk requirements of the proposed development in the B-2/PUD zoning district are summarized in the following table:

Zoning Requirements

1560 75th Street	Required	Proposed
South Setback (Street Yard – 75 th Street) - Building	25 ft	31 ft
East Setback - Building	25 ft	117 ft
North Setback (Rear Yard) - Building	n/a	80.62 ft
West Setback (Side Yard) - Building	n/a	25.63 ft
Street (South) Setback - Parking	25 ft	25.35 ft
Landscaped Open Space	3,880 sf (10%)	12,729 sf (33%)

Street yard landscaped open space	1,940 sf (50%)	7,858 sf (62%)
Floor Area Ratio	0.75 (max)	0.12
Building Height	35 ft (max)	20 ft
Parking Spaces	22	43
Building Coverage	n/a	11.91%

The proposed development is consistent with the requirements of the Zoning Ordinance. The petitioner is not requesting any variations from the bulk requirements.

ENGINEERING/PUBLIC IMPROVEMENTS

There are no public improvements required as the site is currently served by a sidewalk along 75th Street and there are no existing or proposed curb cuts onto 75th Street. There is a slight net decrease in the impervious area and therefore new stormwater detention is not required. The drainage for the site will tie into the existing stormwater system for the shopping center. The petitioner will be required to meet all village engineering standards and comply with all applicable codes when formally submitting for a permit.

TRAFFIC

A traffic impact study for the proposed development was completed by the petitioner. The study examined the existing 75th Street traffic conditions and the future conditions based on the proposed development. The study found that the MedExpress use will generate as much as 35% less traffic than a typical restaurant use, like the Pizza Hut. The study examined the directional distribution of the decreased traffic and found that the proposed development will not have a significant impact or increase to traffic at the existing access points within the shopping center and out to 75th Street.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division reviewed the proposed development and determined that sufficient access to and around the site is provided for emergency vehicles. The site layout permits Fire Department apparatus the opportunity to enter and exit the site from the shopping center drive aisle to the north.

The building will be required to include a fire alarm and sprinkler system that meet the Village's code requirements. One fire hydrant is provided near the southeast corner of the building, approximately 25 feet from the fire department connection.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property in addition to posting public hearing notice signs and publishing the legal notice in the *Downers Grove Suburban Life*. One public comment was received by staff. The inquiry was general in nature and the response was received satisfactorily, once informed of the proposal.

FINDINGS OF FACT

The petitioner is requesting a Planned Unit Development Amendment to construct a new medical office building at 1560 75th Street. Staff finds that the proposal meets the standards for granting a Planned Unit Development Amendment as outlined below:

Section 28.12.040.C.6 Review and Approval Criteria

The decision to amend the zoning map to approve a PUD development plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

a. *The zoning map amendment review and approval criteria of Sec. 12.030.I.*

As previously noted, the shopping center was approved as a Planned Development in the 1980s. Section 4.030.C of the Zoning Ordinance, adopted in 2014, notes that all previously approved Planned Developments were reclassified as Planned Unit Developments. As such, a rezoning is not required and this standard does not apply.

b. *Whether the proposed PUD development plan and map amendment would be consistent with the comprehensive plan and any other adopted plans for the subject area.*

The proposed project is consistent with the current Comprehensive Plan. The current Plan identifies this area as *Corridor Commercial*. This property is an existing shopping center and the proposed use will be compatible with the other uses. The site is well-suited to accommodate a medical use building. The proposed development is consistent with the policy recommendation that corridor commercial areas continue to function in a dual role of providing daily needs to local residents as well as providing commercial goods and services to the larger region and support medical services in appropriate locations. The project is designed in a manner that is compatible with surrounding land uses.

The proposal is consistent with the draft updated Comprehensive Plan and the 75th Street focus area plan. The project is designed in a manner that is compatible with surrounding land uses and the outlot redevelopment is identified in the redevelopment concept.

This standard has been met for both the current Plan and the draft updated Plan which is under review.

c. *Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.*

The proposed project meets several of the PUD overlay district provisions and objectives as found in Section 4.030 of the Zoning Ordinance. The PUD is consistent with and helps advance the goals of the current Comprehensive Plan. The development also meets the PUD overlay district provisions by providing a high quality building that is compatible with other developments along 75th Street while providing attractive and high-quality landscaping for the property. Improvements have been proposed to improve motorized and non-motorized travel on-site such as using the existing drive aisles without introducing new curb-cuts, which increases safety along the public right-of-way and an accessible route connecting the front entrance of the building to the sidewalk. This standard has been met.

d. *Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.*

The proposed development will result in a new medical services facility for the neighborhood, in compliance with the current Comprehensive Plan. The proposed development meets many objectives of the Comprehensive Plan and furthers the vision of the Village to improve 75th Street. The new building will enhance the aesthetics of the shopping center and 75th Street. The public benefits include repurposing of a vacant site along a major commercial corridor. Additional public benefits include an upgraded property with new parking lot and site amenities. This standard has been met.

e. *Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.*

There are several conditions noted below that will protect the interests of the surrounding neighborhood and the general public. The conditions below are being requested to ensure that the proposed development satisfies all applicable codes and requirements. The project will advance many goals and objectives laid out in the current and updated Comprehensive Plan and the conditions listed below will ensure that these goals and objectives are met. This standard has been met.

17-PLC-0001; 1560 75th Street
February 6, 2017

Page 6

RECOMMENDATIONS

The proposed Planned Unit Development Amendment for the new development in The Grove Shopping Center at 1560 75th Street is consistent with the current and draft updated Comprehensive Plan, the Zoning Ordinance and surrounding zoning and land use classifications. Based on the findings listed above, staff recommends the Plan Commission recommend the Village Council **approve** the requested Planned Unit Development Amendment as requested in case 17-PLC-0001 subject to the following conditions:

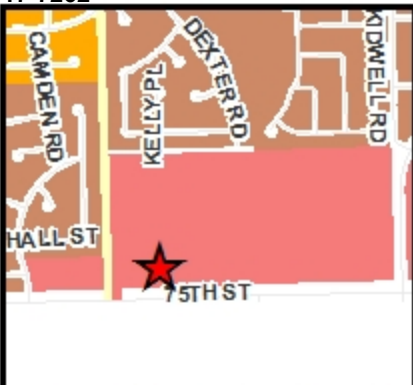
1. The Planned Unit Development Amendment shall substantially conform to the staff report; and drawings prepared by CESO, Inc., dated 1/27/2017, except as such plans may be modified to conform to the Village codes and ordinances.
2. The building shall be equipped with an automatic suppression system and an automatic and manual fire alarm system.
3. All proposed signage must comply with the requirements of the Zoning Ordinance.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

-att



0 30 60
Feet

1560 75th Street - Location Map





Administrative Offices
1001 Consol Energy Drive
Canonsburg, PA 15317

724 597 6201 - phone
724 743 9189 - fax

medexpress.com

Re: Project Narrative
MedExpress
1560 75th Street
Downers Grove, IL 60516

MedExpress of Canonsburg, PA is proposing the redevelopment of a portion of the Planned Unit Development located north of 75th St, and west of Main St (PD 18; ORD 2090). The redevelopment will be on the entirety of Parcel ID 0930201013 (approx. 0.89 Acres) and consist of the demolition of the existing Pizza Hut located at 1560 75th St and associated parking lot, and the construction of a new MedExpress Medical Office, with associated parking, site lighting, and trash enclosure.

MedExpress is requesting relief in the form of an approved Planned Unit Development modification in relation to lot referenced above. It is the belief of MedExpress and its associates that the proposed re-development of said lot, as outlined in the enclosed detailed plans and reports, are in accordance to standards established by the Village of Downers Grove and approvable in keeping with the Criteria outlined in Municipal Code 28.12.040.C.6:

- a) Not applicable – the project is the amendment of the existing PUD; not a new PUD
- b) The proposed amendment is an approved use (Medical Office), and thus consistent with the comprehensive plan of the original PUD, and under laying zoning (B-2, General Retail Business)
- c) The proposed amendment is only the redevelopment of one lot of the original PUD, and in keeping with the original development plan (see previous comment), and therefore is abiding by any overlay district provisions outlined in Chapter 28.04.030. The proposed redevelopment is an asset to the community, both in the creation economical health services, job creation, and employment opportunity. Physically, the proposed development will create a new building with modern architectural components, new parking, landscaping, and site lighting.
- d) Not applicable – the project is the amendment of the existing PUD
- e) The terms of the existing PUD were determined to be appropriate at the time of original approval, and are still binding on the proposed amendment.

The proposed building will be approximately 4,737 square feet, single story. The exterior building material is primarily a commercial fiber cement cladding system with a sandstone masonry stamping, and storefront windows with both conventional and spandrel glass. All roof-mounted mechanical equipment will be screened through the use of parapet walls. The trash enclosure will be clad with fiber cement panels to match the main building.

The facility will be operated on a ground lease and the property will maintain its current ownership, GW Downers PH LLC. MedExpress, as the tenant, is responsible for site



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medexpress.com

improvements including parking lot paving, exterior lighting, landscaping, sidewalks, and all construction related to the building. During the lease term, MedExpress is responsible for the maintenance of the parcel (parking lot, lighting, landscaping, snow removal, etc.).

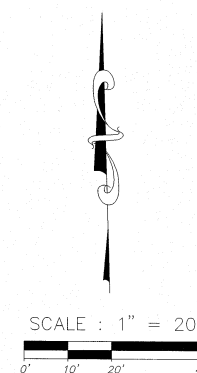
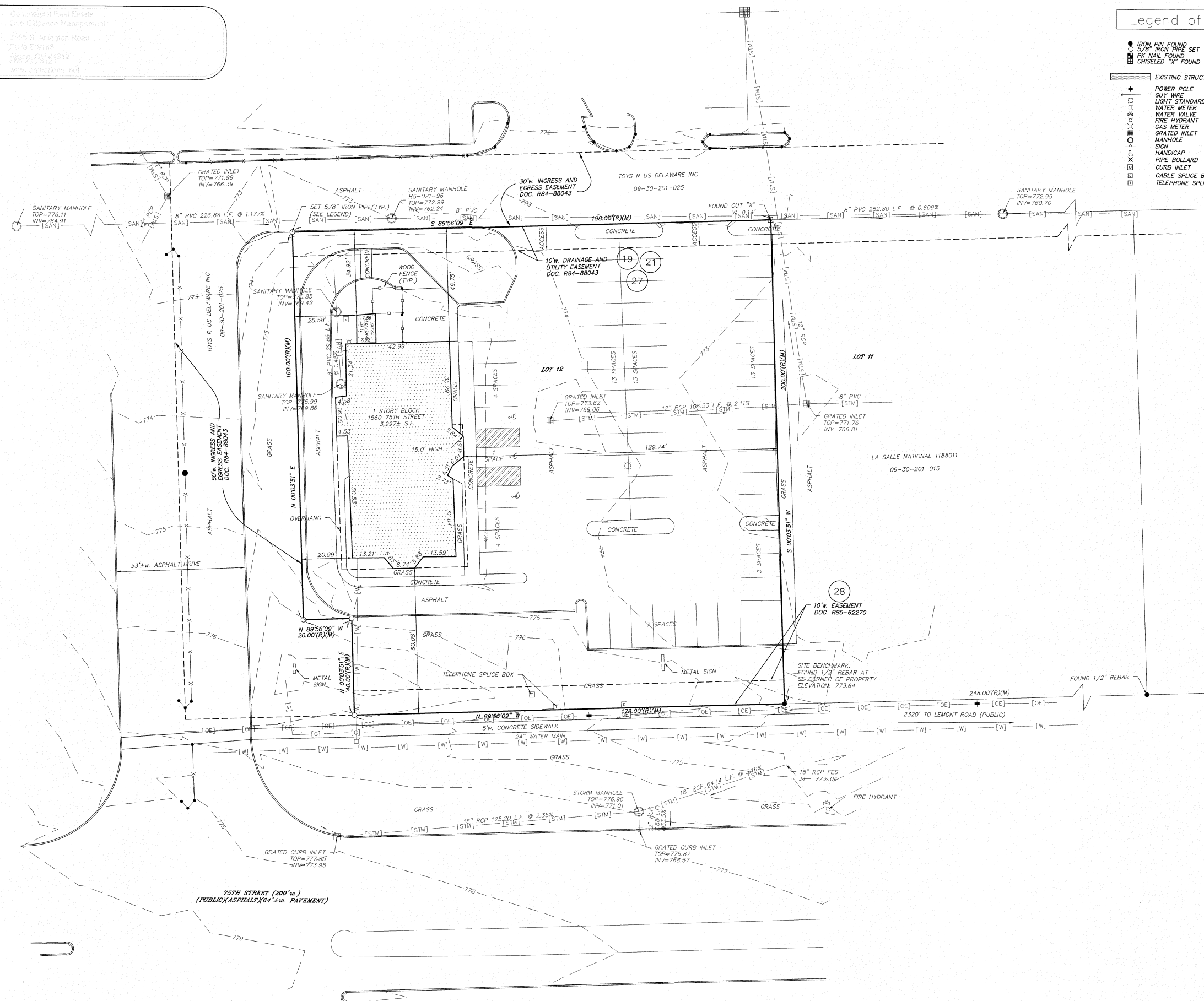
MedExpress Urgent Care is a Walk-in Doctor's Office that treats basic non-emergency symptoms, bumps, scrapes, breaks, colds, etc. The facility will not treat emergency situations and does not accept ambulated patients. The facility will be open 363 days a year, from 8 am to 8 pm. MedExpress dispenses a limited formulary of prepackaged prescription medications to their patients only, who elect to purchase their prescription from us and our physician if applicable. These prescription medications consist of common medications associated with urgent care treatment (i.e. antibiotic and anti-inflammatory). The facility is managed by one (1) licensed physician and is supported by 8-9 other medical professionals and administrative staff. All employees will work 12 hour shifts. A typical MedExpress office of this size anticipates seeing 30 patients a day. The average patient is checked in and discharged within an hour. The peak times at MedExpress occur in the morning hours before work or school and in the evening after work or school.

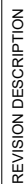


Commercial Real Estate
Due Diligence Management
3455 S. Arlington Road
Suite E #110
Denver, CO 80231
303.755.8114
www.amnatsl.net

Legend of Symbols & Abbreviations

● IRON PIN FOUND	—(4)—(4)— OVERHEAD ELECTRIC
○ 5/8" IRON PIPE SET	
■ NAIL FOUND	
■ CHISELED "Y" FOUND	
EXISTING STRUCTURE	ABBREVIATIONS
+	CMP
+	ROW
+	TRANS
+	CONC
+	PL
+	RIGHT OF WAY
+	TRANSFORMER
+	CL
+	CONCRETE
+	CENTER LINE
+	PROPERTY LINE
+	(TYP)
+	(R)
+	(M)
+	TYPICAL
+	RECORD
+	MEASURED
+	ELECTRIC SPLICE BOX
+	ELECTRIC METER
+	TRANSFORMER
+	GRATED INLET
+	MANHOLE
+	SIGN
+	HANDICAP
+	PIPE BOLLARD
+	CURB INLET
+	CABLE SPLICE BOX
+	TELEPHONE SPLICE BOX



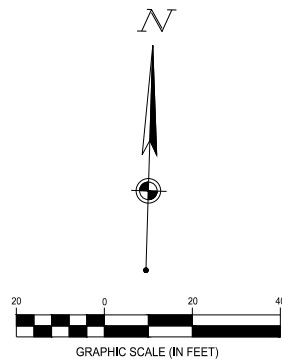
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MEDEXPRESS
DOWNERS GROVE, IL
CONSTRUCTION DOCUMENTS

1560 75TH ST, DOWNERS GROVE, IL 60516

SITE PLAN

ISSUE: 90% CONST DOCS	
DATE: 01/27/2017	
JOB NO.:	753208
DESIGN:	JRM
DRAWN:	JRM
CHECKED:	JAT
SHEET NO. C4.0	

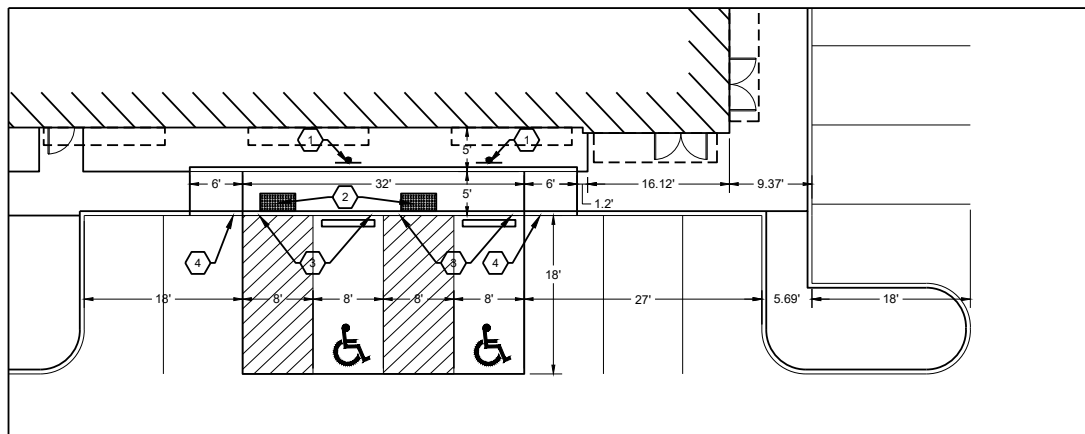


SITE PLAN GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL HEALTH AND SAFETY STANDARDS, INCLUDING BUT NOT LIMITED TO O.S.H.A. STANDARDS.
2. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTION AS NECESSARY PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DUMPSTER ENCLOSURE, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND SITE LIGHTING ELECTRICAL LAYOUT.
4. REFER TO CONSTRUCTION DETAILS / GEOTECHNICAL REPORT FOR PAVEMENT SECTION RECOMMENDATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STATE SUPPLEMENT TO THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
6. CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
7. CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS. AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION, CONTRACTOR SHALL PROVIDE SAFETY RAILINGS AT ALL AREAS WHERE FALL PROTECTION IS REQUIRED.
8. ALL SIGNAGE SHALL COMPLY WITH THE STATE SUPPLEMENT TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
9. ALL PAVEMENT MARKINGS AND STRIPING SHALL COMPLY WITH THE STATE DOT AND THE STATE SUPPLEMENT TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - a. LANE LINE: 6" WHITE
 - b. PARKING STALLS: 4" WHITE
 - c. STOP LINE: 24" WHITE
 - d. CROSSWALKS: TRANSVERSE LINES WITH DIAGONAL MARKINGS (GAP BETWEEN TRANSVERSE LINES SHALL BE 4") ALL PAINTED WHITE.
 - e. HANDICAPPED STALLS: 4" YELLOW OUTLINE, WITH 4" BLUE INTERIOR AND BLUE HANDICAPPED SYMBOLS
10. BOLLARDS SHALL BE PLACED TO PROTECT GAS METER, ELECTRICAL AND TELEPHONE EQUIPMENT, AND DUMPSTER ENCLOSURE.
11. PROPOSED CURB TO BE 6" HIGH UNLESS OTHERWISE NOTED.
12. ALL LIGHT POLES TO BE LOCATED 2' FROM BACK OF CURB AS MEASURED FROM THE FACE OF POLE FOUNDATIONS, UNLESS OTHERWISE NOTED ON PLANS.

CODED NOTES:

1. ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS.
2. ADA ACCESSIBLE RAMP WITH DETECTIBLE WARNING. REFER TO CONSTRUCTION DETAILS.
3. FLUSH CURB
4. TRANSITION CURB FROM FLUSH TO FULL HEIGHT IN 6'-0"
5. LIGHT DUTY ASPHALT PAVEMENT, PER CONSTRUCTION DETAILS
6. HEAVY DUTY ASPHALT PAVEMENT, PER CONSTRUCTION DETAILS
7. CONCRETE PAVEMENT , PER CONSTRUCTION DETAILS
8. CONCRETE WALK, PER CONSTRUCTION DETAILS
9. DUMPSTER & PAD. REFER TO ARCHITECTURAL PLANS FOR PAVEMENT AND ENCLOSURE DETAILS
10. MONUMENT SIGN. REFER TO ARCHITECTURAL AND SIGNAGE PLANS FOR DETAIL.



ENLARGED PLAN: ACCESSIBLE PARKING AREA
1" = 10'

LEGEND

EXISTING

REFER TO TITLE SHEET FOR
EXISTING FEATURES LEGEND

PROPOSED



BUILDING

CONCRETE CURB

PAVEMENT/WALK

LIGHT DUTY
ASPHALT PAVEMENT

HEAVY DUTY
ASPHALT PAVEMENT

CONCRETE PAVEMENT

CONCRETE SIDEWALK

PARKING SPACE COUNT

ADA PARKING SIGN

DETECTABLE WARNING

CONCRETE BOLLARD

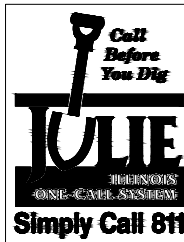
NOTE:
ALL DIMENSIONS ARE MEASURED
TO THE FACE OF CURB OR FACE
OF BUILDING, WHERE APPLICABLE.

BENCHMARKS (NAVD 88):

BM SITE	1/2" REBAR AT SOUTH EAST CORNER OF PROPERTY ELEV. = 773.64
BM WOOD	DUPAGE COUNTY BM WOOD ELEV. = 765.075
BM 0214	DUPAGE COUNTY BM 0214 ELEV. = 774.869

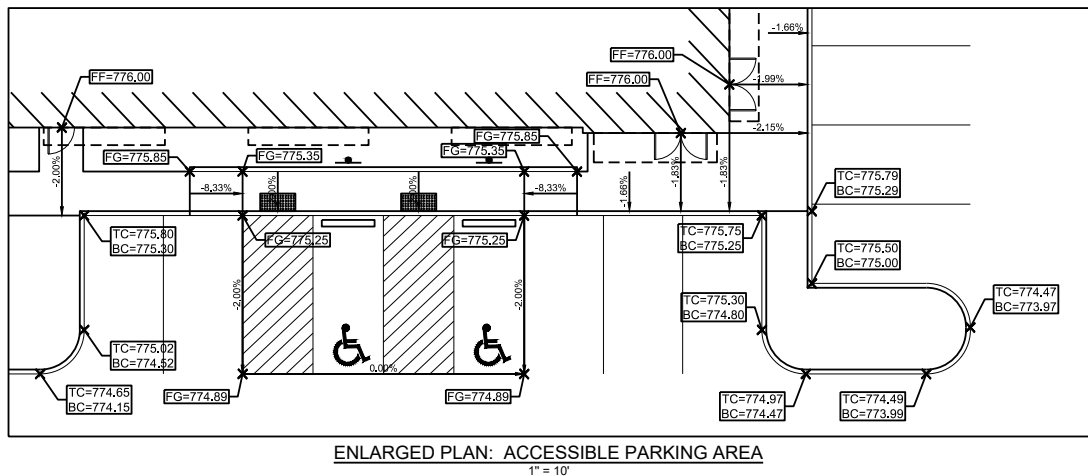
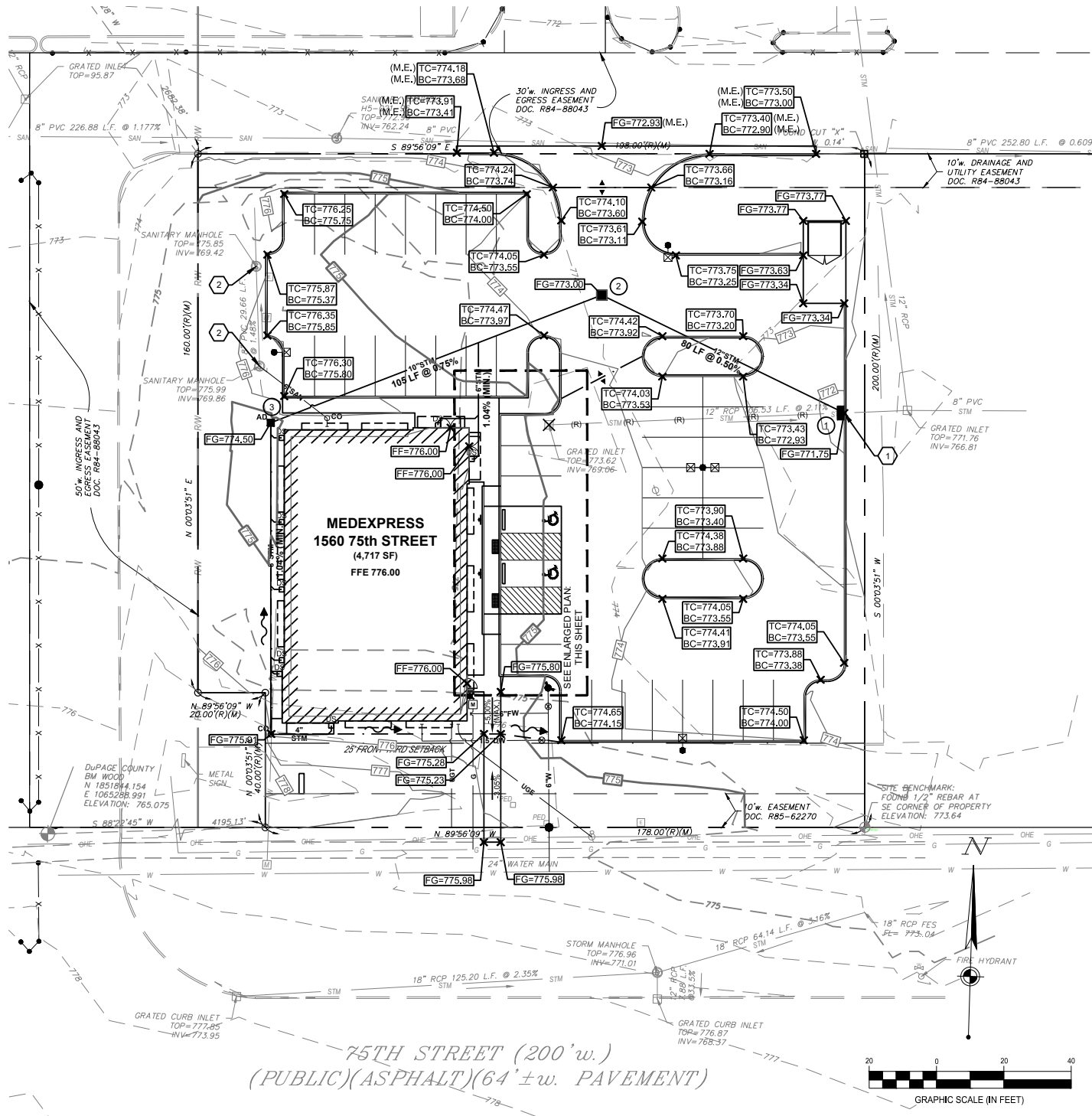
HORIZONTAL CONTROL POINTS

NORTHING/EASTING/ELEVATION			
ILLINOIS STATE PLANE COORDINATES, ZONE EAST, NAD 88 (1201)			
	NORTHING	EASTING	ELEVATION
BM SITE	1852099.817	1069654.613	773.640
BM WOOD	1851844.154	1065288.991	765.075
BM 0214	1854421.096	1067816.799	774.869



FORTY-EIGHT (48) HOURS BEFORE
 DIGGING IS TO COMMENCE, THE
 CONTRACTORS SHALL NOTIFY THE
 FOLLOWING AGENCIES: J.U.L.I.E. AT 811
 OR 1 (800) 892-0123 AND ALL OTHER
 AGENCIES WHICH MIGHT HAVE
 UNDERGROUND UTILITIES INVOLVING
 THIS PROJECT AND ARE NONMEMBERS
 J.U.L.I.E

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GRADING PLAN NOTES:

- ONLY VIRGIN MATERIALS SHALL BE USED UNLESS APPROVED IN WRITING BY A MEDEXPRESS REPRESENTATIVE.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS SHALL COMPLY WITH LOCAL MUNICIPALITY, LOCAL COUNTY, AND STATE DEPARTMENT OF TRANSPORTATION MATERIAL AND CONSTRUCTION SPECIFICATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CONNECTICUT ONE CALL SYSTEM AT LEAST THREE (3) WORKING DAYS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 6" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- MANHOLE RIMS AND STORM INLET GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, STORM INLET GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
- ALL EXISTING TOPOGRAPHICAL FEATURES (SPOT ELEVATIONS, CONTOURS, INVERTS, ETC.) CAN HAVE A TOLERANCE DIFFERENCE OF 6"±, DEPENDING ON FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHICAL FEATURES PRIOR TO CONSTRUCTION, AND ADVISE OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION AND SEDIMENTATION PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- THE CONTRACTOR SHALL COMPACT FILL IN 6" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- ALL EXCAVATION AND GRADING CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
- SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO STORM INLETS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
- ALL ACCESSIBLE PARKING SPACES TO HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ALL SIDEWALKS, PATIO AREAS, AND ACCESSIBLE ROUTES TO THE BUILDING ARE TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%, UNLESS IN AN APPROVED ADA RAMP.
- CONTRACTOR TO FIELD VERIFY PROPOSED AND EXISTING GRADES, SLOPES, ETC., FOR PROPOSED ACCESSIBLE PARKING AREAS, RAMPS, ETC., WITH ARCHITECT, PRIOR TO CONSTRUCTION.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE TAKEN FROM FIELD OBSERVATION, UTILITY MAPS, ETC., AND ARE NOT ASSUMED TO BE ACCURATE. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR TO DIG TEST PITS AT ALL PROPOSED UTILITY CROSSINGS, TO VERIFY LOCATION, DEPTH, SIZE, ETC. OF EXISTING UNDERGROUND UTILITIES, AND CONFIRM NEW UTILITY LINES CAN BE INSTALLED AS PROPOSED. ADVISE MEDEXPRESS CONSTRUCTION MANAGER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.

STORM SEWER NOTES:

- ALL STORM SEWER PIPES SHALL BE MANUFACTURED WITH INTEGRAL BELL AND SPIGOT JOINTS INCLUDING A GASKET, SO AS TO PROVIDE A WATERTIGHT SEAL.
- ALL STORM SEWER PIPES LESS THAN 12" DIAMETER SHALL BE PVC SDR 35 WATERTIGHT PIPE CONFORMING TO ASTM SPECIFICATION D3034, UNLESS DENOTED OTHERWISE ON PLANS.
- ALL STORM SEWER PIPES 12" DIAMETER AND GREATER SHALL BE HDPE N-12, WATERTIGHT PIPE AS MANUFACTURED BY ADS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLANS.
- CONNECTIONS TO STRUCTURES SHALL BE MADE WATERTIGHT WITH NON-SHRINKING AND NON-CORROSIVE GROUT.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
REINFORCED CONCRETE PIPE (RCP)(PER ASTM C-76 CLASS IV)
POLYVINYL CHLORIDE (PVC SDR 35)
HIGH DENSITY POLYETHYLENE PIPE (HDPE)
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

RUNOFF CHARACTERISTICS:

SOILS (PER NRCS WEB SOIL SURVEY):			
805B	ORTHENTS, CLAYEY, UNDULATING HYDROLOGIC SOIL GROUP - D	-	100%
SITE IMPERVIOUSNESS:			
EXISTING:	TOTAL SITE AREA	=	38,800 SF
	IMPERV SURFACE (CN=98)	=	29,788 SF
	PERV SURFACE (CN=80)	=	9,012 SF
	WEIGHTED SITE CN	=	94
PROPOSED:	TOTAL SITE AREA	=	38,800 SF
	IMPERV SURFACE (CN=98)	=	24,484 SF
	PERV SURFACE (CN=80)	=	14,316 SF
	WEIGHTED SITE CN	=	91

BENCHMARKS (NAVD 88):

BM SITE	1/2" REBAR AT SOUTH EAST CORNER OF PROPERTY ELEV. = 773.64
BM WOOD	DUPAGE COUNTY BM WOOD ELEV. = 765.075
BM 0214	DUPAGE COUNTY BM 0214 ELEV. = 774.869

HORIZONTAL CONTROL POINTS		
ILLINOIS STATE PLANE COORDINATES, ZONE EAST, NAD 88 (1201)		
	NORTHING	EASTING
BM SITE	1953099.217	1069654.613
BM WOOD	1851844.154	1065288.991
BM 0214	1854421.096	1067816.799

LEGEND

EXISTING

REFER TO TITLE SHEET

PROPOSED

	BUILDING
	MAJOR CONTOUR
	MINOR CONTOUR
	STORM SEWER
	CATCH BASIN
	AREA DRAIN
	CLEAN OUT
	DOWNSPOUT CONNECTION
	BREAK LINE
	FINISH ELEVATION / PAVEMENT ELEVATION IN PAVED AREA (UNLESS NOTED OTHERWISE)
	TOP OF CURB ELEV.
	BOTTOM OF CURB ELEV.
	SLOPE ARROW
	MATCH EXISTING ELEVATION
	BOTTOM OF CURB
	TOP OF CURB
	FINISHED GRADE
	FINISHED FLOOR ELEVATION
	REMOVE AND DISPOSE OF EXISTING SEWER
	REMOVE AND DISPOSE OF EXISTING STORM STRUCTURE

NOTE: REFER TO CONSTRUCTION DETAILS SHEET

STORM STRUCTURE SCHEDULE

#	STRUCTURE	RIM ELEV.	PIPE INVERT
1	CURB INLET	771.75	EX. INV. 12" E 767.2± INV. 12" NW 767.50
2	CATCH BASIN	773.00	INV. 12" SE 767.90 INV. 10" SW 768.07
3	AREA DRAIN	774.50	INV. 10" NE 768.85

CODED NOTES:

- CONNECT TO EXISTING. CONTRACTOR TO VERIFY EXISTING SEWER LOCATION / ELEVATION PRIOR TO ORDERING PROPOSED STRUCTURES. CONTRACTOR TO OBTAIN NECESSARY WORK PERMITS FOR CONNECTIONS TO EXISTING STRUCTURES / PIPES.
- ADJUST UTILITY STRUCTURE TO GRADE.

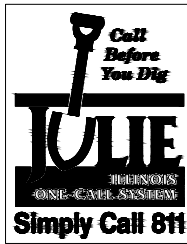
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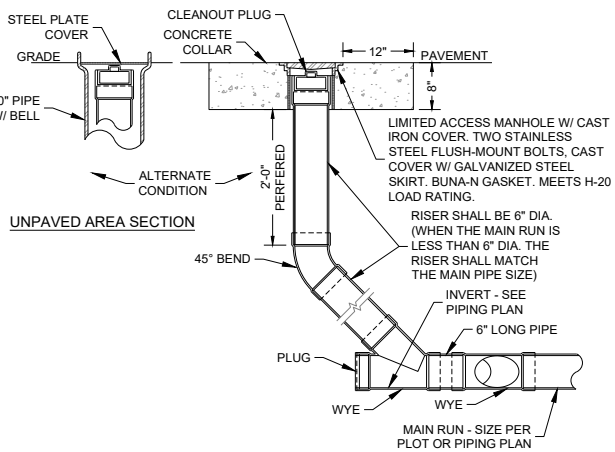
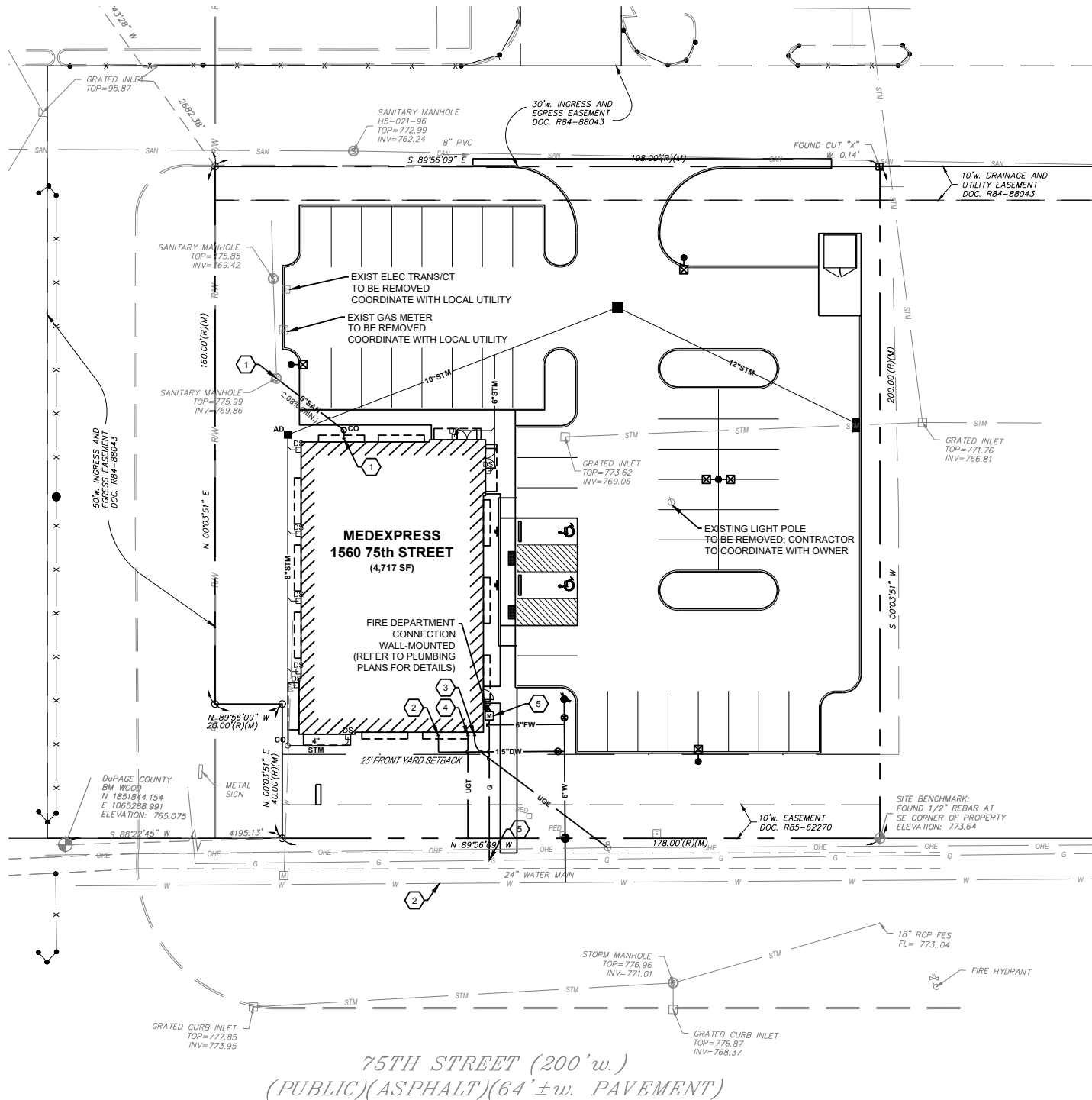
GRADING PLAN

ISSUE:	
90% CONST DOCS	
DATE:	
01/27/2017	
JOB NO.:	753208
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C5.0	



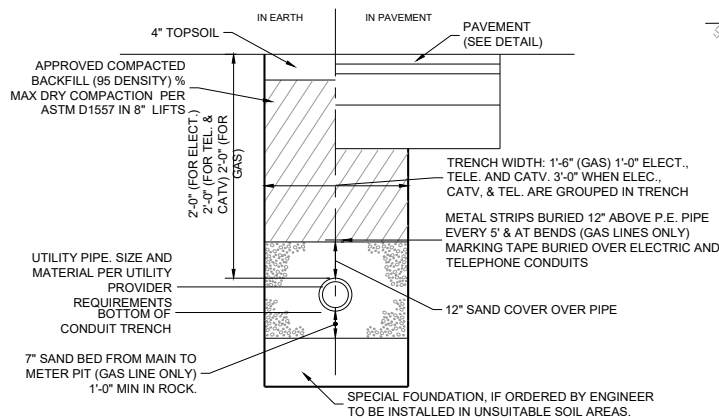
FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: J.U.L.I.E. AT 811 OR 1 (800) 892-0123 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS J.U.L.I.E.

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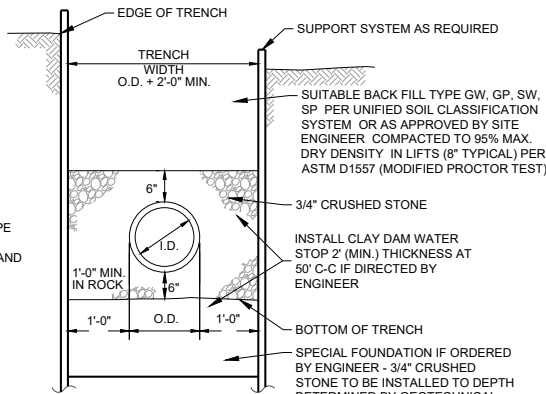
PIPE CLEANOUT DETAIL

NTS



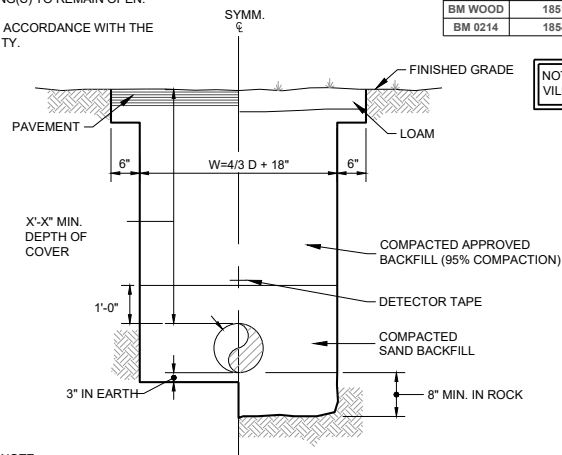
ELECTRICAL, TELEPHONE AND GAS TRENCH SECTION

NOT TO SCALE



TYPICAL SANITARY SEWER TRENCH SECTION

NOT TO SCALE



- NOTE:
1. FIRE LINE PIPING AND SERVICE PIPING > 3" I.D. TO BE CLASS 53 DUCTILE IRON WITH RESTRAINED JOINTS 40 FT. EACH SIDE OF ALL FITTINGS, ELBOWS AND APPURTENANCES. DOMESTIC PIPING < 3" I.D. TO BE TYPE K COPPER PER ASTM B 88.
 2. NOTE: PIPING TO BE HYDROSTATIC TESTED 2 HOURS @ 100 PSI. OVER NORMAL OPERATING PRESSURE AFTER INSTALLATION

TYPICAL WATER MAIN & SERVICE TRENCH SECTION

NTS

LEGEND

EXISTING

REFER TO TITLE SHEET FOR EXISTING FEATURES LEGEND

PROPOSED

	BUILDING
STM	STORM SEWER
SAN	SANITARY SEWER
W	COMBINED WATER SERVICE
FW	FIRE PROTECTION SERVICE
DW	DOMESTIC WATER SERVICE
G	GAS SERVICE
UGE	UNDERGROUND ELEC. LINE
UGT	UNDERGROUND TEL. LINE
Fire Hydrant	FIRE HYDRANT
Fire Department Connection	FIRE DEPARTMENT CONNECTION
Water Valve	WATER VALVE
Clean Out	CLEAN OUT
Gas Meter	GAS METER

UTILITY PLAN GENERAL NOTES:

A. SANITARY SEWER

THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF THE EXISTING UTILITIES PRIOR TO ORDERING ANY SANITARY SEWER CONSTRUCTION MATERIALS. CONTACT THE DESIGN ENGINEER WITH ANY DISCREPANCIES. THE CONTRACTOR SHALL TRENCH, BACKFILL, PROVIDE AND INSTALL A NEW 8" SCHEDULE 40 PVC SERVICE LATERAL AND ASSOCIATED CLEANOUTS FROM THE PROPOSED BUILDING TO THE EXISTING SANITARY SEWER MAIN. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL AND STATE BUILDING AND PLUMBING CODES.

B. WATER SERVICE

THE CONTRACTOR SHALL TRENCH, BACKFILL, PROVIDE AND INSTALL A NEW 1.5" TYPE "K" COPPER WATER SERVICE LINE AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL LOCATE THE EXISTING LINE, TIE INTO THE EXISTING SERVICE LINE, INSTALL THE NEW WATER SERVICE LINE AND MAKE THE CONNECTION TO THE METER INSIDE THE BUILDING. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL VALVES AND WATER METERS AS DIRECTED BY THE CITY OF MERIDEN PUBLIC WORKS DEPARTMENT. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL AND STATE BUILDING AND PLUMBING CODES.

C. ELECTRIC SERVICE

THE CONTRACTOR SHALL TRENCH, BACKFILL, PROVIDE AND INSTALL 2-3" SCH 40 PVC CONDUITS WITH LONG SWEEPING BENDS AND PULL WIRE FROM THE EXISTING UTILITY POLE BACK TO THE PROPOSED UTILITY TRANSFORMER BACK TO THE ELECTRIC/DATA ROOM. MAINTAIN EITHER A CLEAR HORIZONTAL DISTANCE OF 12" FROM CABLE AND TELEPHONE CONDUITS OR AN 18" VERTICAL CLEARANCE WHEN SHARING A TRENCH. THE ELECTRIC COMPANY SHALL MAKE THE CONNECTION AT THE EXISTING, ABOVEGROUND UTILITY POLE, TRANSFORMER. THE ELECTRIC COMPANY SHALL PROVIDE THE CTS AND THE CONTRACTOR SHALL PROVIDE AND INSTALL THE CABINET. THE CONTRACTOR SHALL INSTALL THE CTS AND GET AN ELECTRICAL INSPECTION APPROVAL FROM THE ELECTRIC COMPANY. THE ELECTRIC COMPANY SHALL PROVIDE AND INSTALL THE ELECTRIC METER AND CANISTER AND MAKE THE CONNECTION AT THE METER. THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL SERVICE INSTALLATION WITH THE ELECTRIC COMPANY.

UTILITY SERVICE INFORMATION:

1. GENERAL CONTRACTOR TO VERIFY ALL UTILITY INFORMATION REQUIREMENTS (GAS, ELECTRIC, TELEPHONE, WATER AND SANITARY) WITH EACH UTILITY COMPANY. ALL REQUIREMENTS SHOULD BE INCLUDED IN BASE BID. ANY DISCREPANCIES PLEASE NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION. ALL REQUIREMENTS SHOULD BE INCLUDED IN BASE BID.
2. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE OWNER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
3. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
4. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
5. RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.

D. TELEPHONE/CABLE SERVICE

THE CONTRACTOR SHALL TRENCH, BACKFILL, PROVIDE AND INSTALL 1-4" SCH 40 PVC CONDUIT WITH LONG SWEEPING BENDS AND PULL WIRE FROM THE EXISTING UTILITY POLE BACK TO THE ELECTRIC/DATA ROOM. THE CONTRACTOR SHALL PROVIDE AND INSTALL A 4'X4' MOUNTING BOARD WITH A #6 GROUND WIRE. THE CONTRACTOR SHALL PROVIDE AN AC OUTLET FOR FIBER OPTIC SERVICE IF WANTED BY THE MEDEXPRESS CONSTRUCTION REPRESENTATIVE. THE CONTRACTOR SHALL COORDINATE HOOKUPS WITH THE TELEPHONE COMPANY. THE TELEPHONE COMPANY SHALL PROVIDE/INSTALL THE TELEPHONE LINE, INTERFACE BOX AND MAKE THE CONNECTION AT THE UTILITY POLE AND INTERFACE BOX. THE CONTRACTOR SHALL COORDINATE THE TELEPHONE SERVICE WITH THE TELEPHONE COMPANY.

E. GAS

THE CONTRACTOR SHALL COORDINATE/INSTALL A NEW GAS SERVICE LINE FROM THE EXISTING GAS MAIN BACK TO THE PROPOSED BUILDING WITH THE GAS COMPANY. CONTRACTOR TO INSTALL THE GAS METER 3' FROM THE THE BACK DOOR. CONTRACTOR TO INSTALL A 2" SCH 40 PVC SLEEVE WITH A SWEEPING 90 AT THE PROPOSED METER LOCATION ON THE BUILDING AND EXTEND THE SLEEVE BACK. THE GAS COMPANY WILL TIE INTO THE SCH 40 SLEEVE AND PERFORM THE NEW TAP INTO THE EXISTING MAIN LINE.

CODED NOTES:

1. PROPOSED 6" SANITARY SERVICE LINE. CONTRACTOR TO INSTALL SERVICE PER LOCAL REGULATIONS AND SPECIFICATIONS. SEE GENERAL UTILITY NOTE A FOR SANITARY SERVICE DETAILS.
2. PROPOSED 1.5" DOMESTIC WATER SERVICE LINE, WITH METER IN BUILDING (REFER TO PLUMBING PLANS). SEE GENERAL UTILITY NOTE B FOR WATER SERVICE DETAILS.
3. PAD MOUNT TRANSFORMER PER LOCAL UTILITY DIRECTION. SEE GENERAL UTILITY NOTE C FOR ELECTRIC SERVICE DETAILS.
4. PROPOSED TELEPHONE SERVICE. SEE GENERAL UTILITY NOTE D FOR SERVICE DETAILS, AND NOTE C FOR ADDITIONAL DETAILS WHEN SHARING TRENCH WITH ELECTRICAL CONDUIT.
5. GAS SERVICE AND METER PER LOCAL UTILITY DIRECTION. SEE GENERAL UTILITY NOTE E FOR GAS SERVICE DETAILS.

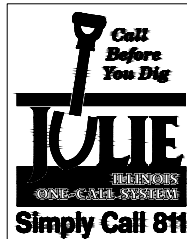
BENCHMARKS (NAVD 88):

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BM WOOD	1851844.154	1065288.991	765.075
BM 0214	1854421.096	1067816.799	774.869

NOTE: PROPOSED FIRE HYDRANT PER VILLAGE STANDARDS AND PAINTED RED.



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REVISION DESCRIPTION

NO. DATE

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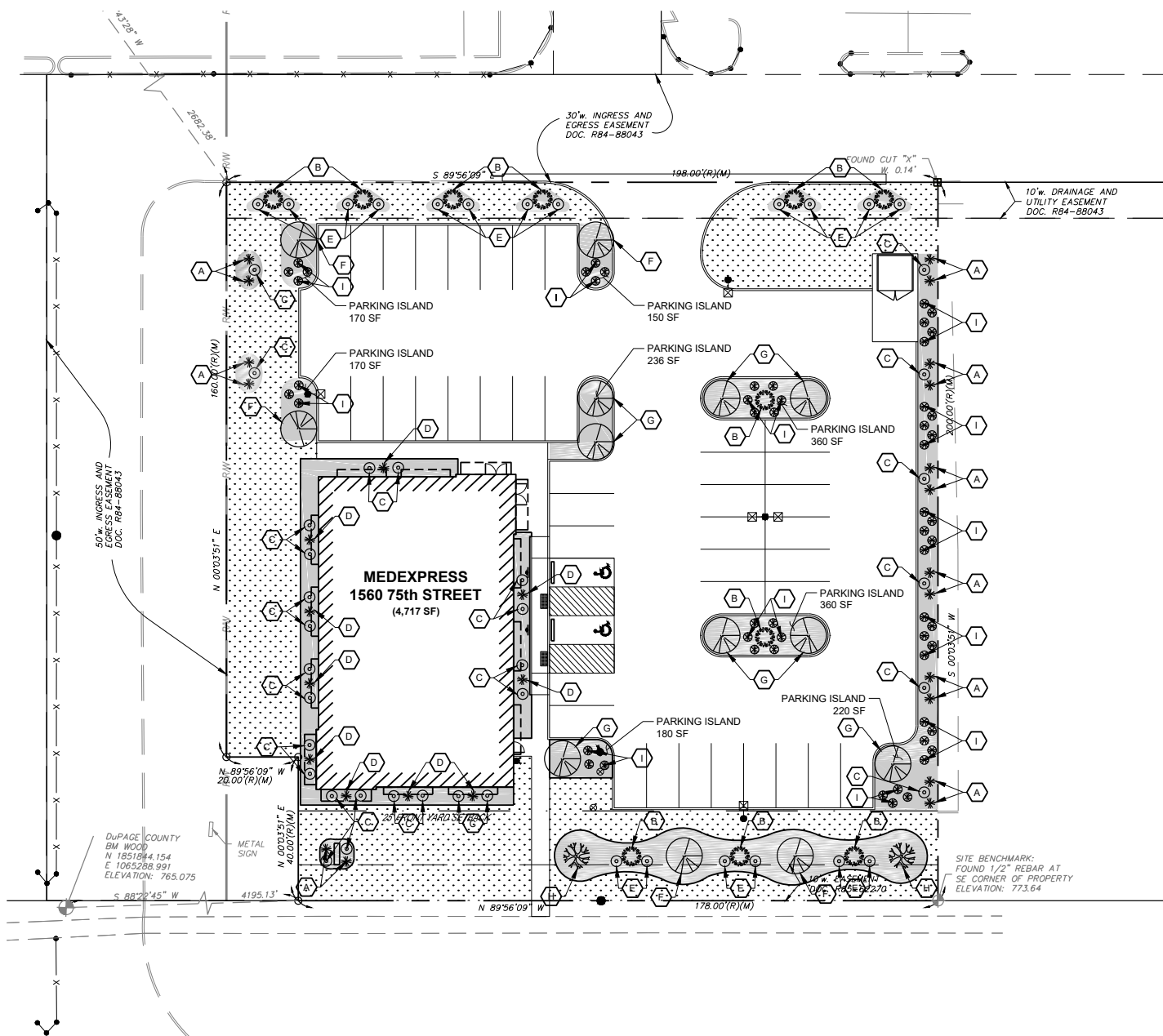
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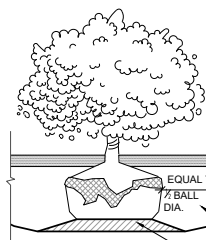
UTILITY PLAN

ISSUE:	90% CONST DOCS
DATE:	01/27/2017
JOB NO.:	753208
DESIGN:	JRM
DRAWN:	JRM
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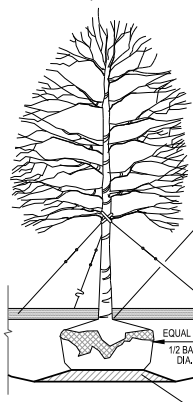
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75TH STREET (200'w.)
(PUBLIC)(ASPHALT)(64'±w. PAVEMENT)



1 SHRUB PLANTING
NO SCALE



2 TREE PLANTING
NO SCALE

GENERAL NOTES:
1. EVERGREEN TREES OVER 30\"/>

PLANTING NOTES:

- ALL PLANT MATERIAL SHALL BE STATE DOT APPROVED AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER/CONSTRUCTION MANAGER. THE OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED. ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE MUNICIPALITY AND OWNER.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTH AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
- PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE.
- REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3\"/>
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXISTS, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.

LANDSCAPE REQUIREMENTS

- PARKING LOT STREET YARDS (VODG SEC. 8.020.B):
REQUIRED: 75% PARKING LOT PERIMETER LANDSCAPING
LANDSCAPE AREA: 4,450 SF -> 3,340 SF REQUIRED
PROVIDED: 4,200 SF (AT MATURE SPREAD)
- REQUIRED: 1 TREE/30 LINEAR FEET OF PARKING FRONTAGE
108' PARKING FRONTAGE/30' = 4 TREES REQUIRED
PROVIDED: 4 TREES
- PARKING LOT INTERIOR/REAR YARDS (VODG SEC. 8.020.C):
REQUIRED: 50% PARKING LOT PERIMETER LANDSCAPING
LANDSCAPE AREA (NORTH): 2,770 SF -> 1,385 SF REQUIRED
LANDSCAPE AREA (EAST): 3,470 SF -> 1,735 SF REQUIRED
LANDSCAPE AREA (WEST): 865 SF -> 433 SF REQUIRED
PROVIDED: LANDSCAPE AREA (NORTH): 1,400 SF
LANDSCAPE AREA (EAST): 1,750 SF
LANDSCAPE AREA (WEST): 500 SF
- PARKING LOT LANDSCAPE ISLANDS (VODG SEC. 8.030.B):
REQUIRED: DISTANCE BETWEEN ISLANDS NO GREATER THAN 20 PARKING SPACES
PROVIDED: 9 SPACES MAXIMUM BETWEEN ISLANDS
- REQUIRED: SINGLE ROW PARKING: 150 SF
DOUBLE ROW PARKING: 300 SF
PROVIDED: SEE PLAN
- REQUIRED: 1 TREE/150 SF OF LANDSCAPE ISLAND
PROVIDED: 1 TREE/150 SF OF LANDSCAPE ISLAND
- MONUMENT SIGN SCREENING (VODG SEC. 9.050.B.1.f):
REQUIRED: LANDSCAPE AREA 3-FT IN WIDTH
PROVIDED: SEE PLAN

TOPSOIL AND SOD NOTES:

- ALL DISTURBED AREAS SHALL RECEIVE SOD. SOD SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOD SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOD TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SOD SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOD UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE.
- SOD SHALL BE INSTALLED ON A MIN. OF 3\"/>

IRRIGATION NOTES:

- ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATIONS SYSTEM. THE GC SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE GC SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

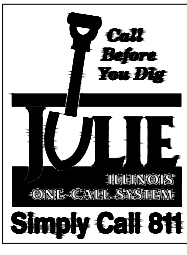
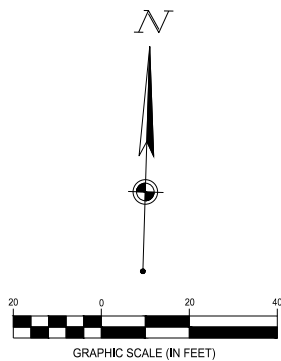
NOTE: ALL PARKING ISLANDS SHALL HAVE A MINIMUM OF 50% AREA GROUND COVERAGE WITH PERENNIALS AND/OR GROUND COVER PLANTINGS, AS PER VILLAGE OF DOWNERS GROVE CODE 28.8.020.D.3. IN ADDITION TO LANDSCAPING SHOWN, OWNER SHALL PROVIDE SEASONAL ANNUALS BENEATH SHADE TREES TO MEET MINIMUM COVERAGE REQUIREMENTS.

LEGEND

PROPOSED



- ORNAMENTAL GRASS
- SMALL SHRUBS
- SHRUBS
- ORNAMENTAL TREE
- SHADE TREE



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: J.U.L.I.E. AT 811 OR 1 (800) 892-0123 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS J.U.L.I.E.



REVISION DESCRIPTION

NO. DATE

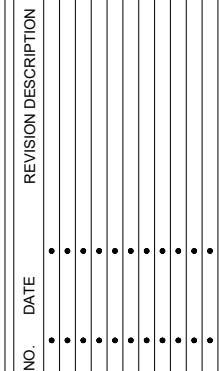
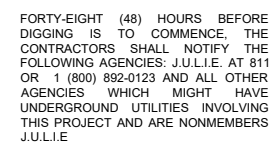
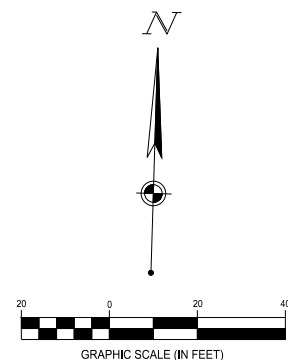
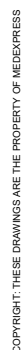
MEDEXPRESS

DOWNERS GROVE, IL
CONSTRUCTION DOCUMENTS

1560 75TH ST, DOWNERS GROVE, IL 60516

LANDSCAPE
PLAN

ISSUE:
90% CONST DOCS
DATE:
01/27/2017
JOB NO.: 753208
DESIGN: JSB
DRAWN: JSB
CHECKED: JAT
SHEET NO.
C8.0



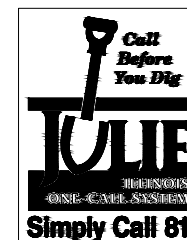
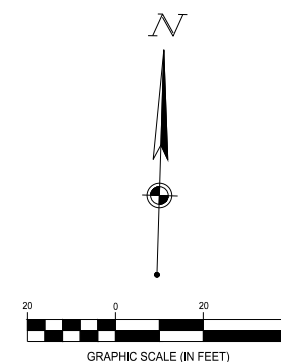
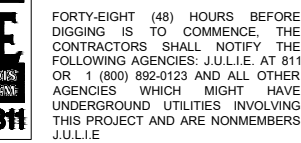
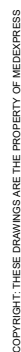
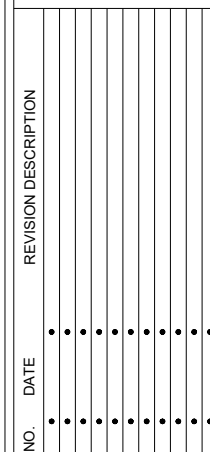
MEDEXPRESS
DOWNERS GROVE, IL
CONSTRUCTION DOCUMENTS

1560 75TH ST DOWNERS GROVE IL 60516

CAR AND FIRE TRUCK AUTOTURN

ISSUE:	
NOT FOR CONSTRUCTION	
DATE:	
01/27/2017	
JOB NO.:	753208
DESIGN:	JSB
DRAWN:	JSB
CHECKED:	ZDF

SHEET NO
1 of 1



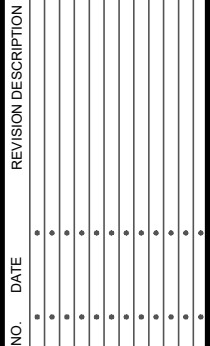
MEDEXPRESS
DOWNERS GROVE, IL
CONSTRUCTION DOCUMENTS

1560 75TH ST, DOWNERS GROVE, IL 60516

GARBAGE
TRUCK
AUTOTURN

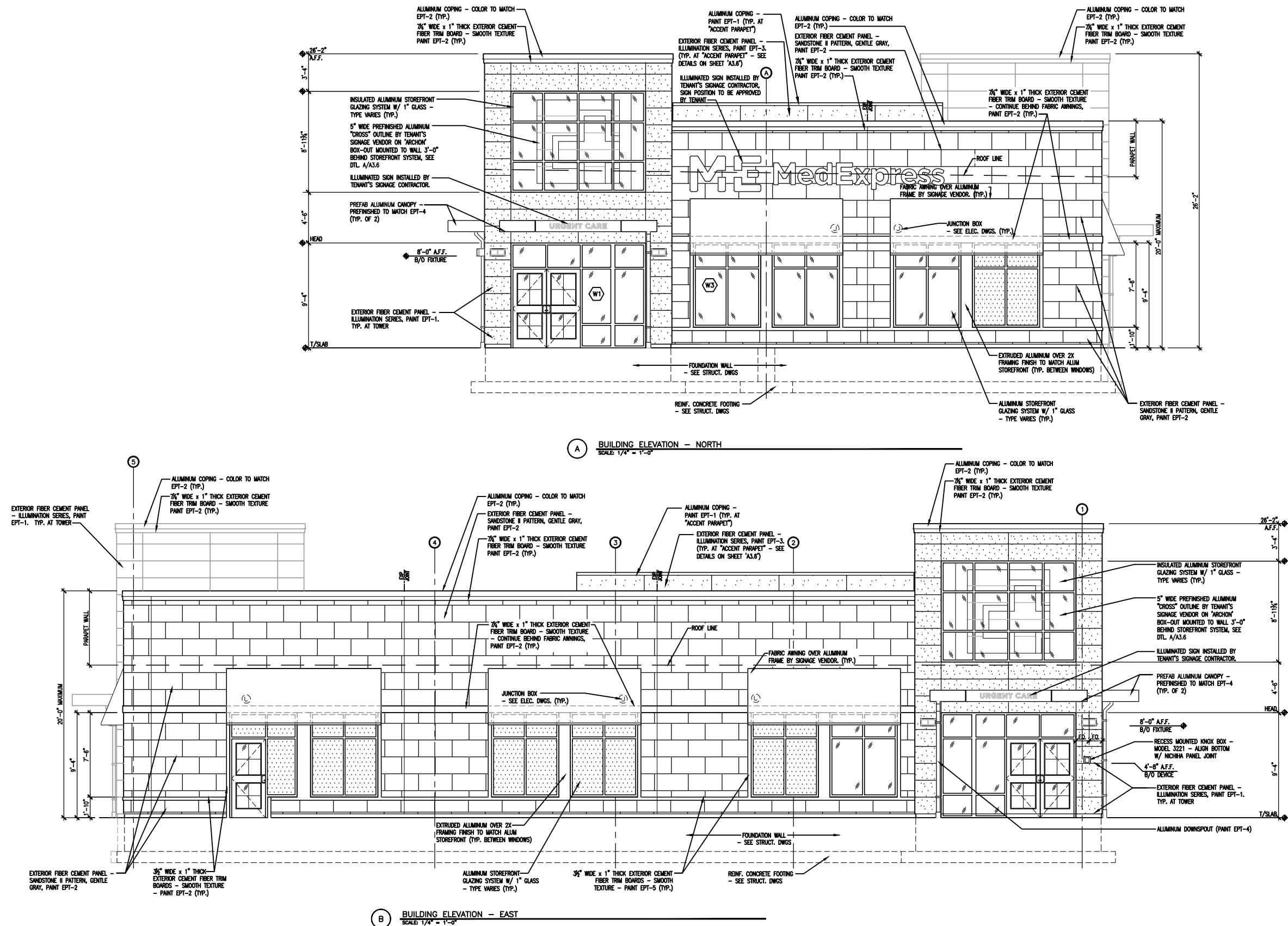
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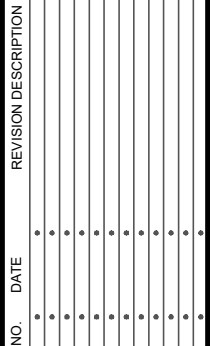
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1 of 1



EXTERIOR ELEVATIONS

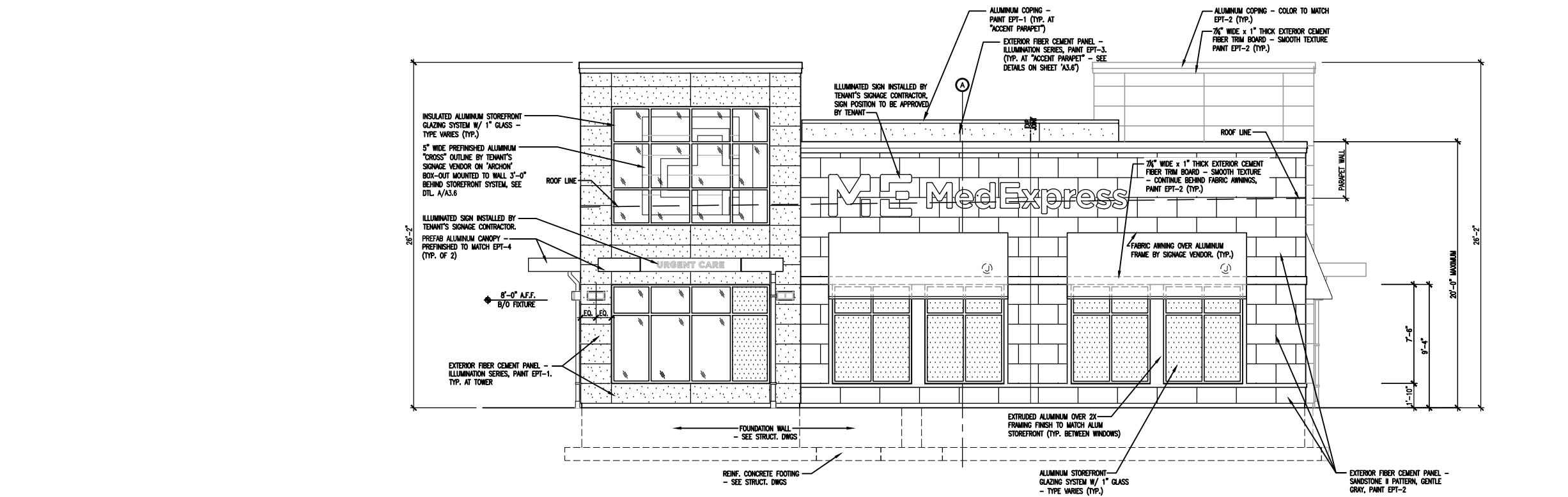
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A3	



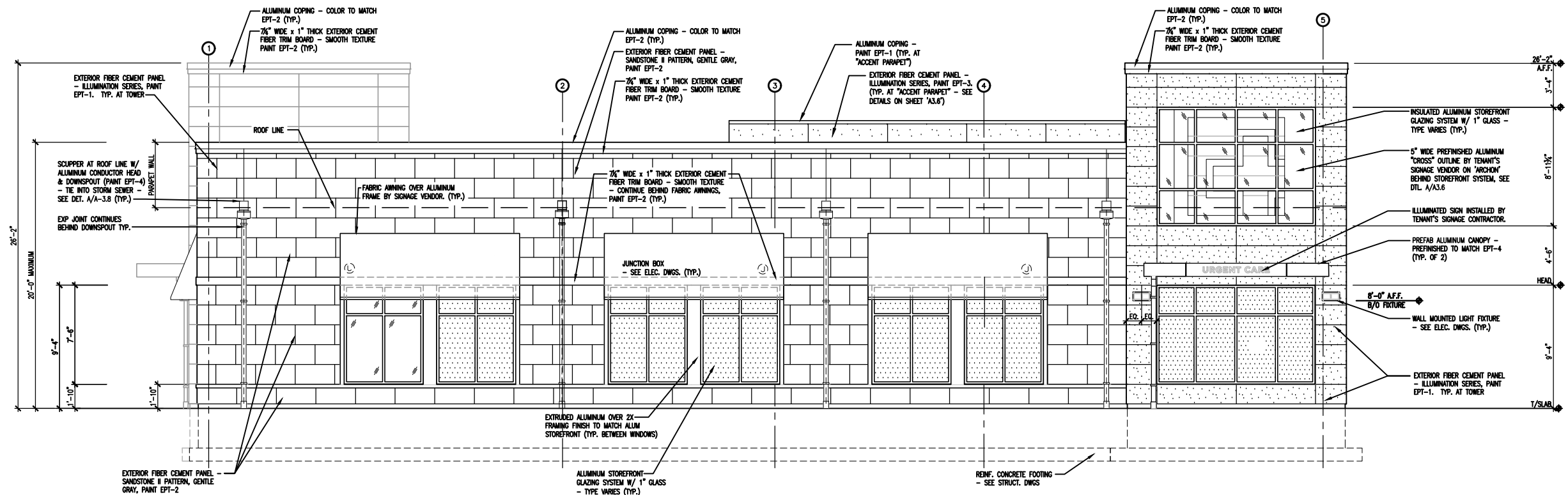


EXTERIOR ELEVATIONS

ISSUE: CONSTRUCTION DOCS	
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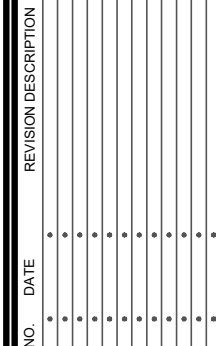
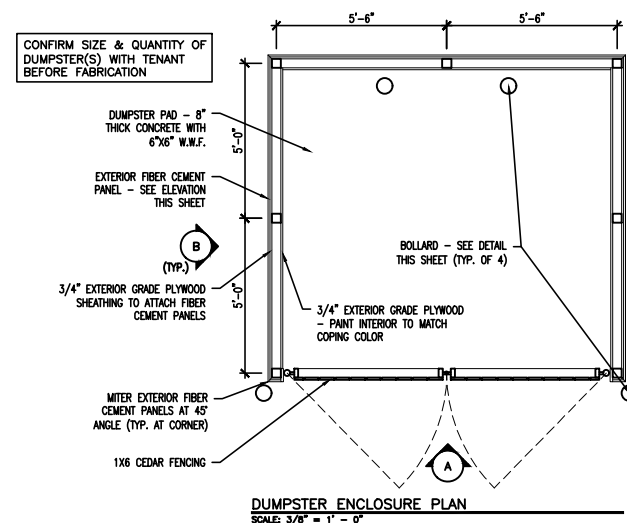


BUILDING ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



(B) BUILDING ELEVATION - WEST
SCALE: 1/4" = 1'-0"

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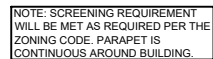


MEDEXPRESS
DOWNERS GROVE, ILLINOIS
CONSTRUCTION DOCUMENTS

1560 75TH STREET DOWNERS GROVE ILLINOIS 60516

DUMPSTER ENCLOSURE & DETAILS

ISSUE: CONSTRUCTION DOCS	
DATE: 11-16-2016	
JOB NO.:	753208-01
DESIGN:	RDCII
DRAWN:	RDCII
CHECKED:	BB
SHEET NO. A3.9	

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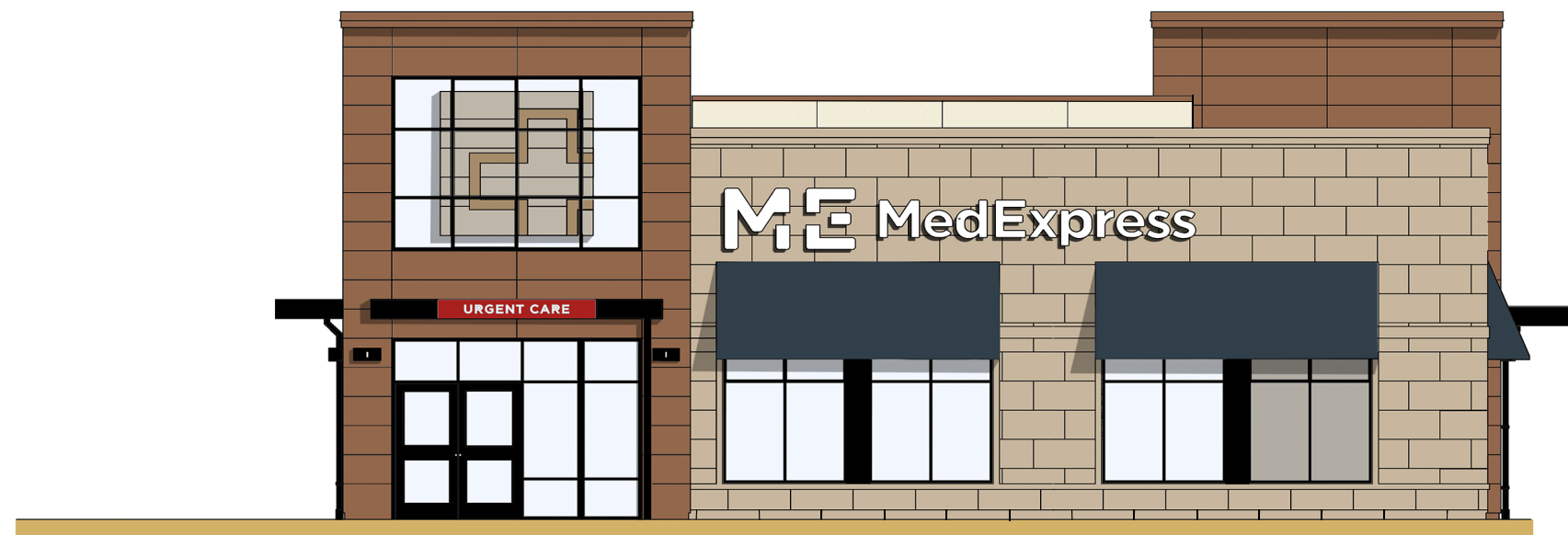
MEDEXPRESS
DOWNERS GROVE, ILLINOIS
CONSTRUCTION DOCUMENTS

1560 75TH STREET DOWNERS GROVE IL 60516

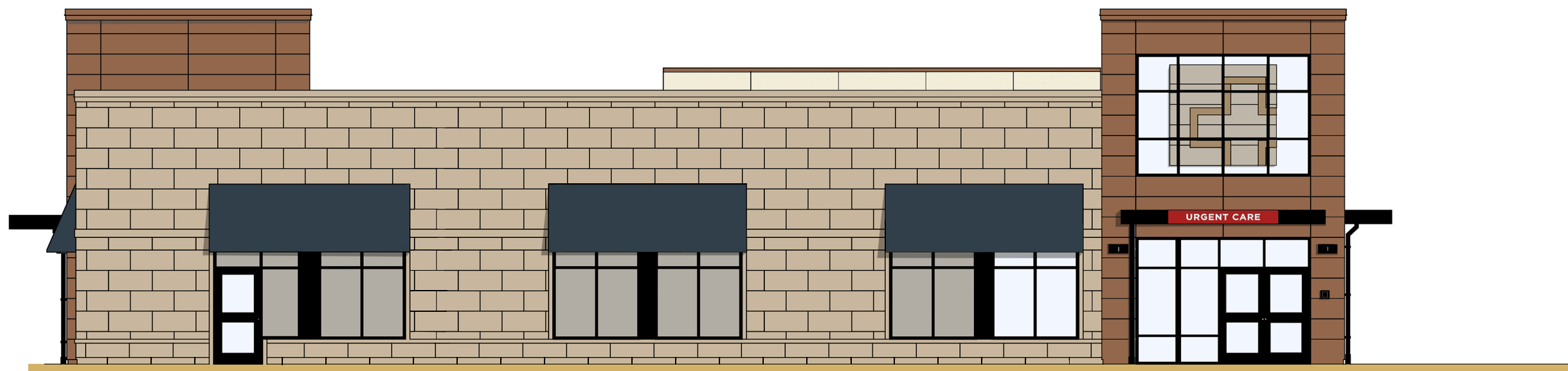
LINE OF SITE
PLAN

ISSUE:	
CONSTRUCTION DOCS	
DATE:	
11-16-2016	
JOB NO.:	753208-01
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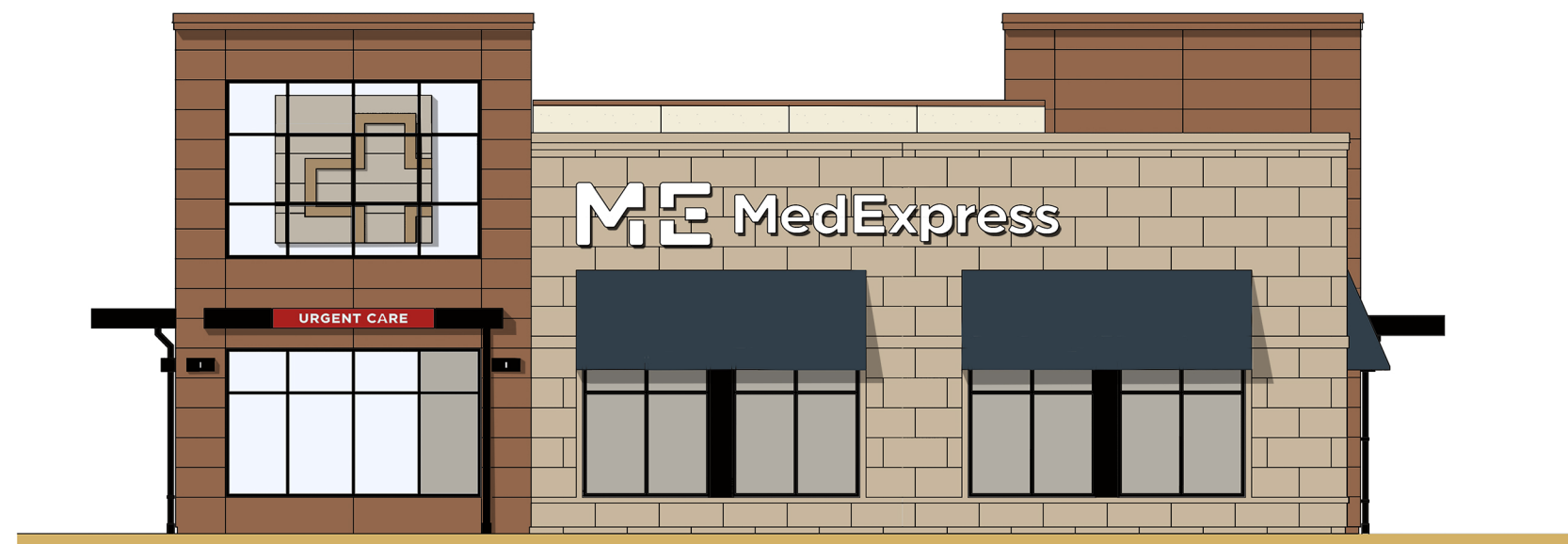


BUILDING ELEVATION-NORTH
SCALE 1/4"=1'0"

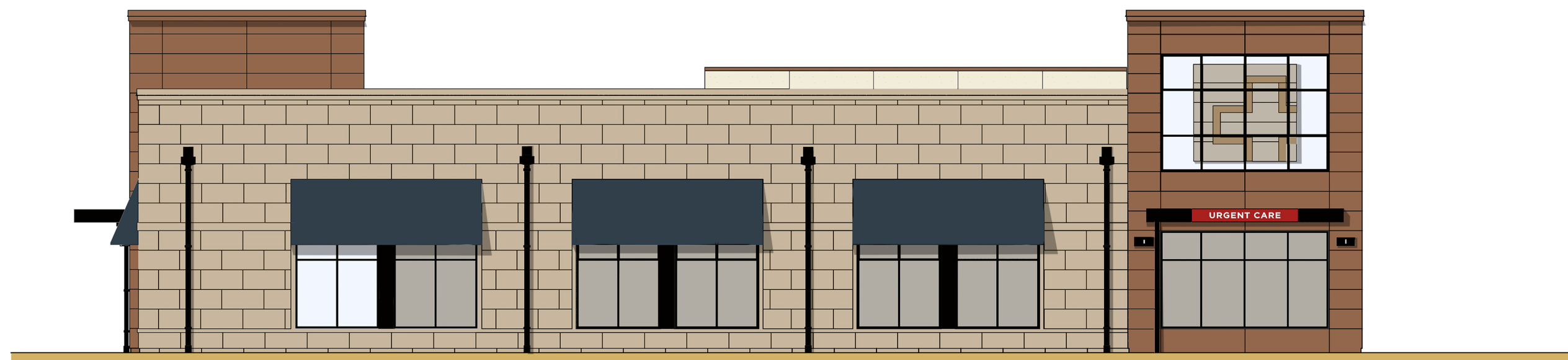


BUILDING ELEVATION-EAST
SCALE 1/4"=1'0"

MEDEXPRESS
1560 75TH STREET
DOWNERS GROVE, IL 60516
CESO Project NO. 753208
EXTERIOR ELEVATION A3.0



BUILDING ELEVATION-SOUTH
SCALE 1/4"=1'0"



BUILDING ELEVATION-WEST
SCALE 1/4"=1'0"

MEDEXPRESS
1560 75TH STREET
DOWNERS GROVE, IL 60516
CESO Project NO. 753208
EXTERIOR ELEVATION A3.1



MEDEXPRESS
1560 75TH STREET
DOWNERS GROVE, IL 60516
CESO Project NO. 753208
VIEW OF SOUTHWEST TOWER



MEDEXPRESS
1560 75TH STREET
DOWNERS GROVE, IL 60516
CESO Project NO. 753208
VIEW OF NORTHEAST TOWER



2800 Corporate 7628 Dr., Ste. 160
Columbus, Ohio 43231-7719
(614) 794-7080
www.cesoinc.com

December 9, 2016

Mr. William Lorton
Traffic Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Mr. David Furey
Permits Engineer
Dupage County Department of Transportation
421 N. County Farm Road, RM 2-300
Wheaton, IL 60187

**RE: MedExpress Development: 1560 75th Street, Downers Grove, IL 60516
Village of Downers Grove, Dupage County**

Dear Mr. Lorton and Mr. Furey:

CESO is submitting this correspondence to both the Village of Downers Grove and the Dupage County Department of Transportation regarding the above referenced property to respectfully request traffic approval as a result of the proposed site improvements.

Site Location

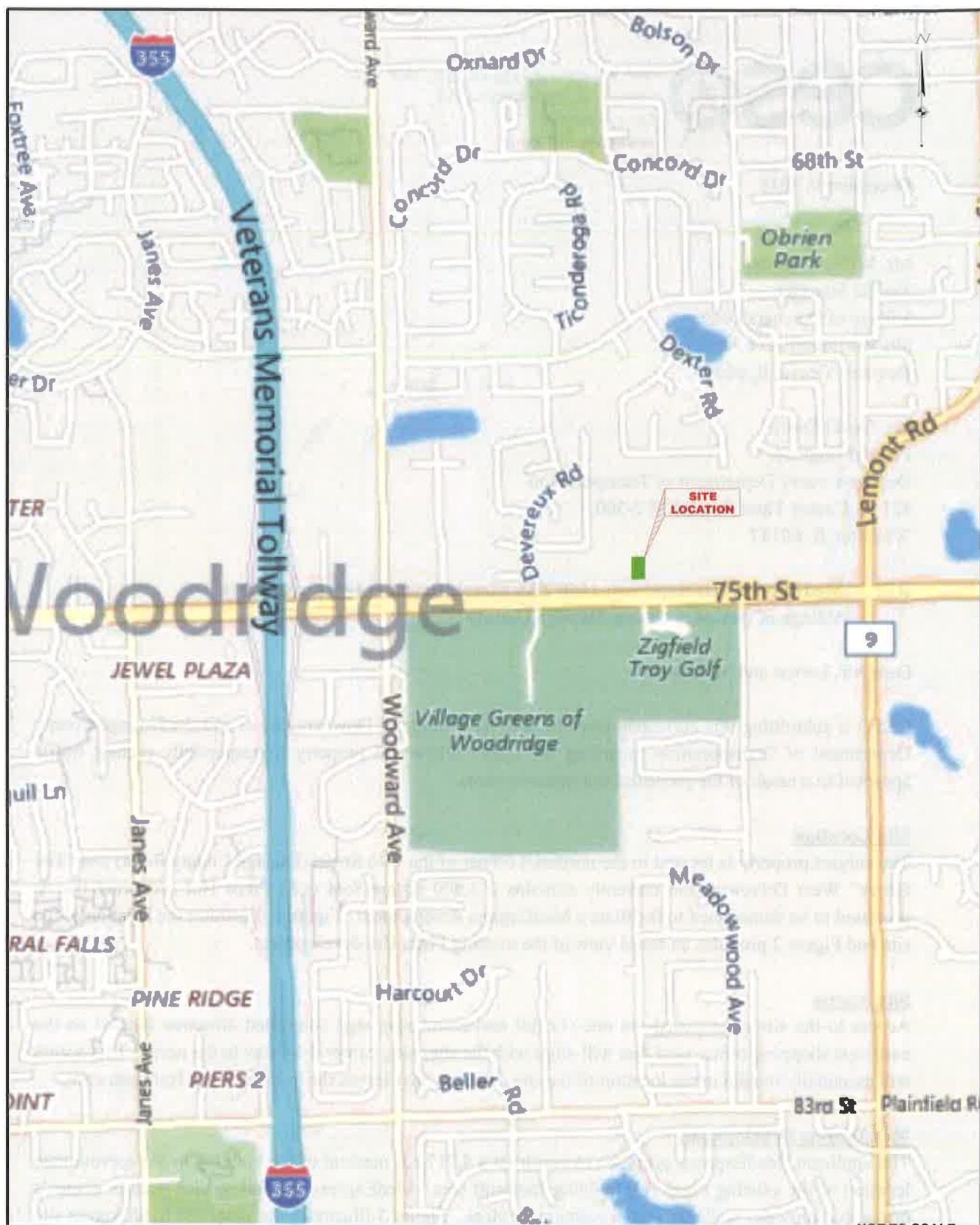
The subject property is located in the northeast corner of the 75th Street (Dupage County Road) and "The Grove" West Driveway and currently contains a 3,800 square foot (s.f.) Pizza Hut restaurant that is proposed to be demolished to facilitate a MedExpress development. Figure 1 illustrates the location of the site and Figure 2 provides an aerial view of the existing Pizza Hut development.

Site Access

Access to the site is proposed via one (1) full movement stop sign controlled driveway located on the east/west shopping center road that will align with the shopping center driveway to the north. This access will essentially remain in the location of the site driveway that serves the existing Pizza Hut restaurant.

MedExpress Development

The applicant, MedExpress, proposes to construct a 4,717 s.f. medical office building in the approximate location of the existing Pizza Hut building footprint area. MedExpress is a full service walk-in doctor's office that provides wellness and prevention services. Figure 3 illustrates the proposed MedExpress site plan.



NOT TO SCALE



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SITE LOCATION

MEDEXPRESS

VILLAGE OF DOWNERS GROVE

DUPAGE COUNTY, ILLINOIS

FIGURE 1

DATE: 12/07/2016

JOB NO.: 753208

DESIGN: REM

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PAGE 2



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EXISTING SITE AERIAL

MEDEXPRESS

VILLAGE OF DOWNERS GROVE

DUPAGE COUNTY, ILLINOIS

FIGURE 3

DATE: 12/07/2016

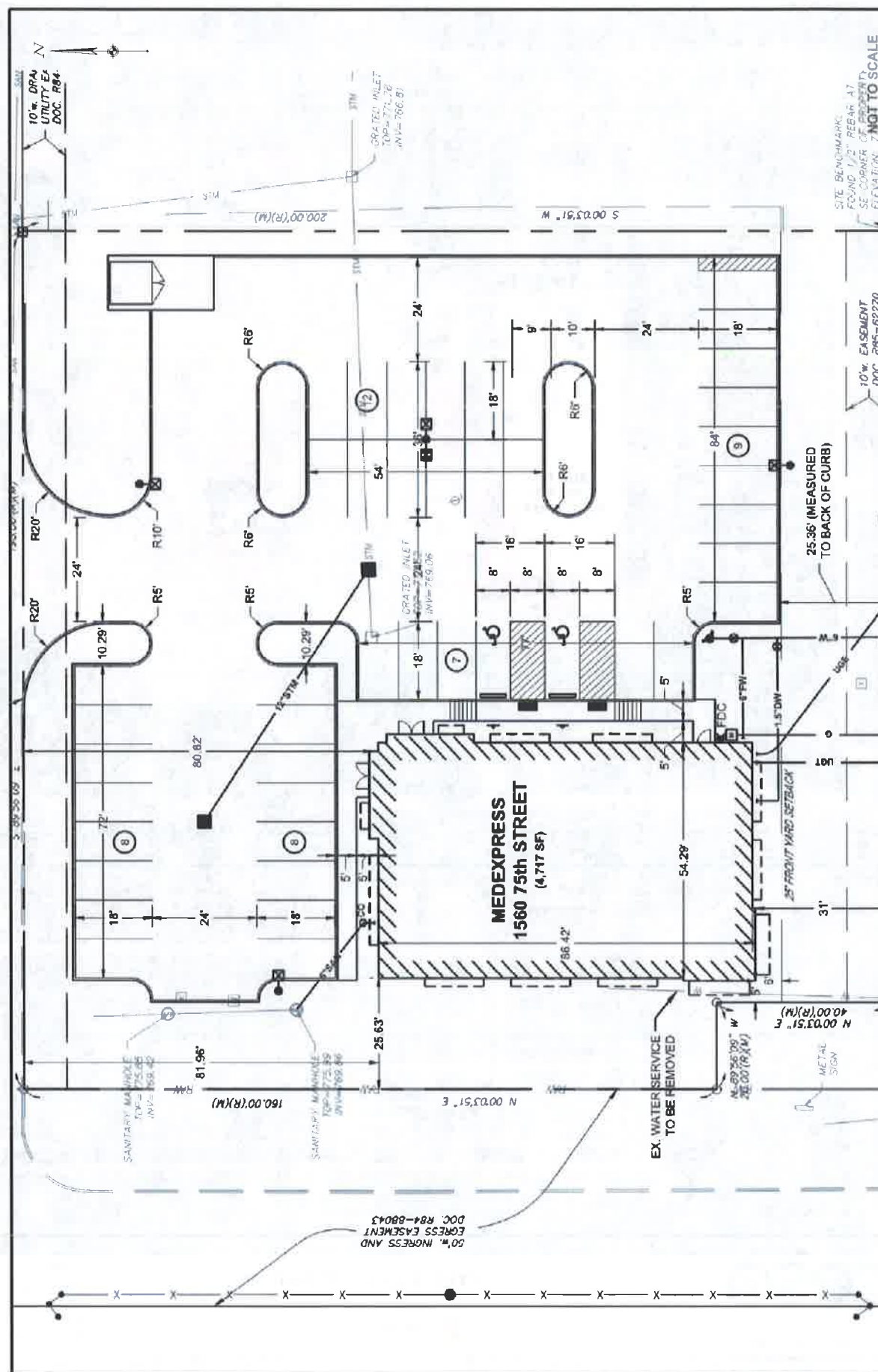
JOB NO.: 753208

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PAGE 3



SITE LOCATION



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MEDEXPRESS

VILLAGE OF DOWNERS GROVE

DUPAGE COUNTY, ILLINOIS

FIGURE 3

DATE: 12/07/2016

JOB NO.: 753208

DESIGN:	REM
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DRAWN: REM

PAGE 4 JOB



Existing Transportation System

As indicated, 75th Street is under the jurisdiction of the Dupage County Department of Transportation with the remaining study locations being under the control of the Village of Downers Grove. Figure 4 illustrates the existing transportation system that will service the proposed MedExpress site.

Trip Generation

CESO reviewed the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition (see Table 1) and the change in use will in all cases reduce the number of trips as shown on the attached calculation sheet. Note: CESO reviewed a few categories for the proposed and chose the highest volume generator category for the proposed condition. Therefore, the change in use when compared with the existing traffic generation of the site will result in a decrease by as much as thirty-five (35) percent or more.

Directional Distribution

Although the proposed MedExpress will actually generate less traffic than the previous Pizza Hut development, CESO prepared an exhibit showing the MedExpress directional distribution of traffic for both the weekday AM and PM peak hours and Saturday peak hour. Figure 5 illustrates the proposed directional distribution of MedExpress traffic. Figure 6 shows the actual MedExpress traffic distributed to the key study roadways.

Circulation Plan

CESO prepared a site circulation plan using Autoturn software. AutoTURN® is used to confidently analyze road and site design projects including intersections, roundabouts, bus terminals, loading bays, parking lots or any on/off-street assignments involving vehicle access checks, clearances, and swept path maneuvers. Figure 7 illustrates the circulation plan showing a garbage truck, passenger vehicle, and fire truck.

Conclusions

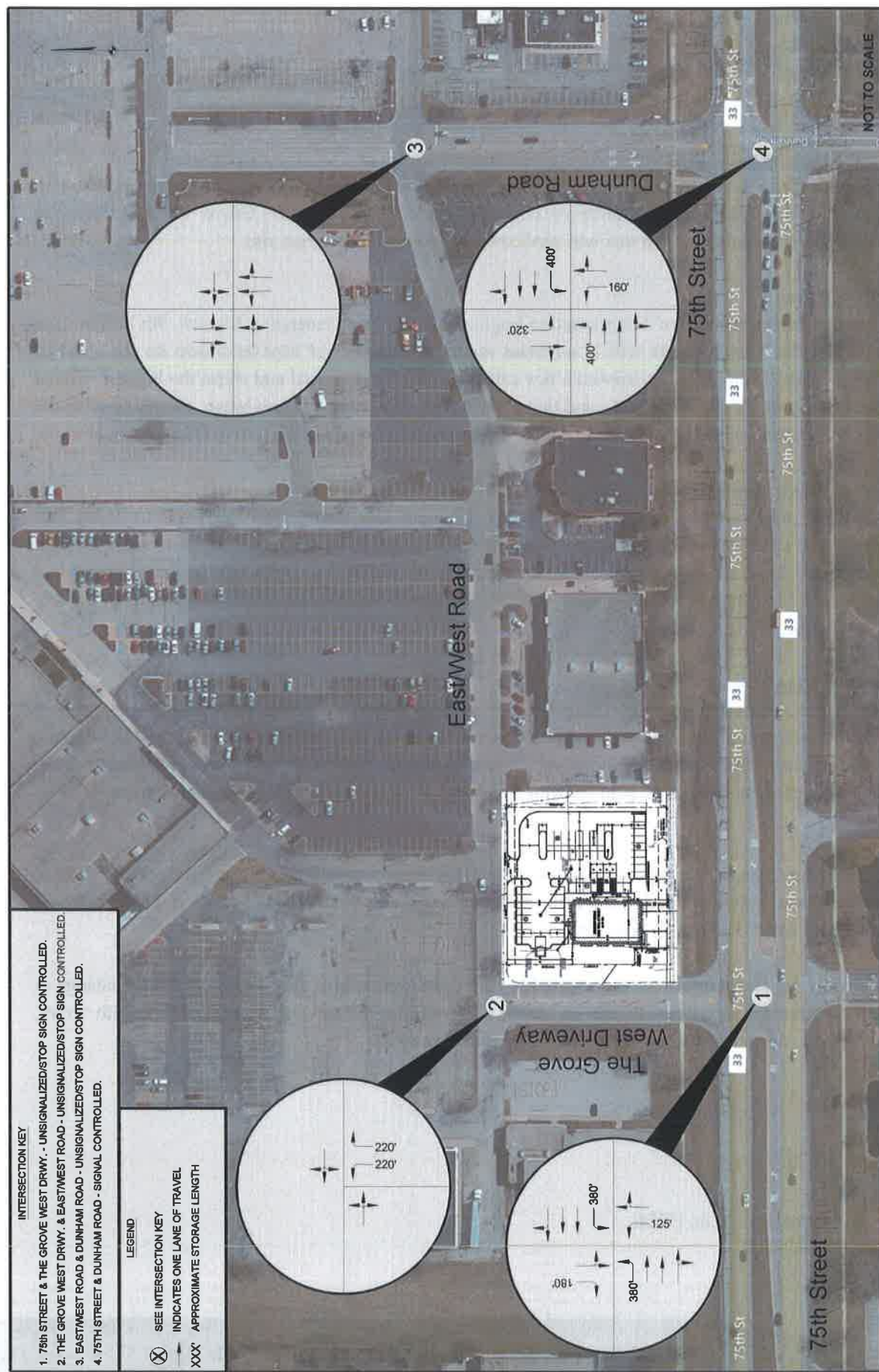
Based on the use change, it is my professional opinion that the proposed MedExpress development will not have a significant impact or increase in traffic at the existing access point along 75th Street, Dunham Road, Lemont Road, and "The Grove" West Driveway.


Please review the above information and provide your concurrence with the conclusion that the change in use will not create a significant impact or increase in traffic at the existing access point to 75th Street, Dunham Road, Lemont Road, and "The Grove" West Driveway.

Sincerely,

A handwritten signature in black ink, appearing to read "R. E. Matko".

Robert E. Matko, P.E., P.S., PTOE
Engineering Manager





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EXISTING TRANSPORTATION SYSTEM

MEDEXPRESS

VILLAGE OF DOWNERS GROVE

FIGURE 4

DATE:	12/07/2016
JOB NO.:	753208
DESIGN:	REM
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PAGE:	6







Figure 7

[illegible]

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Table 1 Trip Generation Comparison
Equation per ITE Trip Generation Manual, 9th Edition

	AM Peak Hr	PM Peak Hr	Weekday Daily Trips	Weekend Peak Hr	Weekend Daily Trips
Existing					
932 - High Turnover Sit Down Restaurant	$(X/1000)*10.81$	$(X/1000)*9.85$	$(X/1000)*127.15$	$(X/1000)*14.07$	$(X/1000)*158.37$
Proposed (MedExpress)					
630 - Clinic	$(X/1000)*5.18$	$(X/1000)*5.18$	$(X/1000)*31.45$	$(X/1000)*5.18$	$(X/1000)*24.10$
720 - Medical Dental Office	$(X/1000)*3.50$	$(X/1000)*4.27$	$(X/1000)*36.13$	$(X/1000)*3.63$	$(X/1000)*8.96$
Existing vs. Proposed					
Calculation of Traffic Generation					
Existing (3,800 s.f. Retail)					
932 - High Turnover	41	37	483	53	602
Proposed (4,717 s.f. MedExpress)					
630 - Clinic	24	24	148	24	114
720 - Medical Dental Office	17	20	170	17	42
Existing	41	37	483	53	602
Net Proposed (Highest Volume) Generator)	24	24	148	24	114
Difference – Existing to Proposed	-17	-13	-335	-29	-488
Percent Difference – Existing to Proposed	-41.46%	-35.14%	-69.36%	-54.72%	-81.06%

Land Use: 932

High-Turnover (Sit-Down) Restaurant

Description

This land use consists of sit-down, full-service eating establishments with typical duration of stay of approximately one hour. This type of restaurant is usually moderately priced and frequently belongs to a restaurant chain. Generally, these restaurants serve lunch and dinner; they may also be open for breakfast and are sometimes open 24 hours per day. These restaurants typically do not take reservations. Patrons commonly wait to be seated, are served by a waiter/waitress, order from menus and pay for their meal after they eat. Some facilities contained within this land use may also contain a bar area for serving food and alcoholic drinks. Quality restaurant (Land Use 931), fast-food restaurant without drive-through window (Land Use 933), fast-food restaurant with drive-through window (Land Use 934) and fast-food restaurant with drive-through window and no indoor seating (Land Use 935) are related uses.

Additional Data

Users should exercise caution when applying statistics during the A.M. peak periods, as the sites contained in the database for this land use may or may not be open for breakfast. In cases where it was confirmed that the sites were not open for breakfast, data for the A.M. peak hour of the adjacent street traffic were removed from the database.

Information on approximate hourly variation in high-turnover (sit-down) restaurant traffic is shown in the following table. It should be noted, however, that the information contained in this table is based on a limited sample size. Therefore, caution should be exercised when applying the data. Also, some information provided in the table may conflict with the results obtained by applying the average rate or regression equations. When this occurs, it is suggested that the results from the average rate or regression equations be used, as they are based on a larger number of studies.

Hourly Variation in High-Turnover (Sit-Down) Restaurant Traffic						
Time	Average Weekday ^a		Average Saturday ^b		Average Sunday ^c	
	Percent of 24-Hour Entering Traffic	Percent of 24-Hour Exiting Traffic	Percent of 24-Hour Entering Traffic	Percent of 24-Hour Exiting Traffic	Percent of 24-Hour Entering Traffic	Percent of 24-Hour Exiting Traffic
6 a.m.–7 a.m.	1.5	0.8	0.9	0.6	0.1	0.4
7 a.m.–8 a.m.	3.0	1.7	2.2	1.0	0.9	1.3
8 a.m.–9 a.m.	3.6	2.3	4.1	2.8	1.7	0.1
9 a.m.–10 a.m.	4.1	2.7	4.1	3.5	1.4	1.2
10 a.m.–11 a.m.	3.3	3.2	4.6	3.7	2.3	4.2
11 a.m.–12 p.m.	7.4	3.8	4.6	4.0	5.5	2.6
12 p.m.–1 p.m.	8.6	6.6	5.1	3.6	8.8	3.9
1 p.m.–2 p.m.	4.8	8.6	4.4	4.3	6.6	8.2
2 p.m.–3 p.m.	3.2	5.5	3.8	4.3	5.9	5.1
3 p.m.–4 p.m.	3.0	4.0	3.6	3.5	8.7	7.2
4 p.m.–5 p.m.	5.6	4.5	4.5	4.0	10.0	8.4
5 p.m.–6 p.m.	9.7	4.6	7.1	4.3	12.4	10.5
6 p.m.–7 p.m.	10.7	7.9	9.9	6.7	11.3	10.0
7 p.m.–8 p.m.	9.5	9.0	8.5	7.3	8.7	9.3
8 p.m.–9 p.m.	7.7	9.0	8.1	8.5	5.9	8.0
9 p.m.–10 p.m.	4.9	8.6	6.5	7.3	4.2	7.5
10 p.m.–6 a.m.	9.4	17.2	18.0	30.6	5.6	12.1

Sites ranged in size from 4,500 to 21,000 square feet gross floor area

^a Source numbers – 13, 88, 126, 507 and The Traffic Group, Inc.; based on seven studies

^b Source numbers – 13, 88, 126 and The Traffic Group, Inc.; based on five studies

^c Source numbers – 13, 88 and 126; based on three studies

Vehicle occupancy ranged from 1.39 to 1.69 persons per automobile on an average weekday. The average for the sites surveyed was approximately 1.52.

Five sites submitted for inclusion in this land use indicated the presence of an on-site pick-up window. From the limited data sample, it does not appear that the presence of a pick-up window had a significant impact on trip generation.

The outdoor seating area is not included in the overall gross floor area. Therefore, the number of seats may be a more reliable independent variable on which to establish trip generation rates for facilities having significant outdoor seating.

The sites were surveyed between the 1960s and the 2000s throughout the United States.

Source Numbers

2, 4, 5, 72, 90, 100, 126, 269, 275, 280, 300, 301, 305, 338, 340, 341, 358, 384, 424, 432, 437, 438, 444, 507, 555, 577, 589, 617, 618, 728

High-Turnover (Sit-Down) Restaurant (932)

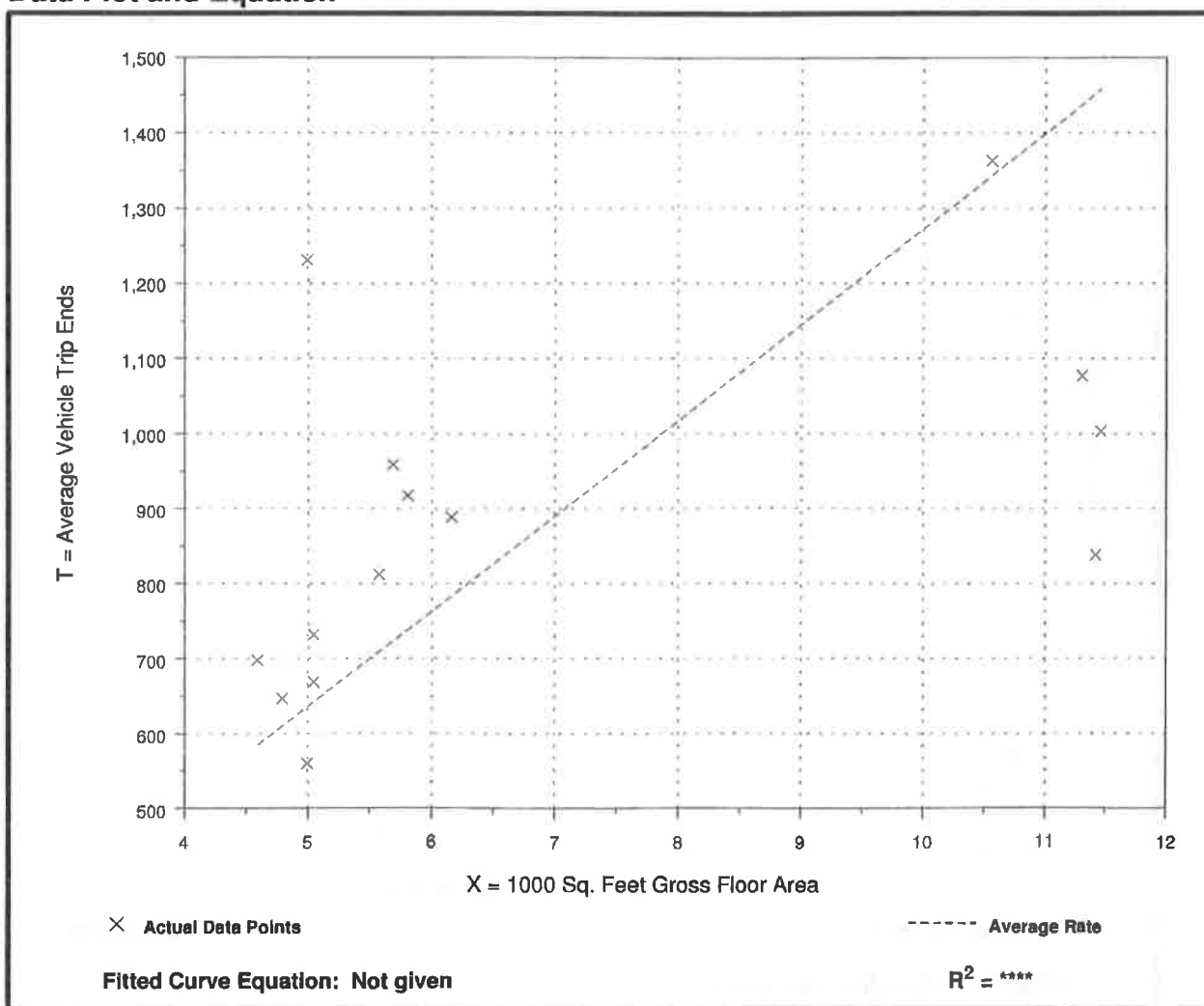
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday

Number of Studies: 14
Average 1000 Sq. Feet GFA: 7
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
127.15	73.51 - 246.00	41.77

Data Plot and Equation



High-Turnover (Sit-Down) Restaurant (932)

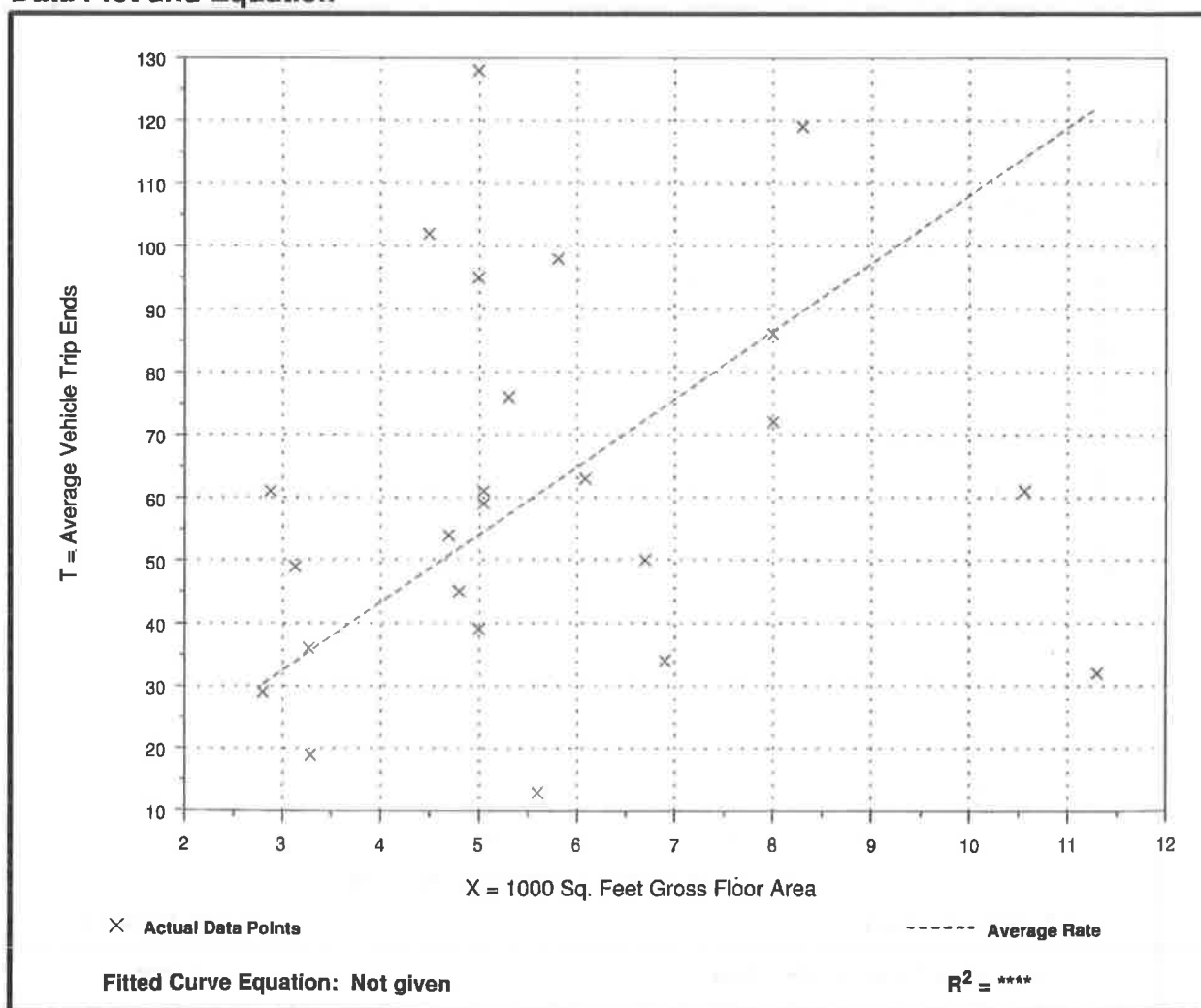
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Number of Studies: 24
Average 1000 Sq. Feet GFA: 6
Directional Distribution: 55% entering, 45% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
10.81	2.32 - 25.60	6.59

Data Plot and Equation



High-Turnover (Sit-Down) Restaurant (932)

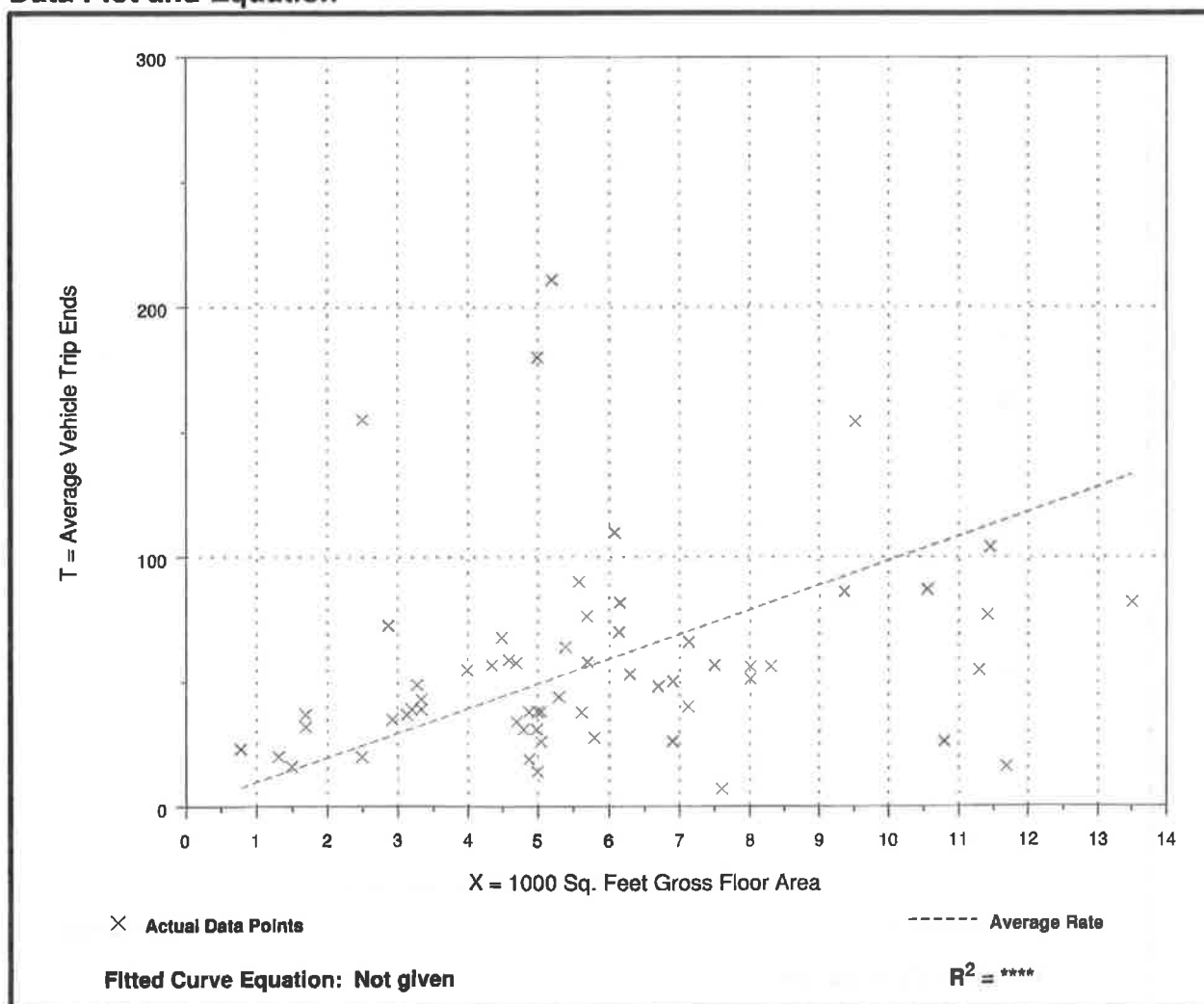
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Number of Studies: 60
Average 1000 Sq. Feet GFA: 6
Directional Distribution: 60% entering, 40% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
9.85	0.92 - 62.00	8.54

Data Plot and Equation



High-Turnover (Sit-Down) Restaurant (932)

Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Saturday

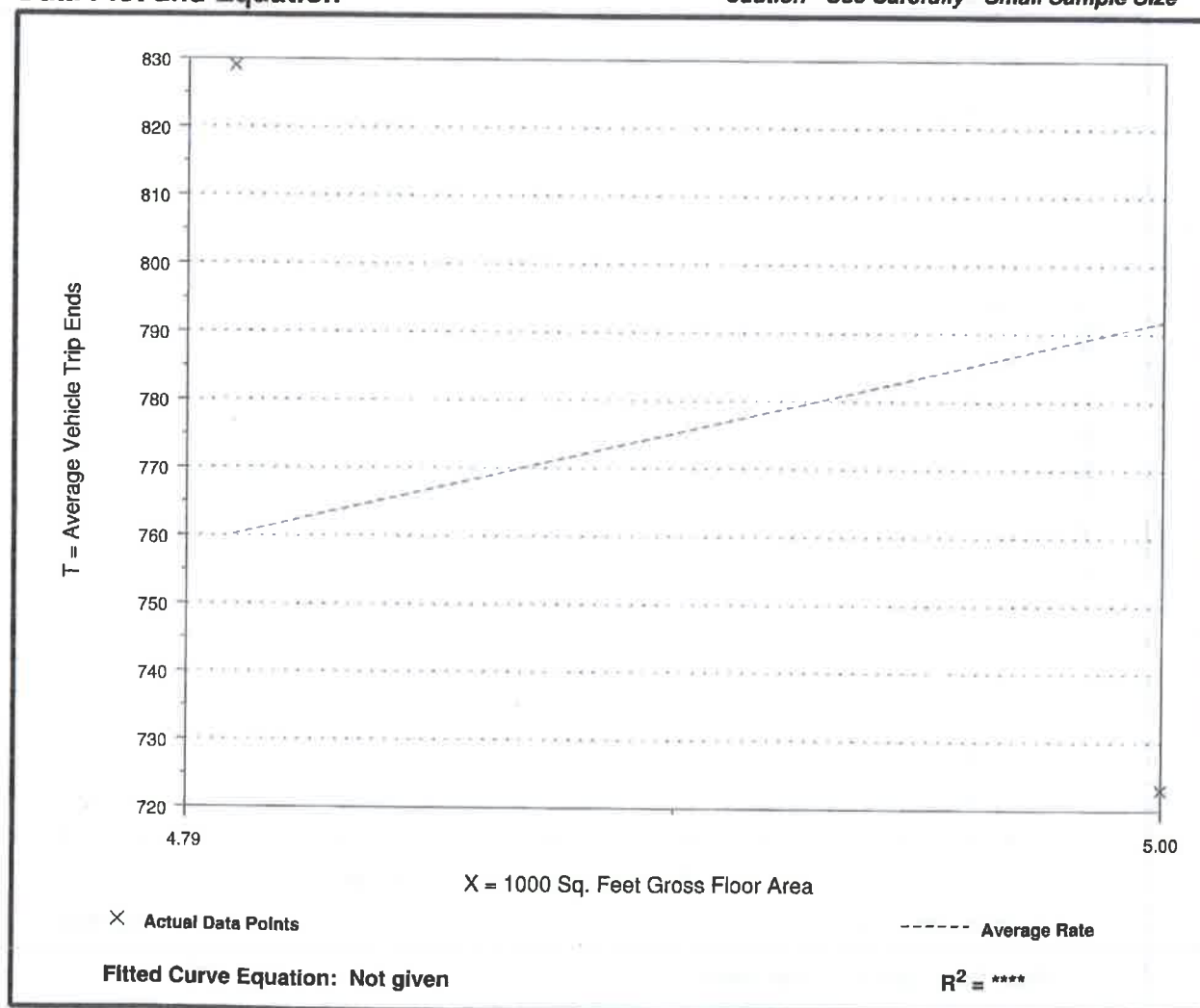
Number of Studies: 2
Average 1000 Sq. Feet GFA: 5
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
158.37	144.60 - 172.71	*

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



High-Turnover (Sit-Down) Restaurant (932)

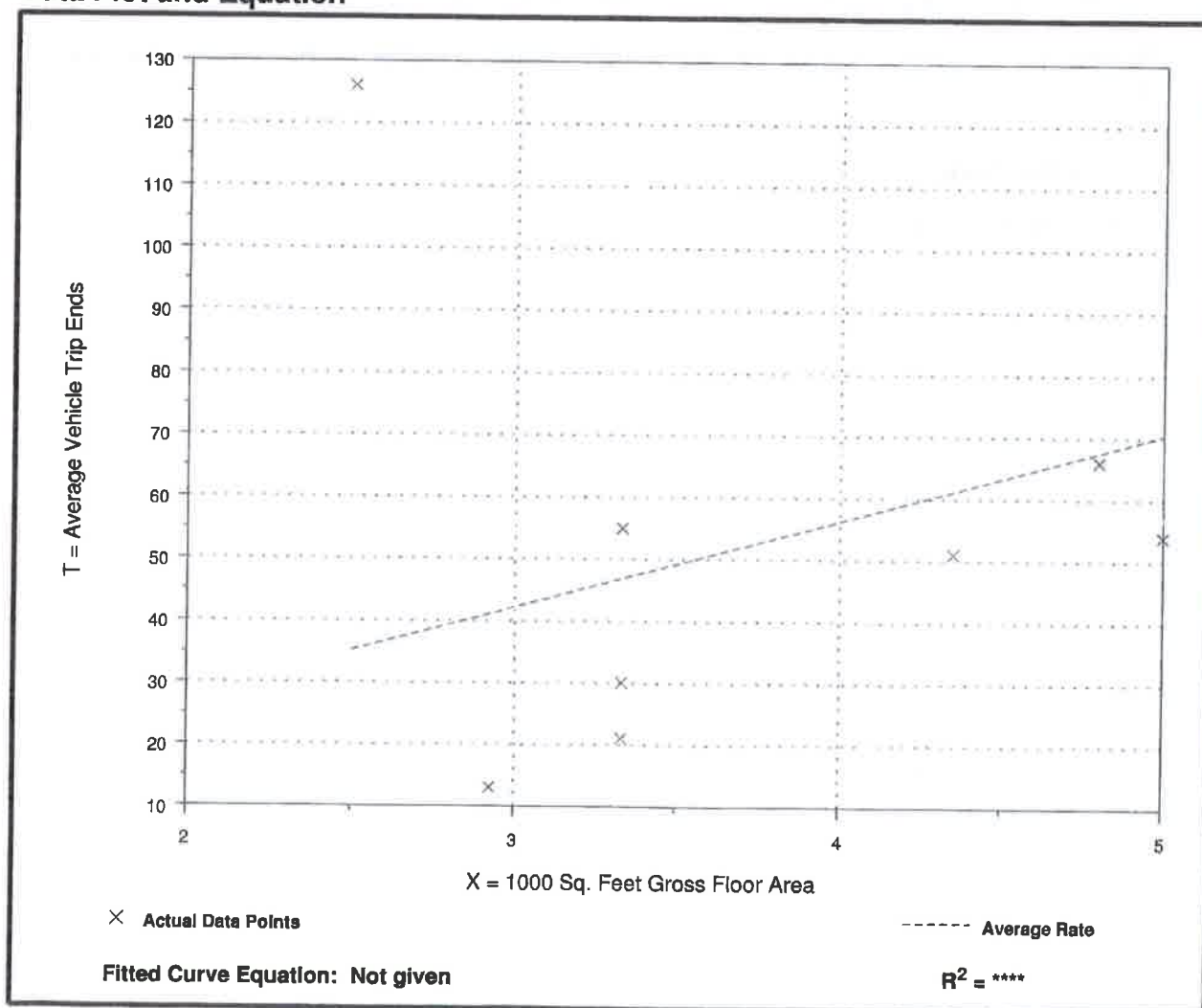
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Saturday,
Peak Hour of Generator

Number of Studies: 8
Average 1000 Sq. Feet GFA: 4
Directional Distribution: 53% entering, 47% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
14.07	4.44 - 50.40	12.19

Data Plot and Equation



Land Use: 630 Clinic

Description

A clinic is any facility that provides limited diagnostic and outpatient care but is unable to provide prolonged in-house medical and surgical care. Clinics commonly have lab facilities, supporting pharmacies and a wide range of services (compared to the medical office, which may only have specialized or individual physicians). Hospital (Land Use 610) and medical-dental office building (Land Use 720) are related uses.

Additional Data

The peak hour of the generator typically coincided with the peak hour of the adjacent street traffic.

The sites were surveyed between the 1960s and the 2000s in California, Illinois, New Hampshire and Vermont.

Source Numbers

19, 98, 440, 728, 734

Land Use: 630 Clinic

Independent Variables with One Observation

The following trip generation data are for independent variables with only one observation. This information is shown in this table only; there are no related plots for these data.

Users are cautioned to use data with care because of the small sample size.

<u>Independent Variable</u>	<u>Trip Generation Rate</u>	<u>Size of Independent Variable</u>	<u>Number of Studies</u>	<u>Directional Distribution</u>
Full-Time Doctors				
Weekday A.M. Peak Hour of Generator	3.60	5	1	50% entering, 50% exiting
1,000 Square Feet Gross Floor Area				
Weekday P.M. Peak Hour of Adjacent Street Traffic	5.18	64	1	Not available
Saturday	13.54	161	1	50% entering, 50% exiting
Sunday	24.10	161	1	50% entering, 50% exiting

Clinic (630)

Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday

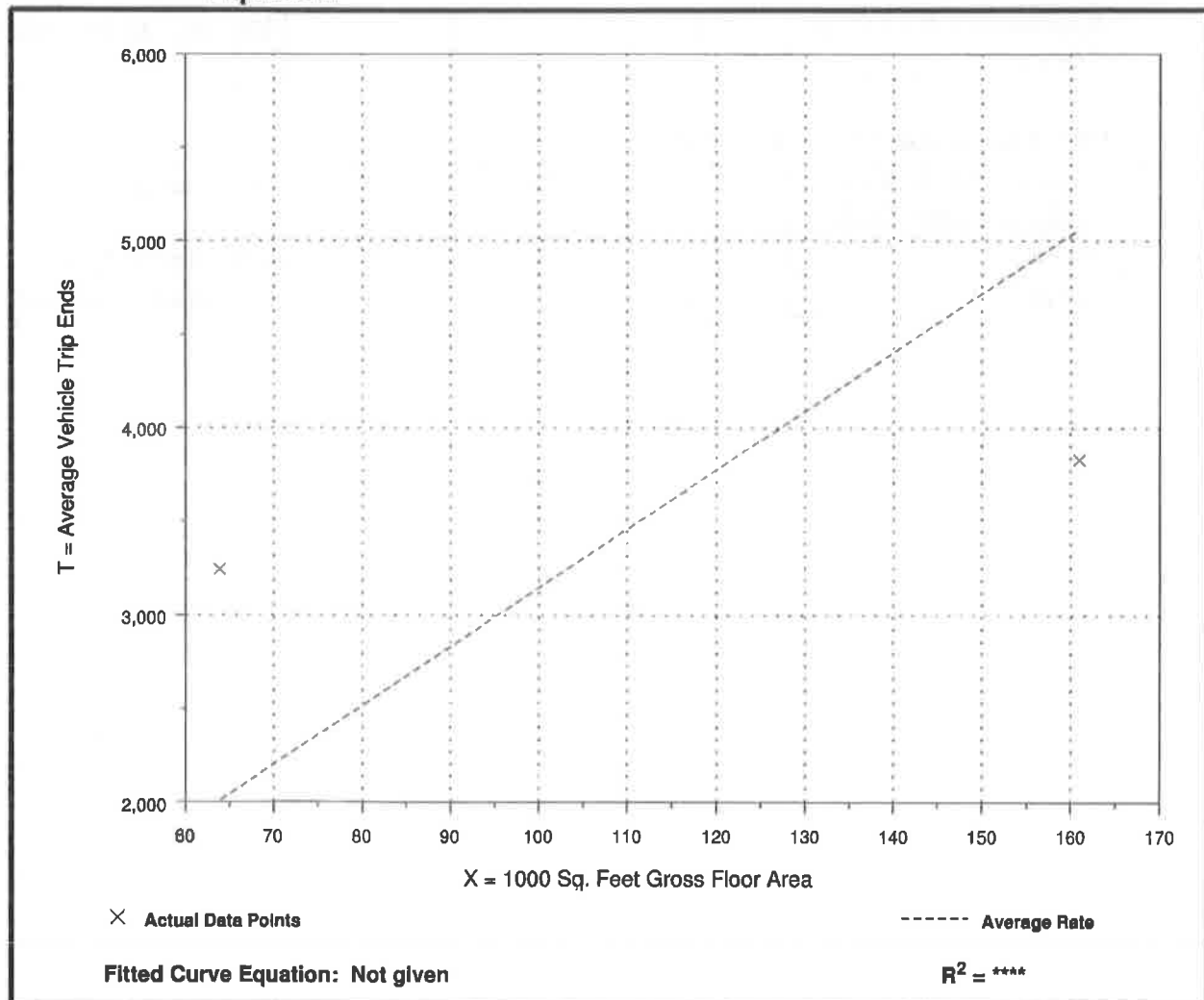
Number of Studies: 2
Average 1000 Sq. Feet GFA: 112
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
31.45	23.79 - 50.74	*

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Land Use: 720

Medical-Dental Office Building

Description

A medical-dental office building is a facility that provides diagnoses and outpatient care on a routine basis but is unable to provide prolonged in-house medical and surgical care. One or more private physicians or dentists generally operate this type of facility. Clinic (Land Use 630) is a related use.

Additional Data

The average vehicle occupancy for the six studies for which information was submitted was approximately 1.37 persons per automobile. The vehicle occupancy rates ranged from 1.32 to 1.44 persons per automobile.

The sites were surveyed between the 1980s and the 2000s throughout the United States.

Source Numbers

8, 19, 98, 104, 109, 120, 157, 184, 209, 211, 253, 287, 294, 295, 304, 357, 384, 404, 407, 423, 444, 509, 601, 715

Medical-Dental Office Building (720)

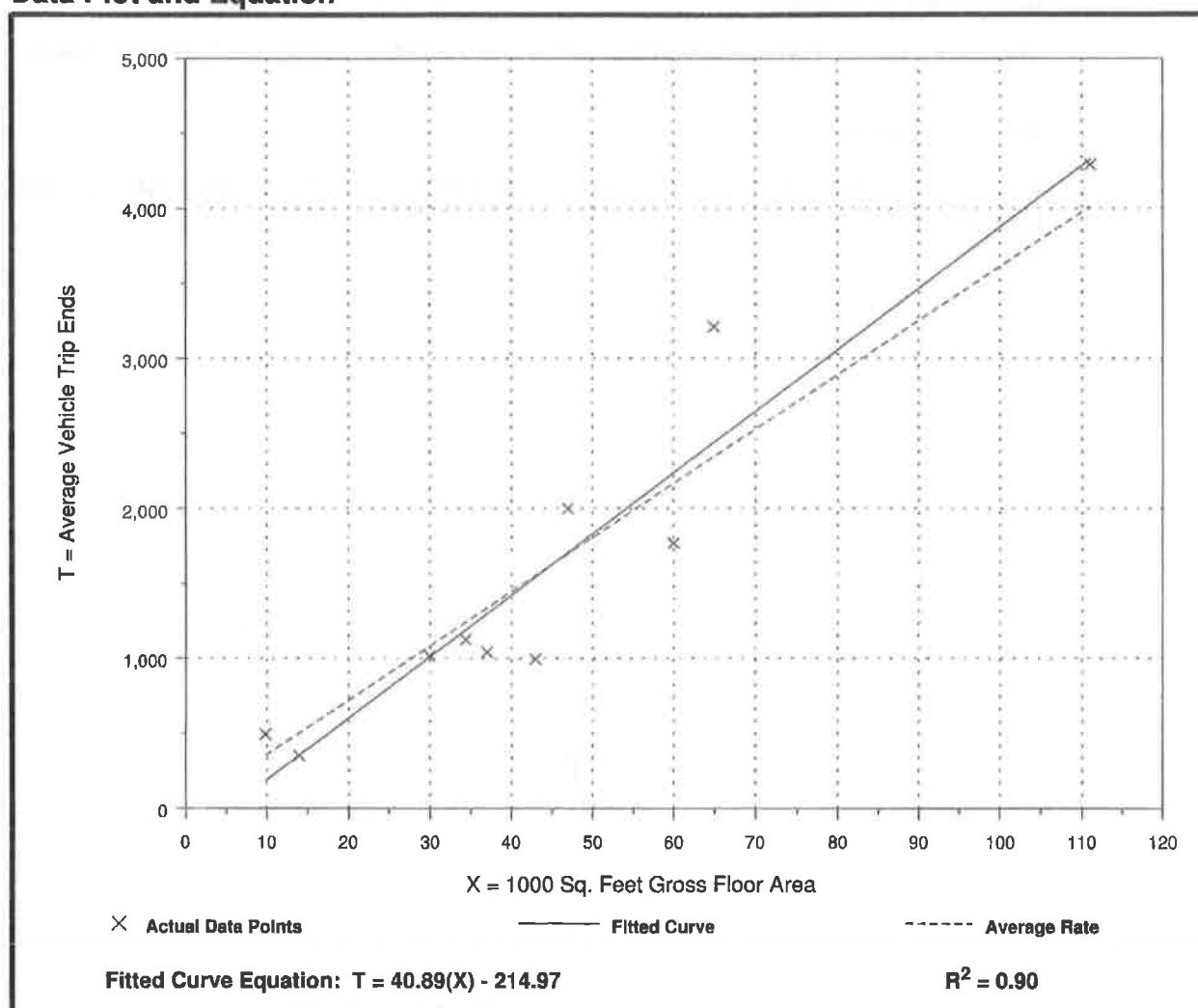
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday

Number of Studies: 10
Average 1000 Sq. Feet GFA: 45
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
36.13	23.16 - 50.51	10.18

Data Plot and Equation



Medical-Dental Office Building (720)

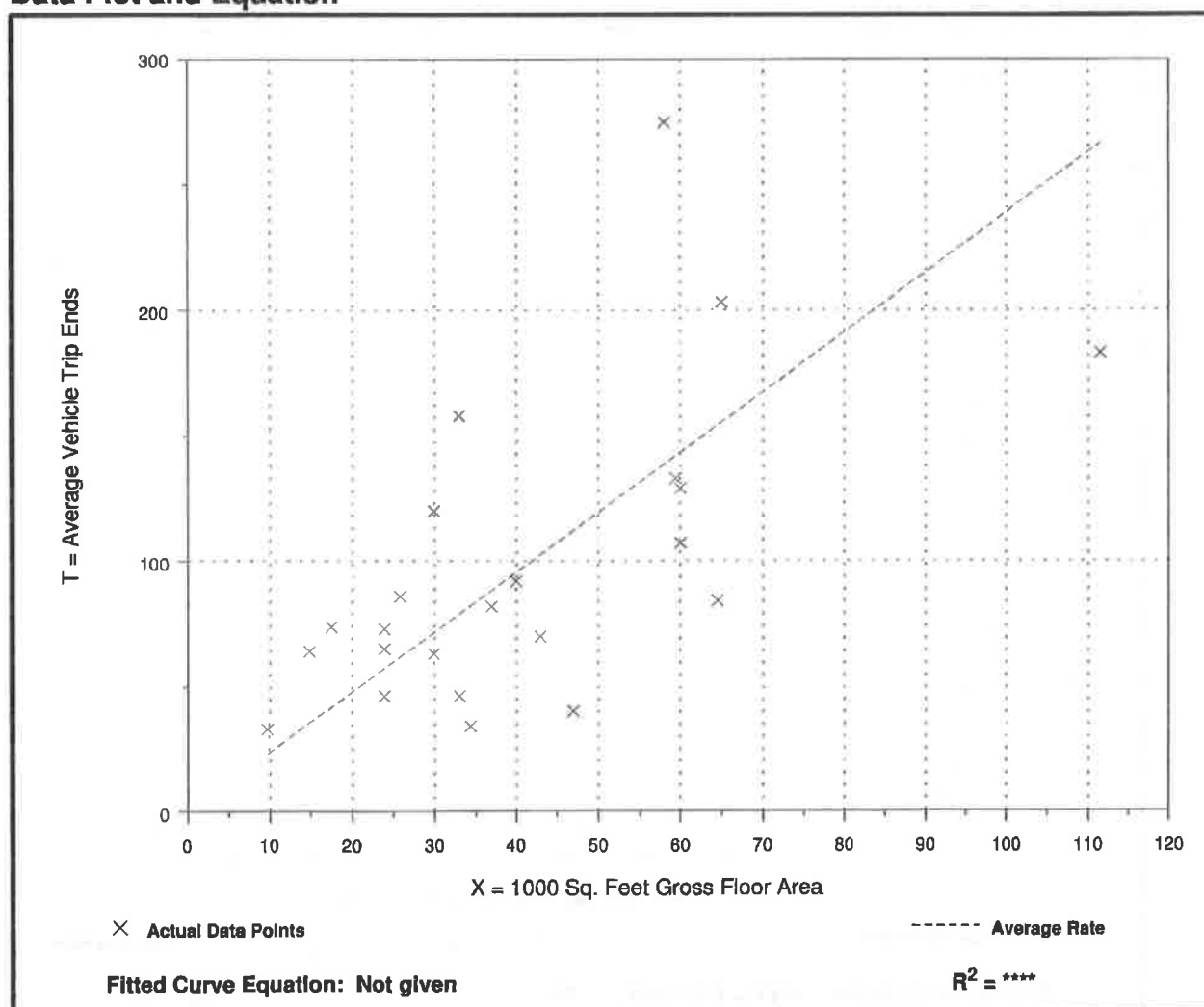
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Number of Studies: 23
Average 1000 Sq. Feet GFA: 41
Directional Distribution: 79% entering, 21% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
2.39	0.85 - 4.79	1.89

Data Plot and Equation



Medical-Dental Office Building (720)

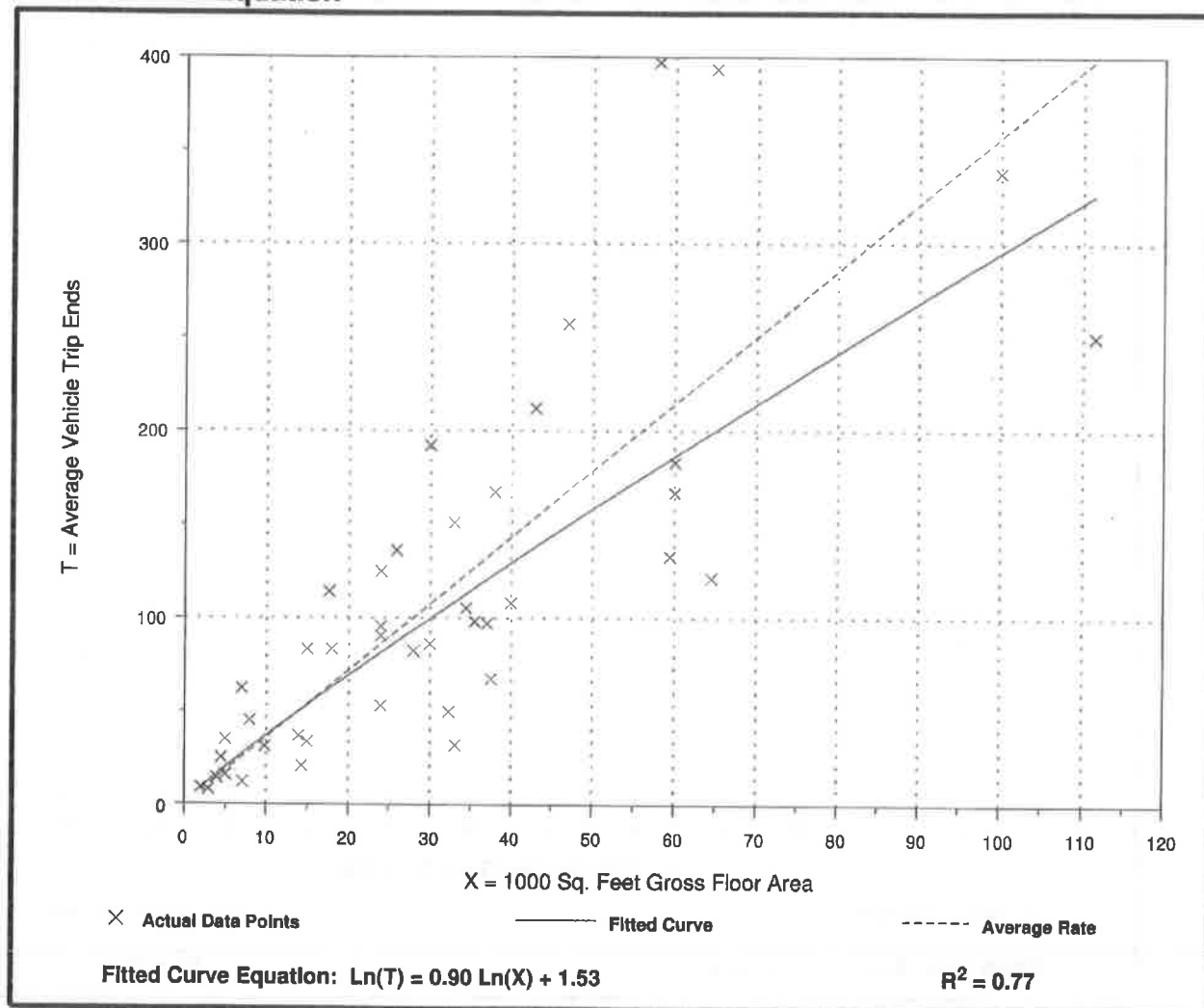
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Number of Studies: 43
Average 1000 Sq. Feet GFA: 31
Directional Distribution: 28% entering, 72% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
3.57	0.97 - 8.86	2.47

Data Plot and Equation



Medical-Dental Office Building (720)

**Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Saturday**

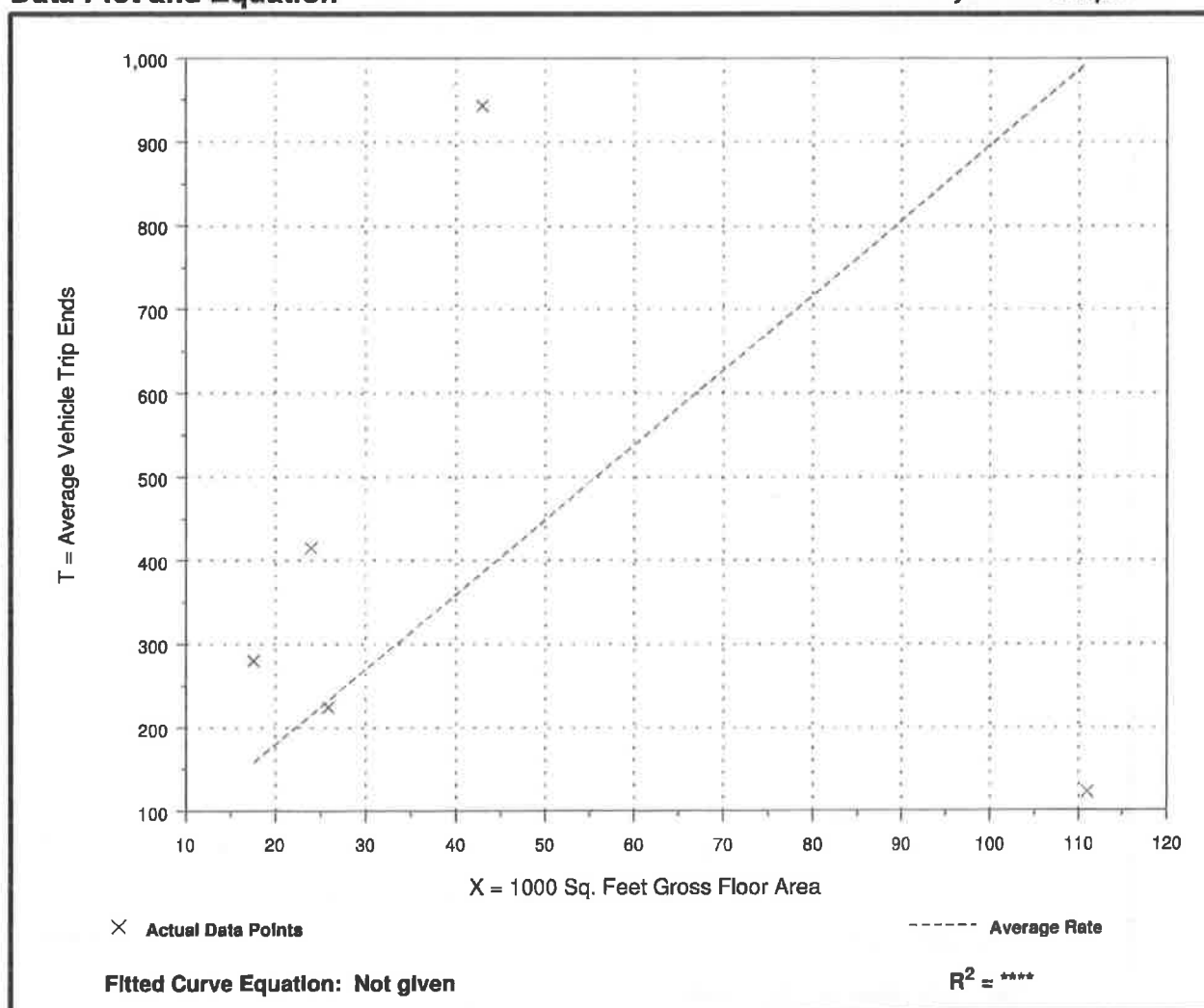
Number of Studies: 5
Average 1000 Sq. Feet GFA: 44
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
8.96	1.10 - 21.93	9.17

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Medical-Dental Office Building (720)

**Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Saturday,
Peak Hour of Generator**

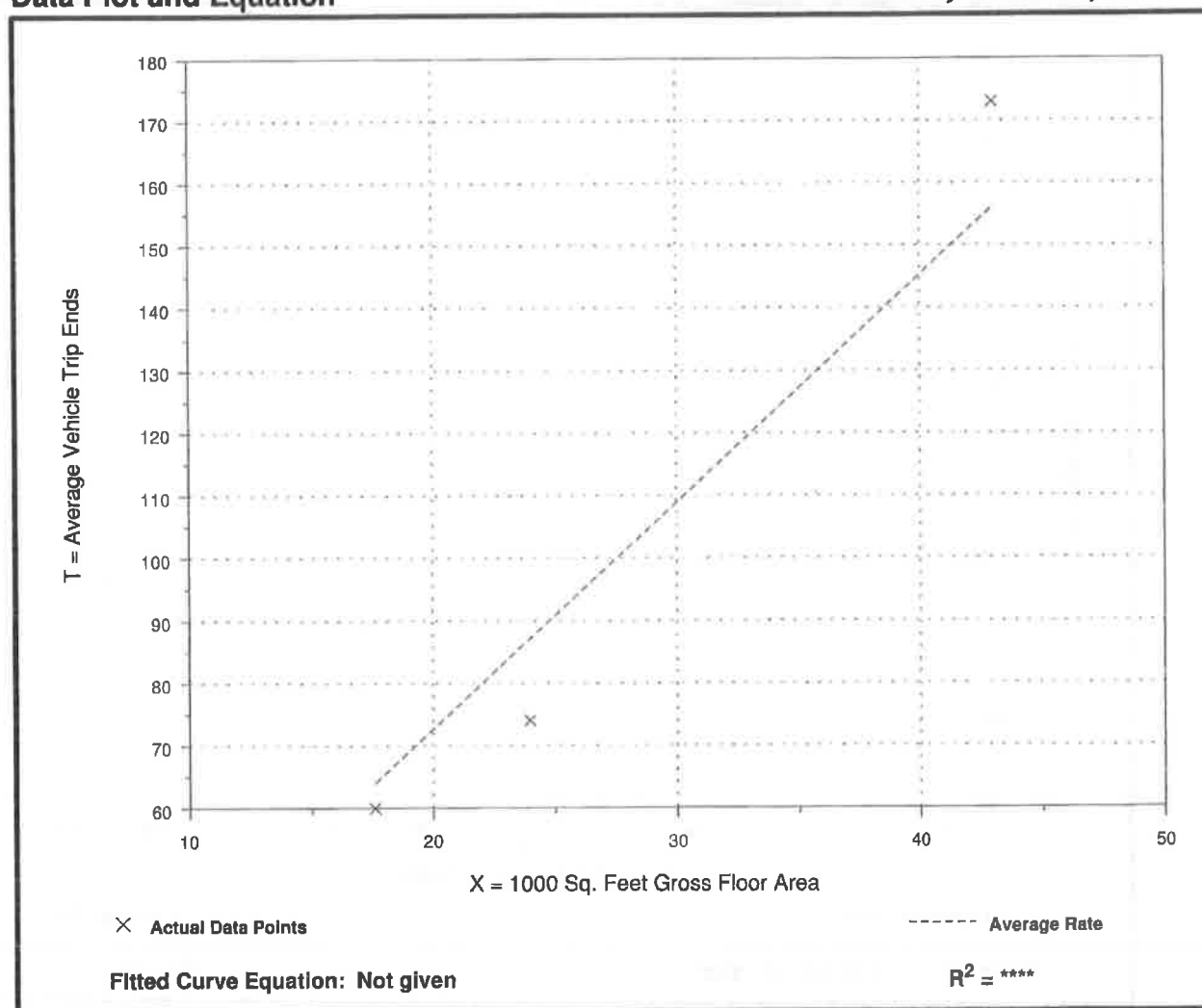
Number of Studies: 3
Average 1000 Sq. Feet GFA: 28
Directional Distribution: 57% entering, 43% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
3.63	3.08 - 4.02	1.93

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



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VILLAGE OF DOWNERS GROVE
PLAN COMMISSION MEETING
PUBLIC HEARING

FEBRUARY 6, 2017, 7:00 P.M.

Chairman Rickard called the February 6, 2017 meeting of the Downers Grove Plan Commission to order at 7:00 p.m. and led the Plan Commissioners and public in the recital of the Pledge of Allegiance.

ROLL CALL:

PRESENT: Chairman Rickard, Mr. Boyle, Ms. Gassen, Ms. Hogstrom, Ms. Johnson, Mr. Maurer, Mr. Quirk

ABSENT: Ex-Officios Davenport, Livorsi, Menninga

STAFF: Senior Planner Rebecca Leitschuh and Planner Swati Pandey

VISITORS: Please see Attachment A to Minutes (Sign-in Sheets, 5 pgs.)

APPROVAL OF MINUTES

JANUARY 9, 2017 MINUTES – MOTION BY MS. GASSEN, SECONDED BY MS. HOGSTROM, TO APPROVE THE MINUTES AS PRESENTED. MOTION CARRIED BY VOICE VOTE OF 6-0-1. (MR QUIRK ABSTAINS.)

The chairman explained the protocol for the meeting/public hearings noting comments will be limited to three (3) minutes due to the size of the crowd.

Chairman Rickard swore in those individuals that would be speaking on the following two (2) public hearings:

PUBLIC HEARINGS

FILE 17-PLC-0001: A petition seeking approval of a Planned Unit Development Amendment to allow the construction of a new medical office building. The property is currently zoned B-2 (General Retail Business). The property is located north of 75th Street, 715 feet west of the intersection of 75th Street and Dunham Road, commonly known as 1560 75th Street, Downers Grove, IL (PIN 09-30-201-013). MedExpress, Petitioner; GW Downers PH LLC, Owner.

Village Planner Pandey noted the location of the site and explained the petitioner's (MedExpress) request to approve a planned unit development (PUD) amendment to construct a new medical office building at the site, which was an out-lot of the Grove Shopping Center. The PUD crossed over various zoning districts including single-family subdivisions, multi-family subdivisions and

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commercial districts. The existing plat of survey was referenced on the overhead as well as the proposed site plan which included the outlot under consideration.

Proposed is a one-story, 5000 sq. foot medical building that includes 43 parking spaces, pedestrian connections, and a trash enclosure (northeast site). Also referenced was the proposed landscaping plan which met village compliance. Building facades/elevations for each of the four sides were shown. Two tower elements are proposed and all windows have awnings and canopies. Building perspectives of the site were also reflected.

Ms. Pandey reported the site plan and subdivision plan were in compliance with: the village's zoning ordinance, the current comprehensive plan, and the updated draft comprehensive plan, which called for the Grove Shopping Center to be a catalyst site and which encouraged future construction of mixed-use developments. The proposed medical use fit into that requirement. Continuing, Ms. Pandey reported the standards for approval for the PUD were met and in compliance with the PUD overlay district restrictions, as reported in staff's report.

Staff recommended that the Plan Commission forward a positive recommendation to the Village Council subject to the conditions listed on page 6 of staff's report.

For the petitioner MedExpress, Mr. Zack Appman, architect for the project, 1001 Consul Energy Drive, Canonsburg, PA, summarized the proposal again noting MedExpress is a walk-in doctor's office which treats non-emergency situations from 8:00 AM to 8:00 PM. The facility will not receive ambulatory services. A licensed physician will be on-site as well as nine (9) additional support medical professionals and administrative staff. About 30 patients are seen daily.

For the landscaping plan, Ms. Hogstrom requested that the burning bush (invasive species) be removed. She referenced a list of suggested changes she created and provided a copy to Mr. Appman.

Mr. Appman shared that the building's material will include fiber cement panels, fabric blue canopies; the entrance will have aluminum canopies projecting three feet. The existing building will be demolished.

Civil engineer, Mr. Jared Mahaffey, CESO, Inc., 2800 Corporate Exchange, #160, Columbus, Ohio, explained the site will increase pervious area so that more green space will exist and the building will connect into the existing storm system. He did not have any post-construction Best Management Practices proposed at this time.

Chairman Rickard invited the public to speak. No public comment was received. Chairman Rickard closed the public hearing on this case. Mr. Appman had no closing comment.

Commissioner comments included that there could be a need for the building as there were not many others in the area, and it would be a big benefit to the community. The request was straight-forward. A motion was entertained.

WITH RESPECT TO FILE 17-PLC-0001, MS. GASSEN MADE A MOTION THAT THE PLAN COMMISSION FORWARD A POSITIVE RECOMMENDATION TO THE

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**VILLAGE COUNCIL FOR THE PLANNED UNIT DEVELOPMENT AMENDMENT
SUBJECT TO THE FOLLOWING STAFF CONDITIONS:**

- 1. THE PLANNED UNIT DEVELOPMENT AMENDMENT SHALL SUBSTANTIALLY CONFORM TO THE STAFF REPORT; AND DRAWINGS PREPARED BY CESO, INC., DATED 1/27/2017, EXCEPT AS SUCH PLANS MAY BE MODIFIED TO CONFORM TO THE VILLAGE CODES AND ORDINANCES;**
- 2. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC SUPPRESSION SYSTEM AND AN AUTOMATIC AND MANUAL FIRE ALARM SYSTEM; AND**
- 3. ALL PROPOSED SIGNAGE MUST COMPLY WITH THE REQUIREMENTS OF THE ZONING ORDINANCE.**

SECONDED BY QUIRK. ROLL CALL:

**AYE: MS. GASSEN, MR. QUIRK, MR. BOYLE, MS. HOGSTROM, MS. JOHNSON,
MR. MAURER, CHAIRPERSON RICKARD**

NAY: NONE

MOTION PASSED. VOTE: 7-0