

VILLAGE OF DOWNERS GROVE
Report for the Village Council Meeting
4/18/2017

SUBJECT:	SUBMITTED BY:
200 Village Drive - Planned Unit Development Amendment	Stan Popovich, AICP Director of Community Development

SYNOPSIS

The petitioner is requesting approval of a Planned Unit Development (PUD) Amendment to PUD #32 to expand and update the senior housing options through a campus master plan for Oak Trace at 200 Village Drive.

STRATEGIC PLAN ALIGNMENT

The goals for 2015-2017 include *Strong and Diverse Local Economy* and *Steward of Financial, Environmental and Neighborhood Sustainability*.

FISCAL IMPACT

N/A

UPDATE & RECOMMENDATION

This item was discussed at the April 11, 2017 Village Council meeting. A letter from Lifespace Communities, dated April 13, 2017, is attached. Staff recommends approval at the April 18, 2017 Village Council meeting.

BACKGROUNDProperty Information & Development Plan

This proposal is for the redevelopment of the 38.77 acre Oak Trace Senior Living Community located at the intersection of Fairview Avenue and 66th Street, commonly known as 200 Village Drive. The applicant is seeking an amendment to the Fairview Baptist Home Planned Unit Development #32 (PUD #32) to facilitate the redevelopment within its existing campus. Oak Trace is a licensed life care Continuing Care Retirement Community (CCRC) under the Illinois Life Care Facilities Act.

Oak Trace currently has a mix of 506 independent living, skilled nursing, and sheltered care units. The overall plan includes:

- Construction of a new 4-story Healthcare Center
 - 32 new short term rehab suites
 - 28 memory care suites
 - 62 skilled nursing suites
 - 66 assisted living apartments

- Amenities include a physical/occupational therapy gym and dialysis center
- Construction of a new 5-story Residential Living Building consisting of 160 new apartments
- Renovation of the existing Residential Living Building consisting of 218 apartments
- Construction of 13 new Residential Living Villas totaling 104 apartments

The development is proposed to occur in three phases:

Phase #1 (2017 – 2019)

- Construction of the new 4-story Healthcare Center
- Demolition of 27 existing residences in multiplex cottages
- Redevelopment of the main campus drive

Phase #2 (late 2018 – 2020)

- Construction of a 5-story Residential Living Building, connected to both the new Healthcare Center and the existing Residential Living building
- Demolition of the existing healthcare center building and 12 existing residences

Phase #3 (2022-2027)

- Construction of the market-driven Residential Living Villas will be built in clusters of two-to-three at a time depending on the need on campus for additional residential living accommodations.

Compliance with the Comprehensive Plan (Current and Draft Updated)

The subject property is identified in both the current and draft updated Comprehensive Plan as Multi-Family in the Residential Areas Plan. Residential Areas Plan goals specific to this proposal that are met include:

- Ensure quality housing stock remains a staple of the community
- Maintain the optimal balance of housing types within the community
- Encourage a diversity of housing types, sizes and prices

The draft updated Comprehensive Plan also notes that the Village's senior population will experience the largest increase in population with ages 55-64 and over 75. The proposed expansion of Oak Trace will provide an opportunity for the Village's senior residents to stay in the Village.

The proposal further meets the current and draft updated Comprehensive Plans by:

- Targeting senior citizens through design, amenities, and medical support services
- Maintaining and expanding the existing tree canopy
- Completing residential modernization to “replenish, rejuvenate, and spur reinvestment” in the Village's housing stock
- Addressing stormwater management in a near- and long-term approach, constructing storm sewers, water quality measures, detention basins, and appropriate landscaping

Compliance with the Zoning Ordinance

The proposed development is compliant with the majority of the bulk regulations in the R5-A zoning district and a Planned Unit Development is an allowable use within the R-5A zoning district. The proposed site plan meets the zoning requirements including green space and parking, and surpasses minimum building setbacks required for the larger residential facilities. The proposal deviates from two requirements, height and floor area ratio (FAR). The new residential living building is proposed to be 68 feet in height where 35 feet is permitted. The tallest current building on site is 53 feet. The residential living building will be located in the center of the site. If all the Residential Living Villas are constructed as proposed, the built-out FAR would be

0.885 where 0.8 is the maximum. These deviations are necessary to accommodate the campus redevelopment and provide the appropriate amount of housing for the Village's senior population.

The proposed improvements will result in several public benefits that meet the following identified Planned Unit Development Objectives:

- Implementation of and consistency with the current and draft updated comprehensive plan
- Flexible and creative solutions in responding to changing social, economic and market conditions
- Variety in housing types and sizes to accommodate households of all ages, sizes, incomes and lifestyle choices
- Protection and enhancement of open space amenities and natural resource features
- Incorporation of sustainable development features including green infrastructure practices, to maximize the aesthetic and water quality benefits of stormwater best practices

Compliance with the Subdivision Ordinance

The applicant will meet all requirements of the Subdivision Ordinance. The previous owners provided a \$316,000 donation with the 2007 development approval. The donation amount covers all the proposed unit increases in Phase I and II and all but nine new units in Phase III. As such, the petitioner will be required to provide a \$51,634.98 donation for the nine additional units at the time a building permit is requested for Phase III development.

Public Improvements

The existing stormwater basin has sufficient detention capacity to support all phases of the proposed improvements. Therefore, no modifications will be made for the detention basin design. The petitioner shall be required to provide an easement over the entire stormwater system and all utility mains will be placed within easements. The site's circulation pattern will be revised with the purpose of improving wayfinding throughout the campus by shifting road locations, adding pedestrian connections throughout, and incorporating a comprehensive sign package to aid visitors in finding their intended destination. Two ancillary curb cuts onto Fairview Avenue will be removed, one servicing a former residence that is no longer in use and one that currently connects the accessory barn on campus.

Traffic and Parking

The Traffic and Parking Analyses found that the additional traffic volumes generated by the expansion and redevelopment can be accommodated by the area roadways.

Public Comment

As required by the Zoning Ordinance, the petitioner held a neighborhood meeting on February 16, 2017. There were approximately seven neighboring property owners in attendance. Questions were in regard to construction scheduling/management conflicts, traffic impacts, and the appearance of the renovated campus.

In addition to the neighborhood meeting, Oak Trace held resident and staff meetings on four separate dates, with different sessions open to the entire population and others open to specific buildings. Questions varied between specific transition timelines and solutions to onsite construction management and to future amenities.

During the Plan Commission meeting, the primary concern shared by Oak Trace residents was over a private contractual agreement between residents of the existing cottages and the ownership, and whether ownership had taken sufficient measures to ensure appropriate substitute accommodations for the residents

who would be displaced in the near future. Ten persons spoke on the record in opposition to the proposal for the aforementioned reason.

Since the petition was first submitted, more than 75 letters have been received by staff, some of which express support for, and some opposition to the petition. The letters are attached.

ATTACHMENTS

Ordinance

Lifespace Communities Letter dated April 13, 2017

Aerial Map

Staff Report with attachments dated March 6, 2017

Approved Minutes of the Plan Commission Hearing dated March 6, 2017

Additional applicant narrative dated March 27, 2017

Resident letters

Lifespace Communities Letter



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April 13, 2017

Mayor Martin T. Tully and Members of the Village Council
Village of Downers Grove
801 Burlington Avenue
Downers Grove, Illinois 60525

RE: Oak Trace Senior Living Community: Proposed Planned Unit Development Amendment

Dear Mayor Tully and Commissioners:

We thank you again for giving us the time to present to you Lifespace Communities' exciting redevelopment plans for the Oak Trace Senior Living Community and for your questions about this significant Village opportunity. We also thank the many Oak Trace residents who have participated in the approval process and expressed their appreciation for the benefits provided by Oak Trace and the importance of maintaining Oak Trace as a first-class, financially viable senior living community. We are sending you this letter as a response to a few of the comments we heard Tuesday evening.

First, we agree with Commissioner White that the provisions of Section 28.12.040.C.6(e) of the Zoning Ordinance make it appropriate for you to consider the interests of the existing residents of Oak Trace. We would respectfully submit to you, however, that such criterion should be evaluated with an eye towards the interests of *all* Oak Trace residents. It is for that reason that we included in our March 27 letter to you a lengthy discussion of how the criterion is satisfied by the current redevelopment proposal (additional copy enclosed). We also believe that this is why the Council Chambers were filled on Tuesday evening with many project proponents. Finally, we agree with the statement made at the Council meeting that the provisions of Section 6(e) do not require that "any *and all*" interests must be addressed by any ordinance the Village Council elects to adopt in furtherance of the amendment of the existing Planned Unit Development.

We also agree that the Council's purview and responsibility is to apply the provisions of the Zoning Ordinance to applications for approval that come before it and not to adjudicate private contract disagreements. In fact, the notion that actions taken by the corporate authorities in the exercise of their authorities under the Zoning Ordinance are not to interfere with or affect the rights of parties under private contracts is expressly recognized by Section 1.090.C of the Zoning Ordinance, which provision reads as follows:

Mayor Tully and Members of the Village Council
Village of Downers Grove
April 13, 2017
Page 2 of 2

“C. Conflict with Private Agreements and Covenants.

This zoning ordinance is not intended to interfere with, abrogate or annul any easement, covenant, deed restriction or other agreement between private parties. If the provisions of this zoning ordinance impose a greater restriction than imposed by an agreement or covenant among private parties, the provisions of this zoning ordinance govern.” (emphasis supplied)

We look forward to appearing before you again next Tuesday evening and to receiving your support for this significant investment in your community, an investment which will ensure the availability of Oak Trace as a continuum of care housing option for both the existing and future senior populations of Downers Grove for many years to come.

Very truly yours,

MELTZER, PURTILL & STELLE LLC



Harold W. Francke

cc:

Brian Devlin, Director of Design, Construction and Redevelopment, Lifespace Communities
Ann Walsh, Senior Vice President of Operations, Lifespace Communities
Amy LaCroix, Regional Operations Director, Lifespace Communities
Chris Romick, Executive Director, Lifespace Communities
Jodi Hirsch, Senior Vice President and General Counsel, Lifespace Communities

e. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

RESPONSE: (a) Effect on surrounding property owners and residents: As noted above, to minimize adverse impact on surrounding property owners and residents Lifespace has planned for the construction of taller buildings near the center of the site and for the construction of lower buildings around the perimeter of the site, and it will be constructing berms and substantial landscaping around the site perimeter.

(b) Effect on existing and future residents of the PUD: To provide the best possible living experience and care for existing and future Oak Trace residents, and to ensure ongoing compliance with the stringent Illinois Life Care Facilities Act which governs the permitting and use of life care contracts in the state, as well as the requirements of the Illinois Department of Public Health (for skilled nursing care) and the Illinois Department of Aging (for assisted living), Lifespace has determined that it is critically important to address its long-deferred need to upgrade and modernize its physical plant. When Lifespace purchased the property in 2011, it recognized that it would need to fund and construct a major redevelopment plan, largely due to an aging campus which had not be materially improved for decades. Lifespace was the successful bidder in the bankruptcy proceeding largely due to its financial ability to bring much needed improvements to the property, including the ability to address the issue of the aging Health Center, which at that time was operating under state waivers due to the inability of the then-owner to finance necessary improvements to maintain its licensure. Upon purchase of Oak Trace, Lifespace instituted new residency agreements which advised the resident that Lifespace would be reconstructing the campus and that such reconstruction would require relocation to similar units (it is interesting to note that the former owner, Fairview Baptist Home, had the exact same provision in its residency agreements since 2009, when it became apparent to them that demolition would be the only option.) In this context, "similar" does not mean "exactly the same," but rather other residential living units where a resident is provided the service amenities and health care contemplated by the contract. It is important to note that what Oak Trace residents purchase is not the real estate or an interest in real estate, but a Life Care contract that is essentially a health insurance contract – it provides that the resident will be cared for at Oak Trace throughout the term of their contract, which in most cases is the resident's lifetime. The different levels of living offered by Oak Trace, based on the resident's care needs, specifically contemplate resident moves throughout the campus based on the condition of his or her health. The paragraph concerning construction was an additional provision advising them that they might also need to move to a different location given the needs of redevelopment. The primary importance in a Life Care contract is that, no matter the reason for the move, the resident's health benefits will continue. It is an unfortunate reality that the Health Center building on the Oak Trace campus is functionally obsolete, and its physical plant has reached the end of its useful life. In order to address these significant capital needs, and to provide the opportunity to serve a greater number of senior citizens in the future, Lifespace has no choice but to reconfigure portions of the property to reconstruct the Health Center building. Additionally, to meet market demand and the needs of current residents, Lifespace is

providing additional levels of living by adding Assisted Living apartments and associated commons along with Assisted Living licensed Memory Support suites to protect and care for residents suffering from dementia and Alzheimer's. The redevelopment of Oak Trace will ensure its long-term viability both for current and future residents of the community. Failure to upgrade the facilities will ultimately result in the loss of licensure and subsequent forced closure and/or by the continuous decline in occupancy and, therefore, financial hardship.

Initially, as to Phase I of the development, some 27 of the current residents of Oak Trace voiced concerns about the demolition of existing townhomes and cottages asserting that such demolition would cause them undue hardship and violate their contractual agreements with Lifespace. This number has since decreased by half as Lifespace has provided a number of options to these residents, both financial and physical, to address their concerns. While Lifespace has significantly ameliorated these concerns, private contractual arrangements with the residents have no bearing on the Village's consideration of the Proposed PUD Amendment. *See Hibser v. Zoning Bd. of Appeals of Peoria County, 12 Ill.App.2d 365 (2nd Dist., 1957)*. Lifespace does not dispute that as members of the public these residents are entitled to have their voices heard and their opinions considered. However, the interests of a smaller group may be outweighed by the interests of the community as a whole. *See Hannifin Corp. v. City of Berwyn, 1 Ill.2d 28 (1953) and Klehr v. Zoning Board of Appeals of the Village of Skokie, 24 Ill.App.3d 512 (1st Dist., 1974)*. In this case, the hundreds of other residents of Oak Trace and the greater Downers Grove community, both today and in the future, will be affected should Lifespace not be permitted to upgrade and modernize.

To that end, Lifespace has exercised an exceptional degree of care in considering the proposed redevelopment of the site with a view to both the current and future needs of the community for the proposed improvements. Lifespace did not take lightly its decision to demolish the townhome and cottage units, and it is pursuing every possible measure to ensure that the transition is as smooth and seamless as possible for the residents who have been requested to relocate. Lifespace has been transparent regarding the redevelopment process by hosting a number of community and individual meetings, allowing for question and answer sessions and working with the affected residents to address their concerns. Such measures include: the return of 100% or more of the entrance fee initially paid; priority access to available apartments; reimbursement of attorneys' fees; additional payments for inconvenience; a discounted monthly fee rate on the new apartment; reimbursement or direct payment of all packing and moving costs; assignment of parking spaces in the parking garage; and free refurbishment of the new apartment. Moreover, many of the amenities referenced in the resident letters, such as having a pet, access to craft rooms, access to nature and the like, are all available in the apartments, in addition to other services such as exercise facilities and life enrichment activities and venues, which will now be closer in proximity and more easily accessible than from the cottage homes.

As evidence of the care and consideration that went into the planning of the Oak Trace redevelopment project, and to address comments made at the Plan Commission

public hearing regarding an 18-month timeline, Lifespace spent a great deal of time in due diligence and architectural study before establishing the current plan of redevelopment. Initial due diligence and engagement of necessary consultants began in August, 2014. In response to information discovered during due diligence, the project planning and architectural designs continued to be refined through July, 2016. In that time, financial models, market studies, Lifespace Board of Directors presentations, and continuous architectural concepts varying significantly from one schematic to another were conducted. Multiple site options were considered with respect to the scope and design of the project. The current plan was approved by the Lifespace Board of Directors in July, 2016 and chosen by them as it promised the most amenities and services for the residents in a financially feasible model. It is important to note that the costs of construction are not paid by a fund that Lifespace holds apart from resident revenue. The business model for a not-for-profit senior living community is built entirely on revenue received from the residents. The challenge for any not-for-profit senior living provider is to provide the best services and amenities at a cost that the residents can afford. It is very important to note that the proposed development will not come at any additional expense to the current residents at Oak Trace. To support the business model, the revenue created by the residential living expansion will support the debt needed to construct a new Health Center building and renovate and expand the commons amenities available to the residents. The current residents will retain tremendous value for the fees that they pay while obtaining the benefits of brand new amenities. In light of this important fact, before communicating plans to residents, Lifespace felt it important to further develop the architectural plans and seek construction pricing input for inclusion in the financial model to verify the project's feasibility. Once the project was fully vetted, Lifespace communicated plans of the project to its residents in November, 2016.

The decision to redevelop Oak Trace has not been made arbitrarily or unreasonably. It was made with only the best interests (both services and costs) of its current and future residents in mind. The short-term inconvenience to the townhome and cottage residents will be more than offset and compensated for by the long-term viability, health and vibrancy of the community as a whole.

For the foregoing reasons, this standard has been satisfied.

VILLAGE OF DOWNERS GROVE COUNCIL ACTION SUMMARY

INITIATED: Applicant DATE: April 18, 2017
(Name)

RECOMMENDATION FROM: _____ FILE REF: 17-PLC-0003
(Board or Department)

NATURE OF ACTION:

STEPS NEEDED TO IMPLEMENT ACTION:

- Ordinance
- Resolution
- Motion
- Other

Motion to Adopt "AN ORDINANCE APPROVING AN AMENDMENT TO PLANNED UNIT DEVELOPMENT #32, TO ALLOW THE REDEVELOPMENT OF OAK TRACE SENIOR LIVING COMMUNITY LOCATED AT 200 VILLAGE DRIVE", as presented.



SUMMARY OF ITEM:

Adoption of the attached ordinance shall amend Planned Unit Development #32 and allow the redevelopment of Oak Trace Senior Living Community located at 200 Village Drive.

RECORD OF ACTION TAKEN:

ORDINANCE NO. _____**AN ORDINANCE APPROVING AN AMENDMENT TO PLANNED UNIT DEVELOPMENT #32,
TO ALLOW THE REDEVELOPMENT OF OAK TRACE SENIOR LIVING COMMUNITY
LOCATED AT 200 VILLAGE DRIVE**

WHEREAS, the Village Council has previously adopted Ordinance No. 3456 on April 27, 1992, designating the property described therein as Planned Unit Development #32; and,

WHEREAS, the Owners have filed a written petition with the Village conforming to the requirements of the Comprehensive Zoning Ordinance and requesting an amendment to Planned Unit Development #32 to redevelop the site to include the expansion and update of senior housing options for the property located at 200 Village Drive, Downers Grove, IL; and,

WHEREAS, such request was referred to the Plan Commission of the Village of Downers Grove, and the Plan Commission has given the required public notice, conducted a public hearing for the petition on March 6, 2017, and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended denial of the requested petition; and

WHEREAS, Village staff has recommended approval of the requested petition, subject to certain conditions; and,

WHEREAS, the Village Council has considered the record before the Plan Commission, as well as the recommendations of the Plan Commission and Village staff.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, DuPage County, Illinois, as follows:

SECTION 1. That the provisions of the preamble are incorporated into and made a part of this ordinance as if fully set forth herein.

SECTION 2. That a Planned Unit Development Amendment is hereby approved and Petitioner is authorized to construct a 4-story Healthcare Center; 5-story Residential Living Building; renovate the existing Residential Living Building and construct 13 new Residential Living Villas at the Oak Trace Senior Living Facility Campus located at 200 Village Drive.

SECTION 3. That the approval set forth in Section 2 of this ordinance is subject to the findings and recommendations of Village staff regarding File 17-PLC-0003 as set forth in the March 6, 2017 Plan Commission meeting minutes.

SECTION 4. That the approval set forth in Section 2 of this ordinance is subject to the following conditions:

1. The Planned Unit Development Amendment shall substantially conform to the staff report dated March 6, 2017; engineering, architectural and landscape drawings prepared by SAS Architects and Planners, dated January 13, 2017 and last revised on February 9, 2017 except as such plans may be modified to conform to the Village codes and ordinances.
2. The Healthcare Center and the new Residential Living Building shall be equipped with an

automatic fire suppression system and an automatic and manual fire alarm system.

3. A fire command center shall be placed within the development in a location approved by the Fire Department.
4. All fire department connections shall be located within 100 feet of fire hydrants and shall require approval of the locations at every project phase.
5. The interior courtyard shall have a mountable curb and 20-foot wide fire lane in a location approved by the Fire Department.
6. Utility easements for the new water main shall be provided.
7. Stormwater easements shall be granted over all stormwater facilities, existing and proposed, that are not currently in easements.
8. Prior to the building permit for Phase III being issued, the applicant shall provide a \$51,634.98 park donation for nine living units.

SECTION 5. That the proposed redevelopment is consistent with and complimentary to the overall planned unit development site plan and with the requirements of the *AR-5A/PUD, Multi-Family Residence@* zoning district.

SECTION 6. It is the Petitioner's obligation to maintain compliance with all applicable Federal, State, County and Village laws, ordinances, regulations, and policies.

SECTION 7. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 8. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

Mayor

Passed:

Published:

Attest: _____

Village Clerk



0 130 260 Feet

200 Village Drive Location Map





VILLAGE OF DOWNERS GROVE
 REPORT FOR THE PLAN COMMISSION
 MARCH 6, 2017 AGENDA

SUBJECT:	TYPE:	SUBMITTED BY:
17-PLC-0003 200 Village Drive	Planned Unit Development Amendment	Rebecca Leitschuh, AICP Senior Planner

REQUEST

The petitioner is requesting approval of a Planned Unit Development (PUD) Amendment to PUD #32 to expand and update the senior housing options through a campus master plan for Oak Trace Senior Living Community at 200 Village Drive.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

**APPLICANT/
OWNER:** Brian Devlin
 Lifespace Communities (d/b/a Oak Trace)
 4201 Corporate Drive
 West Des Moines, IA 50266

PROPERTY INFORMATION

EXISTING ZONING: R-5A/PUD (Residential Attached House 5A/Planned Unit Development)
EXISTING LAND USE: Multi-Family Residential
PROPERTY SIZE: 1,688,647 square feet (38.77 acres)
PIN: 09-21-102-007

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-4 General Residence (Westmont)	Residential
SOUTH:	R-2 Single Family (Darien) R-4 Single Family (DuPage Co.)	Residential
EAST:	R-3 Single Family Detached (Westmont)	Residential
WEST:	R-1 Single Family Residence R-3 Single Family Residence	Residential

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Project Narrative
2. Plat of Survey

3. Architectural Plans
4. Engineering Plans
5. Landscape Plan
6. Photometric Plan
7. Sign Plan
8. Traffic Impact Study
9. Kane DuPage Land Use Opinion
10. Easements (Existing and Proposed)
11. Summary of Neighborhood Meeting
12. Public Input Letters

PROJECT DESCRIPTION

Lifespace Communities is proposing a redevelopment of Oak Trace's Senior Living Community located at 200 Village Drive. The current campus consists of:

- 218 independent living apartments
- 56 independent living duplexes and townhomes
- 72 sheltered care facility apartments providing assisted living care
- a 160-bed nursing facility

This redevelopment consists of:

- a new 4-story Healthcare Center
 - 32 new short term rehab suites
 - 28 memory care suites
 - 62 skilled nursing suites
 - 66 assisted living apartments
- a new 5-story Residential Living Building consisting of 160 new apartments
- a renovation of the existing Residential Living Building
- 13 new Residential Living Villas

In 2007, a similarly sized redevelopment was approved by the Village but ultimately cancelled due to the economic environment at the time. The proposed redevelopment is similar in size and scope to the approved 2007 redevelopment concept. The proposed redevelopment requires a PUD amendment based on the proposal to significantly modify the layout of the campus.

The property is zoned R-5A/PUD (Residential Attached House 5A/Planned Unit Development) with the campus comprising the Fairview Baptist Home Planned Development #32 (ORD #3456). Lifespace DG (Oak Trace) was incorporated in 2011 to acquire Oak Trace from Fairview Ministries. Oak Trace is a licensed life care Continuing Care Retirement Community (CCRC) licensed under the Illinois Life Care Facilities Act.

The multi-year, multi-phased modernization and expansion of the Oak Trace campus will result in the replacement of the existing nursing facility, construction of new assisted living and memory support assisted living apartments licensed under the Assisted Living and Shared Housing statutes and construction of new residential living apartments in multiple congregate buildings including a five story residential living building.

The development will occur in three phases as detailed below:

17-PLC-0003; 200 Village Drive, Oak Trace
March 6, 2017

Page 3

Phase #1 (2017 – 2019) – This development involves the construction of the new 4-story Healthcare Center, as detailed above. Beginning mid-2017, 27 existing residences in multiplex cottages will be demolished, the main campus drive will be redeveloped, and a new temporary entrance/parking will be constructed between the existing Healthcare Center and Residential Living buildings.

The healthcare center will include a new physical therapy/occupational therapy gym which will service the residents of the short term rehab wing and outpatients. The healthcare center will also house a dialysis center which will service the residents of the skilled nursing facility. This phase adds approximately 163 residents at proposed full occupancy.

Phase #2 (late 2018 – 2020) – The phase includes the demolition of the existing healthcare center building and 12 existing residences to allow the development of a 5-story Residential Living Building consisting of 160 new apartments. This building will connect to the new Healthcare Center and the existing Residential Living building.

The layouts of the new Residential Living Building, Healthcare Center and the existing Residential Living Buildings will create a new open lawn concept which will feature several courtyards, scenic walks and trellises connecting the campus to the barn, and a new pavilion structure to be used for public functions. The courtyard will service a 20-foot wide fire lane of modular permeable grass pavers for use by the fire department. The front lawn and prominence of the Residential Living Building will enhance wayfinding throughout the campus. The barn will remain in its current location and will continue to be used for small group gatherings, sales of resident made arts and crafts, and similar functions. The rehabilitation of the existing Residential Living Building, primarily the first floor, will take place after the completion of the new Residential Living Building and will function more harmoniously with the new commons. This phase adds approximately 210 new residents allowing for 40% couples.

Phase #3 (2022-2027) – The market-driven Residential Living Villas are proposed to be 3- stories, including one level of parking and two levels of Residential Living Apartments, four to a floor. The size, scope and character of these buildings will be driven by the needs and desires of the community at the time of development. The new units will be built in clusters of two-to-three at a time depending on the need on campus for additional Residential Living accommodations. The Residential Living Villas are maintaining the setbacks of the existing townhouses and shall be in compliance with all necessary zoning requirements. This phase could add up to 160 additional residents if fully developed.

A summary of the three phases and unit counts at each phase are provided below:

Description	Existing Units	Total Previous Proposal	17-PLC-0003 Proposal					All Phase Total (New & Existing)
			Phase I (New)	Phase I (Total New & Existing)	Phase II (New)	Phase I & II (Total New & Existing)	Phase III (New)	
Skilled Nursing Suites	160	117	62	62	0	62	0	62
Short Term Rehab Suites	0	0	32	32	0	32	0	32
Memory Support Suites	0	0	28	28	0	28	0	28
Assisted Living Apartments	72	80	66	66	0	66	0	66
Residential Living Apartments	218	414	0	218	160	378	0	378
Residential Living Villas	56	50	0	28	0	16	104	104
Total Units	506	661	188	434	160	582	104	670

The petitioner is proposing 752 parking spaces when 527 are required according to the Zoning Ordinance (see tables below). The applicant will surpass the 15 required ADA spaces and provide 28 handicapped spaces. Parking areas will be relocated to the central campus plaza and at the main entrances of each facility: they are distributed across the site to service each building including Residential Living Villas.

Table 1: Required Parking

Residential Style	Existing	Phase 1	Phase 2	Phase 3
Residential Living Apartments	131	131	227	227
Sheltered Care Suites	29			
Skilled Nursing Suites	80	35	35	35
Short Term Rehab Suites		16	16	16
Memory Support Suites		14	14	14
Assisted Living Apartments		27	27	27
Residential Living Villas				208
Townhouses	112	56	32	
Total Required	352	279	351	527
Total Provided	414	389	555	752

Table 2: Final Parking Calculations

Residential Style	Village Requirement	Fairview Village	Parking Required
Residential Living	0.6 spaces per du	378 apartments	227
Assisted Living Apts	0.4 spaces per du	66 units	27
Skilled Nursing Suites	0.5 spaces per bed	70 total beds	354
Short Term Rehab Suites	0.5 spaces per bed	32 total beds	16
Memory Support Suites	0.5 spaces per bed	28 total beds	14
Residential Living Villas	2 spaces per du	104 apartments	208
		Total	527

A campus master signage plan is part of this application. The applicant is proposing to update their two monument signs on either side of their south drive in addition to providing a new monument sign at their north entrance drive. Additional monument signs and directional signs will be placed throughout the campus. The size and number of signs associated with the development is appropriate based on the overall size of the campus and the number of different buildings within the campus requires additional signage to assist in wayfinding. Additionally, only the three monument signs adjacent to Fairview Avenue would be visible from the public right-of-way. Staff is supportive of the sign request.

COMPLIANCE WITH THE COMPREHENSIVE PLAN (CURRENT AND DRAFT UPDATED)

Both the current adopted and draft updated revision of the Comprehensive Plan were reviewed in preparation of this analysis, and the sections specific to this property and type of use remained the same. Residential Areas Plan goals specific to this proposal are to:

- Ensure quality housing stock remains a staple of the community;
- Maintain the optimal balance of housing types within the community;

- Ensure adequate buffering between residential and commercial uses; and
- Encourage a diversity of housing types, sizes and prices.

The Residential Areas Plan of both Comprehensive Plans identify the subject site as Multi-Family, falling into the Multi-Tenant Buildings category. The Plans state that these buildings are larger and denser with multiple units present. It also recognizes that parking should be provided on-site through either a surface parking lot or parking attached to the building. Oak Trace is included in this category as it targets seniors with amenities that “may include social activities, on-site medical care and other special needs of the senior population.”

Both Comprehensive Plans note that Multi-Family is a growing market within the Village and should be located along arterial streets. The proposed development:

- Is located along an arterial street (Fairview Avenue)
- Targets senior citizens through design, amenities, and medical support services
- Establishes that the existing tree canopy is important to maintain and expand with new development
- Incorporate three of the four levels of residential modernization: Renovation, Expansion, and Redevelopment. This is intended to “replenish, rejuvenate, and spur reinvestment” in the Village’s housing stock
- Stormwater management is addressed in a near- and long-term approach, constructing storm sewers, water quality measures, detention basins, and appropriate landscaping

The draft updated Comprehensive Plan also notes that the Village’s senior population will experience the largest increase in population with ages 55-64 growing over 8 percent, and ages 75 and up increasing 16.2 percent. The proposed expansion of Oak Trace will provide an opportunity for the Village’s older residents to stay in the Village.

The proposed development meets the goals of the current and draft updated Comprehensive Plans.

COMPLIANCE WITH ZONING ORDINANCE

The property is zoned R-5A/PUD (Residential Attached House 5A/ Planned Unit Development #32). The bulk requirements of the proposed development in the R5-A with PUD overlay zoning district are summarized in the following table:

Zoning Requirements (R5-A)	Required	Existing	Sheltered Care Provided	Townhomes Provided
Street Yard Setback (West)	25'	20'	495'	25'
Side Yard Setback (North)	127'	440'	353'4"	353'4"
Side Yard Setback (South)	127'	34'6"	135'	31'4"
Rear Yard Setback (East)	20'	89'	131'	49'
Building Height	35'	55'-10"	55'-10"	55'-10"
Building Coverage	25%	12.2%	13.2%	17.4%
DU/Acre	10.98	13.05	15.01	17.28
Floor Area Ratio	0.8	0.31	0.523	0.885
Parking	352/527	414	555	752

The proposed development is compliant with the vast majority of the bulk regulations in the R5-A zoning district and a Planned Unit Development is an allowable use within the R-5A zoning district. The proposed

site plan meets all zoning requirements including green space and parking, and surpasses building setbacks for the larger residential facilities. Floor area ratio is projected to be slightly above the minimum requirements once the townhomes are constructed as noted in the Table 3 above. In order to accommodate the total number of floors within the Residential Living Building, the maximum building height will exceed that allowed within R-5A zoning but will not surpass the tallest building currently existing on site. The Residential Living Building is located in the center of the site and will be at least 315 feet from the nearest single family residential zoning district to the south property line.

The applicant is applying for a Planned Unit Development in order to redevelop the property with a variety of uses and structures on a single property that would not be allowed under general zoning regulations because of the existing conditions on the site. In order for the applicant to apply for a Planned Unit Development, the applicant's proposal must meet one or more objectives identified in Zoning Ordinance Section 4.030.A.2. These objectives work to balance the needs of the applicant and the additional public benefits gained from permitting the Planned Unit Development. The increased safety, onsite circulation, connectivity, keeping operations restricted to the subject site, and improved landscaping requirement will result in several public benefits that meet the following identified Planned Unit Development Objectives:

- Implementation of and consistency with the current and draft updated comprehensive plan and other relevant plans and policies
- To provide flexible and creative solutions in responding to changing social, economic and market conditions allowing greater public benefits than could be achieved using conventional zoning and development regulations
- Variety in housing types and sizes to accommodate households of all ages, sizes, incomes and lifestyle choices
- The protection and enhancement of open space amenities and natural resource features
- The incorporation of sustainable development features including green infrastructure practices, to maximize the aesthetic and water quality benefits of stormwater best practices

The proposed development meets the provisions of a Planned Unit Development as it proposes improvements to the property which would result in public benefits that are at least commensurate with the degree of development flexibility provided. With all the above analysis considered, the applicant's proposed amendment to PUD #32 is consistent with the Village's Zoning Ordinance.

COMPLIANCE WITH THE SUBDIVISION ORDINANCE

The Subdivision Ordinance requires Planned Unit Developments to dedicate land or provide a cash contribution in-lieu-of actual land dedication at the discretion of the Village for park and recreational purposes and for school sites. As the proposal is dedicated for an elderly population, school district donations are not required as the PUD amendment will not lead to additional school aged children living in the development. With regard to the Park District donations, the previous owners provided a \$316,000 donation with the previously approved development. The donation amount covers all the proposed unit increases in Phase I and II and all but nine new units in Phase III. As such, the petitioner will be required to provide a \$51,634.98 park donation for the nine additional units at the time a building permit is requested

for Phase III development.

ENGINEERING/PUBLIC IMPROVEMENTS

The Main Campus recently underwent extensive engineering and public improvements in preparation for construction of the 2007 approved redevelopment plans (ORD #4925). The site's stormwater is managed through the existing north detention pond. The existing basin will have sufficient detention capacity to support all phases of the proposed improvements. Therefore, no modifications will be made for the detention basin design. The petitioner shall be required to provide an easement over the entire stormwater system. Any additional necessary stormwater improvements shall be designed to comply with the Village's Stormwater and Flood Plain Ordinance.

The site's circulation pattern will be revised with the purpose of improving wayfinding throughout the campus by shifting road locations, adding pedestrian connections throughout, and incorporating a comprehensive sign package to aid visitors in finding their intended destination. Two ancillary curb cuts onto Fairview Avenue will be removed, one servicing a former residence that is no longer in use and one that currently connects the accessory barn on campus. The new front lawn will feature a new parking layout and an open park setting, complete with scenic walks and trellises connecting the campus to the barn within the front lawn.

Many existing water and sanitary sewer lines are located within the footprint of the proposed buildings. These lines will be removed and replaced with new lines to service the proposed development. The new water main will be a looped water main and become the property of the Village. The Village will also require the petitioner to place all water and sanitary sewer mains and appurtenances within an easement. The easement will allow the Village to adequately service and maintain the utilities.

In addition to installing new fire hydrants, the petitioner is proposing to relocate and reinstall numerous fire hydrants. The relocated fire hydrants shall be inspected by the Village prior to reinstallation. Any hydrants that are not suitable for relocation shall be replaced with new hydrants.

The petitioner submitted a photometric plan for the proposed development. The plan identifies the location of proposed lighting and light levels at numerous locations. The new lighting will have no visual impact on the surrounding neighbors.

Kane DuPage Land Use Opinion identifies part of the site as a wetland, specifically PUBGPalustrine Unconsolidated Bottom Intermittently Exposed. No work in or around the wetland is proposed. This site is located in an area surveyed as prairie on the land cover in the early 1800's map. The District recommends preserving as much as of the natural character of the site as possible during this land use change. It is also recommended that native plants be utilized for landscaping whenever possible.

FIRE/SAFETY

Emergency site access is currently available through the two existing main entrances. Emergency access will be maintained through the two existing main entrances once the development has been completed. An auto-turn exhibit showing vehicle movements for a ladder truck and ambulance has been provided by the petitioner. The exhibit clearly shows a ladder truck being able to maneuver throughout the site, while the ambulance will be able to access each of the proposed building entrances. Staff concurs with the exhibits and believes the necessary emergency access has been provided.

The Village's fire code classifies the new Residential Living Building as a high-rise because it is over 40 feet in height. As such, the Village requires the petitioner to house a fire command center, located in an area to be agreed upon with the Fire Department during the development of construction.

The petitioner is required to install an automatic sprinkler system and manual and automatic detection system throughout the new independent living, assisted living, and skilled nursing facilities. This will also be a condition of approval. Additionally, the existing independent living building's detection and sprinkler system may need to be upgraded and tied into the new system.

As part of the development, the petitioner shall be required to submit a Fire Safety and Evacuation Plan for the independent living, assisted living, and skilled nursing facilities. The plan shall be reviewed and approved by the Fire Department during the permitting phase of the project. To ensure adequate safety during construction, the petitioner shall be required to submit a Fire Safety and Evacuation Plan for the existing skilled nursing building which will be occupied during the construction of the new assisted living and skilled nursing facility. This plan will also be reviewed by the Fire Department during the permitting phase of the project.

TRAFFIC

The Traffic and Parking Analyses found that the additional traffic volumes generated by the expansion and redevelopment can be accommodated by the area roadways and that the proposed parking supply is both in excess of the Village of Downers Grove's requirements and sufficient to accommodate the needs of the Oak Trace campus' residents and staff. The petitioner is proposing 752 parking spaces when 527 are required according to the Zoning Ordinance. The applicant will surpass the ADA requirement and provide 28 handicapped spaces. Parking areas will be relocated to the central campus plaza; however, they are distributed across the site to service each building.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property in addition to posting public hearing notice signs and publishing the legal notice in the *Downers Grove Suburban Life*. A handful of phone calls have been received by staff, mostly with questions about the overall proposal. In addition, 25 residents of Oak Trace and six other residents mailed letters primarily expressing concern over the demolition of the existing townhomes. The letters are attached to this report.

As required by the Zoning Ordinance, the petitioner held a neighborhood meeting on February 16, 2017. There were approximately seven neighboring property owners in attendance. Questions were in regard to construction scheduling/management conflicts, traffic impacts, and the appearance of the renovated campus. A summary of the meeting is attached.

In addition to the neighborhood meeting, Oak Trace held resident and staff meetings on four separate dates, with different sessions open to the entire population and others open to specific buildings (11/16, 11/17, 1/10, 1/25). Questions varied between specific transition timelines and solutions to onsite construction management and to future amenities. A summary of these meetings is attached.

FINDINGS OF FACT

The petitioner is requesting approval of a Planned Unit Development Amendment for a campus master plan for Oak Trace at 200 Village Drive. Staff finds that the proposal meets the standards for granting a Planned Unit Development Amendment as outlined below:

Section 28.12.040.C.6 Review and Approval Criteria

The decision to amend the zoning map to approve a PUD development plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

a. *The zoning map amendment review and approval criteria of Sec. 12.030.1.*

The property is already zoned R5-A/PUD (Residential Attached House 5A/Planned Unit Development) and comprises Fairview Baptist Home Planned Development #32 (ORD #3456). The proposed PUD amendment does not require a zoning map amendment and thus this standard is not applicable.

b. *Whether the proposed PUD development plan and map amendment would be consistent with the comprehensive plan and any other adopted plans for the subject area.*

The proposed project is consistent with the current and draft updated Comprehensive Plan. The Plan identifies this area as Multi-Family within the Residential Areas Plan section. A PUD overlay shall provide the necessary tools to redevelop the property and meet some of the main goals of the Residential Areas Plan, to provide a variety of housing and dwelling unit types and to provide senior housing including multi-family residential and assisted- and extended-care facilities in convenient locations. With multiple buildings and uses on a single campus, a PUD overlay allows for a creative and modern development while addressing the key concepts of improved pedestrian circulation, safety, and senior living opportunities per the current and draft updated Comprehensive Plan. This standard has been met.

c. *Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.*

The proposed project meets eight of ten PUD overlay district provisions and objectives as found in Section 4.030 of the Zoning Ordinance. The proposal is consistent with the current and draft updated Comprehensive Plan and implements a residential area policy to provide senior living options. The proposal provides flexibility and creativity in responding to continuing changes and updates to senior living. The proposal also provides a variety of housing types and sizes while providing a mixed-use type campus with common and private spaces in addition to other spaces that are open to the public. The new buildings will be of a high-quality and will be compatible with surrounding areas as the applicant has taken great efforts to arrange the buildings so taller buildings are in the center of the site surrounded by smaller, lower buildings around the edge. The proposal also protects the existing wetland area along the north property line and provides high-quality lighting, architecture and signage. This standard has been met.

d. *Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.*

The proposal will result in the redevelopment of an existing senior living facility in the Village that currently serves the senior citizens of Downers Grove. The ability to modernize the facility and continue to offer a variety of housing options for a numerous seniors is a public benefit. As the population of Downers Grove ages and grows, it is important that housing opportunities are provided for our seniors which allows them to age in place and within the community. This standard has been met.

e. *Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.*

Appropriate terms and conditions have been imposed on the approval which protect the interests of surrounding property owners and residents. The development calls for taller and more dense units to be located near the center of the site, while lower buildings, which would be more in scale with adjacent residential areas, would be located around the perimeter. Public safety conditions have been added which ensures emergency access and safe buildings. Additionally, this project will advance many goals and objectives laid out in several adopted documents and the conditions below will ensure

17-PLC-0003; 200 Village Drive, Oak Trace
March 6, 2017

Page 10

that those goals and objectives are advanced. This standard has been met.

RECOMMENDATIONS

The proposed Planned Unit Development Amendment to PUD #32 at 200 Village Drive is consistent with the current and draft updated Comprehensive Plan, the Zoning Ordinance, and surrounding zoning and land use classifications. Based on the findings listed above, staff recommends the Plan Commission recommend the Village Council approve the requested Planned Unit Development Amendment as requested in case 17-PLC-0003 subject to the following conditions:

1. The Planned Unit Development Amendment shall substantially conform to the staff report; engineering, architectural and landscape drawings prepared by SAS Architects and Planners, dated January 13, 2017 and last revised on February 9, 2017 except as such plans may be modified to conform to the Village codes and ordinances.
2. The Healthcare Center and the new Residential Living Building shall be equipped with an automatic suppression system and an automatic and manual fire alarm system.
3. A fire command center shall be placed within the development in a location approved by the Fire Department.
4. All fire department connections shall be located within 100 feet of fire hydrants and shall require approval of the locations at every project phase.
5. The interior courtyard shall have a mountable curb and 20-foot wide fire lane in a location approved by the Fire Department.
6. Utility easements for the new water main shall be provided.
7. Stormwater easements shall be granted over all stormwater facilities, existing and proposed, that are not currently in easements.
8. Prior to the building permit for Phase III being issued, the applicant shall provide a \$51,634.98 park donation for nine living units.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

SP; rl
-att

**SAS ARCHITECTS & PLANNERS**630 DUNDEE ROAD NORTHBROOK, ILLINOIS 60062
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Oak Trace Campus Redevelopment Project Narrative Plan Commission Application

Project Summary

Lifespace Communities ("the Owners") is proposing the redevelopment of Oak Trace's Senior Living Community located at 200 Village Drive in Downer's Grove, Illinois. The current campus is a Continuum of Care Retirement Community consisting of 218 independent living apartments, 56 independent living duplexes and townhomes, 72 sheltered care facility apartments providing assisted living care and a 160-bed nursing facility. This redevelopment consists of a new 4-story Healthcare Center, a new 5-story Residential Living Building, renovation of the existing Residential Living Building and new market-driven Residential Living Villas.

In 2007, this campus proposed a similarly sized redevelopment which was approved by the City of Downer's Grove, but ultimately cancelled due to the economic environment at the time. Our proposed redevelopment scheme is similar in size and scope to the 2007 redevelopment concept, as is indicated within our site plans in our project development table. What follows is a detailed description of the scope of work, timing and some unique elements on campus which will aid in the owner's ability to enhance the lives of their residents.

Campus History

Lifespace DG, LLC d/b/a Oak Trace was incorporated in 2011 to acquire Oak Trace from Fairview Ministries through an auction conducted as part of a Chapter 11 bankruptcy proceeding. Oak Trace was formerly known as Fairview Village until it was acquired by Lifespace DG, LLC, an affiliate of Lifespace Communities, Inc. (Lifespace) in August 2011.

Oak Trace, a Senior Living Community, currently consists of 218 Residential Living apartments, 56 Residential Living duplexes and townhomes, 72 sheltered care facility apartments providing assisted living care and a 160-bed nursing facility. The Healthcare Center (including sheltered care and nursing care) at Oak Trace was constructed in 1972 and the Residential Living apartments were added in 1989. Oak Trace is located on an approximately 40-acre site at 200-250 Village Drive in Downer's Grove, IL 60516. It is a licensed life care Continuing Care Retirement Community (CCRC) licensed under the Illinois Life Care Facilities Act.

The current healthcare facility is functionally obsolete and its physical plant has reached the end of its useful life. Lifespace is currently executing a multi-year, multi-phased modernization and expansion of the Oak Trace campus that will ultimately result in the replacement of the existing nursing facility, construction of new assisted living and memory support assisted living apartments licensed under the Assisted Living and Shared Housing statutes and construction of new residential living apartments in multiple congregate buildings including a five story residential living building.

Campus Phasing and Scope of Work

Phase I of this development involves a new 4-story Healthcare Center, consisting of 32 new short term rehab suites, 28 new memory support suites, 62 new skilled nursing suites and 66 new assisted living apartments.

- Preparation for this phase, beginning mid-2017, will include the demolition of 27 existing residences in multiplex cottages, redevelopment of the main campus drives and a new temporary entrance/parking between the existing Healthcare Center and Residential Living buildings.
 - Lifespace/Oak Trace is working closely with the existing cottage residents to minimize the

impact on them and continue to meet their retirement housing needs.

- Informational meetings with residents have been conducted and are on-going.
- The healthcare center will include a new physical therapy/occupational therapy gym which will service the residents of the short term rehab wing and outpatients. The intent of the outpatient facility is to be able to continue to provide therapy services to the residents of short term rehab after the residents return home.
- The healthcare center will also house a dialysis center which will service the residents of the skilled nursing facility. The campus currently operates a dialysis center within the existing healthcare building which will operate in the same manner as the new dialysis center.
- The healthcare building will go through the permit process within Downers Grove and the Illinois Department of Public Health in the Summer of 2017 and will comply with all applicable codes with jurisdiction over this project.
- Phase I adds approximately 163 residents at proposed full occupancy.
- This phase is proposed to start construction in Fall of 2017 and be complete within 18-22 months.

Phase II of this development is the development of a 5-story Residential Living Building consisting of 160 new apartments. This building will connect to the new Healthcare Center via two one-story connecting wings and the existing Residential Living building via a one-story connecting wing.

- Preparation for this phase will include the demolition of the existing healthcare center building, the demolition of 12 existing residences in duplex configurations and the development of the front lawn (late 2018/early 2019).
 - Lifespace/Oak Trace is also working on these residents to accommodate the needs of the residents during this future phase of the project
- The layouts of the new Residential Living Building, Healthcare Center and the existing Residential Living Buildings will create a new open lawn concept which will feature several courtyards and a new pavilion structure to be used for public functions. Each of the first floor commons will be oriented along the new courtyard providing a beautiful view and an enhanced method of wayfinding.
- The courtyard will service a 20 foot wide firelane of modular permeable grass pavers for use by the fire department, which will be within the 120 foot requirement to service all portions of the buildings.
- The new front lawn will feature a new parking layout and an open park setting, complete with scenic walks and trellises connecting the campus to the barn within the front lawn. The front lawn and prominence of the Residential Living Building will enhance wayfinding throughout the campus.
- The barn will remain in its current location and will continue to be used for small group gatherings, sales of resident made arts and crafts, and similar functions.
- The redevelopment of the existing Residential Living Building will take place after the completion of the new RL building. The interior remodeling scope is yet to be finalized, but will include the redevelopment of the first floor commons area to function more harmoniously with the new commons. The scope of work within the architectural set conveys the potential renovation scope with the new facility.
- The campus will utilize the loading dock within the existing Residential Living Building and will transport all trash/supplies through basement levels corridors. The loading patterns, times and routes will largely remain consistent with the existing campus.
- Phase II adds approximately 210 new residents allowing for 40% couples and 94% occupancy.
- This phase is proposed to begin construction right after the completion of the new Healthcare Center in Phase I, in late 2018. The total construction time is slated to take between 18-22 months.

Phase III of this development involves market-driven Residential Living Villas. Each Villa is proposed to be 3-stories, including one level of parking and two levels of Residential Living Apartments, four to a floor.

- The size, scope and character of these buildings will be driven by the needs and desires of the community at the time of development. The floor plans and concept elevation included in this packet indicate what we believe will ultimately be built on campus. This is, however, preliminary and will require updating once the climate is understood at the time of the development.

- When the Villas are needed, it is believed that they will be built in clusters of 2-3 at a time depending on the need on campus for additional Residential Living accommodations. These Residential Living Villas are not planned on being built for 5-10 years and the timing will depend solely on the demand on campus.
- The Residential Living Villas are maintaining the setbacks of the existing townhouses and should be in compliance with all necessary zoning requirements.
- Phase III could add up to 160 additional residents if fully developed.

Zoning and Code Compliance

The current campus is zoned R-5A (PD 32). The new development will require an amendment to the Planned Unit Development but will remain in the R-5A zoning designation. This development will be in compliance with the zoning ordinance requirements, with the following exception:

- In order to accommodate the total number of floors within the Residential Living Building, the maximum building height will exceed that allowed within R-5A zoning. In compliance with all applicable zoning codes, the Residential Living Building will be required to house a fire command center, located in an area to be agreed upon with the Fire Department during the development of construction documentation.

This proposal includes a signage redevelopment plan which will assist in wayfinding throughout the campus. The signage plan indicated general sizes and locations of the major signs.

- Each building on campus will have its own building address. The new Healthcare Center will utilize the existing healthcare center's address. The existing Residential Living building will retain its existing address and the new building will use one of the existing addresses within this property that is getting demolished. Each Residential Living Building will have its own address, utilizing the existing townhouse addresses.
- The signage plan is preliminary, but indicates the general size, location and character of the proposed signs.

It is our understanding that Downers Grove will be adopting the 2015 International Code Council codes within the next year, which will coincide with the permitting of Phase I. Phase I will follow the more stringent of the current and 2015 codes until a time where the 2015 set of codes has been officially adopted.

- Each of the buildings will comply with the setback requirements consistent in the building codes. A 60 foot clearance between buildings is not possible, in some cases, so the building elements will be designed as rated assemblies while conforming to the requirements for windows/doors. These lot lines will be established with the Building Department in the permitting process.

Civil Engineering

The existing property drains by surface flow and pipe flow to a pond along the north side of the property. This pond provides detention for the existing property and was expanded in 2007 in anticipation for a past redeveloped plan. The current redevelopment proposes a less intense development than the 2007 design. Therefore the existing pond has adequate detention for the proposed redevelopment. Refer to the preliminary storm water management report for a detailed review of the storm sewer, detention and best management practices used in the site

Storm water easements will need to be updated to reflect the proposed improvements. Below is a summary of the easements to be added or updated, if made necessary by the City of Downers Grove.

- Storm water drainage easement around the proposed detention basin which is the existing pond. Easement would include language for the Village to access upon, over, and across the property to inspect the storm water drainage easement area. The easement line would be set to include at the minimum the 100 year overland flow elevation.

- Storm water drainage easement for the 100 year overland flow route discharge from the existing pond. Easement would include language for the Village to access upon, over, and across the property to inspect the storm water drainage easement area.
- Storm water drainage easement for offsite storm water sheet draining onto the Oak Trace property. There is a portion of Fairview Avenue right of way which sheet drains into the existing conservation easement into the existing pond. The remaining portion of the property does not appear to receive any offsite flows.
- Blanket site easement for the Village to access upon, over, and across the property to inspect the major storm water systems and storm sewers.

Domestic Water Supply

- The existing water main and fire hydrants within the Oak Trace property are private. The water system will remain as a private system and therefore would not require easements.

Sanitary Sewer

- Existing sanitary sewer to be removed will need to have their respective sanitary sewer easements abrogated and new 20 foot wide easements centered over all new sanitary main lines and existing sanitary sewers which did not have a easement.
- Sanitary services to buildings do not require easements.



CONCEPTUAL FRONT AERIAL PERSPECTIVE

SCALE: N. T. .S



CONCEPTUAL BACK AERIAL PERSPECTIVE

SCALE: N. T. .S



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200 VILLAGE DRIVE, DOWNERS GROVE, IL

Redevelopment Plan

DRAWING INDEX:

- T1 - TITLE SHEET
- T2 - PROJECT INFORMATION

- ALTA SURVEY
- * C1 - EXISTING CONDITIONS
- * C2 - SITE PLAN - PHASE I
- * C3 - SITE PLAN - PHASE II
- * C4 - SITE PLAN- PHASE III
- * C5 - SITE PLAN- FIRE PROTECTION EXHIBIT
- C6 - DETAILS

* UPDATED PER
ZONING COMMENTS

- * L1 - PHASE I LANDSCAPE PLAN
- * L2 - PHASE II LANDSCAPE PLAN
- * L3 - PHASE III LANDSCAPE PLAN
- L4 - PHASE I SIGN COORDINATION DIAGRAM
- L5 - PHASE II SIGN COORDINATION DIAGRAM
- L6 - PHASE III SIGN COORDINATION DIAGRAM
- L7 - SIGN PROFILE ELEVATIONS

- * A1 - EXISTING SITE PLAN / TOPOGRAPHY
- * A2 - SITE PLAN - PHASE I
- * A3 - SITE PLAN - PHASE II
- * A4 - SITE PLAN - PHASE III

- HC1 - HEALTHCARE CENTER BASEMENT/FIRST FLOOR PLANS
- HC2 - HEALTHCARE CENTER SECOND/THIRD FLOOR PLANS
- * HC3 - HEALTHCARE CENTER FOURTH FLOOR/ROOF PLANS
- HC4 - HEALTHCARE CENTER EXTERIOR ELEVATIONS
- * HC5 - HEALTHCARE CENTER BUILDING SECTIONS
- HC6 - ASSISTED LIVING APARTMENT PLANS
- HC7 - SKILLED NURSING/SHORT-TERM REHAB/MEMORY SUPPORT SUITE PLANS

- RL1 - RESIDENTIAL LIVING BASEMENT/FIRST FLOOR PLANS
- RL2 - RESIDENTIAL LIVING SECOND/UPPER FLOOR PLANS
- * RL3 - RESIDENTIAL LIVING ROOF PLAN
- RL4 - RESIDENTIAL LIVING EXTERIOR ELEVATIONS
- * RL5 - RESIDENTIAL LIVING BUILDING SECTION
- RL6 - RESIDENTIAL APARTMENT PLANS
- RL7 - RESIDENTIAL APARTMENT PLANS
- RL8 - RESIDENTIAL APARTMENT PLANS

- RLV1 - RESIDENTIAL LIVING VILLA FLOOR PLANS/ELEVATION

- XRL1 - EXIST. RL BUILDING BASEMENT FLOOR PLAN
- XRL2 - EXIST. RL BUILDING FIRST FLOOR / DEMO PLAN
- XRL3 - EXIST. RL BUILDING FIRST FLOOR REMODELING PLAN

TITLE SHEET

SCALE: N/A

T1





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200 VILLAGE DRIVE, DOWNERS GROVE, IL

Redevelopment Plan

EXISTING SITE PLAN/TOPOGRAPHY



EXISTING SITE

- | | |
|--|---|
| RESIDENTIAL LIVING: <ul style="list-style-type: none"> • 5 STORY BUILDING • 218 APARTMENTS (448 BEDS) | PARKING SUMMARY <ul style="list-style-type: none"> • TOTAL REQUIRED PARKING: 352 TOTAL SPACES • EXISTING PARKING: 414 TOTAL SPACES (13 HC) |
| HEALTH CENTER: <ul style="list-style-type: none"> • 232 SUITES • -160 SKILLED NURSING SUITES • -72 SHELTERED CARE SUITES | SITE <ul style="list-style-type: none"> • 1,687,647 SF (38.77 ACRES) • -INCLUDING CONSERVATION AREA |
| TOWNHOUSES <ul style="list-style-type: none"> • 19 TOWNHOUSES (56 2 BED APTS) | |

LEGEND

- PHASE I DEMO
- PHASE II DEMO
- PHASE III DEMO
- EXISTING BUILDING TO REMAIN

DEMOLITION NOTES

1. CONFORM TO ALL BUILDING CODE REGULATIONS PERTAINING TO DEMOLITION, INCLUDING PAYMENT FOR ANY SPECIAL PERMITS. PERFORM WRECKING AND REMOVAL OPERATIONS IN SUCH A MANNER AS TO ENSURE THE LEAST POSSIBILITY OF DAMAGE TO ADJOINING AREAS. BE LIABLE FOR, AND REPAIR DAMAGE TO STRUCTURES, MATERIALS OR EQUIPMENT CAUSED BY WRECKING OPERATIONS. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
2. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT STRUCTURES, OTHER FACILITIES AND PERSONS. PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO OWNER.
3. UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, ALL SALVAGE AND PRODUCTS OF DEMOLITION AND REMOVAL SHALL BECOME THE PROPERTY OF THIS CONTRACTOR. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. DEMOLISH MASONRY IN SMALL SECTIONS. WORK SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR THE PUBLIC.
4. CONTRACTOR SHALL REMOVE ALL ITEMS OF SALVAGE AND ALL RUBBISH AND DEBRIS FROM THE SITE AS QUICKLY AS IT ACCUMULATES, SO AS TO PREVENT ANY FIRE HAZARDS OR UNDUCE HARDSHIPS IN UNLOADING OF NEW MATERIALS. STREETS AND DRIVES SHALL BE KEPT REASONABLY CLEAN AND SHALL BE SWEEPED WHEN NECESSARY TO REMOVE SPILLED DEBRIS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR TIMES FOR ACTUAL TRUCKING AWAY OF DEBRIS. TRANSPORT MATERIALS REMOVED FROM STRUCTURES AND LEGALLY DISPOSE OF OFF SITE.
5. ALL BUILDING DEMOLITION MUST INCLUDE REMOVAL OF ANY INFRASTRUCTURE, FOUNDATIONS, UTILITY LINES, ETC.
6. IT IS EXCAVATOR'S RESPONSIBILITY TO TEST SOIL AND OBTAIN NECESSARY DOCUMENTS FOR REMOVAL AND HAULING AWAY ANY DEMOLITION ITEMS.

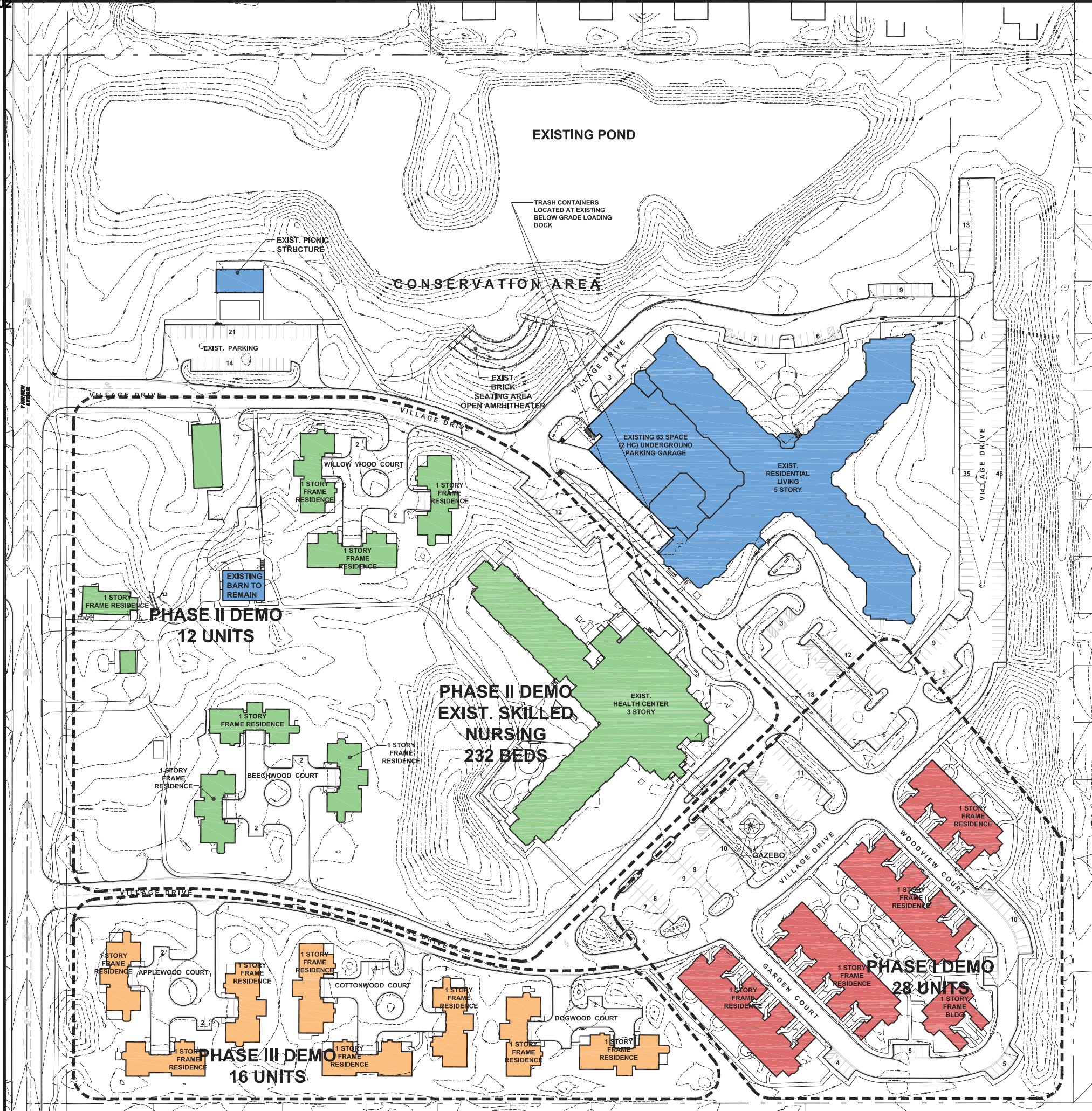
EXISTING SITE PLAN/TOPOGRAPHY

SCALE: 1"=60'-0"



A1

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630 Dundee Road Northbrook, IL 60062 847 564-8333 fax. 847 564-9989 www.sasarch.com



PHASE II DEMO
12 UNITS

PHASE II DEMO
EXIST. SKILLED
NURSING
232 BEDS

PHASE III DEMO
16 UNITS

PHASE I DEMO
28 UNITS



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Redevelopment Plan

SITE PLAN - PHASE I

DEMOLISH 28 2-BED TOWNHOUSE APARTMENTS

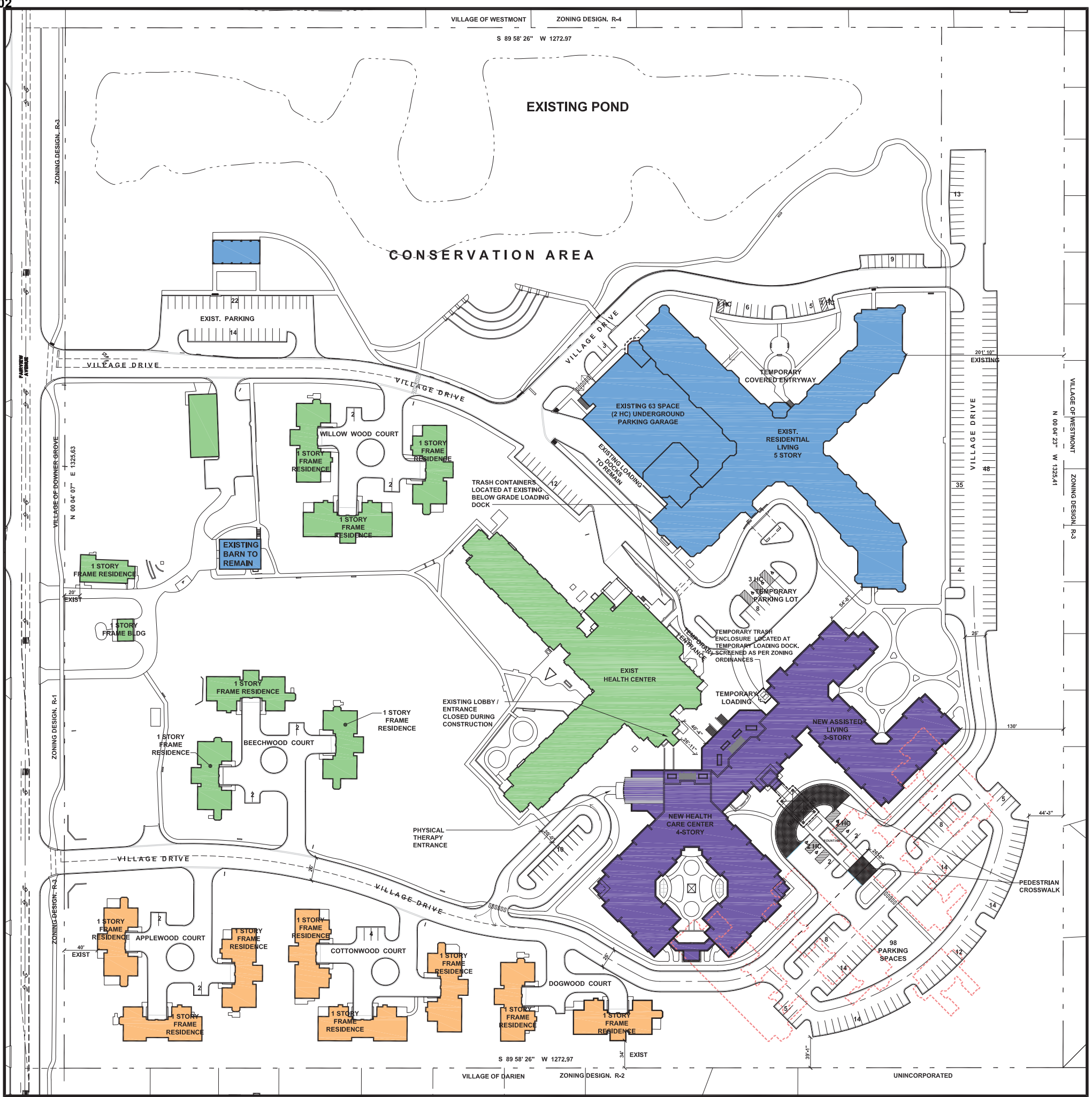
- HEALTHCARE CENTER:**
- 4 STORY W/ PARTIAL BASEMENT
 - 228,413 SF TOTAL BUILDING (INCLUDING 2-STORY SPACES)
 - 188 TOTAL SUITES/APARTMENTS
 - 28 PRIVATE MEMORY SUPPORT SUITES
 - 32 SKILLED SHORT TERM REHAB SUITES (32 BEDS)
 - 62 SKILLED NURSING SUITES (70 BEDS)
 - 66 ASSISTED LIVING APARTMENTS
 - REQUIRED PARKING: 92 SPACES
- CODE ANALYSIS:**
- OCCUPANCY: I-2
 - CONSTRUCTION TYPE: IB
 - FULLY SPRINKLERED
 - 2-HR BEARING WALLS, COLUMNS AND BEAMS
 - 2-HR FLOOR AND ROOF ASSEMBLIES
 - 2-HR EXIT STAIRS/SHAFTS
- STRUCTURAL SYSTEMS**
- CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
 - CIP CONCRETE LOWER LEVEL AND FIRST FLOOR STRUCTURE
 - LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS (FLOORS 1-4)
 - LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF TRUSSES (FLOORS 2-ROOF)
- MECHANICAL SYSTEMS**
- VTAC (MAGIC-PAK) IN EACH RESIDENT APARTMENT - AL
 - PTAC IN EACH RESIDENT SUITES - HEALTHCARE CENTER
 - ROOF TOP UNITS FOR COMMON AREAS
- EXTERIOR MATERIALS**
- NATURAL STONE (10%), BRICK (65%), CEMENT FIBER PANELS (25%)
 - CEMENT FIBER SOFFIT AND TRIM
 - LOW-E INSULATED VINYL WINDOWS
 - PARAPET ROOFING & TPO ROOFING

- PARKING ANALYSIS (PHASE I):**
- REQUIRED PARKING (EXISTING TO REMAIN): 187 SPACES
 - EXISTING RESIDENTIAL LIVING: 211 SPACES (7 HC)
 - EXISTING TOWNHOUSES: 59 SPACES
 - REQUIRED PARKING (PHASE I - HCC): 92 SPACES
 - NEW PARKING: 118 SPACES (4 HC)
- TOTAL REQUIRED PARKING: 279 SPACES**
TOTAL PROVIDED PARKING: 389 SPACES (11 ACCESSIBLE)

- LEGEND:**
- PHASE I DEMO
 - PHASE II DEMO
 - PHASE III DEMO
 - EXISTING BUILDING TO REMAIN
 - NEW BUILDING

DESCRIPTION	EXISTING CAMPUS (UNITS/BEDS)	APPROVED PROPOSAL FROM 2010 (EXIST TO REMAIN + PROPOSED)	2017 CURRENT PROPOSAL	
			PHASE I (NEW UNITS/BEDS)	PHASE I (NEW + EXIST UNITS/BEDS)
SKILLED NURSING SUITES	160 SUITES	117 SUITES	62 SUITES	62 SUITES
SHORT TERM REHAB SUITES	0 SUITES	0 SUITES	32 SUITES	32 SUITES
MEMORY SUPPORT SUITES	0 SUITES	0 SUITES	28 SUITES	28 SUITES
ASSISTED LIVING APTS	72 APTS	80 APTS	66 APTS	66 APTS
RESIDENTIAL LIVING APTS	218 APTS	414 APTS	0 APTS	218 APTS
RESIDENTIAL LIVING VILLAS	56 APTS	50 APTS	0 APTS	28 APTS
TOTAL UNITS	506 UNITS	661 UNITS	188 UNITS	434 UNITS

SITE PLAN - PHASE I
SCALE: 1"=60'-0"





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 200 VILLAGE DRIVE, DOWNERS GROVE, IL
Redevelopment Plan

SITE PLAN - PHASE II

- DEMOLISH EXISTING HEALTHCARE CENTER**
- DEMOLISH 12 2-BED TOWNHOUSE APARTMENTS**
- RESIDENTIAL LIVING BUILDING (RL)**
 - 5 STORY W/ LOWER LEVEL PARKING + PARTIAL BASEMENT
 - 317,666 SF TOTAL BUILDING
 - 160 TOTAL APARTMENTS
 - PARKING GARAGE: ± 81 HEATED PARKING SPACES (3HC)
 - REQUIRED PARKING: 96 SPACES
- 1 STORY LINK WITH PHASE I HEALTH CARE CENTER**
 - CODE ANALYSIS:
 - OCCUPANCY: R-2
 - CONSTRUCTION TYPE: 2A
 - FULLY SPRINKLERED
 - 1-HR BEARING WALLS, COLUMNS AND BEAMS
 - 1-HR FLOOR AND ROOF ASSEMBLIES
 - 1-HR EXIT STAIRS/SHAFTS
 - STRUCTURAL SYSTEMS
 - CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
 - CIP CONCRETE LOWER LEVEL AND FIRST FLOOR STRUCTURE
 - LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS (FLOORS 1-5)
 - LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF JOISTS (SECOND FLOOR TO ROOF)
 - EXTERIOR MATERIALS
 - NATURAL STONE (10%), BRICK (65%), CEMENT FIBER PANELS (25%)
 - CEMENT FIBER SOFFIT AND TRIM
 - LOW-E INSULATED VINYL WINDOWS
 - PARAPET ROOFING & TPO ROOFING

- RENOVATION OF EXISTING RESIDENTIAL LIVING BUILDING (RL)**
 - RENOVATION OF FIRST FLOOR COMMONS FOLLOWING COMPLETION OF NEW RL BUILDING

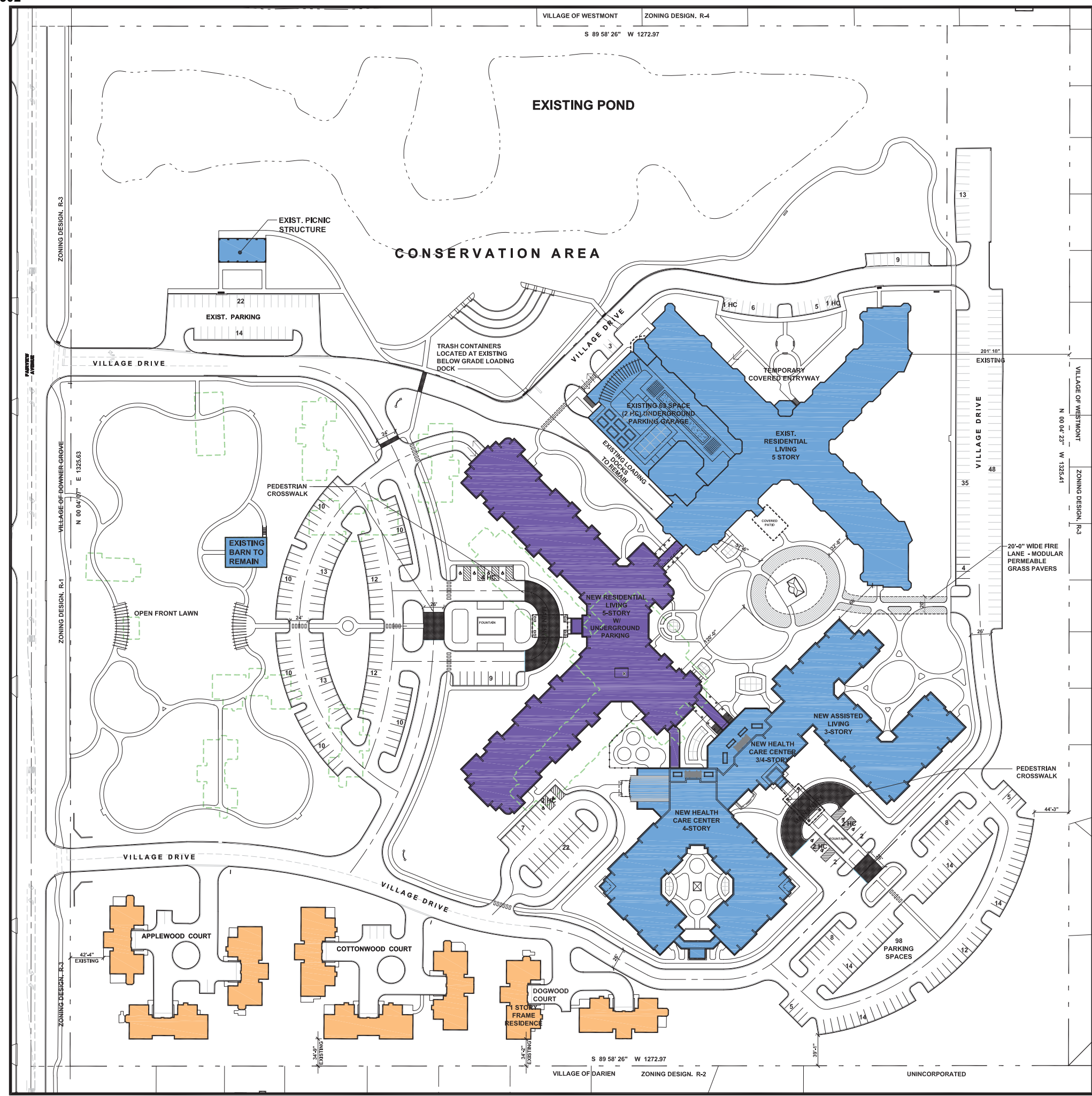
- PARKING ANALYSIS (PHASE II):**
- REQUIRED PARKING (EXISTING TO REMAIN): 163 SPACES
 - EXISTING RESIDENTIAL LIVING: 188 SPACES (4 HC)
 - EXISTING TOWNHOUSES: 24 SPACES
 - REQUIRED PARKING (PHASE I-II): 188 SPACES
 - NEW PARKING SPACES (PHASE I): 118 SPACES (4 HC)
 - NEW PARKING SPACES (PHASE II): 249 SPACES (9 HC)
 - TOTAL NEW PARKING (PHASE I-II): 335 SPACES (13 HC)
 - TOTAL REQUIRED PARKING: 351 SPACES
 - TOTAL PROVIDED PARKING: 555 SPACES (17 ACCESSIBLE)

LEGEND:

	PHASE I DEMO		EXISTING BUILDING TO REMAIN
	PHASE II DEMO		NEW BUILDING
	PHASE III DEMO		

DESCRIPTION	EXISTING CAMPUS (UNITS/BEDS)	APPROVED PROPOSAL FROM 2010 (EXIST TO REMAIN + PROPOSED)	2017 CURRENT PROPOSAL	
			PHASE II (NEW UNITS/BEDS)	PHASE II (NEW + EXIST UNITS/BEDS)
SKILLED NURSING SUITES	160 SUITES	117 SUITES	0 SUITES	62 SUITES
SHORT TERM REHAB SUITES	0 SUITES	0 SUITES	0 SUITES	32 SUITES
MEMORY SUPPORT SUITES	0 SUITES	0 SUITES	0 SUITES	28 SUITES
ASSISTED LIVING APTS	72 APTS	80 APTS	0 APTS	66 APTS
RESIDENTIAL LIVING APTS	218 APTS	414 APTS	160 APTS	378 APTS
RESIDENTIAL LIVING VILLAS	56 APTS	50 APTS	0 APTS	16 APTS
TOTAL UNITS	506 UNITS	661 UNITS	160 UNITS	582 UNITS

SITE PLAN- PHASE II
 SCALE: 1"=60'-0"



VILLAGE OF WESTMONT ZONING DESIGN, R-4

S 89 58' 26" W 1272.97

VILLAGE OF DARIEN ZONING DESIGN, R-2

UNINCORPORATED



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SITE PLAN - FINAL/PHASE III

DEMOLISH 16 2-BED APARTMENTS WITHIN TOWNHOUSES

- RESIDENTIAL LIVING VILLAS (RLV)**
- 3 STORY W/ LOWER LEVEL PARKING
 - 15,466 SF TOTAL BUILDING AREA + 7,935 SF PARKING GARAGE (EACH VILLA)
 - 8 APARTMENTS (EACH VILLA) * 13 VILLAS = 104 TOTAL APARTMENTS
 - PARKING GARAGE: 14 HEATED PARKING SPACES (1 HC)
 - REQUIRED PARKING: 208 SPACES
 - CODE ANALYSIS
 - OCCUPANCY: R-2
 - CONSTRUCTION TYPE: III-B
 - FULLY SPRINKLERED
 - PARKING OCCUPANCY: S-2 GRADE
 - 2 HR SEPARATION BETWEEN PARKING S-2 & R-2
 - STRUCTURAL SYSTEMS
 - CONCRETE SPREAD FOOTINGS (ASSUME 3,000 PSF SOIL)
 - PRECAST CONCRETE LOWER PARKING LEVEL
 - WOOD CONSTRUCTION BEARING WALLS (FLRS 2-3)
 - WOOD FLOOR AND ROOF TRUSSES (FLRS 3 & ROOF)
 - MECHANICAL SYSTEMS
 - RESIDENTIAL FORCED AIR FURNACE IN EACH APARTMENT
 - EXTERIOR MATERIALS
 - NATURAL STONE (40%)
 - CEMENT FIBER SIDING (60%)
 - CEMENT FIBER SOFFIT AND TRIM
 - LOW-E VINYL WINDOWS
 - ARCHITECTURAL FIBERGLASS SHINGLES
 - PRE-ENGINEERED ALUMINUM BALCONIES

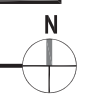
- LEGEND:**
- PHASE I DEMO
 - PHASE II DEMO
 - PHASE III DEMO
 - EXISTING BUILDING TO REMAIN
 - NEW BUILDING

ZONING DATA				
DESCRIPTION	CODE REQUIREMENTS	EXISTING CAMPUS	APPROVED PROPOSAL (2010) (EXIST TO REMAIN + PROPOSED)	2017 CURRENT PROPOSAL PHASE III (NEW + EXISTING TO REMAIN)
ZONING CATEGORY	R-5A (PD 32)	R-5A (PD 32)	R-5A (PD 32)	R-5A (PD 32)
USE	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY
UNIT COUNT - DU/ACRE	10.98 DU/ACRE MAX	13.05 DU/ACRE	17.05 DU/ACRE	17.28 DU/ACRE
GROSS SITE AREA	-	1,887,647 SF (38.77 ACRES)	1,887,647 SF (38.77 ACRES)	1,887,647 SF (38.77 ACRES)
BUILDING AREA	-	519,981 SF	885,352 SF	1,156,230 SF
FLOOR AREA RATIO (FAR)	0.8	.31	.52	.685
BUILDING COVERAGE	32% MAX COVERAGE	206,209 SF (12.2%)	266,648 SF (15.8%)	294,130 SF (17.4%)
FRONT SETBACKS	25 FEET	20'-0"	150'-0"	24'-0"
REAR SETBACKS	20 FEET	89'-0"	240'-0"	49'-0"
SIDE SETBACKS	GREATER OF 10% LOT WIDTH OR 5 FEET = 127.2 FEET	353'-4" N / 34'-6" S	353'-4" N / 34'-6" S	353'-4" N / 31'-4" S
HEIGHT	35 FEET	± 53 FEET	55'-10"	± 68 FEET
PARKING	APT/CONDO: 6 SPACES/DU GROUP LIVING: 5 SPACES/BED APT/CONDO (AL): 4 SPACES/DU HOUSEHOLD: 2 SPACES/DU	352 REQUIRED 414 PROVIDED (13 HC SPACES)	559 REQUIRED 685 PROVIDED	527 REQUIRED 752 PROVIDED (28 HC SPACES)

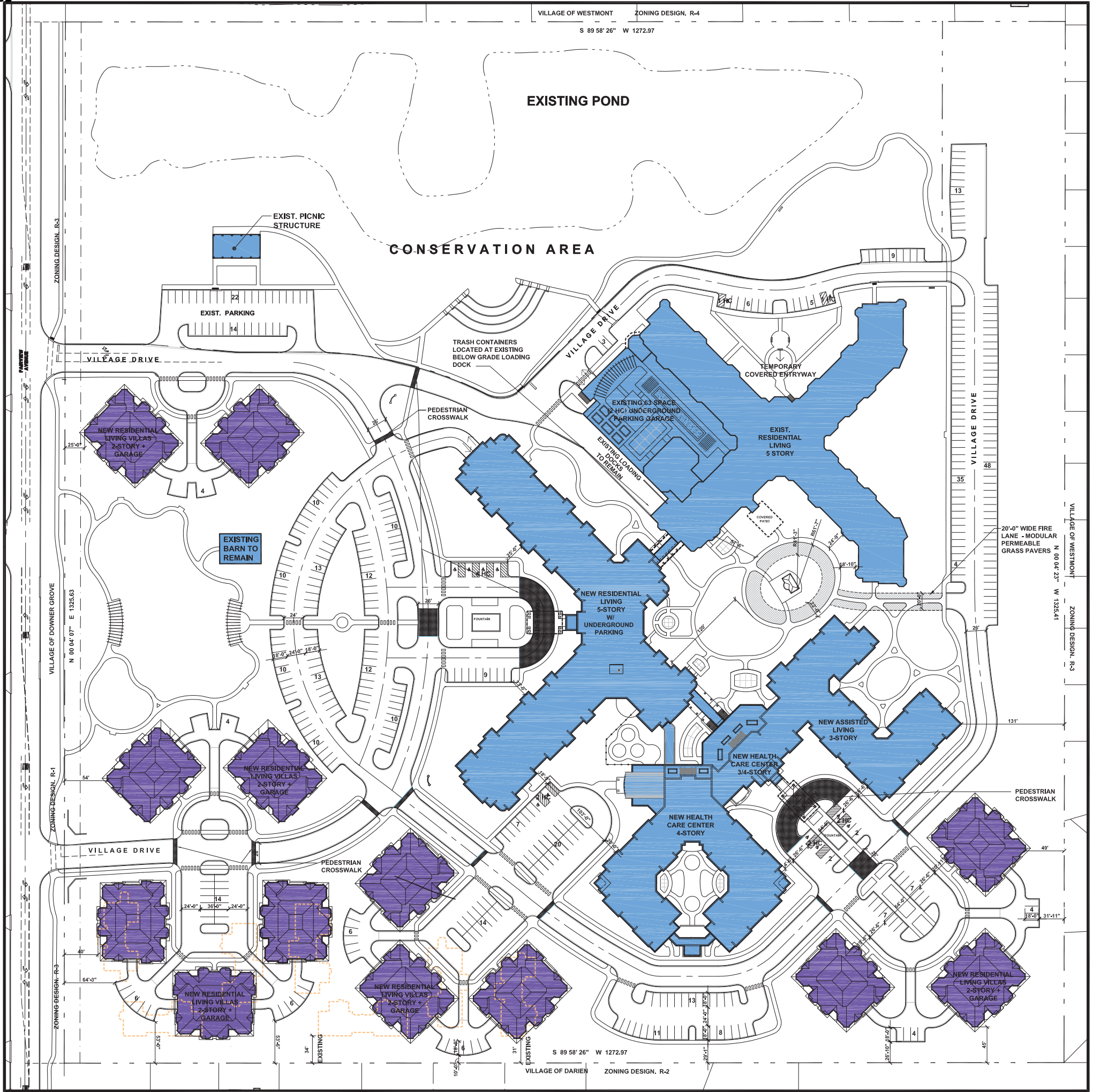
UNIT CALCULATIONS				
DESCRIPTION	EXISTING CAMPUS (UNITS/BEDS)	APPROVED PROPOSAL FROM 2010 (EXIST TO REMAIN + PROPOSED)	2017 CURRENT PROPOSAL PHASE III (NEW UNITS/BEDS)	PHASE III (NEW + EXIST UNITS/BEDS)
SKILLED NURSING SUITES	160 SUITES	117 SUITES	0 SUITES	62 SUITES
SHORT TERM REHAB SUITES	0 SUITES	0 SUITES	0 SUITES	32 SUITES
MEMORY SUPPORT SUITES	0 SUITES	0 SUITES	0 SUITES	28 SUITES
ASSISTED LIVING APTS	72 APTS	80 APTS	0 APTS	66 APTS
RESIDENTIAL LIVING APTS	218 APTS	414 APTS	0 APTS	378 APTS
RESIDENTIAL LIVING VILLAS	56 APTS	50 APTS	104 APTS	104 APTS
TOTAL UNITS	506 UNITS	661 UNITS	104 UNITS	670 UNITS

SITE PLAN - FINAL/PHASE III

SCALE: 1"=60'-0"



A4
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Redevelopment Plan

HEALTHCARE CENTER (AL/STN/MS/SN):

HEALTH CARE CENTER:

- 4 STORY W/ PARTIAL BASEMENT
- 228,413 SF TOTAL BUILDING (INCLUDING 2-STORY SPACES/BASEMENT)
- HEALTHCARE CENTER AREA: 101,515 SF
 - SHORT TERM NURSING: 26,768 SF
 - APARTMENTS: 11,304 SF
 - COMMONS: 7,618 SF
 - CIRCULATION: 5,903 SF
 - BOH/EXT WALL: 1,943 SF
 - MEMORY SUPPORT: 24,539 SF
 - APARTMENTS: 9,086 SF
 - COMMONS: 6,543 SF
 - CIRCULATION: 6,062 SF
 - BOH/EXT WALL: 2,848 SF
 - SKILLED NURSING: 50,208 SF
 - APARTMENTS: 22,244 SF
 - COMMONS: 11,523 SF
 - CIRCULATION: 11,068 SF
 - BOH/EXT WALL: 5,373 SF
- ASSISTED LIVING AREA: 126,898 SF (INCLUDING 5,143 SF OF 2-STORY SPACES)
 - AL APARTMENTS: 43,641 SF
 - AL COMMONS: 25,686 SF (NOT INCLUDING 2-STORY SPACES)
 - AL CIRCULATION: 29,305 SF
 - AL BASEMENT: 16,903 SF
 - AL BACK OF HOUSE/EXT WALL: 23,123 SF
 - AL ROOF TERRACES: 3,323 SF (NOT INCLUDED IN TOTAL SF)
 - AL 2 STORY SPACES: 5,143 SF

SKILLED NURSING

- 4-STORY BUILDING WING
- 2 NEIGHBORHOODS OF SHORT TERM REHAB ON 1ST FLOOR
- 4 NEIGHBORHOODS OF SKILLED NURSING ON 3RD/4TH FLOORS
- (32) PRIVATE SHORT TERM REHAB SUITES
- (62) SKILLED NURSING SUITES = 70 BEDS
- TOTAL: 94 SUITES, 102 BEDS

MEMORY SUPPORT

- 2 NEIGHBORHOODS OF 14 SUITES = 28 MS PRIVATE SUITE ON 2ND FLOOR

ASSISTED LIVING

- 3-STORY BUILDING WING
- 3 NEIGHBORHOODS OF AL APARTMENTS ON FIRST-THIRD FLOORS
- (63) 1-BED APARTMENTS
- (3) 2-BED APARTMENTS
- TOTAL: 66 APARTMENTS

COMMONS

- 3 STORY CENTRAL WING

CODE ANALYSIS:

- OCCUPANCY: I-2
- CONSTRUCTION TYPE: IB
- FULLY SPRINKLERED
- 2-HR BEARING WALLS, COLUMNS AND BEAMS
- 2-HR FLOOR AND ROOF ASSEMBLIES
- 2-HR EXIT STAIRS/SHAFTS

STRUCTURAL SYSTEMS

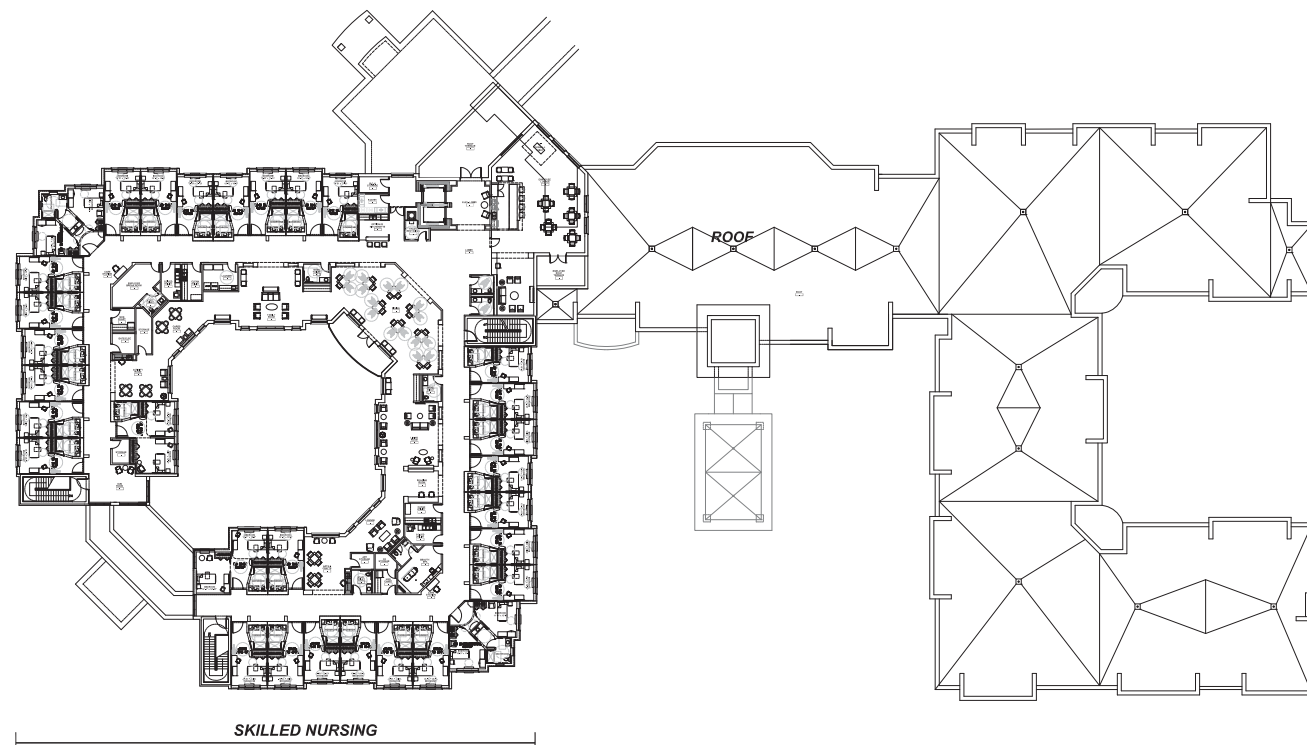
- CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
- CIP CONCRETE LOWER LEVEL AND FIRST FLOOR STRUCTURE
- LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS (FLOORS 1-4)
- LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF TRUSSES (FLOORS 2-ROOF)

MECHANICAL SYSTEMS

- VTAC (MAGIC-PAK) IN EACH RESIDENT APARTMENT - AL
- PTAC IN EACH RESIDENT SUITES - HEALTHCARE CENTER
- ROOF TOP UNITS FOR COMMON AREAS

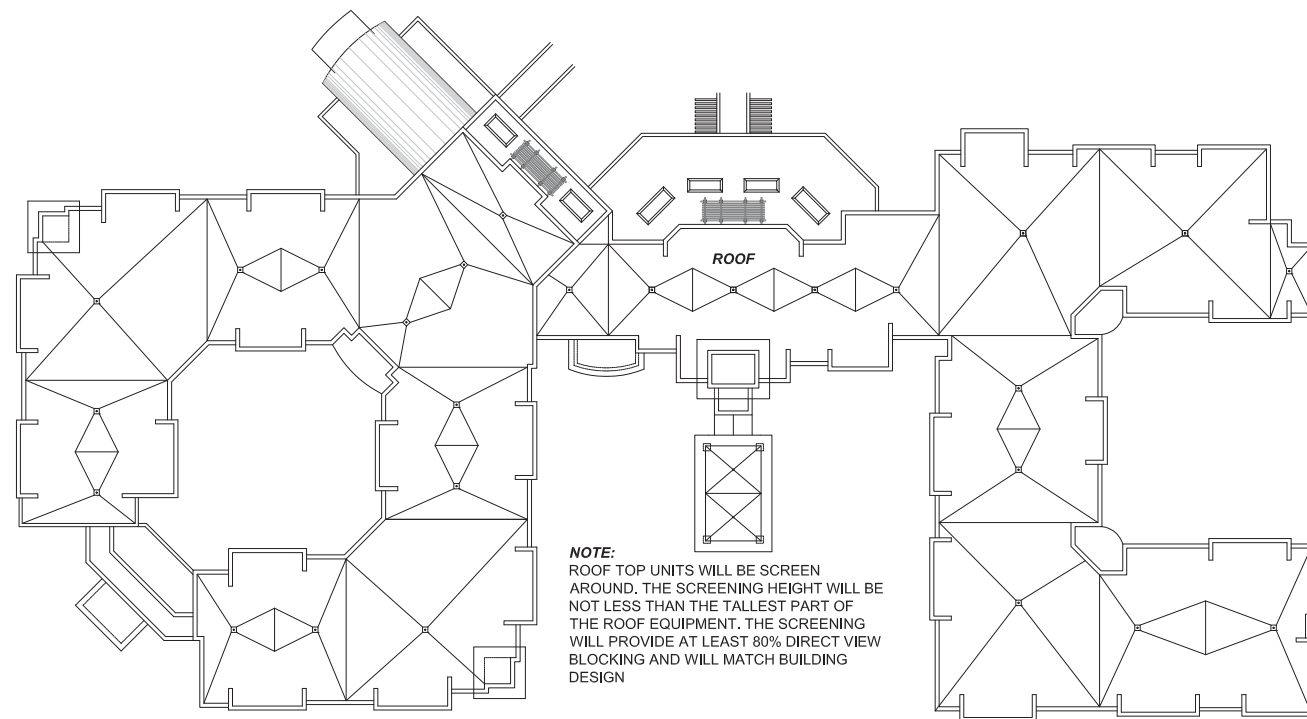
EXTERIOR MATERIALS

- NATURAL STONE (10%), BRICK (65%), CEMENT FIBER PANELS (25%)
- CEMENT FIBER SOFFIT AND TRIM
- LOW-E INSULATED VINYL WINDOWS
- PARAPET ROOFING & TPO ROOFING



HEALTHCARE CENTER - FLOOR 4

SCALE: 1/32" = 1'-0"



NOTE:
ROOF TOP UNITS WILL BE SCREEN AROUND. THE SCREENING HEIGHT WILL BE NOT LESS THAN THE TALLEST PART OF THE ROOF EQUIPMENT. THE SCREENING WILL PROVIDE AT LEAST 80% DIRECT VIEW BLOCKING AND WILL MATCH BUILDING DESIGN

HEALTHCARE CENTER - ROOF PLAN

SCALE: 1/32" = 1'-0"



HEALTHCARE CENTER FOURTH FLOOR / ROOF PLANS



PROJECT TEAM	
OWNER	LANDSCAPE ARCHITECT
LIFESPACE COMMUNITIES 4201 CORPORATE DR, WEST DES MOINES, IA 50266 (515) 309-7803 FAX: (515) 288-5911 E-MAIL: brian.devlin@lifespacecommunities.com	TESKA ASSOCIATES, INC. 627 GROVE ST, EVANSTON, IL 60201 (847) 563-9720 FAX: (847) 471-4166 E-MAIL: npatera@teskaassociates.com
DEVELOPER	STRUCTURAL ENGINEER
GREYSTONE COMMUNITIES, INC. 225 E. JOHN CARPENTER FWY, IRVING, TX 75062 (972) 402-3758 E-MAIL: pgleason@greystonecommunities.com	BOWMAN BARRETT ASSOCIATES 130 E. RANDOLPH SUITE 2650 CHICAGO, IL 60604 (312) 288-0100 FAX: (312) 228-0706 E-MAIL: mknobel@bbandainc.com
ARCHITECT	PRE-CONSTRUCTION SERVICES
SAS ARCHITECTS and PLANNERS, LLC 630 DUNDEE ROAD, NORTHBROOK, IL 60062 (847) 564-8333 FAX: (847) 564-9989 E-MAIL: moyer@sasarch.com	PEPPER CONSTRUCTION 411 LAKE ZURICH ROAD, BARRINGTON, IL 60010 (847) 381-2760 E-MAIL: jcreath@pepperconstruction.com
CIVIL ENGINEERS	
GEWALT HAMILTON ASSOCIATES, INC. 625 FOREST EDGE DRIVE, VERNON HILLS, IL 60061 (847) 478-9700 FAX: (847) 478-9701 E-MAIL: dmatthews@gha-engineers.com	

ZONING DATA						
DESCRIPTION	CODE REQUIREMENTS	EXISTING CAMPUS	APPROVED PROPOSAL (2010) (EXIST TO REMAIN+ PROPOSED)	2017 CURRENT PROPOSAL		
				PHASE I (NEW + EXISTING TO REMAIN)	PHASE II (NEW + EXISTING TO REMAIN)	PHASE III (NEW + EXISTING TO REMAIN)
ZONING CATEGORY	R-5A (PD 32)	R-5A (PD 32)	R-5A (PD 32)	R-5A (PD 32)	R-5A (PD 32)	R-5A (PD 32)
USE	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY
UNIT COUNT - DU/ACRE	10.98 DU/ACRE MAX	13.05 DU/ACRE	17.05 DU/ACRE	11.19 DU/ACRE	15.01 DU/ACRE	17.28 DU/ACRE
GROSS SITE AREA	-	1,687,647 SF (38.77 ACRES)	1,687,647 SF (38.77 ACRES)	1,687,647 SF (38.77 ACRES)	1,687,647 SF (38.77 ACRES)	1,687,647 SF (38.77 ACRES)
BUILDING AREA	-	519,981 SF	885,352 SF	696,127 SF	883,009 SF	1,156,230 SF
FLOOR AREA RATIO (FAR)	0.8	.31	.52	.412	.523	.685
BUILDING COVERAGE	32% MAX COVERAGE	206,209 SF (12.2%)	266,648 SF (15.8%)	236,620 SF (14.0%)	221,967 SF (13.2%)	294,130 SF (17.4%)
FRONT SETBACKS	25 FEET	20'-0"	150'-0"	20'-0"	42'-4"	24'-0"
REAR SETBACKS	20 FEET	89'-0"	240'-0"	130'-0"	130'-0"	49'-0"
SIDE SETBACKS	GREATER OF 10% LOT WIDTH OR 5 FEET ± 127.2 FEET	353'-4" N / 34'-6" S	353'-4" N / 34'-6" S	353'-4" N / 34'-6" S	353'-4" N / 34'-2" S	353'-4" N / 31'-4" S
HEIGHT	35 FEET	± 53 FEET	55'-10"	±60 FEET	±68 FEET	±68 FEET
PARKING	APT/CONDO: .6 SPACES/DU GROUP LIVING: .5 SPACES/BED APT/CONDO (ALL): .4 SPACES/DU HOUSEHOLD: 2 SPACES/DU	352 REQUIRED 414 PROVIDED (13 HC SPACES)	559 REQUIRED 685 PROVIDED	279 REQUIRED 389 PROVIDED (11 HC SPACES)	351 REQUIRED 555 PROVIDED (17 HC SPACES)	527 REQUIRED 752 PROVIDED (28 HC SPACES)

UNIT CALCULATIONS								
DESCRIPTION	EXISTING CAMPUS (UNITS/BEDS)	APPROVED PROPOSAL FROM 2010 (EXIST TO REMAIN + PROPOSED)	2017 CURRENT PROPOSAL					
			PHASE I (NEW UNITS/BEDS)	PHASE I (NEW + EXIST UNITS/BEDS)	PHASE II (NEW UNITS/BEDS)	PHASE II (NEW + EXIST UNITS/BEDS)	PHASE III (NEW UNITS/BEDS)	PHASE III (NEW + EXIST UNITS/BEDS)
SKILLED NURSING SUITES	160 SUITES	117 SUITES	62 SUITES	62 SUITES	0 SUITES	62 SUITES	0 SUITES	62 SUITES
SHORT TERM REHAB SUITES	0 SUITES	0 SUITES	32 SUITES	32 SUITES	0 SUITES	32 SUITES	0 SUITES	32 SUITES
MEMORY SUPPORT SUITES	0 SUITES	0 SUITES	28 SUITES	28 SUITES	0 SUITES	28 SUITES	0 SUITES	28 SUITES
ASSISTED LIVING APTS	72 APTS	80 APTS	66 APTS	66 APTS	0 APTS	66 APTS	0 APTS	66 APTS
RESIDENTIAL LIVING APTS	218 APTS	414 APTS	0 APTS	218 APTS	160 APTS	378 APTS	0 APTS	378 APTS
RESIDENTIAL LIVING VILLAS	56 APTS	50 APTS	0 APTS	28 APTS	0 APTS	16 APTS	104 APTS	104 APTS
TOTAL UNITS	506 UNITS	661 UNITS	188 UNITS	434 UNITS	160 UNITS	582 UNITS	104 UNITS	670 UNITS
SUMMARY								
TOTAL UNITS EXISTING CAMPUS	506 TOTAL UNITS							
TOTAL UNITS 2010 PROPOSAL	661 TOTAL UNITS							
TOTAL UNITS 2017 PROPOSAL	670 TOTAL UNITS							

PARKING STUDY					
TYPE	UNITS/BED	FORMULA	REQUIRED	ACTUAL	REMARKS
EXISTING					
SKILLED NURSING SUITES	160 BEDS	.5 SPACES/ BED	80 SPACES	79 SPACES (3 HC)	CALCULATED PER BED
SHELTERED CARE SUITES	72 APARTMENTS	.4 SPACES/ DWELLING UNIT	29 SPACES		CALCULATED BY DWELLING UNIT
RESIDENTIAL LIVING APARTMENTS	218 APARTMENTS	.6 SPACES/ DWELLING UNIT	131 SPACES	218 SPACES (10 HC)	CALCULATED BY DWELLING UNIT
RESIDENTIAL LIVING TOWNHOUSES	56 APARTMENTS	2 SPACES/ DWELLING UNIT	112 SPACES	117 SPACES	CALCULATED BY DWELLING UNIT
SUB-TOTAL:			352 SPACES	414 SPACES (13 HC)	17.6% OVER REQUIRED PARKING
PHASE I (NEW+EXIST)					
SKILLED NURSING SUITES	70 BEDS	.5 SPACES/ BED	35 SPACES	118 SPACES (4 HC)	CALCULATED PER BED
SHORT TERM REHAB SUITES	32 BEDS	.5 SPACES/ BED	16 SPACES		CALCULATED PER BED
MEMORY SUPPORT SUITES	28 BEDS	.5 SPACES/ BED	14 SPACES		CALCULATED PER BED
ASSISTED LIVING APARTMENTS	66 APARTMENTS	.4 SPACES/ DWELLING UNIT	27 SPACES		CALCULATED BY DWELLING UNIT
RESIDENTIAL LIVING APARTMENTS	218 APARTMENTS	.6 SPACES/ DWELLING UNIT	131 SPACES		211 SPACES (7 HC)
RESIDENTIAL LIVING TOWNHOUSES	28 APARTMENTS	2 SPACES/ DWELLING UNIT	56 SPACES	59 SPACES	CALCULATED BY DWELLING UNIT
SUB-TOTAL:			279 SPACES	389 SPACES (11 HC)	39.4% OVER REQUIRED PARKING
PHASE II (NEW+EXIST)					
SKILLED NURSING SUITES	70 BEDS	.5 SPACES/ BED	35 SPACES	139 SPACES (6 HC)	CALCULATED PER BED
SHORT TERM REHAB SUITES	32 BEDS	.5 SPACES/ BED	16 SPACES		CALCULATED PER BED
MEMORY SUPPORT SUITES	28 BEDS	.5 SPACES/ BED	14 SPACES		CALCULATED PER BED
ASSISTED LIVING APARTMENTS	66 APARTMENTS	.4 SPACES/ DWELLING UNIT	27 SPACES		CALCULATED BY DWELLING UNIT
RESIDENTIAL LIVING APARTMENTS	378 APARTMENTS	.6 SPACES/ DWELLING UNIT	227 SPACES		392 SPACES (11 HC)
RESIDENTIAL LIVING TOWNHOUSES	16 APARTMENTS	2 SPACES/ DWELLING UNIT	32 SPACES	24 SPACES	CALCULATED BY DWELLING UNIT
SUB-TOTAL:			351 SPACES	555 SPACES (17 HC)	58.1% OVER REQUIRED PARKING
PHASE III (NEW+EXIST)					
SKILLED NURSING SUITES	70 BEDS	.5 SPACES/ BED	35 SPACES	127 SPACES (4 HC)	CALCULATED PER BED
SHORT TERM REHAB SUITES	32 BEDS	.5 SPACES/ BED	16 SPACES		CALCULATED PER BED
MEMORY SUPPORT SUITES	28 BEDS	.5 SPACES/ BED	14 SPACES		CALCULATED PER BED
ASSISTED LIVING APARTMENTS	66 APARTMENTS	.4 SPACES/ DWELLING UNIT	27 SPACES		CALCULATED BY DWELLING UNIT
RESIDENTIAL LIVING APARTMENTS	378 APARTMENTS	.6 SPACES/ DWELLING UNIT	227 SPACES		349 SPACES (11 HC)
RESIDENTIAL LIVING VILLAS	104 APARTMENTS	2 SPACES/ DWELLING UNIT	208 SPACES	276 SPACES (13 HC)	CALCULATED BY DWELLING UNIT
TOTAL:			527 SPACES	752 SPACES (28 HC)	42.7% OVER REQUIRED PARKING
NUMBER OF ACCESSIBLE SPACES:		501-1,000 = 2% OF TOTAL		15 ACCESSIBLE SPACES REQUIRED, 28 PROVIDED	



A LIFESPACE COMMUNITY 200 VILLAGE DRIVE, DOWNERS GROVE, IL **Redevelopment Plan**

CODE STUDY	
HEALTHCARE CENTER BUILDING: BUILDING CLASSIFICATION: I-2 CONSTRUCTION TYPE: TYPE IB FULLY SPRINKLERED 2-HR BEARING WALLS, COLUMNS AND BEAMS 2-HR INT BEARING WALLS, COLUMNS AND BEAMS 2-HR EXIT STAIRS/SHAFTS	RESIDENTIAL LIVING VILLAS: BUILDING CLASSIFICATION: R-2 CONSTRUCTION TYPE: TYPE IIB FULLY SPRINKLERED 2-HR EXTERIOR BEARING WALLS 0-HR INT BEARING WALLS, COLUMNS AND BEAMS 0-HR FLOOR AND ROOF ASSEMBLIES 0-HR EXIT STAIRS/SHAFTS
RESIDENTIAL LIVING BUILDING: BUILDING CLASSIFICATION: R-2 CONSTRUCTION TYPE: TYPE IIB FULLY SPRINKLERED 1-HR BEARING WALLS, COLUMNS AND BEAMS 1-HR FLOOR AND ROOF ASSEMBLIES 1-HR EXIT STAIRS/SHAFTS	
ACCESSIBILITY REQUIREMENTS: ELEVATORS – THESE FULLY COMPLY WITH HANDICAP ACCESSIBILITY REQUIREMENTS. INCLUDING SIZE AND CONTROL LOCATIONS PER IAC SECTION 400.310(G). DOORS – ALL DOORS COMPLY WITH HANDICAP CODE REQUIREMENTS PER IAC SECTION 400.310(J). REFER TO A600 SERIES (DOOR SCHEDULE) FOR CONFORMATION OF SIZES AND HARDWARE, A1000 SERIES (FLOOR PLANS) FOR CONFIRMATION OF APPROACH AND CLEARANCE ISSUES. CONTROLS – ALL CONTROLS AND OPERATING MECHANISMS WILL COMPLY WITH HANDICAP ACCESSIBILITY REQUIREMENTS PER IAC SECTION 400.310(R). ALARMS – ALARMS WILL COMPLY WITH ALL CODE REQUIREMENTS FOR THIS TYPE OF FACILITY PER IAC SECTION 400.310(S). FLASHING IS SYNCHRONIZED AND IN COMPLIANCE FOR INTENSITY AND FREQUENCY. SIGNAGE – SIGNAGE WILL BE INSTALLED PER IAC SECTION 400.310(U). ACCESSIBLE ROUTE – WILL BE PROVIDED IN ALL COMMON AREAS AND AISLES, AND BE MINIMUM WIDTH OF 36" AND COMPLY FULLY WITH IAC SECTION 400.310(A). AREAS OF RESCUE ASSISTANCE – THIS BUILDING HAS A FULLY AUTOMATIC SPRINKLER SYSTEM, PER IAC SECTION 400.310(A)(5). AREAS OF RESCUE ASSISTANCE ARE PROVIDED IN ENCLOSED EXIT STAIRS. 2-WAY COMMUNICATION HAS BEEN PROVIDED AS SHOWN ON THE LIFE SAFETY DRAWINGS (A000 SERIES). ACCESSIBLE ENTRANCE – THIS HAS BEEN PROVIDED TO COMPLY TO IAC SECTION 400.310(K). DETECTABLE WARNINGS – HAVE BEEN PROVIDED ON ALL OPEN STAIRS AND AT TOP OF THE STAIRS PER IAC SECTION 400.310(T).	

APPLICABLE CODES
CURRENT DOWNERS GROVE ZONING ORDINANCE 2006 INTERNATIONAL BUILDING CODE WITH D.G. AMENDMENTS 2014 NATIONAL ELECTRIC CODE WITH D.G. AMENDMENTS CURRENT STATE OF ILLINOIS PLUMBING CODE 2006 INTERNATIONAL MECHANICAL CODE WITH D.G. AMENDMENTS 2006 INTERNATIONAL FUEL GAS CODE WITH D.G. AMENDMENTS 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH D.G. AMENDMENTS & STATE OF ILLINOIS AMENDMENTS 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE WITH D.G. AMENDMENTS 2006 INTERNATIONAL FIRE CODE WITH D.G. AMENDMENTS 2012 LIFE SAFETY CODE – NFPA 101 CURRENT STATE OF ILLINOIS ACCESSIBILITY CODE * DOWNER'S GROVE TO ADOPT 2015 INTERNATIONAL CODE COUNCIL FAMILY OF CODES IN 2017. UTILIZE THE MOST STRINGENT SET OF CODES/REGULATIONS.

PROJECT INFORMATION

SCALE: N/A





A LIFESPACE COMMUNITY™

A LIFESPACE COMMUNITY
 200 VILLAGE DRIVE, DOWNERS GROVE, IL
Redevelopment Plan

HEALTHCARE CENTER (AL/STN/MS/SN):

HEALTH CARE CENTER:

- 4 STORY W/ PARTIAL BASEMENT
- 228,413 SF TOTAL BUILDING (INCLUDING 2-STORY SPACES/BASEMENT)
- HEALTHCARE CENTER AREA: 101,515 SF
 - SHORT TERM NURSING: 26,768 SF
 - APARTMENTS: 11,304 SF
 - COMMONS: 7,618 SF
 - CIRCULATION: 5,903 SF
 - BOH/EXT WALL: 1,943 SF
- MEMORY SUPPORT: 24,539 SF
 - APARTMENTS: 9,086 SF
 - COMMONS: 6,543 SF
- CIRCULATION: 6,062 SF
- BOH/EXT WALL: 2,848 SF
- SKILLED NURSING: 50,208 SF
 - APARTMENTS: 22,244 SF
 - COMMONS: 11,523 SF
- CIRCULATION: 11,068 SF
- BOH/EXT WALL: 5,373 SF
- ASSISTED LIVING AREA: 126,898 SF (INCLUDING 5,143 SF OF 2-STORY SPACES)
 - AL APARTMENTS: 43,641 SF
 - AL COMMONS: 25,686 SF (NOT INCLUDING 2-STORY SPACES)
 - AL CIRCULATION: 29,305 SF
 - AL BASEMENT: 16,903 SF
 - AL BACK OF HOUSE/EXT WALL: 23,123 SF
 - AL ROOF TERRACES: 3,323 SF (NOT INCLUDED IN TOTAL SF)
 - AL 2 STORY SPACES: 5,143 SF

SKILLED NURSING

- 4-STORY BUILDING WING
- 2 NEIGHBORHOODS OF SHORT TERM REHAB ON 1ST FLOOR
- 4 NEIGHBORHOODS OF SKILLED NURSING ON 3RD/4TH FLOORS
- (32) PRIVATE SHORT TERM REHAB SUITES
- (62) SKILLED NURSING SUITES = 70 BEDS
- TOTAL: 94 SUITES, 102 BEDS

MEMORY SUPPORT

- 2 NEIGHBORHOODS OF 14 SUITES = 28 MS PRIVATE SUITE ON 2ND FLOOR

ASSISTED LIVING

- 3-STORY BUILDING WING
- 3 NEIGHBORHOODS OF AL APARTMENTS ON FIRST-THIRD FLOORS
- (63) 1-BED APARTMENTS
- (3) 2-BED APARTMENTS
- TOTAL: 66 APARTMENTS

COMMONS

- 3 STORY CENTRAL WING

CODE ANALYSIS:

- OCCUPANCY: I-2
- CONSTRUCTION TYPE: IB
- FULLY SPRINKLERED
- 2-HR BEARING WALLS, COLUMNS AND BEAMS
- 2-HR FLOOR AND ROOF ASSEMBLIES
- 2-HR EXIT STAIRS/SHAFTS

STRUCTURAL SYSTEMS

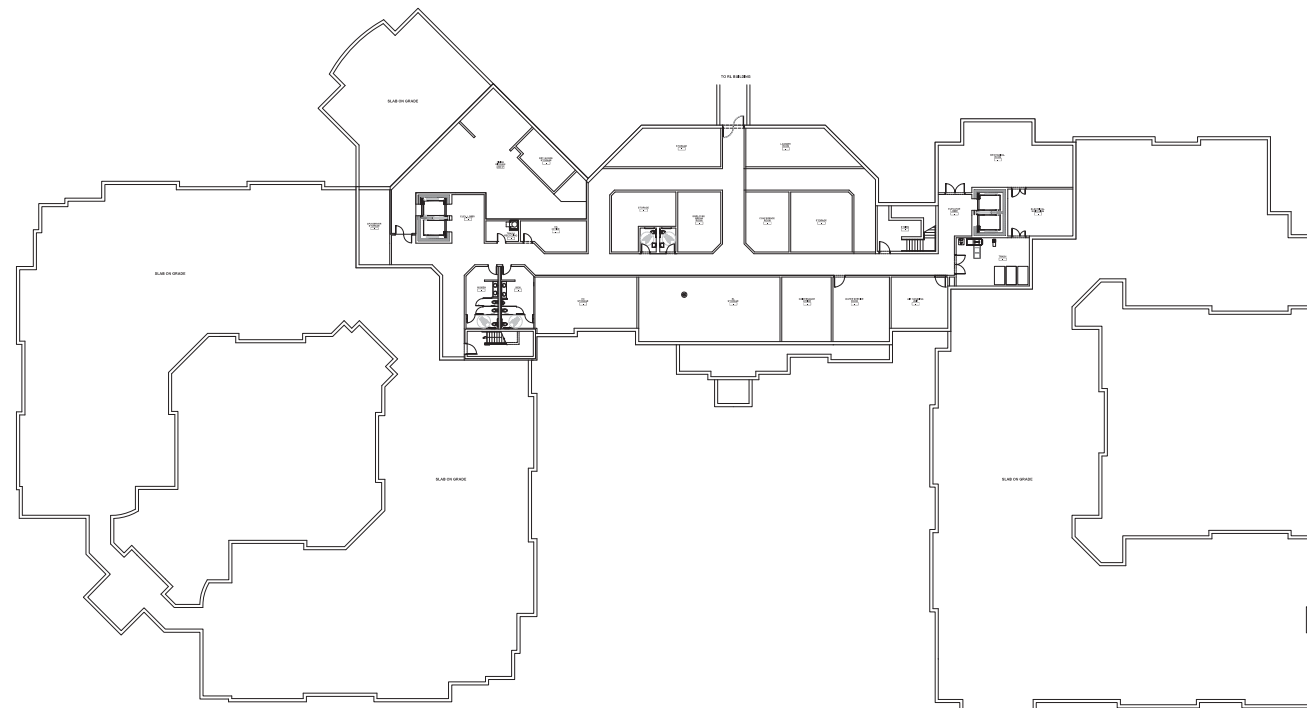
- CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
- CIP CONCRETE LOWER LEVEL AND FIRST FLOOR STRUCTURE
- LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS (FLOORS 1-4)
- LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF TRUSSES (FLOORS 2-ROOF)

MECHANICAL SYSTEMS

- VTAC (MAGIC-PAK) IN EACH RESIDENT APARTMENT - AL
- PTAC IN EACH RESIDENT SUITES - HEALTHCARE CENTER
- ROOF TOP UNITS FOR COMMON AREAS

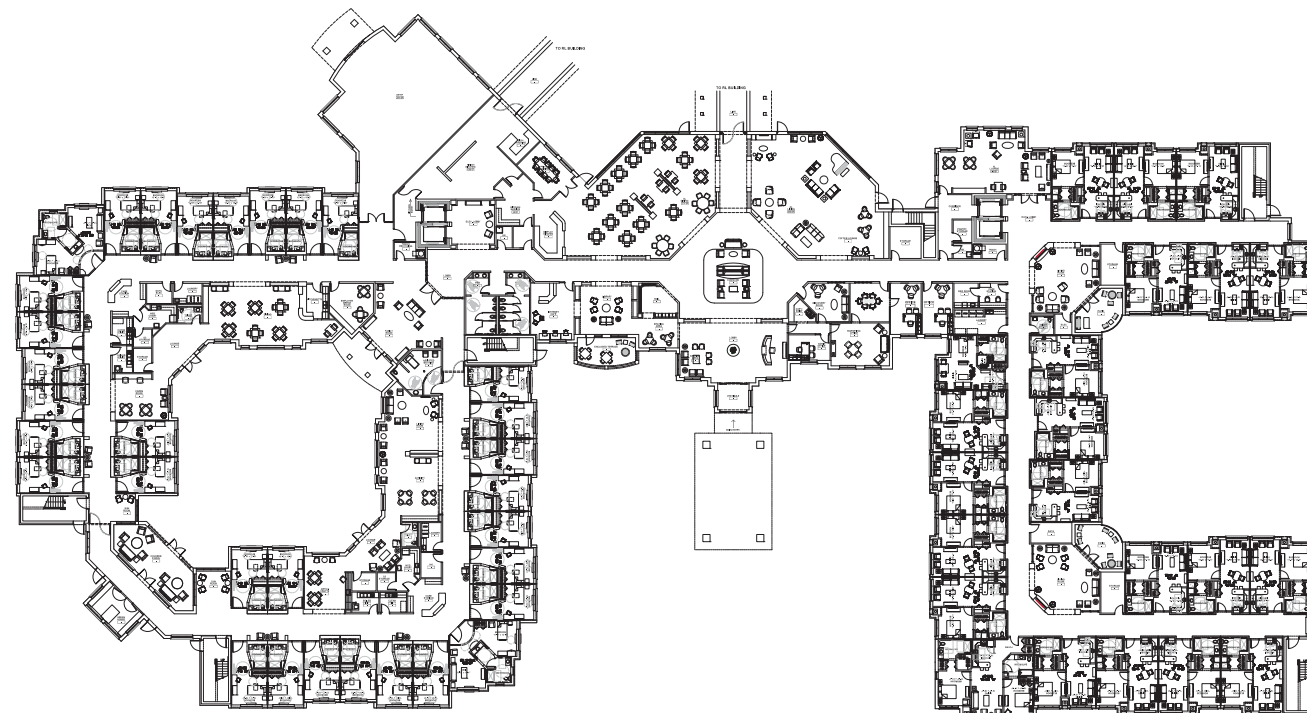
EXTERIOR MATERIALS

- NATURAL STONE (10%), BRICK (65%), CEMENT FIBER PANELS (25%)
- CEMENT FIBER SOFFIT AND TRIM
- LOW-E INSULATED VINYL WINDOWS
- PARAPET ROOFING & TPO ROOFING



HEALTHCARE CENTER - BASEMENT

SCALE: 1/32" = 1'-0"



SHORT TERM REHAB

ASSISTED LIVING COMMONS

ASSISTED LIVING APARTMENTS

HEALTHCARE CENTER - FLOOR 1

SCALE: 1/32" = 1'-0"



HEALTHCARE CENTER BASEMENT / FIRST FLOOR PLANS

HC1





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 - BOH/EXT WALL: 2,848 SF
 - CIRCULATION: 11,068 SF
 - BOH/EXT WALL: 5,373 SF

SKILLED NURSING

- 4-STORY BUILDING WING
- 2 NEIGHBORHOODS OF SHORT TERM REHAB ON 1ST FLOOR
- 4 NEIGHBORHOODS OF SKILLED NURSING ON 3RD/4TH FLOORS
- (32) PRIVATE SHORT TERM REHAB SUITES
- (62) SKILLED NURSING SUITES = 70 BEDS
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MEMORY SUPPORT

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ASSISTED LIVING

- 3-STORY BUILDING WING
- 3 NEIGHBORHOODS OF AL APARTMENTS ON FIRST-THIRD FLOORS
- (63) 1-BED APARTMENTS
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CODE ANALYSIS:

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- CONSTRUCTION TYPE: IB
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- 2-HR EXIT STAIRS/SHAFTS

STRUCTURAL SYSTEMS

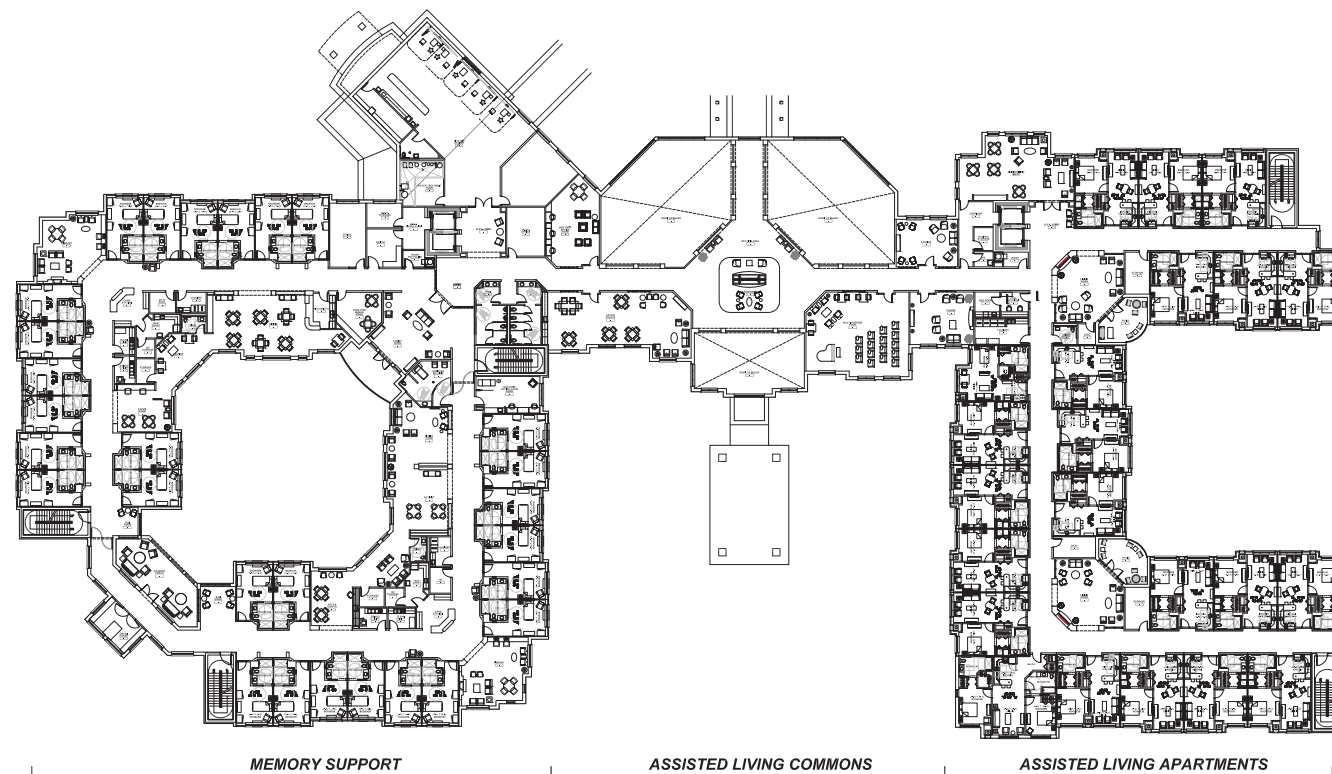
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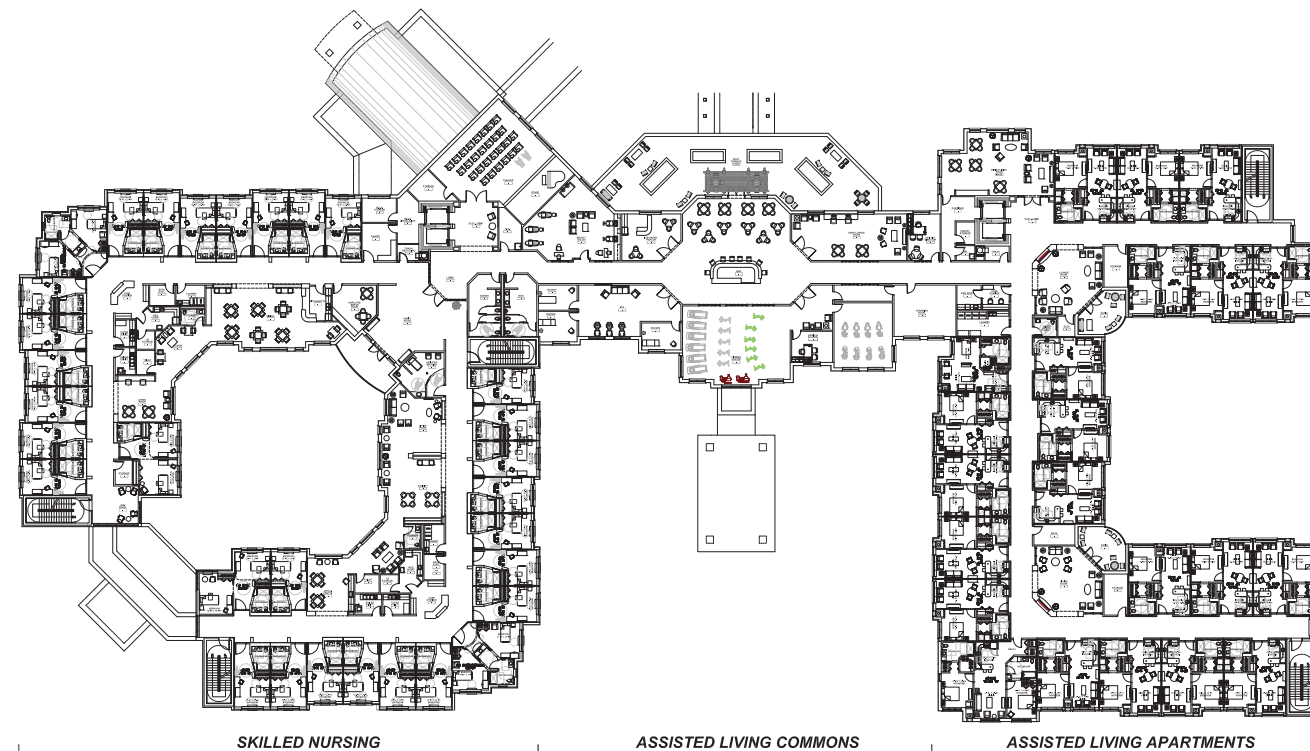
EXTERIOR MATERIALS

- NATURAL STONE (10%), BRICK (65%), CEMENT FIBER PANELS (25%)
- CEMENT FIBER SOFFIT AND TRIM
- LOW-E INSULATED VINYL WINDOWS
- PARAPET ROOFING & TPO ROOFING



HEALTHCARE CENTER - FLOOR 2

SCALE: 1/32" = 1'-0"

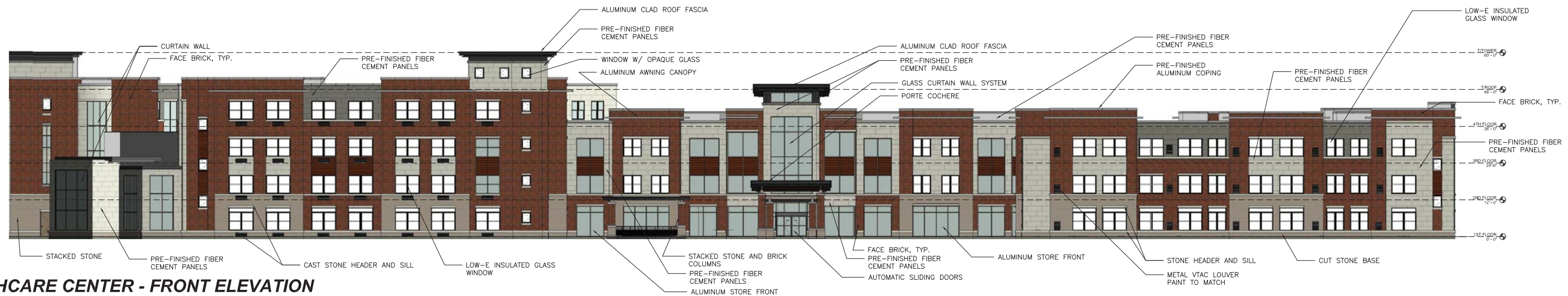


HEALTHCARE CENTER - FLOOR 3

SCALE: 1/32" = 1'-0"

HEALTHCARE CENTER SECOND / THIRD FLOOR PLANS

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HEALTHCARE CENTER - FRONT ELEVATION

SCALE: 1/16" = 1'-0"



HEALTHCARE CENTER ENTRY PERSPECTIVE

SCALE: N.T.S

HEALTHCARE CENTER EXTERIOR ELEVATIONS

SCALE: 1/16"=1'-0"

HC4

 **SAS Architects & Planners, LLC**
 630 Dundee Road Northbrook, IL 60062 847 564-8333 fax. 847 564-9989 www.sasarch.com

ZONING SUBMITTAL - JANUARY 13, 2017 © 2017 SAS ARCHITECTS AND PLANNERS, LLC

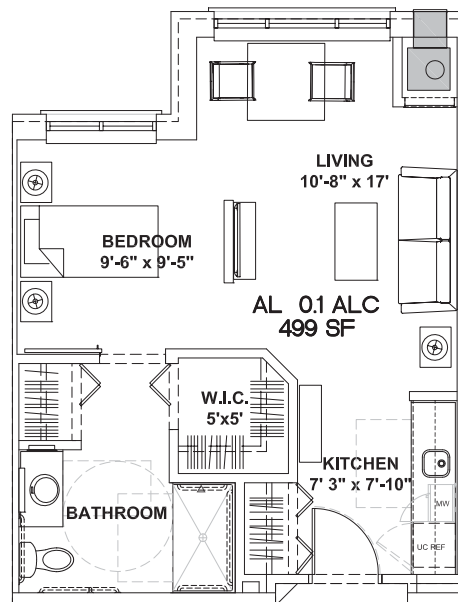


OAK TRACE™

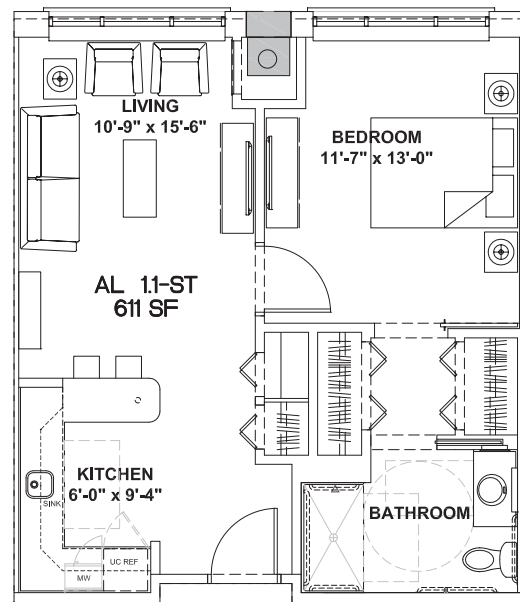
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A LIFESPACE COMMUNITY
200 VILLAGE DRIVE, DOWNERS GROVE, IL

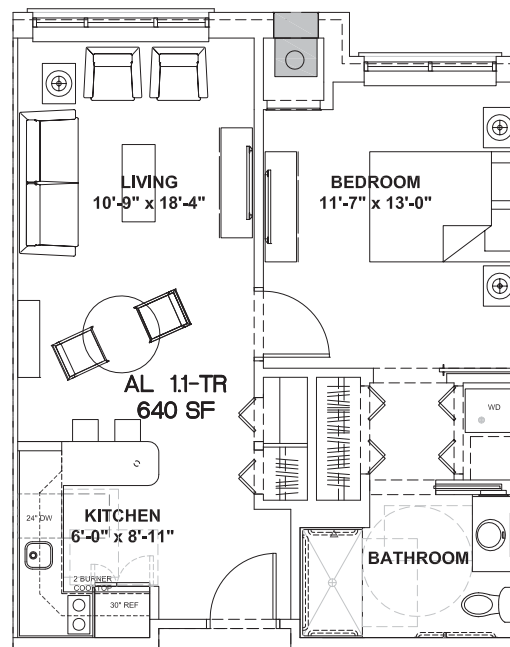
Redevelopment Plan



1 AL 0.1-ALCOVE
SCALE: 1/4"=1'-0"



2 AL 1.1-STANDARD
SCALE: 1/4"=1'-0"



3 AL 1.1-TRADITIONAL
SCALE: 1/4"=1'-0"

HEALTH CARE CENTER									
APARTMENT/SUITE	PROG	ACTUAL	1ST	2ND	3RD	4TH	ACTUAL	PROG	
AL - 0.1 ALCOVE	450	494	1	1	1	0	3	4	
AL - 1.1 STANDARD	600	611	7	7	7	0	21	22	
AL - 1.1 TRADITIONAL	620	640	13	13	13	0	39	37	
AL - 2.2 CLASSIC	840	1057	1	1	1	0	3	4	
AL - ASSISTED LIVING - TOTAL									66
MS - 1.1 STANDARD	284	0	0	0	0	0	0	26	
MS - 1.1 TRADITIONAL	384	308	0	28	0	0	28	2	
MS - MEMORY SUPPORT - TOTAL									28
SN - 1.1 STANDARD	315	321	0	0	27	27	54	60	
SN - 2.1 STANDARD	630	542	0	0	1	1	2	-	
SN - 2.1B STANDARD	630	550	0	0	1	1	2	-	
SN - 2.1 TRADITIONAL	630	620	0	0	2	2	4	6	
SN - SKILLED NURSING - TOTAL									62
STN - 1.1 STANDARD	320	321	30	0	0	0	30	30	
STN - 1.1 DELUXE	-	620	2	0	0	0	2	-	
STN - SHORT TERM REHAB - TOTAL									32

ASSISTED LIVING APARTMENT AMENITIES													
APARTMENT/SUITE	UNIT AREA	LIN. FT. COUNT.	LIN. FT. HANG. SPACE	STOVE		REFRIG.		KITCH. SINK		MICRO WAVE	DW	PANTRY	W/D
				COOK TOP	MINI	30" W ICE MKR	SGL						
AL 0.1 ALCOVE	499	7'-9"	15'-6"		●			●	●				
AL 1.1 STANDARD	611	17'-4"	12'-5"		●			●	●			●	
AL 1.1 TRADITIONAL	640	13'-11"	8'	●		●		●	●		●	●	●
AL 2.2 CLASSIC	1057	14'-8"	19'-9"	●		●		●	●		●	●	●

ASSISTED LIVING APARTMENTS:

IBC: 4% ACCESSIBLE, ALL OTHERS TYPE B
IAC: 20% ADAPTABLE

GENERAL

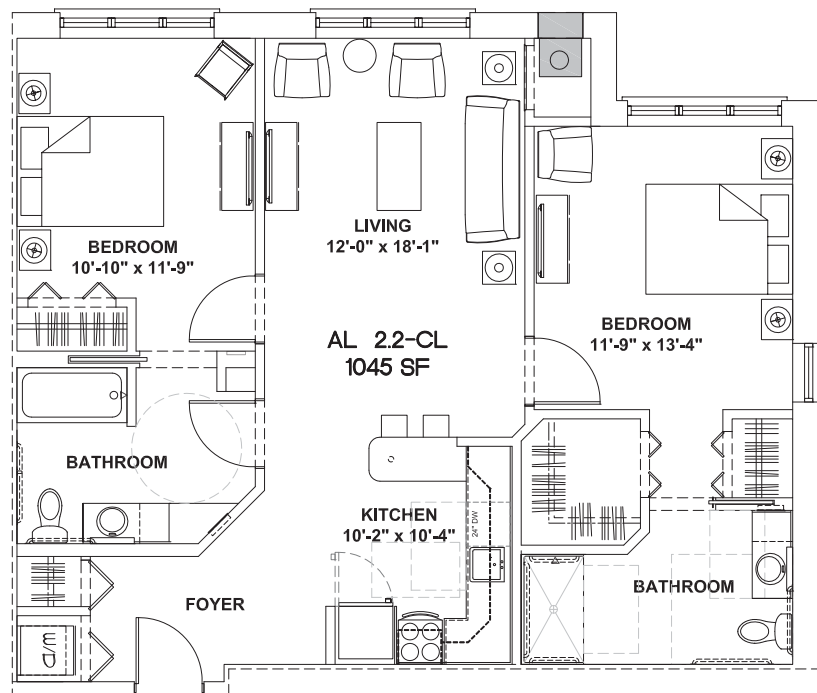
- LOCKABLE MEDICINE CABINETS
- SPRING HINGE DOORS : SUBJECT TO AHJ
- CEILING HEIGHTS: ±9'-0"
- TV/PHONE/CABLE: SMART PANEL WITHIN CLOSETS WITH ABILITY FOR PHONE CONNECTION

BEDROOMS

- FURNITURE: 2 NIGHTSTANDS, DRESSER

BATHROOMS

- TOILET ACCESSORIES:
 - MEDICINE CABINET
 - MIRROR
 - TOWEL BAR
 - ROBE HOOK
 - TOILET PAPER DISPENSER
- GRAB BARS (ADA UNITS - SHOWERS AND TOILETS)
- GRAB BARS (NON-ADA UNITS - BLOCKING FOR FUTURE INSTALLATION - SPECIFY EXTRA GRAB BARS (20% OF ADAPT. ROOMS) FOR FUTURE INSTALL IN SPECS)
- SHOWER
 - 34" x 60" SHOWER
 - PREFABRICATED SHOWER UNITS
 - FOLDABLE SEAT WITHIN SHOWER
- 17" COMFORT HEIGHT TANK TOILET



4 AL 2.2-CLASSIC
SCALE: 1/4"=1'-0"

ASSISTED LIVING APARTMENT PLANS

HC6

SAS Architects & Planners, LLC
630 Dundee Road Northbrook, IL 60062 847 564-8333 fax. 847 564-9989 www.sasarch.com



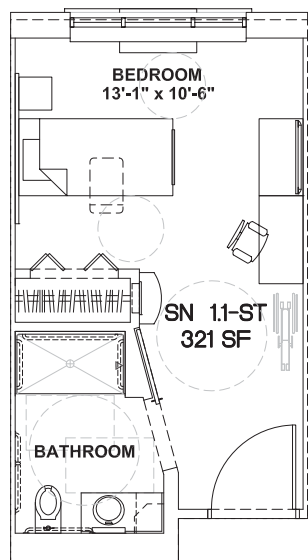
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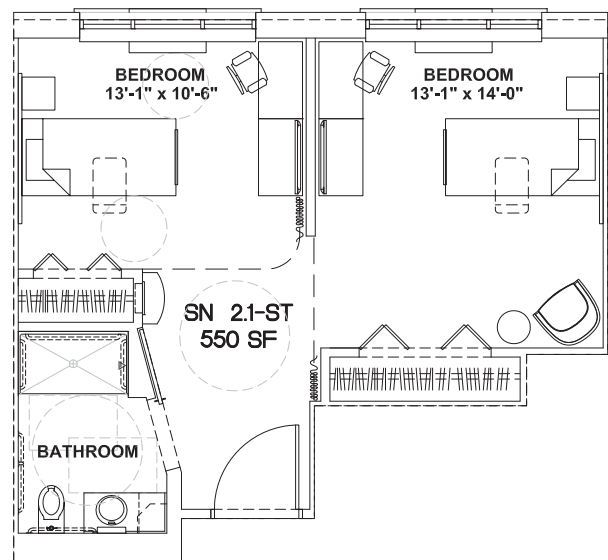
A LIFESPACE COMMUNITY
200 VILLAGE DRIVE, DOWNERS GROVE, IL

Redevelopment Plan

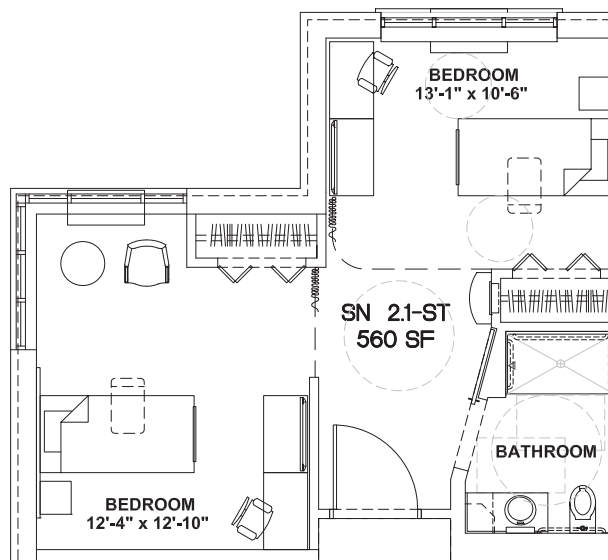
HEALTH CARE CENTER									
APARTMENT/SUITE	PROG	ACTUAL	1ST	2ND	3RD	4TH	ACTUAL	PROG	
AL - 0.1 ALCOVE	450	494	1	1	1	0	3	4	
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AL - 2.2 CLASSIC	840	1057	1	1	1	0	3	4	
AL - ASSISTED LIVING - TOTAL								66	67
MS - 1.1 STANDARD	284	0	0	0	0	0	0	26	
MS - 1.1 TRADITIONAL	384	308	0	28	0	0	28	2	
MS - MEMORY SUPPORT - TOTAL								28	28
SN - 1.1 STANDARD	315	321	0	0	27	27	54	60	
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SN - 2.1B STANDARD	630	550	0	0	1	1	2	-	
SN - 2.1 TRADITIONAL	630	620	0	0	2	2	4	6	
SN - SKILLED NURSING - TOTAL								62	66
STN - 1.1 STANDARD	320	321	30	0	0	0	30	30	
STN - 1.1 DELUXE	-	620	2	0	0	0	2	-	
STN - SHORT TERM REHAB - TOTAL								32	30



1 SN 1.1-STANDARD
SCALE: 1/4"=1'-0"

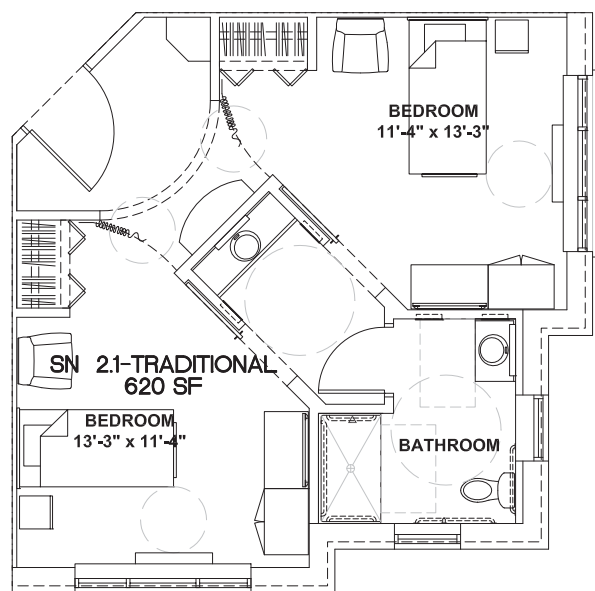


2 SN 2.1-STANDARD
SCALE: 1/4"=1'-0"

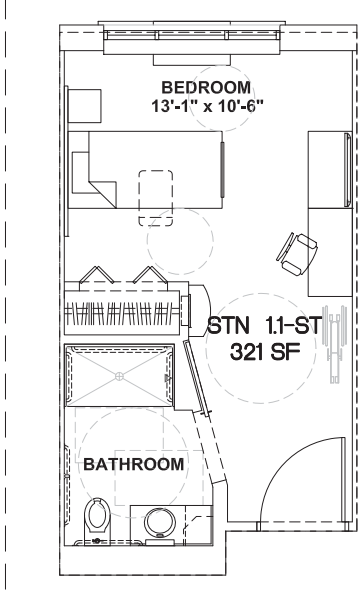


3 SN 2.1B-STANDARD
SCALE: 1/4"=1'-0"

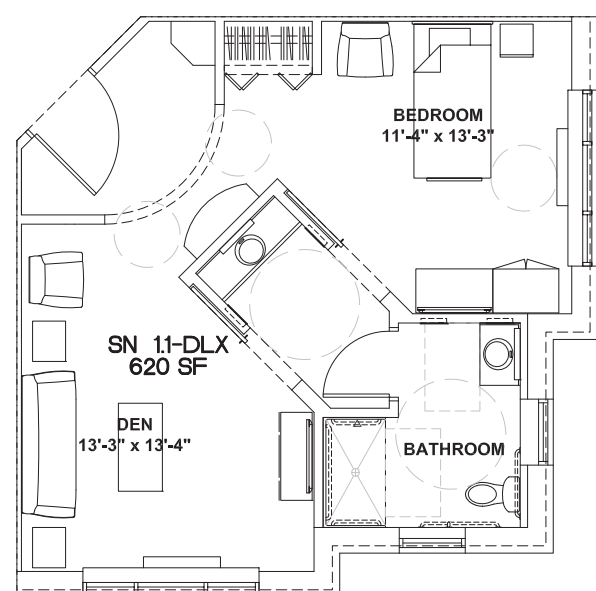
SKILLED NURSING SUITES



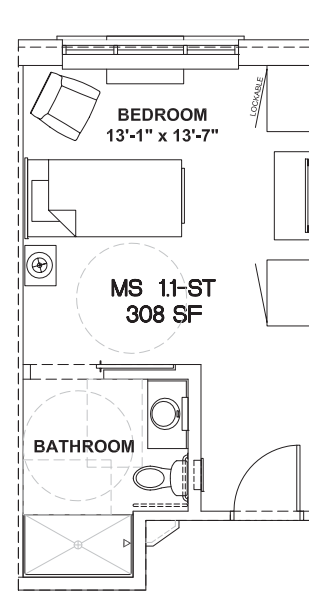
4 SN 2.1-TRADITIONAL
SCALE: 1/4"=1'-0"



5 STN 1.1-STANDARD
SCALE: 1/4"=1'-0"



6 STN 1.1-DELUXE
SCALE: 1/4"=1'-0"



7 MS 1.1-TRADITIONAL
SCALE: 1/4"=1'-0"

SKILLED NURSING SUITES

SHORT TERM NURSING SUITES

MEMORY SUPPORT SUITES

**SKILLED NURSING SUITES/
SHORT TERM REHAB:**

IBC: 50% ACCESSIBLE, ALL OTHERS TYPE B

- GENERAL**
- LOCKABLE MEDICINE CABINETS
 - FREE SWING CLOSERS
 - CEILING HEIGHTS: ±9'-0"
 - TV/PHONE/CABLE: SMART PANEL WITHIN CLOSETS WITH ABILITY FOR PHONE CONNECTION
 - CURTAIN TRACKS FOR SEMI-PRIVATE ROOMS
 - WIRELESS NURSE CALL SYSTEM
- BEDROOMS**
- FURNITURE: 1 NIGHTSTANDS, 1 DRESSER, SEATING
- BATHROOMS**
- TOILET ACCESSORIES:
 - MEDICINE CABINET
 - MIRROR
 - TOWEL BAR
 - ROBE HOOK
 - TOILET PAPER DISPENSER
 - GRAB BARS (ADA UNITS - SHOWERS AND TOILETS)
 - GRAB BARS (NON-ADA UNITS - BLOCKING FOR FUTURE INSTALLATION - SPECIFY EXTRA GRAB BARS (20% OF ADAPT. ROOMS) FOR FUTURE INSTALL IN SPECS)
 - SHOWER
 - 34" x 60" SHOWER
 - PREFABRICATED SHOWER
 - FOLDABLE SEAT WITHIN SHOWER
 - 17" COMFORT HEIGHT FLUSH VALVE TOILET

MEMORY SUPPORT SUITES (1-1):

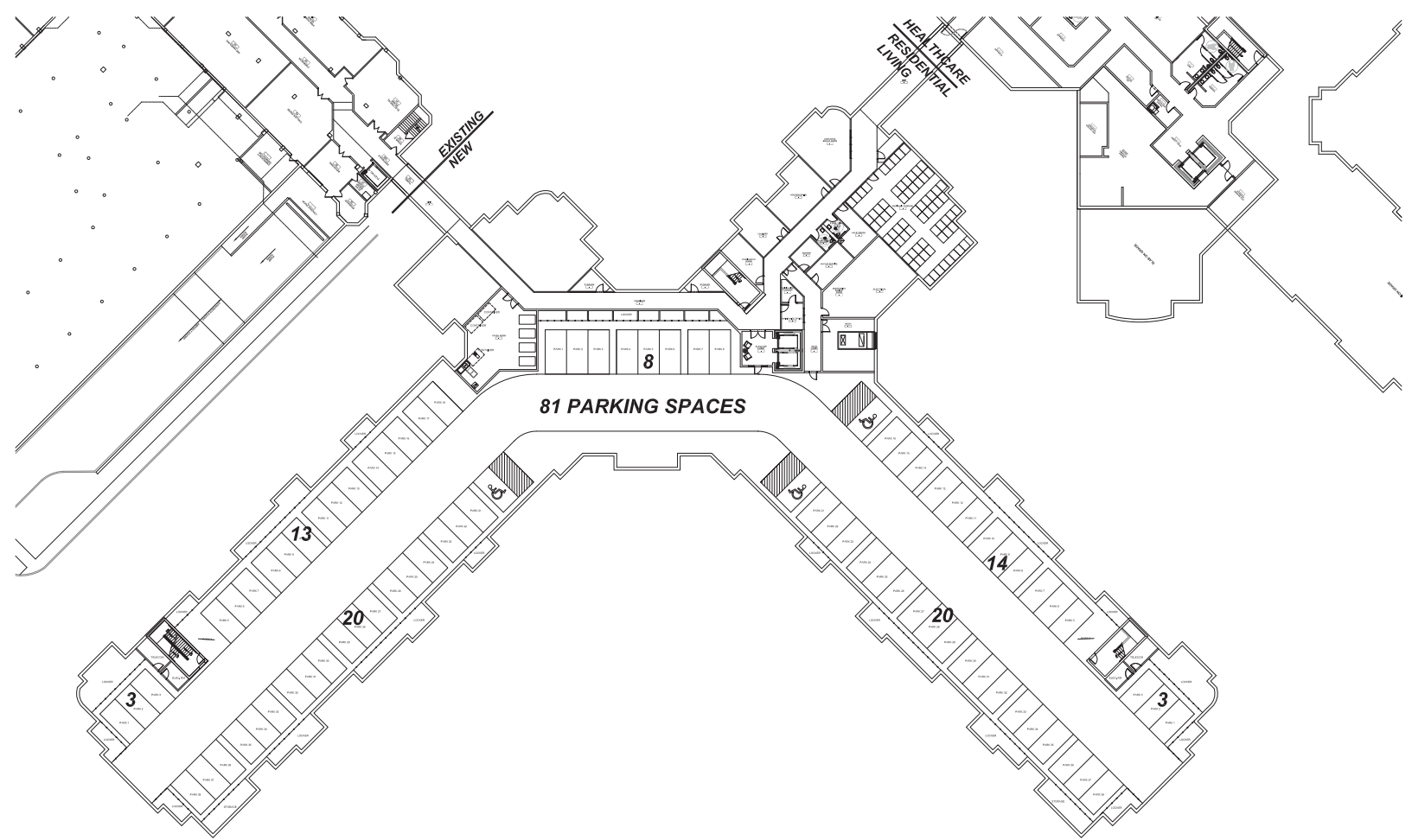
IBC: 4% ACCESSIBLE, ALL OTHERS TYPE B
IAC: 20% ADAPTABLE

- GENERAL**
- LOCKABLE MEDICINE CABINETS
 - SPRING HINGE DOORS: SUBJECT TO AHJ
 - CEILING HEIGHTS: ±9'-0"
 - WALL MOUNTED TVS - O.F.C.I.
 - WIRELESS RESIDENT MONITORING SYSTEM
- BEDROOMS**
- FURNITURE: 1 NIGHTSTANDS, 1 DRESSER, SEATING
 - LOCKABLE WARDROBE UNITS
- BATHROOMS**
- TOILET ACCESSORIES:
 - MEDICINE CABINET
 - MIRROR
 - TOWEL BAR
 - ROBE HOOK
 - TOILET PAPER DISPENSER
 - GRAB BARS (ADA UNITS - SHOWERS AND TOILETS)
 - GRAB BARS (NON-ADA UNITS - BLOCKING FOR FUTURE INSTALLATION - SPECIFY EXTRA GRAB BARS (20% OF ADAPT. ROOMS) FOR FUTURE INSTALL IN SPECS)
 - SHOWER
 - 34" x 60" SHOWER
 - PREFABRICATED SHOWER UNITS
 - FOLDABLE SEAT WITHIN SHOWER
 - 17" H COMFORT SEAT HEIGHT TANK TOILETS

**SKILLED NURSING/ SHORT TERM REHAB
/MEMORY SUPPORT SUITE PLANS**

HC7



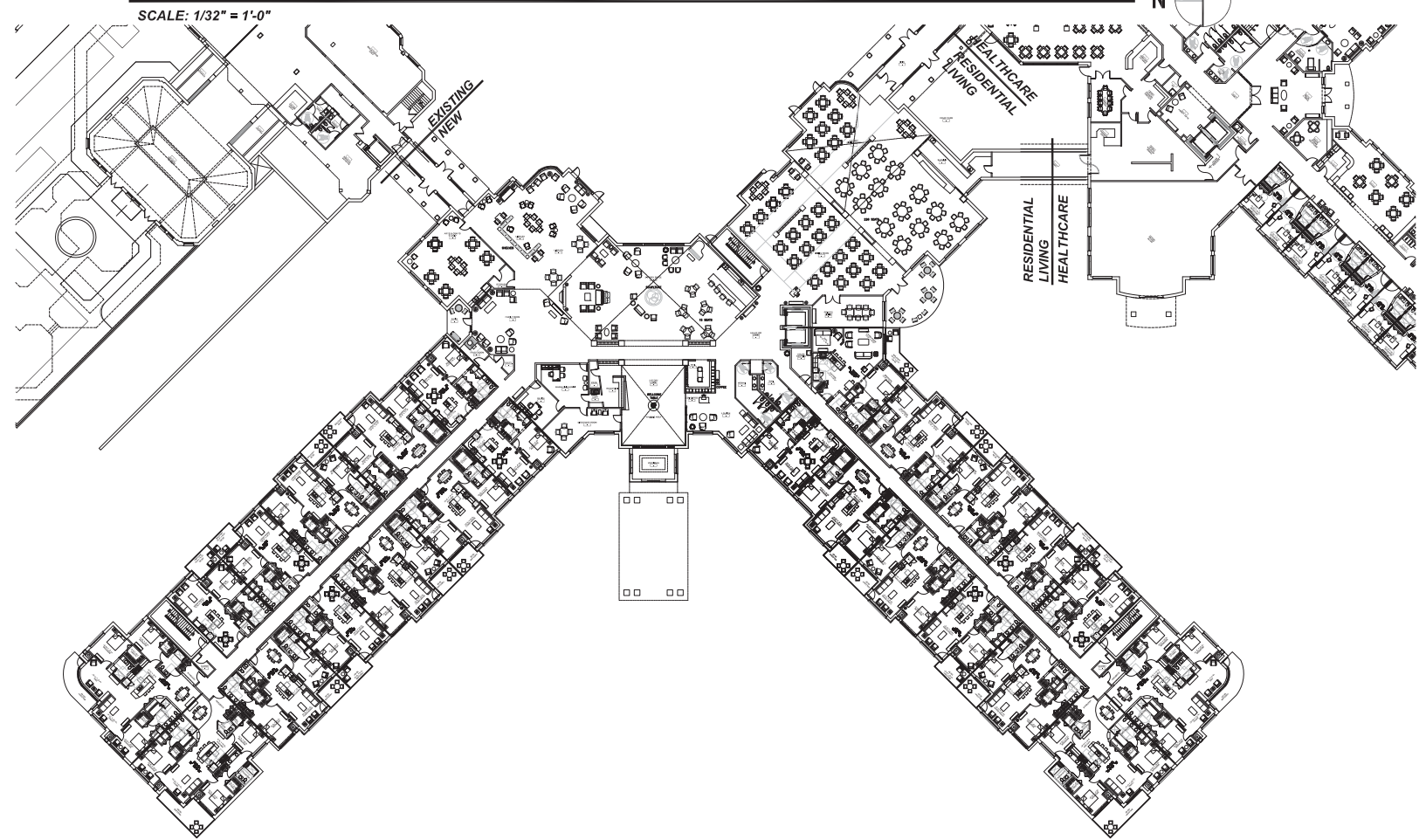


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 200 VILLAGE DRIVE, DOWNERS GROVE, IL
Redevelopment Plan

RESIDENTIAL LIVING APARTMENTS									
APARTMENTS	PROG	ACTUAL	1ST	2ND	3RD	4TH	5TH	ACTUAL	PROG
1.1 - STANDARD	825	832	3	3	4	4	4	18	24 *-6
1.1-SPECIAL	825	850	0	1	1	1	1	4	- *+4
1.1 - TRADITIONAL	900	912	6	6	6	6	6	30	24 *+6
1.1.5 - DEN	1050	1,182	1	4	6	6	6	23	24 *-1
2.2 - SPECIAL	1,200	1,240	4	5	5	5	5	24	24
2.2.5 - TRADITIONAL	1,300	1,380	6	6	6	6	6	30	24 *+6
3.2.5 - CLASSIC	1,450	1,715	2	3	3	3	3	14	24 *-10
3.3 DELUXE	1,600	1,955	2	3	4	4	4	17	12 *+5
			24	31	35	35	35	160	156*+4

*INDICATED TOTAL NUMBER OF UNITS ABOVE/BELOW PROGRAM

RESIDENTIAL LIVING BUILDING - BASEMENT/PARKING GARAGE



RESIDENTIAL LIVING BUILDING:

- 5 STORY W/ PARTIAL BASEMENT/UNDERGROUND PARKING
- 317,666 SF TOTAL BUILDING AREA (INCLUDING 2-STORY SPACES/BASEMENT)
 - RL APARTMENTS: 204,098 SF
 - RL COMMONS: 16,147 SF (NOT INCLUDING 2-STORY SPACES)
 - RL CIRCULATION: 30,589 SF
 - RL BACK OF HOUSE/EXT WALL: 5,895 SF
 - RL BASEMENT: 12,883 SF
 - RL UNDERGROUND PARKING: 39,773 SF
 - RL 2 STORY SPACES: 5,673 SF
 - RL LINKS: 2,608 SF
- CODE ANALYSIS:
 - OCCUPANCY: R-2
 - CONSTRUCTION TYPE: 2A
 - FULLY SPRINKLERED
 - 1-HR BEARING WALLS, COLUMNS AND BEAMS
 - 1-HR FLOOR AND ROOF ASSEMBLIES
 - 2-HR EXIT STAIRS/SHAFTS
- STRUCTURAL SYSTEMS
 - CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
 - CIP CONCRETE LOWER LEVEL AND FIRST FLOOR STRUCTURE
 - LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS (FLOORS 1-5)
 - LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF JOISTS (SECOND FLOOR TO ROOF)
- EXTERIOR MATERIALS
 - NATURAL STONE (10%), BRICK (65%), FIBER CEMENT PANELS (25%)
 - FIBER CEMENT SOFFIT AND TRIM
 - LOW-E VINYL WINDOWS
 - TPO ROOFING

RESIDENTIAL LIVING BUILDING - 1ST FLOOR

SCALE: 1/32" = 1'-0"

RESIDENTIAL LIVING BASEMENT / FIRST FLOOR PLANS

RL1

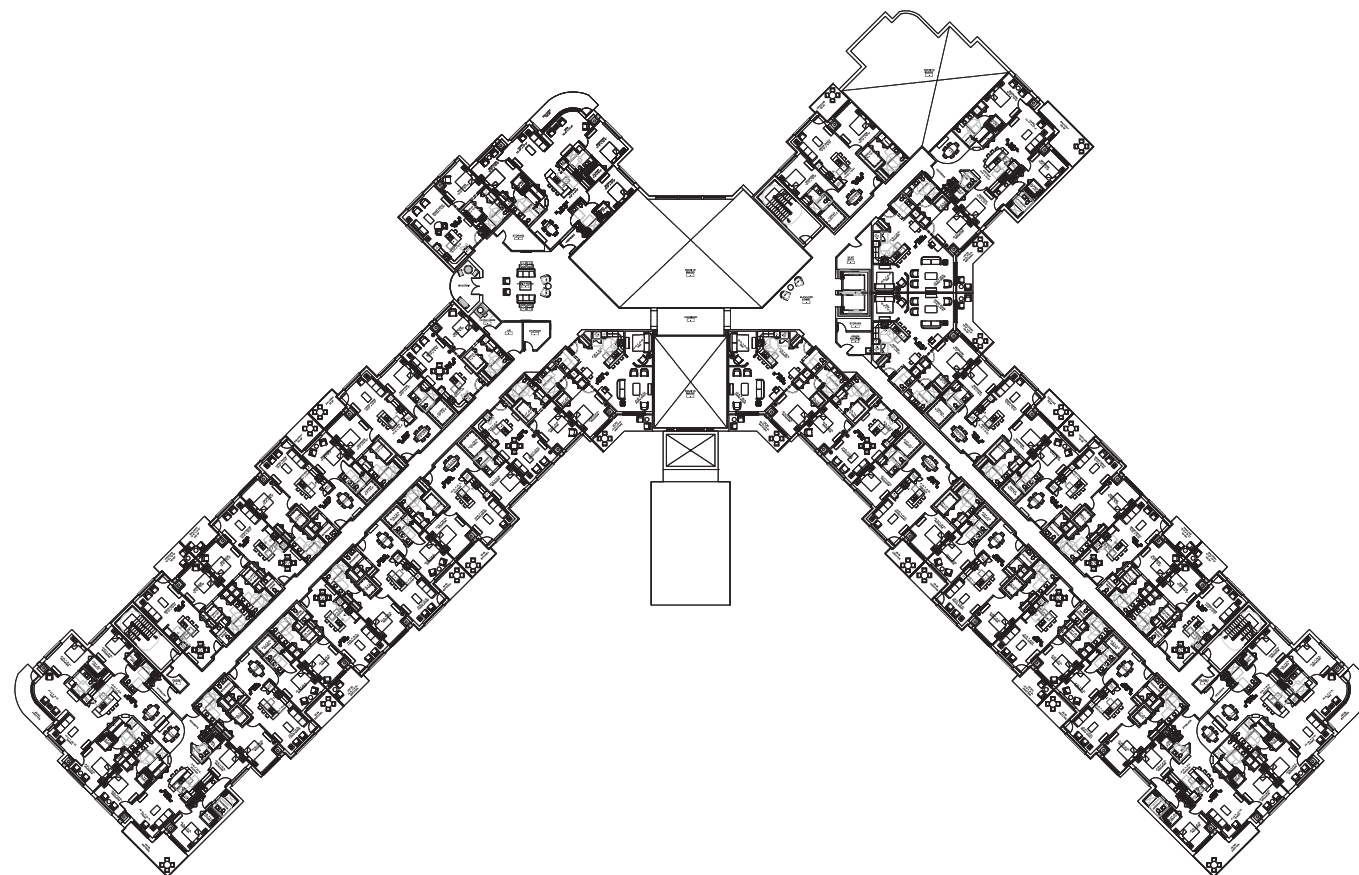




A LIFESPACE COMMUNITY™

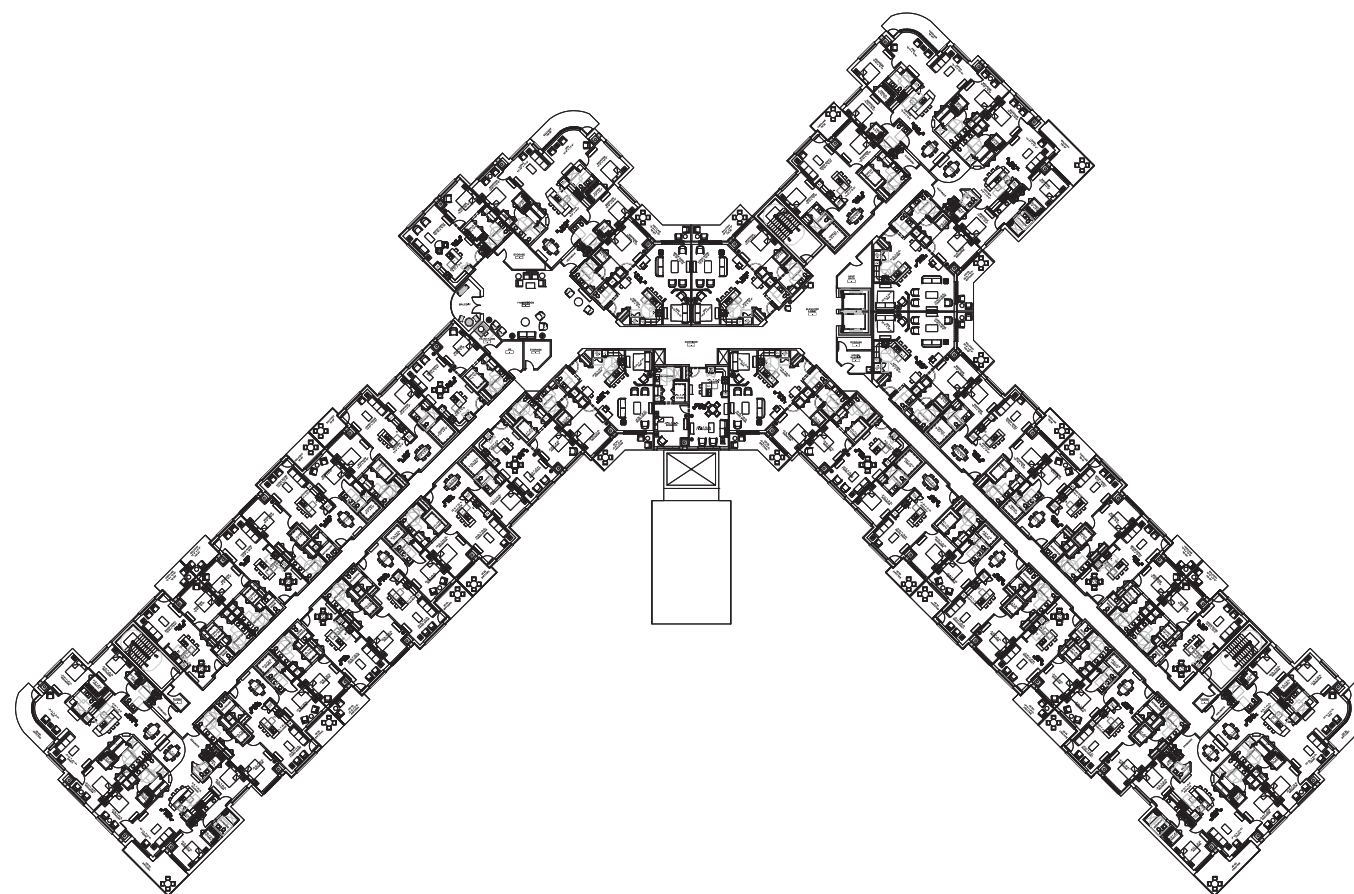
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200 VILLAGE DRIVE, DOWNERS GROVE, IL

Redevelopment Plan



RESIDENTIAL LIVING BUILDING - 2ND FLOOR

SCALE: 1/32" = 1'-0"



RESIDENTIAL LIVING BUILDING - 3RD-5TH FLOOR

SCALE: 1/32" = 1'-0"



RESIDENTIAL LIVING APARTMENTS									
APARTMENTS	PROG	ACTUAL	1ST	2ND	3RD	4TH	5TH	ACTUAL	PROG
1.1 - STANDARD	825	832	3	3	4	4	4	18	24 *-6
1.1-SPECIAL	825	850	0	1	1	1	1	4	- *+4
1.1 - TRADITIONAL	900	912	6	6	6	6	6	30	24 *+6
1.1.5 - DEN	1050	1,182	1	4	6	6	6	23	24 *-1
2.2 - SPECIAL	1,200	1,240	4	5	5	5	5	24	
2.2.5 - TRADITIONAL	1,300	1,380	6	6	6	6	6	30	24 *+6
3.2.5 - CLASSIC	1,450	1,715	2	3	3	3	3	14	24 *-10
3.3 DELUXE	1,600	1,955	2	3	4	4	4	17	12 *+5
			24	31	35	35	35	160	156*+4

*INDICATED TOTAL NUMBER OF UNITS ABOVE/ BELOW PROGRAM

RESIDENTIAL LIVING BUILDING:

- 5 STORY W/ PARTIAL BASEMENT/UNDERGROUND PARKING
- 317,666 SF TOTAL BUILDING AREA (INCLUDING 2-STORY SPACES/BASEMENT)
 - RL APARTMENTS: 204,098 SF
 - RL COMMONS: 16,147 SF (NOT INCLUDING 2-STORY SPACES)
 - RL CIRCULATION: 30,589 SF
 - RL BACK OF HOUSE/EXT WALL: 5,895 SF
 - RL BASEMENT: 12,883 SF
 - RL UNDERGROUND PARKING: 39,773 SF
 - RL 2 STORY SPACES: 5,673 SF
 - RL LINKS: 2,608 SF
- CODE ANALYSIS:
 - OCCUPANCY: R-2
 - CONSTRUCTION TYPE: 2A
 - FULLY SPRINKLERED
 - 1-HR BEARING WALLS, COLUMNS AND BEAMS
 - 1-HR FLOOR AND ROOF ASSEMBLIES
 - 2-HR EXIT STAIRS/SHAFTS
- STRUCTURAL SYSTEMS
 - CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
 - CIP CONCRETE LOWER LEVEL AND FIRST FLOOR STRUCTURE
 - LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS (FLOORS 1-5)
 - LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF JOISTS (SECOND FLOOR TO ROOF)
- EXTERIOR MATERIALS
 - NATURAL STONE (10%), BRICK (65%), FIBER CEMENT PANELS (25%)
 - FIBER CEMENT SOFFIT AND TRIM
 - VINYL WINDOWS
 - TPO ROOFING

RESIDENTIAL LIVING SECOND / UPPER FLOOR PLANS

RL2





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RESIDENTIAL LIVING - FRONT ELEVATION

SCALE: 1/16" = 1'-0"



RESIDENTIAL LIVING FRONT ENTRY PERSPECTIVE

SCALE: N.T.S



RESIDENTIAL LIVING COURTYARD PERSPECTIVE

SCALE: N.T.S

RESIDENTIAL LIVING EXTERIOR ELEVATIONS

SCALE: 1/16"=1'-0"

RL4

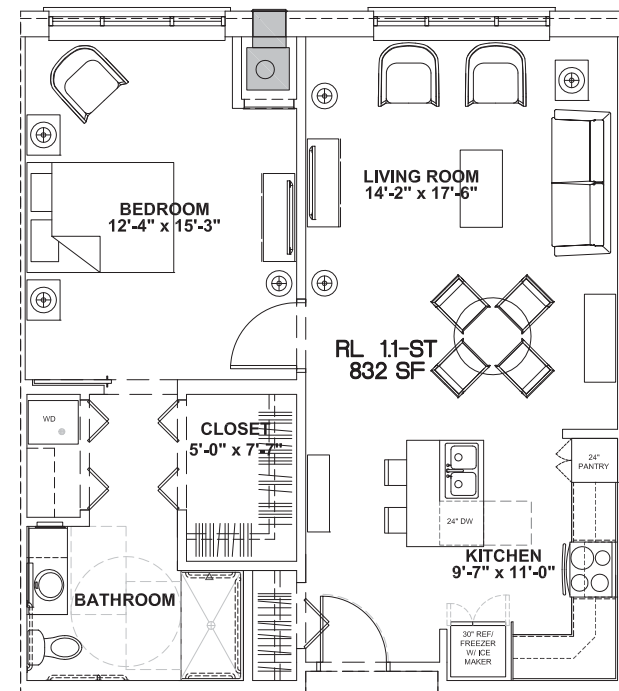




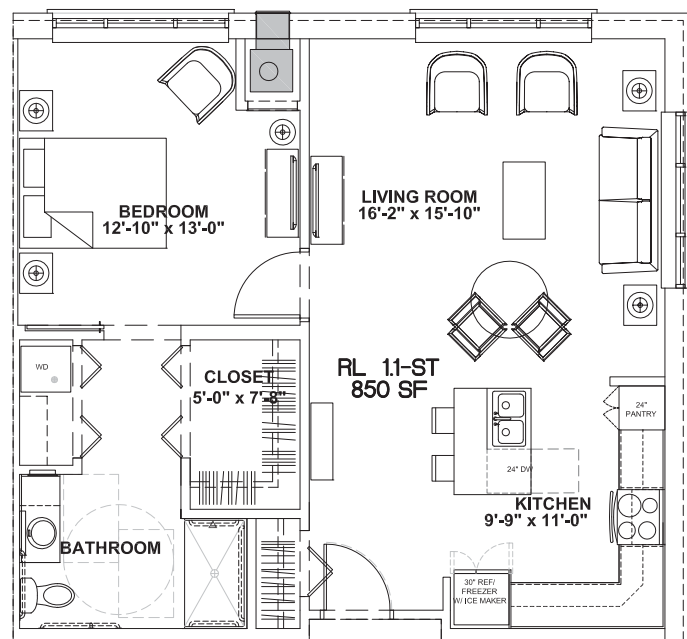
OAK TRACE™

A LIFESPACE COMMUNITY™

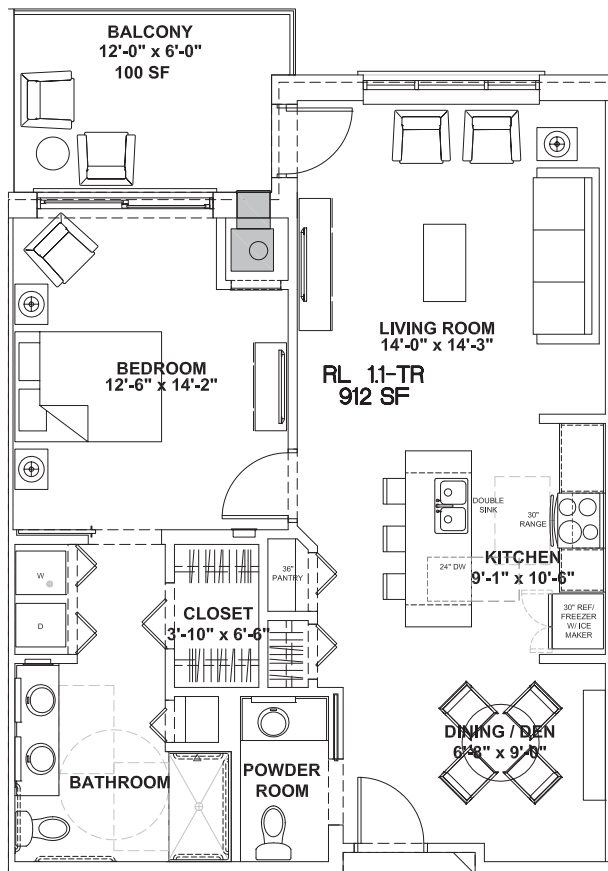
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200 VILLAGE DRIVE, DOWNERS GROVE, IL
Redevelopment Plan



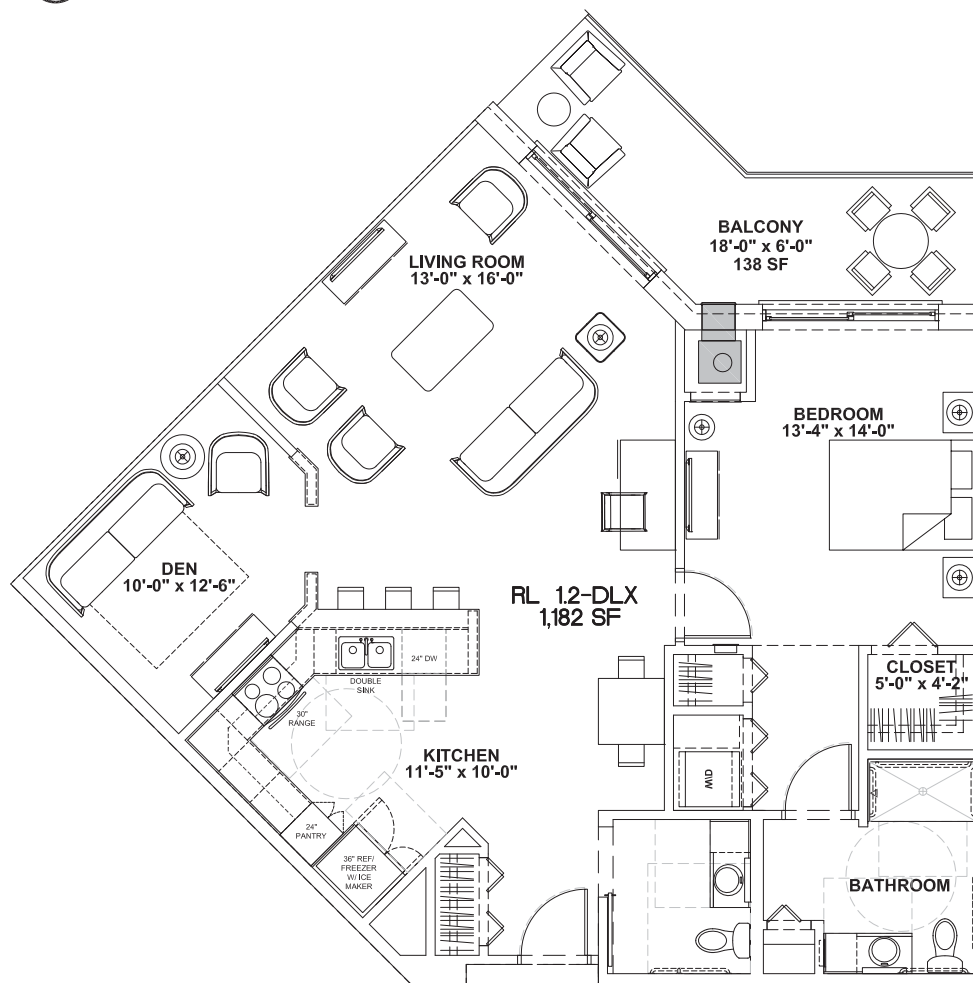
1 RL 1.1 STANDARD
SCALE: 1/4"=1'-0"



2 RL 1.1 SPECIAL
SCALE: 1/4"=1'-0"



3 RL 1.1 TRADITIONAL
SCALE: 1/4"=1'-0"



4 RL 1.2 DELUXE
SCALE: 1/4"=1'-0"

RESIDENTIAL LIVING APARTMENTS										
APARTMENT/SUITE	PROG	ACTUAL	1ST	2ND	3RD	4TH	5TH	ACTUAL	PROG	
RL 1.1-STANDARD	825	832	3	3	4	4	4	18	24	
RL 1.1-SPECIAL	825	850	0	1	1	1	1	4	-	
RL 1.1-TRADITIONAL	900	912	6	6	6	6	6	30	24	
RL 1.2-DELUXE	1050	1182	1	4	6	6	6	23	24	
RL 2.2-SPECIAL	1200	1260	4	5	5	5	5	24	24	
RL 2.2.5-TRADITIONAL	1300	1380	6	6	6	6	6	30	24	
RL 3.2.5-CLASSIC	1450	1715	2	3	3	3	3	14	24	
RL 3.3-DELUX	1600	1955	2	3	4	4	4	17	12	
								160	156	

RESIDENTIAL LIVING APARTMENT AMENITIES									
APARTMENT/SUITE	UNIT AREA	MASTER BATH			BATH #2		POWDER RM.		
		BATH VANITY		SHOWER/TUB	BATH VANITY			SHOWER/TUB	
		SGL	DBL		SGL	DBL			
RL 1.1-STANDARD	823	●		S					
RL 1.1-SPECIAL	850	●		S					
RL 1.1-TRADITIONAL	912		●	S			●		
RL 1.2-DELUXE	1182	●		S			●		
RL 2.2-SPECIAL	1240		●	S/T		●	S		
RL 2.2.5-TRADITIONAL	1380		●	S/T		●	S		
RL 3.2.5-CLASSIC	1715		●	S/T	●	●	S		
RL 3.3-DELUX	1955		●	S/T	●		S		

RESIDENTIAL LIVING APARTMENT AMENITIES												
APARTMENT/SUITE	UNIT AREA	LIN. FT. COUNT. SURF.	LIN. FT. HANG. SPACE	STOVE FULL OVEN	REFRIG.		KITCH. SINK DBL	MICRO WAVE	DW	PANTRY	W/D	
					30" W ICE MKR	36" W ICE MKR						
RL 1.1-STANDARD	832	16'-8"	15'-7"	●	●	●	●	●	●	●	●	
RL 1.1-SPECIAL	850	19'-0"	15'-8"	●	●	●	●	●	●	●	●	
RL 1.1-TRADITIONAL	912	21'-2"	10'-8"	●	●	●	●	●	●	●	●	
RL 1.2-DELUXE	1182	20'-5"	14'-2"	●	●	●	●	●	●	●	●	
RL 2.2-SPECIAL	1240	18'-8"	36'-4"	●	●	●	●	●	●	●	●	
RL 2.2.5-TRADITIONAL	1380	20'-9"	31'-5"	●	●	●	●	●	●	●	●	
RL 3.2.5-CLASSIC	1715	26'-11"	37'-4"	●	●	●	●	●	●	●	●	
RL 3.3-DELUX	1955	18'-1"	37'-3"	●	●	●	●	●	●	●	●	

RESIDENTIAL LIVING APARTMENTS: (RL)

GENERAL

- WASHER AND DRYER WITHIN ALL UNITS
- SPRING HINGE DOORS - SUBJECT TO AHJ
- CEILING HEIGHTS: +9'-0"
- TV/PHONE/CABLE: SMART PANEL WITH CLOSETS WITH ABILITY FOR PHONE CONNECTION

BATH

- TOILET ACCESSORIES:
 - MEDICINE CABINET
 - MIRROR
 - TOWEL BAR
 - ROBE HOOK
 - TOILET PAPER DISPENSER
- GRAB BARS (ADA UNITS - SHOWERS AND TOILETS)
- GRAB BARS (NON-ADA UNITS - BLOCKING FOR FUTURE INSTALLATION - SPECIFY EXTRA GRAB BARS (20% OF ADAPT. ROOMS) FOR FUTURE INSTALL IN SPECS)
- SHOWER
 - 34" x 60" SHOWER
 - PREFABRICATED SHOWER UNITS
 - SEAT WITHIN SHOWER IN ADA & ADAPTABLE
- 17" H COMFORT HEIGHT TANK TOILETS

RESIDENT LIVING APARTMENT PLANS

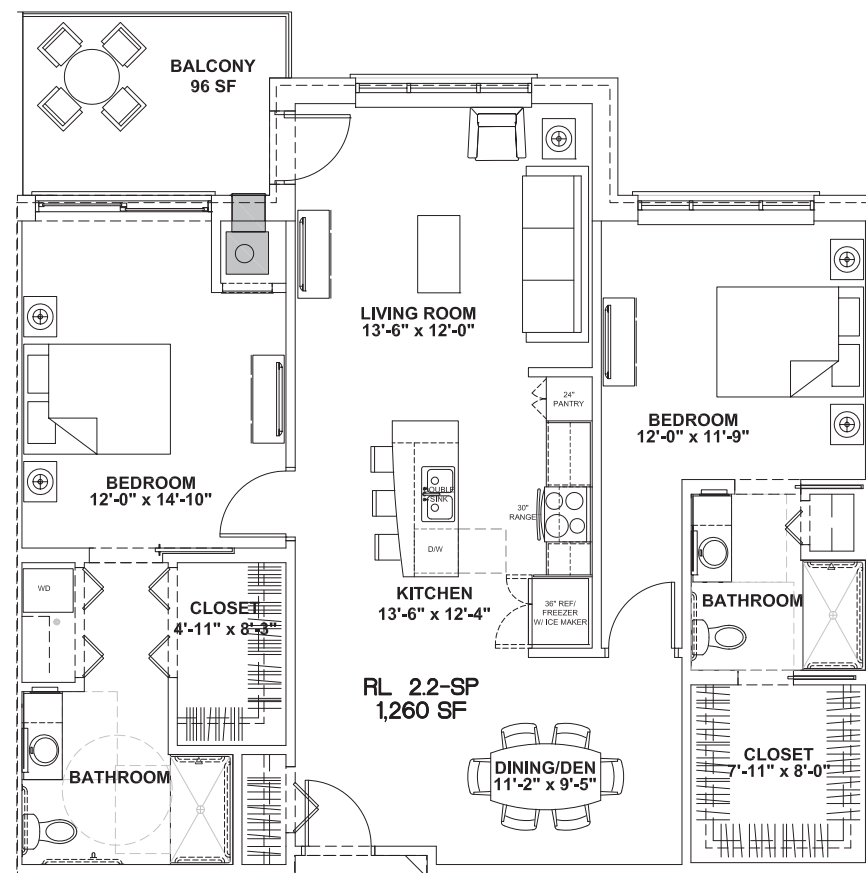
RL6

SAS Architects & Planners, LLC
630 Dundee Road Northbrook, IL 60062 847 564-8333 fax. 847 564-9989 www.sasarch.com

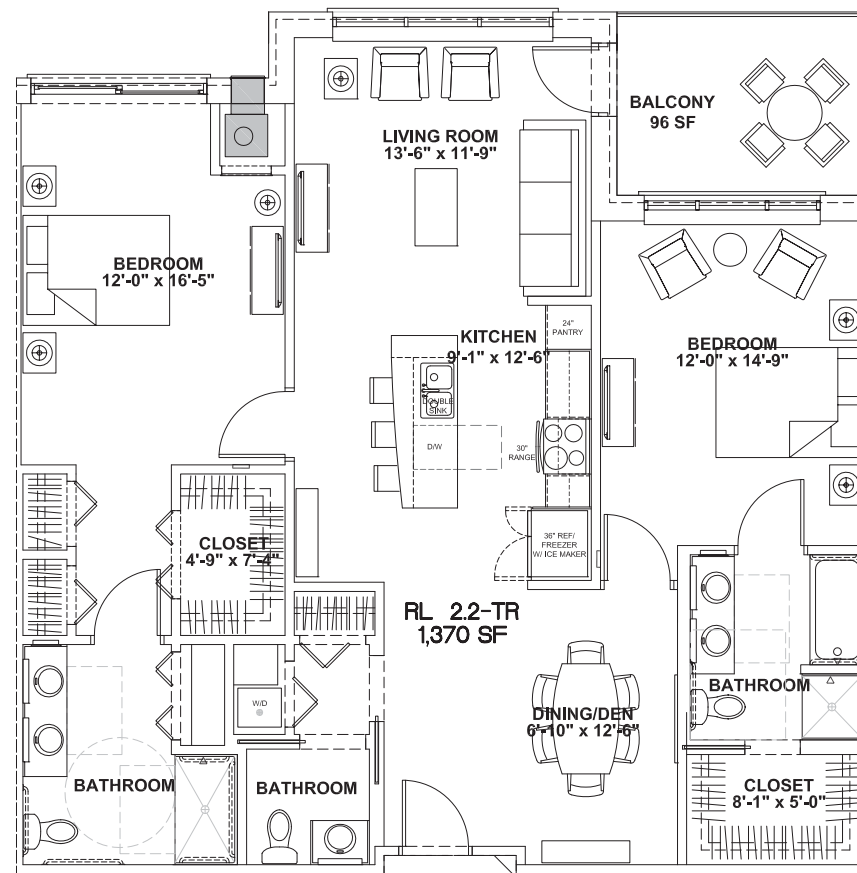


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200 VILLAGE DRIVE, DOWNERS GROVE, IL
Redevelopment Plan



1 RL 2.2 SPECIAL
SCALE: 1/4"=1'-0"



2 RL 2.2.5 TRADITIONAL
SCALE: 1/4"=1'-0"

RESIDENTIAL LIVING APARTMENTS										
APARTMENT/SUITE	PROG	ACTUAL	1ST	2ND	3RD	4TH	5TH	ACTUAL	PROG	
RL 1.1-STANDARD	825	832	3	3	4	4	4	18	24	
RL 1.1-SPECIAL	825	850	0	1	1	1	1	4	-	
RL 1.1-TRADITIONAL	900	912	6	6	6	6	6	30	24	
RL 1.2-DELUXE	1050	1182	1	4	6	6	6	23	24	
RL 2.2-SPECIAL	1200	1260	4	5	5	5	5	24	24	
RL 2.2.5-TRADITIONAL	1300	1380	6	6	6	6	6	30	24	
RL 3.2.5-CLASSIC	1450	1715	2	3	3	3	3	14	24	
RL 3.3-DELUX	1600	1955	2	3	4	4	4	17	12	
								160	156	

RESIDENTIAL LIVING APARTMENT AMENITIES									
APARTMENT/SUITE	UNIT AREA	MASTER BATH			BATH #2		POWDER RM.		
		BATH VANITY		SHOWER/TUB	BATH VANITY				
		SGL	DBL		SGL	DBL			
RL 1.1-STANDARD	823	●		S					
RL 1.1-SPECIAL	850	●		S					
RL 1.1-TRADITIONAL	912		●	S			●		
RL 1.2-DELUXE	1182	●		S			●		
RL 2.2-SPECIAL	1240		●	S/T			S		
RL 2.2.5-TRADITIONAL	1380		●	S/T			S		
RL 3.2.5-CLASSIC	1715		●	S/T		●	S		
RL 3.3-DELUX	1955		●	S/T		●	S		

RESIDENTIAL LIVING APARTMENT AMENITIES												
APARTMENT/SUITE	UNIT AREA	LIN. FT. COUNT. SURF.	LIN. FT. HANG. SPACE	STOVE FULL OVEN	REFRIG.		KITCH. SINK DBL	MICRO WAVE	DW	PANTRY	W/D	
					30" W ICE MKR	36" W ICE MKR						
RL 1.1-STANDARD	832	16'-8"	15'-7"	●	●	●	●	●	●	●	●	
RL 1.1-SPECIAL	850	19'-0"	15'-8"	●	●	●	●	●	●	●	●	
RL 1.1-TRADITIONAL	912	21'-2"	10'-8"	●	●	●	●	●	●	●	●	
RL 1.2-DELUXE	1182	20'-5"	14'-2"	●	●	●	●	●	●	●	●	
RL 2.2-SPECIAL	1240	18'-8"	36'-4"	●	●	●	●	●	●	●	●	
RL 2.2.5-TRADITIONAL	1380	20'-9"	31'-5"	●	●	●	●	●	●	●	●	
RL 3.2.5-CLASSIC	1715	26'-11"	37'-4"	●	●	●	●	●	●	●	●	
RL 3.3-DELUX	1955	18'-1"	37'-3"	●	●	●	●	●	●	●	●	

RESIDENTIAL LIVING APARTMENTS: (RL)

GENERAL

- WASHER AND DRYER WITHIN ALL UNITS
- SPRING HINGE DOORS - SUBJECT TO AHJ
- CEILING HEIGHTS: +9'-0"
- TV/PHONE/CABLE: SMART PANEL WITHIN CLOSETS WITH ABILITY FOR PHONE CONNECTION

BATH

- TOILET ACCESSORIES:
 - MEDICINE CABINET
 - MIRROR
 - TOWEL BAR
 - ROBE HOOK
 - TOILET PAPER DISPENSER
- GRAB BARS (ADA UNITS - SHOWERS AND TOILETS)
- GRAB BARS (NON-ADA UNITS - BLOCKING FOR FUTURE INSTALLATION - SPECIFY EXTRA GRAB BARS (20% OF ADAPT. ROOMS) FOR FUTURE INSTALL IN SPECS)
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 - 34" x 60" SHOWER
 - PREFABRICATED SHOWER UNITS
 - SEAT WITHIN SHOWER IN ADA & ADAPTABLE
- 17" H COMFORT HEIGHT TANK TOILETS

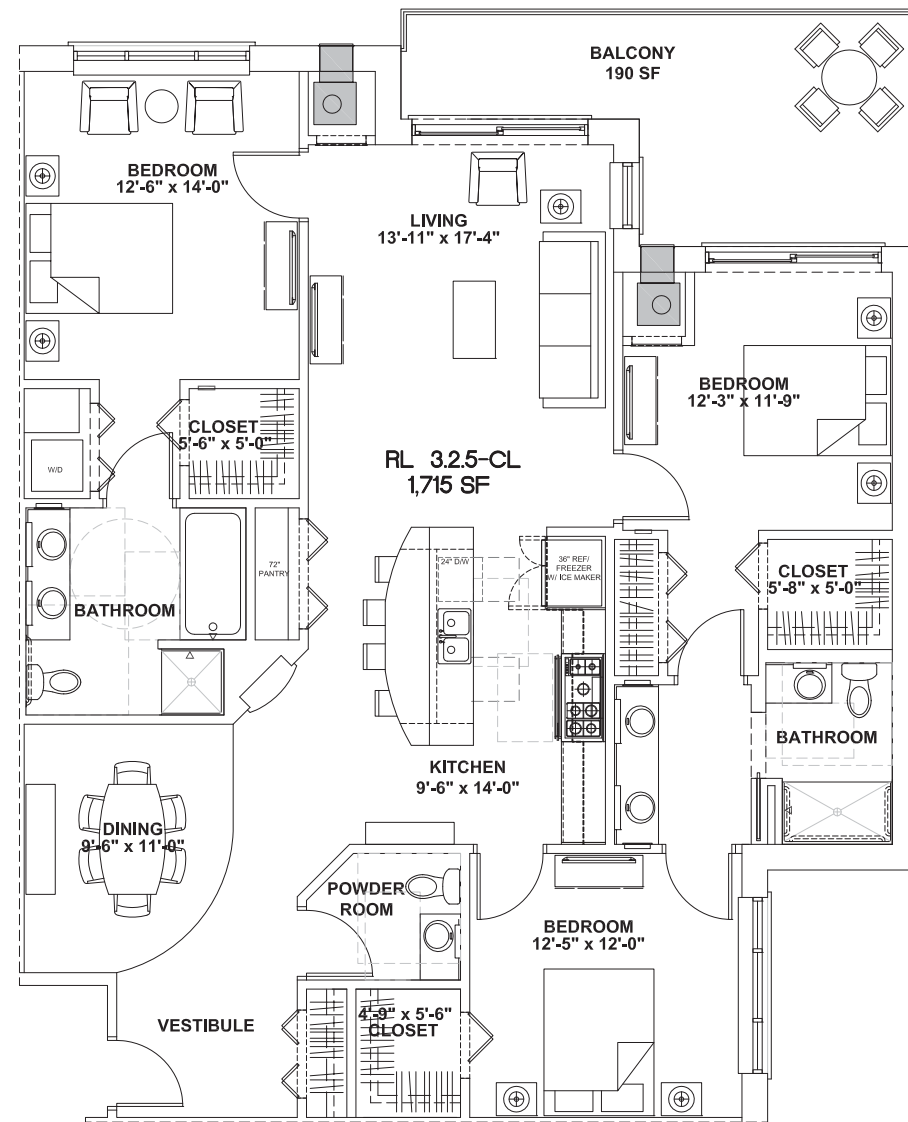
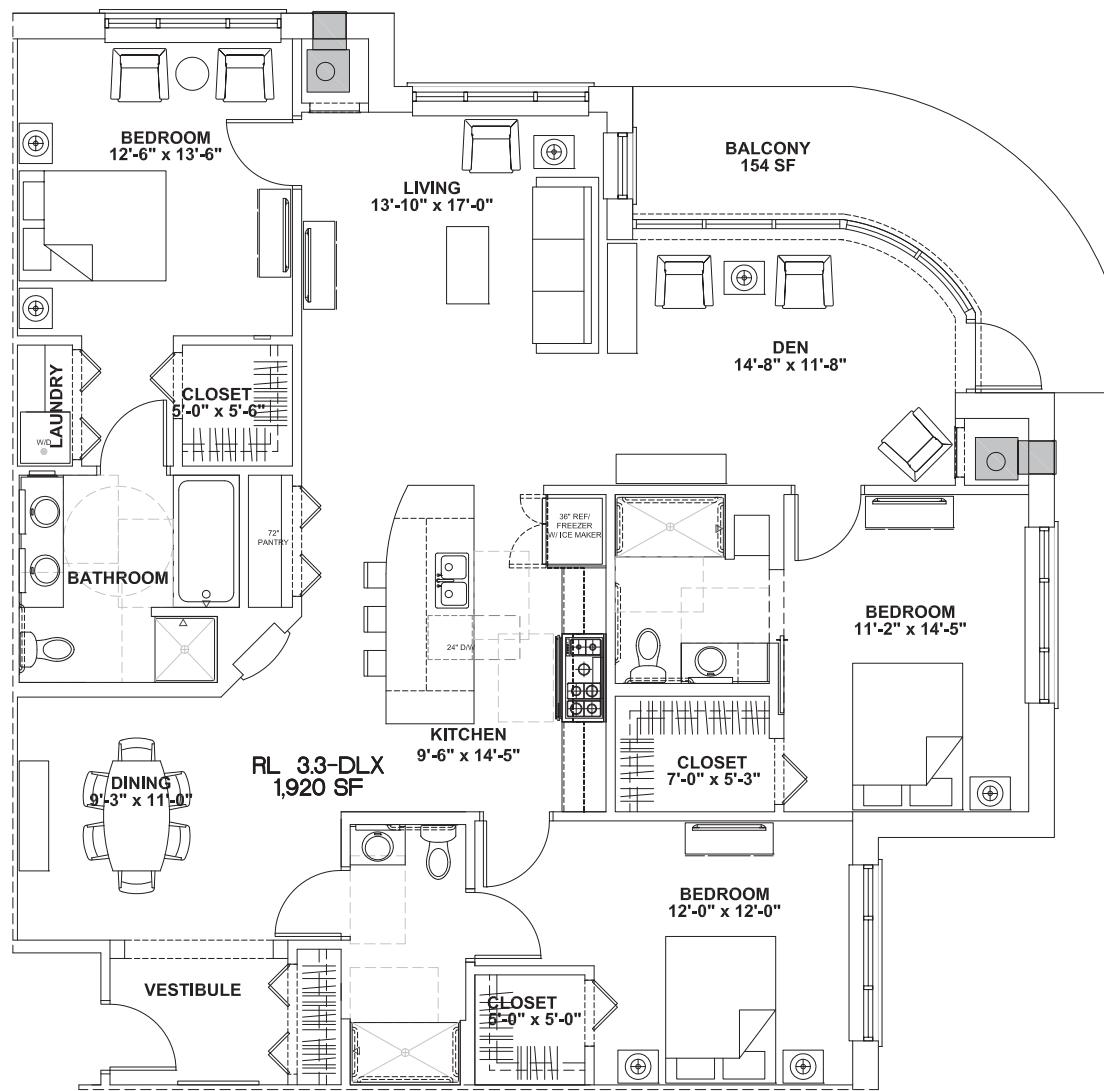
RESIDENT LIVING APARTMENT PLANS

RL7





A LIFESPACE COMMUNITY
200 VILLAGE DRIVE, DOWNERS GROVE, IL
Redevelopment Plan



1 RL 3.3 DELUXE
SCALE: 1/4"=1'-0"

2 RL 3.2.5 CLASSIC
SCALE: 1/4"=1'-0"

RESIDENTIAL LIVING APARTMENTS										
APARTMENT/SUITE	PROG	ACTUAL	1ST	2ND	3RD	4TH	5TH	ACTUAL	PROG	
RL 1.1-STANDARD	825	832	3	3	4	4	4	18	24	
RL 1.1-SPECIAL	825	850	0	1	1	1	1	4	-	
RL 1.1-TRADITIONAL	900	912	6	6	6	6	6	30	24	
RL 1.2-DELUXE	1050	1182	1	4	6	6	6	23	24	
RL 2.2-SPECIAL	1200	1260	4	5	5	5	5	24	24	
RL 2.2.5-TRADITIONAL	1300	1380	6	6	6	6	6	30	24	
RL 3.2.5-CLASSIC	1450	1715	2	3	3	3	3	14	24	
RL 3.3-DELUX	1600	1955	2	3	4	4	4	17	12	
								160	156	

RESIDENTIAL LIVING APARTMENT AMENITIES							
APARTMENT/SUITE	UNIT AREA	MASTER BATH		BATH #2		POWDER RM.	
		BATH VANITY		SHOWER/TUB	BATH VANITY		
		SGL	DBL		SGL		DBL
RL 1.1-STANDARD	823	●		S			
RL 1.1-SPECIAL	850	●		S			
RL 1.1-TRADITIONAL	912		●	S		●	
RL 1.2-DELUXE	1182	●		S		●	
RL 2.2-SPECIAL	1240		●	S/T		S	
RL 2.2.5-TRADITIONAL	1380		●	S/T		S	
RL 3.2.5-CLASSIC	1715		●	S/T	●	S	
RL 3.3-DELUX	1955		●	S/T	●	S	

RESIDENTIAL LIVING APARTMENT AMENITIES											
APARTMENT/SUITE	UNIT AREA	LIN. FT. COUNT SURF.	LIN. FT. HANG. SPACE	STOVE FULL OVEN	REFRIG.		KITCH. SINK DBL	MICRO WAVE	DW	PANTRY	W/D
					30" W ICE MKR	36" W ICE MKR					
RL 1.1-STANDARD	832	16'-8"	15'-7"	●	●	●	●	●	●	●	●
RL 1.1-SPECIAL	850	19'-0"	15'-8"	●	●	●	●	●	●	●	●
RL 1.1-TRADITIONAL	912	21'-2"	10'-8"	●	●	●	●	●	●	●	●
RL 1.2-DELUXE	1182	20'-5"	14'-2"	●	●	●	●	●	●	●	●
RL 2.2-SPECIAL	1240	18'-8"	36'-4"	●	●	●	●	●	●	●	●
RL 2.2.5-TRADITIONAL	1380	20'-9"	31'-5"	●	●	●	●	●	●	●	●
RL 3.2.5-CLASSIC	1715	26'-11"	37'-4"	●	●	●	●	●	●	●	●
RL 3.3-DELUX	1955	18'-1"	37'-3"	●	●	●	●	●	●	●	●

RESIDENTIAL LIVING APARTMENTS: (RL)

GENERAL

- WASHER AND DRYER WITHIN ALL UNITS
- SPRING HINGE DOORS - SUBJECT TO AHJ
- CEILING HEIGHTS: +9'-0"
- TV/PHONE/CABLE: SMART PANEL WITHIN CLOSETS WITH ABILITY FOR PHONE CONNECTION

BATH

- TOILET ACCESSORIES:
 - MEDICINE CABINET
 - MIRROR
 - TOWEL BAR
 - ROBE HOOK
 - TOILET PAPER DISPENSER
- GRAB BARS (ADA UNITS - SHOWERS AND TOILETS)
- GRAB BARS (NON-ADA UNITS - BLOCKING FOR FUTURE INSTALLATION - SPECIFY EXTRA GRAB BARS (20% OF ADAPT. ROOMS) FOR FUTURE INSTALL IN SPECS)
- SHOWER
 - 34" x 60" SHOWER
 - PREFABRICATED SHOWER UNITS
 - SEAT WITHIN HEIGHT IN ADA & ADAPTABLE
 - 17" H COMFORT HEIGHT TANK TOILETS

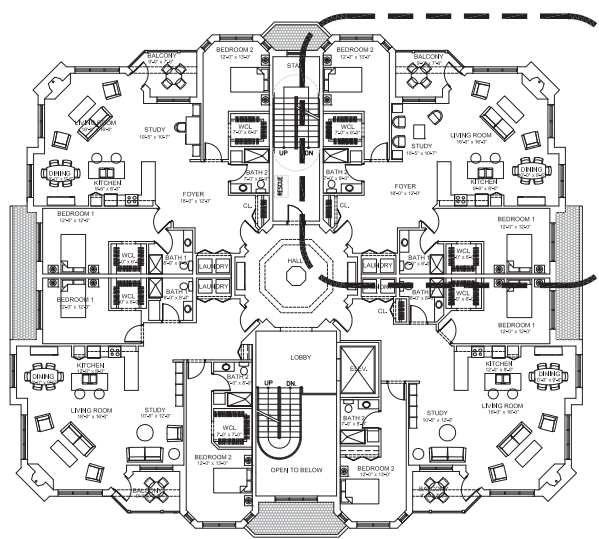
RESIDENT LIVING APARTMENT PLANS

RL8



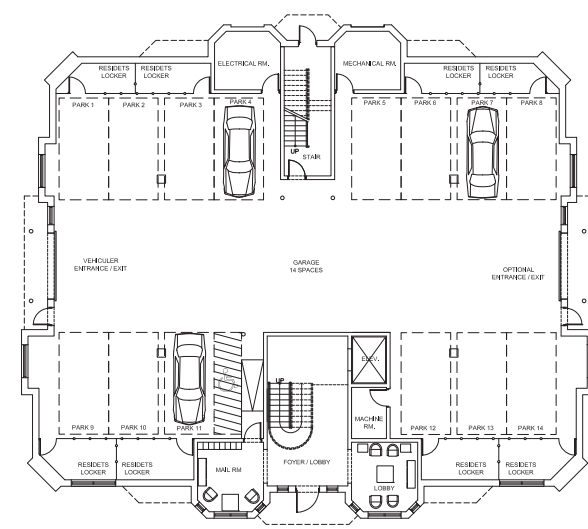


1 CONCEPTUAL ENTRY ELEVATION
SCALE: 1/8"=1'-0"



**APARTMENT
1,590 SF**

2 TYPICAL SECOND/THIRD FLOOR PLANS
SCALE: 1/16"=1'-0"



3 LOWER LEVEL PARKING GARAGE
SCALE: 1/16"=1'-0"



A LIFESPACE COMMUNITY
200 VILLAGE DRIVE, DOWNERS GROVE, IL
Redevelopment Plan

- INDEPENDENT LIVING VILLA (RLV):**
- 13 APARTMENTS - 1 VILLA (8 APARTMENTS PER FLOOR)
 - 3 - STORY (INCLUDING LOWER LEVEL PARKING GARAGE)
 - (2) X 7,733 SF = 15,466 SF - APARTMENTS
 - (1) X 7,935 SF = 7,935 SF - GARAGE / STORAGE
 - TYPICAL APARTMENT AREA - 1,590 SF
 - PARKING SPACES - 5 REQUIRED, 14 ACTUAL COVERED SPACES

- CODE ANALYSIS:**
- OCCUPANCY: R-2 - RESIDENTIAL 2 & 3
 - CONSTRUCTION TYPE: III-B
 - FULLY SPRINKLERED
 - 2-HR EXTERIOR BEARING WALLS
 - 0-HR STRUCTURAL FRAME
 - 0-HR FLOOR AND ROOF ASSEMBLIES
 - 0-HR EXIT STAIRS/SHAFTS
 - PARKING OCCUPANCY: S-2 GRADE
 - 2HR SEPARATION BETWEEN PARKING S-2 & R-2

- STRUCTURAL SYSTEMS:**
- CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
 - PRECAST CONCRETE LOWER PARKING LEVEL
 - WOOD CONSTRUCTION BEARING WALLS (FLRS 2-3)
 - WOOD FLOOR AND ROOF TRUSSES (FLR 3 & ROOF)

- HVAC SYSTEMS:**
- RESIDENTIAL FORCED AIR FURNACE IN EACH APARTMENT

- EXTERIOR MATERIALS:**
- NATURAL STONE (40%), CEMENT FIBER SIDING (60%)
 - CEMENT FIBER SOFFIT AND TRIM
 - LOW-E VINYL WINDOWS
 - ARCHITECTURAL FIBERGLASS SHINGLES
 - PRE-ENGINEERED ALUMINUM BALCONIES

NOTE: THE PRELIMINARY DESIGNS FOR THE RESIDENTIAL LIVING VILLAS ARE BASED UPON ASSUMPTIONS AT THIS TIME FOR WHAT THE AESTHETIC AND SCOPE OF EACH VILLA MIGHT BE. RESIDENTIAL LIVING VILLAS ARE MARKET DRIVEN AND WILL DEPEND UPON THE MARKET CONDITIONS AT TIME OF THE CONSTRUCTION. THE FOLLOWING ARE PRELIMINARY DESIGNS TO GIVE IDEA OF DENSITY AND GENERAL AESTHETICS.

**RESIDENTIAL LIVING VILLA
FLOOR PLANS/ELEVATION**

RLV1

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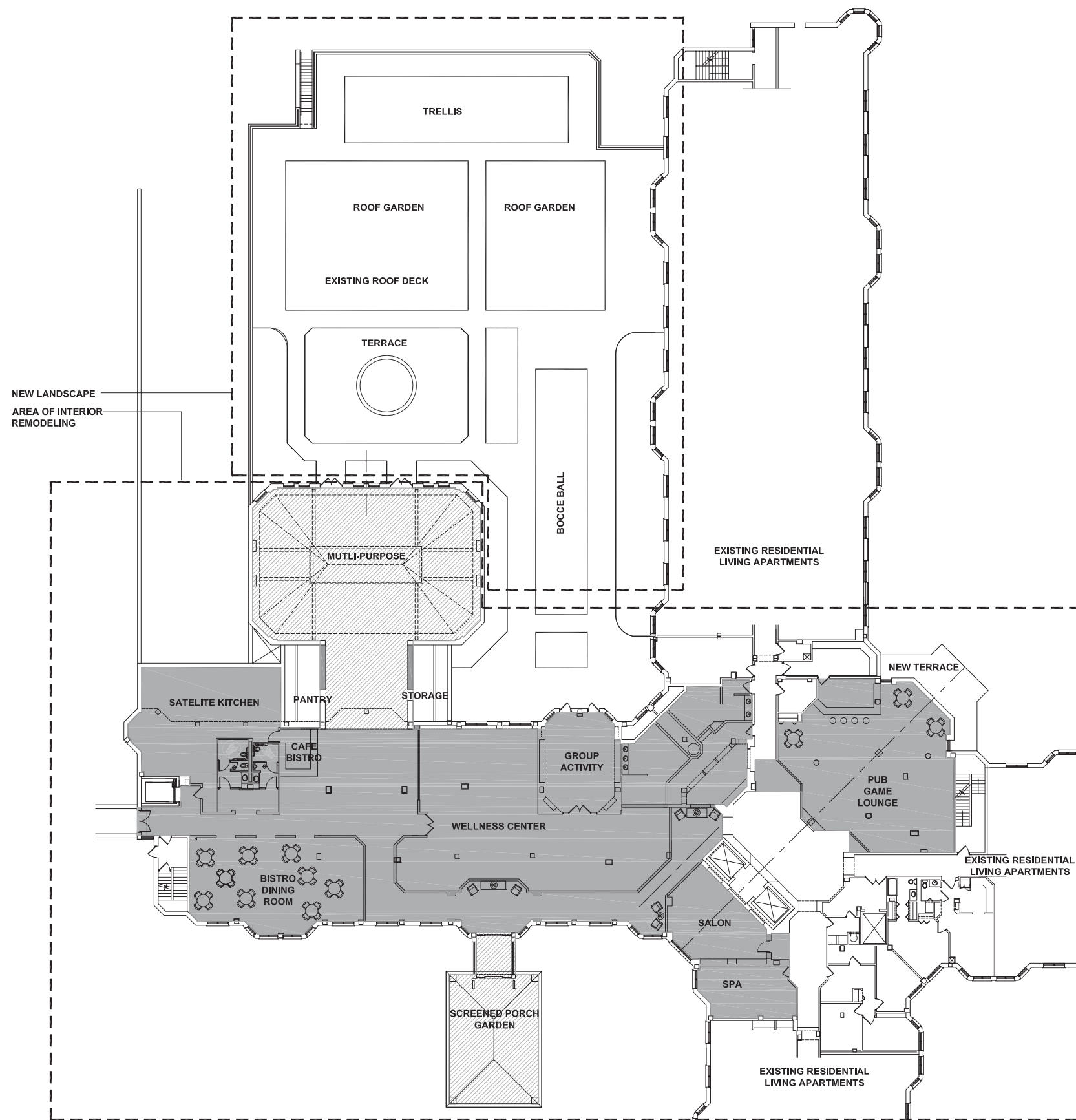
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EXISTING RESIDENTIAL LIVING BUILDING:

- - RL EXISTING BUILDING FIRST FLOOR REMODELING AREA: 12,537 SF
- INTERIOR REMODELING
- ▨ - RL EXISTING FIRST FLOOR REFINISHING AREAS: 4,308 SF
- INTERIOR FINISHES/LIGHTING/DECORATIVE WORK
- RL EXISTING ROOF TERRACE LANDSCAPE REMODELING AREA: 16,461 SF

NOTE: THE FOLLOWING DESIGNS ARE PRELIMINARY TO SHOW POTENTIAL SCOPE OF WORK ONLY.



EXISTING RESIDENTIAL LIVING - FIRST FLOOR REMODELING PLAN

SCALE: 1/16" = 1'-0"

**EXISTING
RESIDENTIAL LIVING BUILDING
FIRST FLOOR REMODELING PLAN**

XRL3



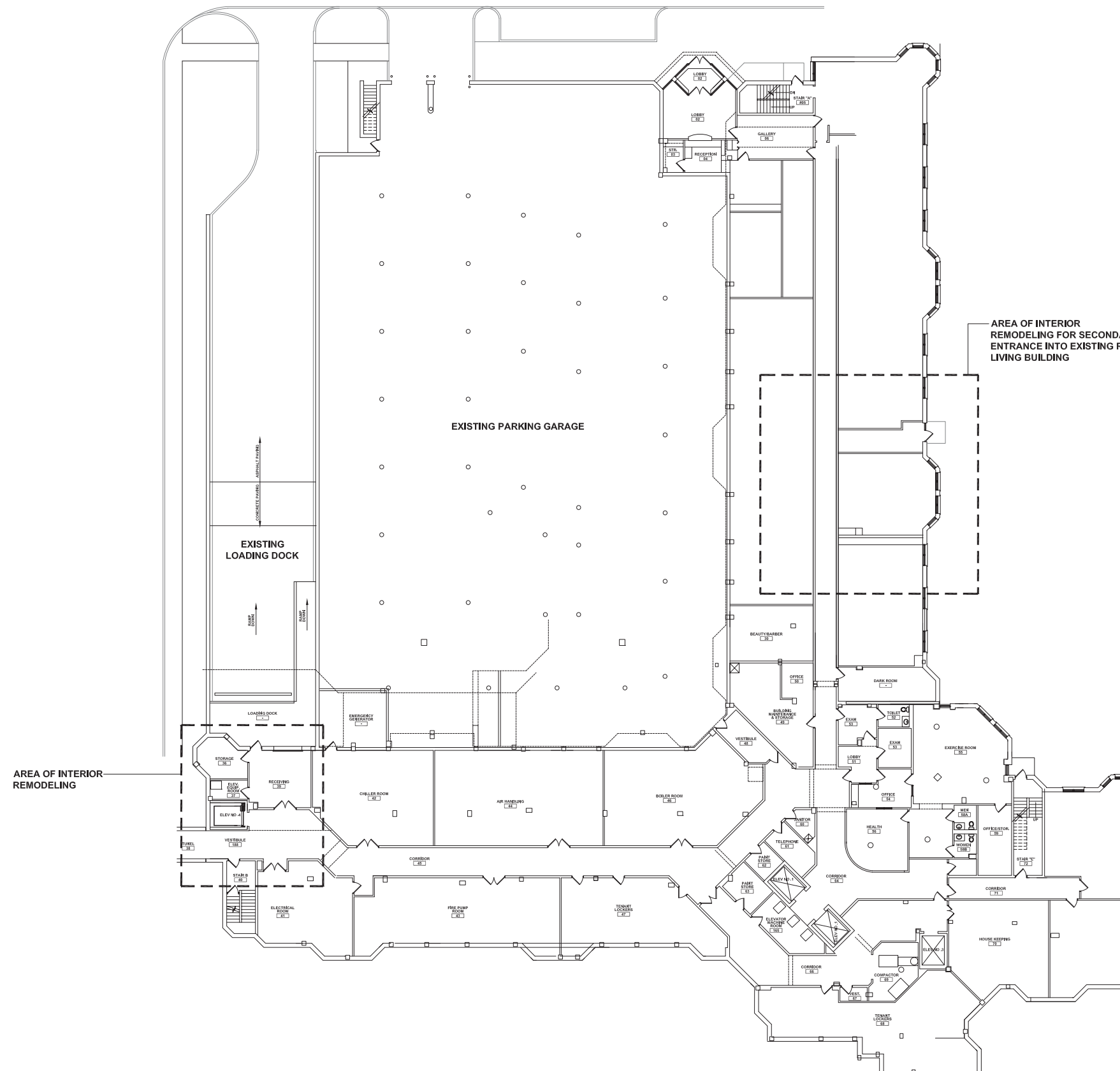
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EXISTING RESIDENTIAL LIVING BUILDING:

- NEW TEMPORARY ENTRANCE INTERIOR REMODELING WORK
- NEW EXTERIOR ENTRYWAY
- CREATION OF NEW LOBBY/ENTRYWAY
- MINIMAL RELOCATION OF EXISTING ELECTRICAL/PLUMBING/MECHANICAL EQUIPMENT AS REQUIRED
- CONNECTION OF EXISTING UNDERGROUND TUNNEL WITH NEW RL BUILDING
- POTENTIAL EXPANSION OF RECEIVING ROOM/TRASH



EXISTING RESIDENTIAL LIVING - BASEMENT REMODELING PLAN

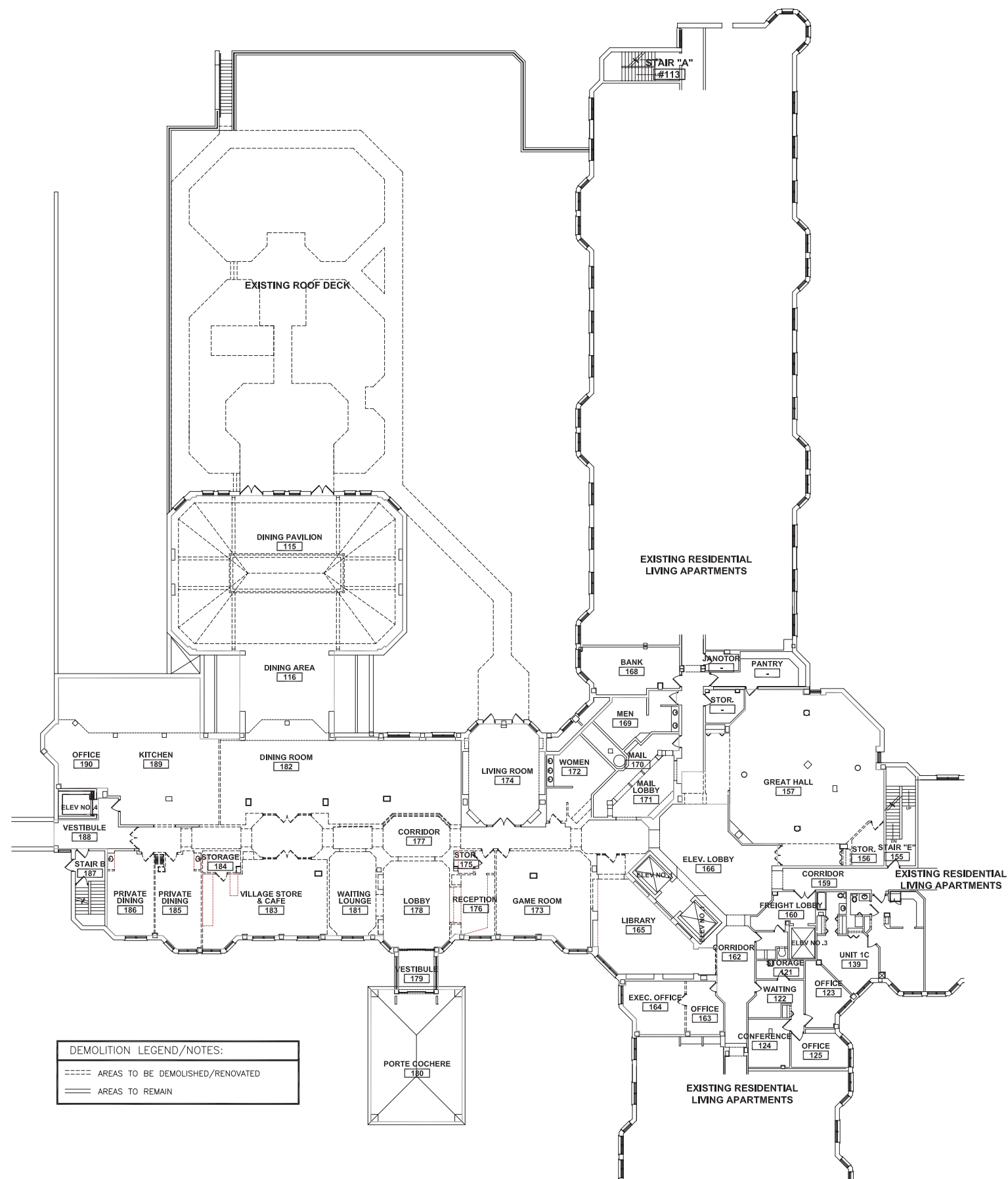
SCALE: 1/16" = 1'-0"

**EXISTING
RESIDENTIAL LIVING BUILDING
BASEMENT REMODELING PLAN**

XRL1



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DEMOLITION LEGEND/NOTES:
 - - - - - AREAS TO BE DEMOLISHED/RENOVATED
 _____ AREAS TO REMAIN

EXISTING RESIDENTIAL LIVING - FIRST FLOOR / DEMO PLAN

SCALE: 1/16" = 1'-0"

**EXISTING RESIDENTIAL LIVING
 FIRST FLOOR / DEMO PLAN**

XRL2
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 630 Dundee Road Northbrook, IL 60062 847 564-8333 fax. 847 564-9989 www.sasarch.com

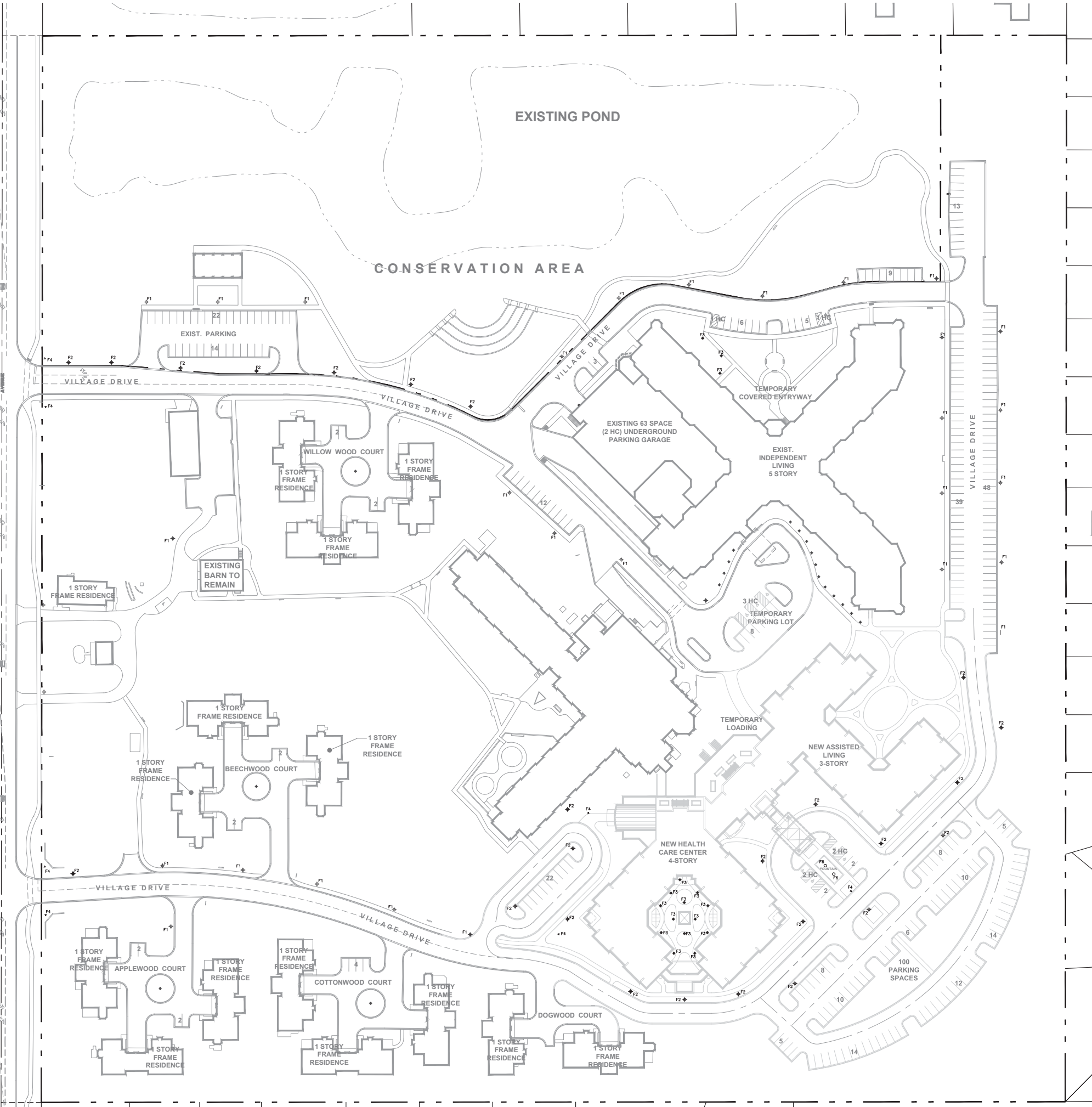


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Redevelopment Plan

CONCEPTUAL SITE PLAN - PHASE I

LIGHTING FIXTURE SCHEDULE										
FIXTURE TAG	SYMBOL	MANUFACTURER	MODEL NUMBER	LAMPS	VOLTAGE	WATTAGE	MOUNTING	NOTES		
F1	⊕	-	EXISTING LIGHT POLE	LED	120V-277V	-	POLE MOUNTED	14' POLE MOUNTED LIGHT FIXTURE, EXISTING FIXTURE.		
F2	⊕	STERNBERG LIGHTING	1740LED-18004514-M0L03-CA	3500K, RCR1 32350lm MAINTAINED	120V-277V	30.8W	POLE MOUNTED	16' POLE MOUNTED LIGHT FIXTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F3	⊕	STERNBERG LIGHTING	RT436-26L4513-M0L03-SV2	LED 4000K, RCR1 30000lm MAINTAINED	120V-277V	30.6W	BOLLARD	36" TALL BOLLARD, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F4	△	BEGA	77 681	LED 3500K, RCR1 25600lm MAINTAINED	120V-277V	18.6W	UPLIGHT	UPLIGHT FOR TREES AND SIGNS, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F5	⊕	BEGA	-	LED	120V-277V	-	WALL MOUNTED	DOWNLIGHT MOUNTED TO STRUCTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F6	○	COLOR KINETICS	C-SPLASH 2	LED 583lm MAINTAINED	120V-277V	41.7W	UNDERWATER	UNDERWATER LED SPOTLIGHT WITH COLOR LIGHT, SPECIALIZED LIGHT FIXTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F7	□	ECLIPSE LIGHTING	W4-71.7-4735K-EBU	LED 4735K, RCR1 2734lm MAINTAINED	120V-277V	71.7W	WALL MOUNTED	6' WALL MOUNTED LIGHT FIXTURE ABOVE GARAGE DOOR.		



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CONCEPTUAL SITE PLAN- PHASE I

SCALE: 1"=60'-0"

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E2
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OAK TRACE™

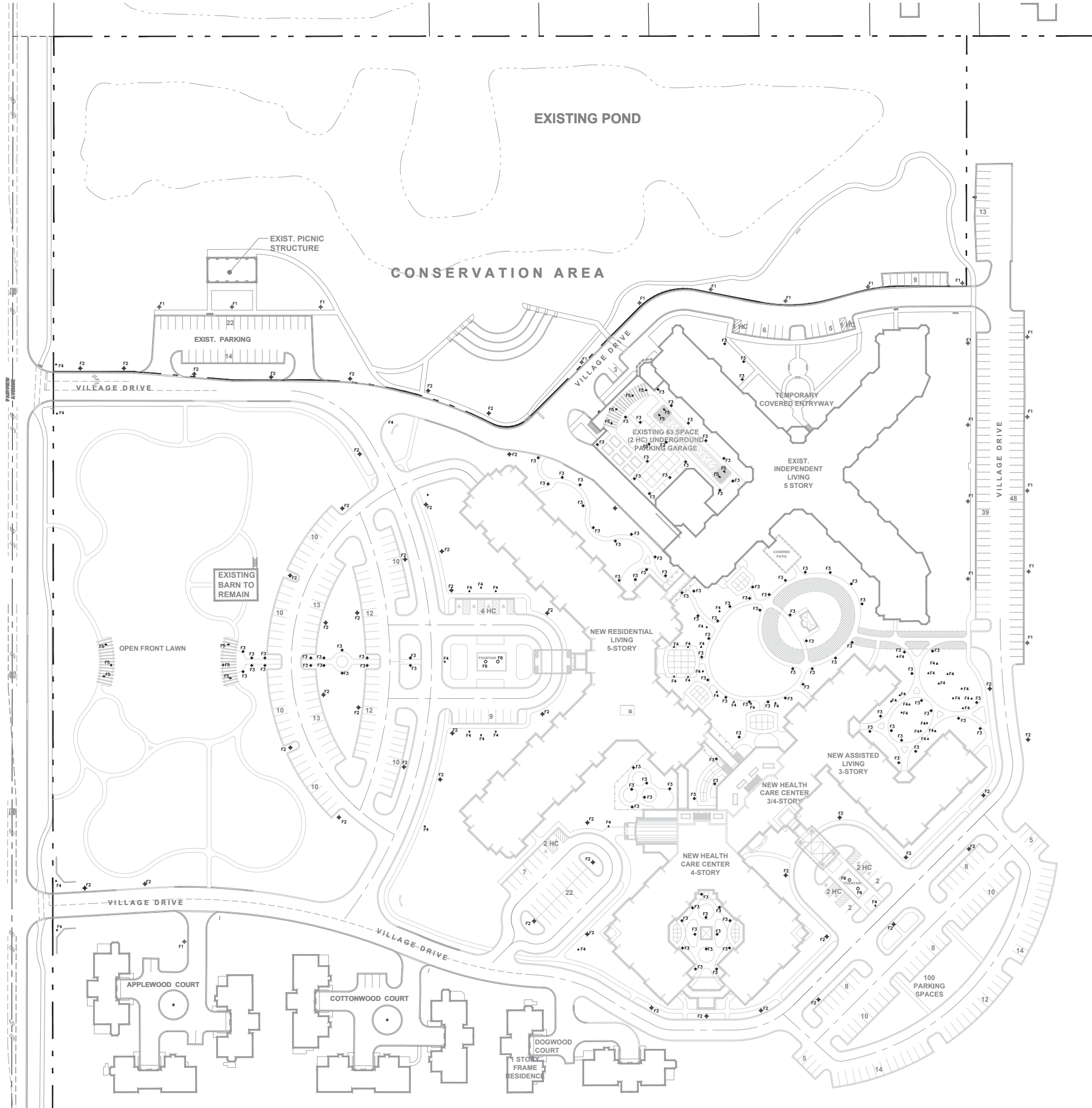


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200 VILLAGE DRIVE, DOWNERS GROVE, IL
Redevelopment Plan

CONCEPTUAL SITE PLAN - PHASE II

LIGHTING FIXTURE SCHEDULE										
FIXTURE TAG	SYMBOL	MANUFACTURER	MODEL NUMBER	LAMPS	VOLTAGE	WATTAGE	MOUNTING	NOTES		
F1	⊕	-	EXISTING LIGHT POLE	LED	120V-277V	-	POLE MOUNTED	14' POLE MOUNTED LIGHT FIXTURE, EXISTING FIXTURE.		
F2	⊕	STERNBERG LIGHTING	1740LED-11904514-MOLO3-CA	3500L, BC91, 32350lm MAINTAINED	120V-277V	30.8W	POLE MOUNTED	14' POLE MOUNTED LIGHT FIXTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F3	⊕	STERNBERG LIGHTING	RT436-26L4513-MOLO3-SV2	4000L, BC91, 30000lm MAINTAINED	120V-277V	30.6W	BOLLARD	36" TALL BOLLARD, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F4	△	BEGA	77 681	LED	120V-277V	18.6W	UPLIGHT	UPLIGHT FOR TREES AND SIGNS, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F5	⊕	BEGA	-	LED	120V-277V	-	WALL MOUNTED	DOWNLIGHT MOUNTED TO STRUCTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F6	○	COLOR KINETICS	C-SPLASH 2	LED	120V-277V	41.7W	UNDERWATER	UNDERWATER LED SPOTLIGHT WITH COLOR LIGHT, SPECIALIZED LIGHT FIXTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.		
F7	□	EQUIPE LIGHTING	W4-71.7-47356-EBU	LED	120V-277V	71.7W	WALL MOUNTED	6' WALL MOUNTED LIGHT FIXTURE ABOVE GARAGE DOOR.		



CONCEPTUAL SITE PLAN- PHASE II
SCALE: 1"=60'-0"



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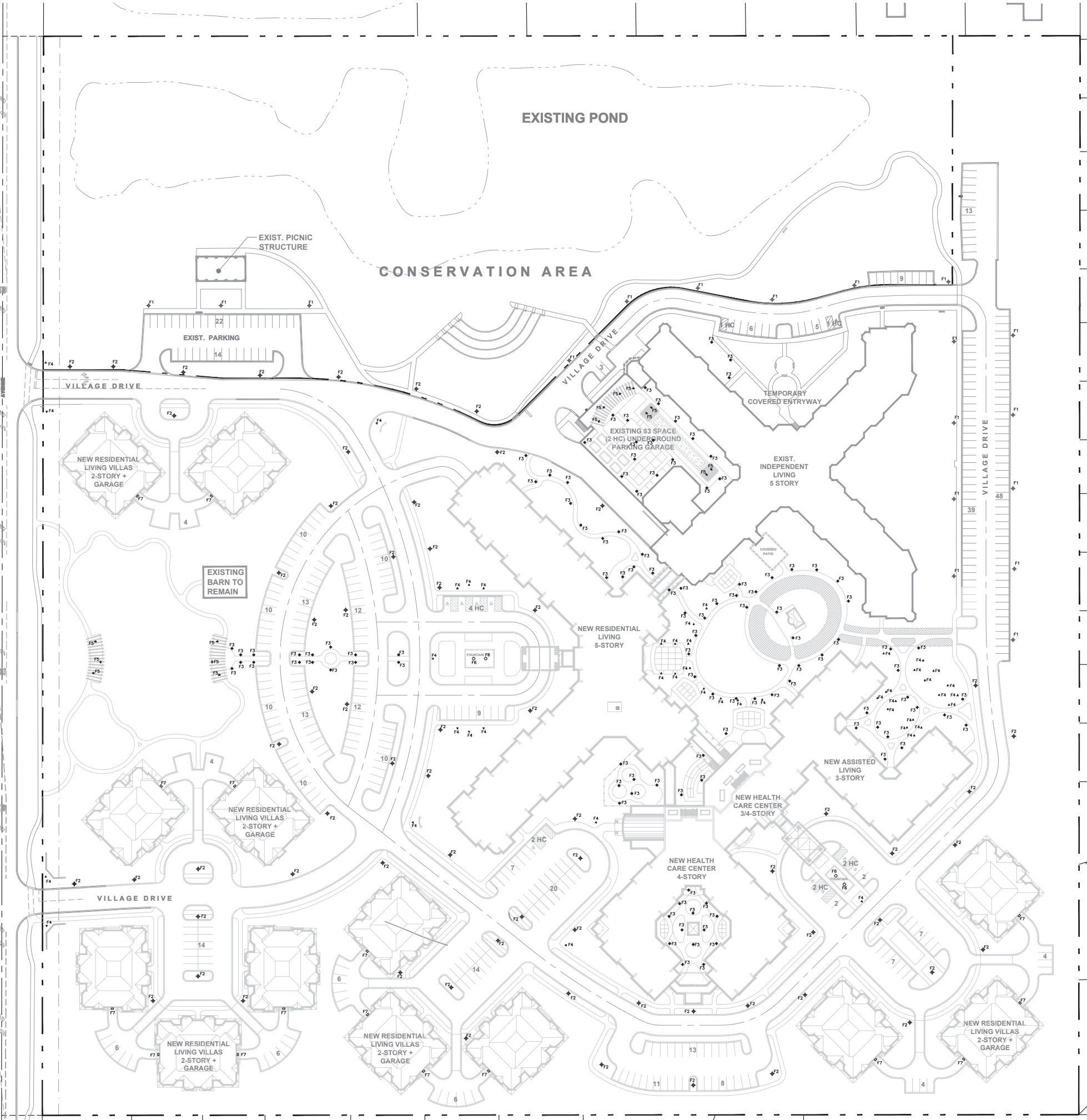
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Redevelopment Plan

CONCEPTUAL SITE PLAN - PHASE II

LIGHTING FIXTURE SCHEDULE									
FIXTURE TAG	SYMBOL	MANUFACTURER	MODEL NUMBER	LAMPS	VOLTAGE	WATTAGE	MOUNTING	NOTES	
F1	⊕	-	EXISTING LIGHT POLE	LED	120V-277V	-	POLE MOUNTED	14' POLE MOUNTED LIGHT FIXTURE, EXISTING FIXTURE.	
F2	⊕	STERNBERG LIGHTING	1740LED-11904514-MOLO3-CA	3500K, BC91, 3235lm MAINTAINED	120V-277V	30.8W	POLE MOUNTED	14' POLE MOUNTED LIGHT FIXTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.	
F3	⊕	STERNBERG LIGHTING	RT436-2614513-MOLO3-SV2	4000K, BC91, 3000lm MAINTAINED	120V-277V	30.6W	BOLLARD	36" TALL BOLLARD, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.	
F4	△	BEGA	77 681	LED	120V-277V	18.6W	UPLIGHT	UPLIGHT FOR TREES AND SIGNS, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.	
F5	⊕	BEGA	-	LED	120V-277V	-	WALL MOUNTED	DOWNLIGHT MOUNTED TO STRUCTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.	
F6	○	COLOR KINETICS	C-SPLASH 2	LED	120V-277V	41.7W	UNDERWATER	UNDERWATER LED SPOTLIGHT WITH COLOR LIGHT, SPECIALIZED LIGHT FIXTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.	
F7	□	ECLIPSE LIGHTING	WA-71.7-47356-ERU	LED	120V-277V	71.7W	WALL MOUNTED	6' WALL MOUNTED LIGHT FIXTURE ABOVE GARAGE DOOR.	



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CONCEPTUAL SITE PLAN- PHASE III

SCALE: 1"=60'-0"

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E4
630 Dundee Road Northbrook, IL 60062 847 564-8333 fax. 847 564-9989 www.sasarch.com

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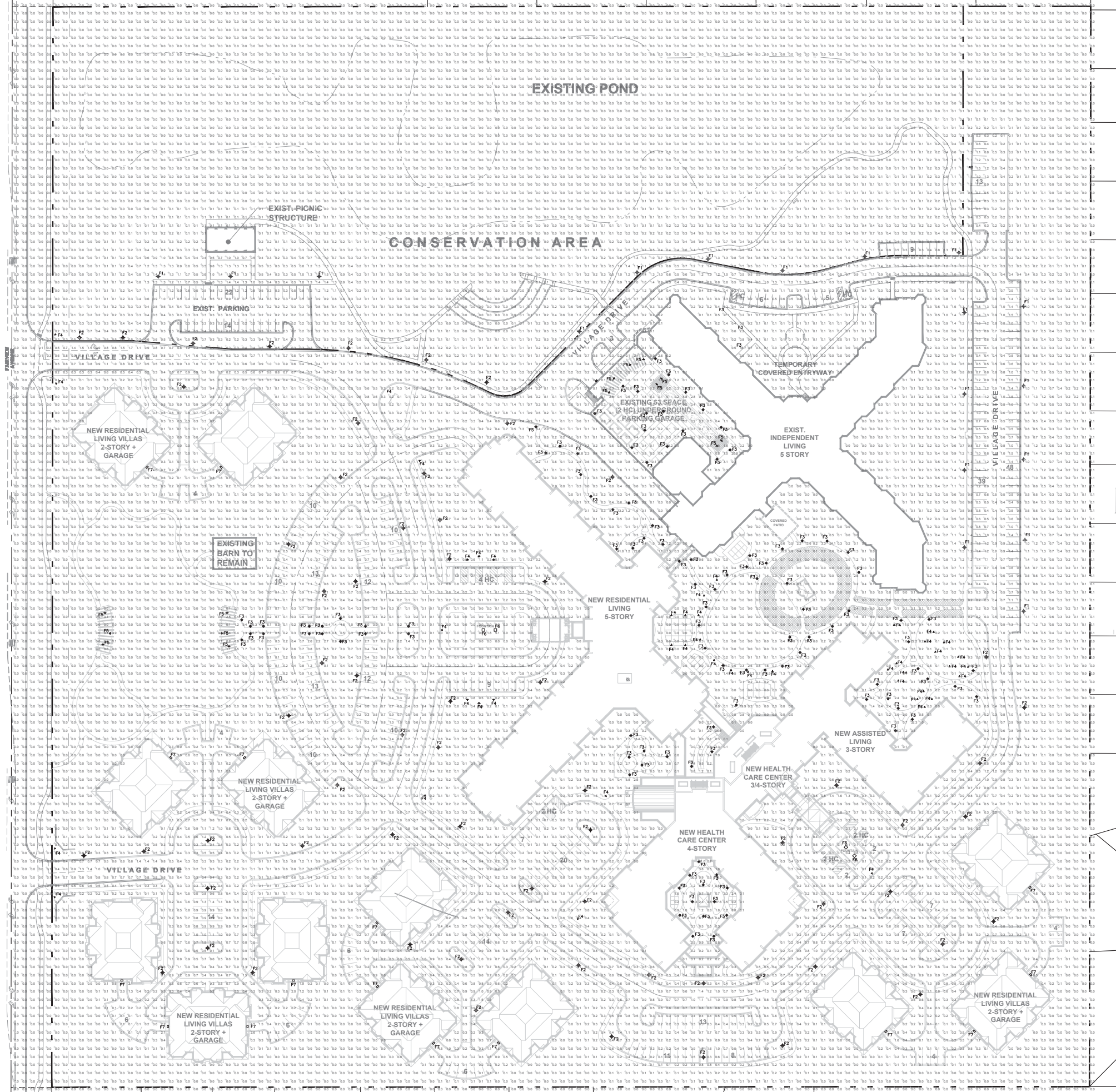


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Redevelopment Plan

CONCEPTUAL SITE PLAN - PHASE II



LIGHTING FIXTURE SCHEDULE								
FIXTURE NO.	SYMBOL	MANUFACTURER	MODEL NUMBER	LAMPS	VOLTAGE	WATTAGE	MOUNTING	NOTES
F1	⊕	-	EXISTING LIGHT POLE	LED	120V-277V	-	POLE MOUNTED	14' POLE MOUNTED LIGHT FIXTURE, EXISTING FIXTURE.
F2	⊕	STERNBERG LIGHTING	1740LED-1RND45H-MD-03-CO	LED 3500K, 80CRI 3250MM MAINTAINED	120V-277V	30.8W	POLE MOUNTED	16' POLE MOUNTED LIGHT FIXTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.
F3	⊕	STERNBERG LIGHTING	RT436-2645T3-MDL03-0V2	LED 4000K, 80CRI 3000MM MAINTAINED	120V-277V	30.6W	BOLLARD	36" TALL BOLLARD, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.
F4	△	BEGA	77 681	LED 3500K, 80CRI 2500MM MAINTAINED	120V-277V	19.6W	UPLIGHT	UPLIGHT FOR TREES AND SIGNS, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.
F5	★	BEGA	-	LED	120V-277V	-	WALL MOUNTED	DOWNLIGHT MOUNTED TO STRUCTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.
F6	○	COLOR KINETICS	C-SPLASH 2	LED 581MM MAINTAINED	120V-277V	41.7W	UNDERWATER	UNDERWATER LED SPOTLIGHT WITH COLOR LIGHT, SPECIALIZED LIGHT FIXTURE, FINAL COLOR/ FINISH AS SELECTED BY ARCHITECT.
F7	□	ECLIPSE LIGHTING	WA-717-4729K-8BU	LED 4730K, 80CRI 274MM MAINTAINED	120V-277V	71.7W	WALL MOUNTED	8' WALL MOUNTED LIGHT FIXTURE ABOVE GARAGE DOOR.

LIGHTS ARE NOT FINAL SELECTIONS. PHOTOMETRIC LIGHTS ARE RELATIVELY SIMILAR.



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CONCEPTUAL PHOTOMETRICS - PHASE III

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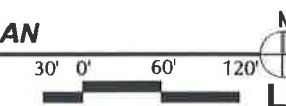
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Redevelopment Plan

SYMBOL LEGEND

	SHADE TREE 1 Acer rubrum 'Red Sunset' / Red Sunset Maple Acer saccharum 'Lacey' / Lacey Sugar Maple Celtis occidentalis 'Skyline' / Skyline Honey Locust Quercus bicolor / Swamp White Oak Tilia cordata / Littleleaf Linden Ulmus x 'Frontier' / American Elm	3" 3" 3" 3" 3"						
	SHADE TREE 2 Acer freemanii 'Armstrong' / Freeman Maple Carya biltmoreana / Biltmore Tree Quercus robur 'Royal Prince' / Royal Prince English Oak	3" 3" 3"						
	ORNAMENTAL 1 8 to 10 feet in height, DBH/Multi Stem Cotoneaster rugosus / Cotoneaster Hawthorn Cotoneaster phoenicis / Weibington Hawthorn Malus x 'Red Jade' / Red Jade Crab Apple Pyrus calleryana 'Chariclee' / Chariclee Pear Syringa reticulata / Japanese Tree Lilac	6' H 6' H 6' H 2.5' 8'						
	ORNAMENTAL 2 8 to 10 feet in height, DBH/Multi Stem Alnus glutinosa / European Alder Betula nigra / River Birch Betula populifolia 'Whitespire' / Whitespire Birch	10' H 10' H 10' H						
	ORNAMENTAL 3 8 to 10 feet in height, DBH/Multi Stem Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry Cercis canadensis 'Eternal Redbud' Cornus kousa / Kousa Dogwood Malus sargentii / Sargent Apple	6' H 6' H 6' H 6' H						
	EVERGREEN Juniperus chinensis 'Keteleeri' / Korean Chinese Juniper Picea abies / Norway Spruce Picea pungens 'Glauca' / Colorado Blue Spruce Thuja occidentalis / American Arborvitae Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae Thuja plicata 'Green Giant' / Western Red Cedar	6' H 10' H 8' H 8' H 8' H						
	FOUNDATION PLANTING Buxus microphylla 'Wintergreen' / Wintergreen Boxwood Cornus alternifolia / Alternate Cornus Euonymus alatus 'Compactus' / Compact Burning Bush Hydrangea paniculata 'Lardax' / Lardax Hydrangea Hydrangea quercifolia / Oakleaf Hydrangea Juniperus chinensis 'Sea Green' / Sea Green Juniper Rhus aromatica 'Crisp Leaf' / Crisp Leaf Sumac Rhus glabra / Smooth Sumac Rosa acicularis 'Nearly Wild' / Nearly Wild Rose Spiraea x burbankii 'Anthony Waterer' / Anthony Waterer Spiraea Syringa amurensis 'Palibin' / Dwarf Korean Lilac Syringa patula 'Miss Kim' / Miss Kim Lilac Taxus x media 'Evelyn' / Evelyn Yew Viburnum dentatum 'Aronwood' / Arrowwood Viburnum Viburnum lentago 'Molokai' / Molokai Viburnum Viburnum trilobum 'Bulky Compact' / Bulky Compact American Cranberry Bush Viburnum x juddii / Judd Viburnum Weigela florida 'Red Prince' / Red Prince Weigela							
	PERENNIAL 1 gal. @ 18" x 18" CC Andromeda amurensis / New England Aster Echinacea purpurea / Purple Coneflower Hemerocallis 'Happy Returns' / Happy Returns Day Lily Hosta fortunei 'Frances' / Frances Hosta Rudbeckia fulgida 'Goldstrum' / Goldstrum Black-eyed Susan							
	EXISTING CANOPY							
	<table border="1"> <thead> <tr> <th>Total Canopy</th> <th>Canopy Removed</th> <th>Canopy Replaced</th> </tr> </thead> <tbody> <tr> <td>1,607,300 SF (38.74 AC)</td> <td>90,400 SF (2.08 AC)</td> <td>47,900 SF (1.10 AC)</td> </tr> </tbody> </table>	Total Canopy	Canopy Removed	Canopy Replaced	1,607,300 SF (38.74 AC)	90,400 SF (2.08 AC)	47,900 SF (1.10 AC)	
Total Canopy	Canopy Removed	Canopy Replaced						
1,607,300 SF (38.74 AC)	90,400 SF (2.08 AC)	47,900 SF (1.10 AC)						



PHASE I LANDSCAPE PLAN



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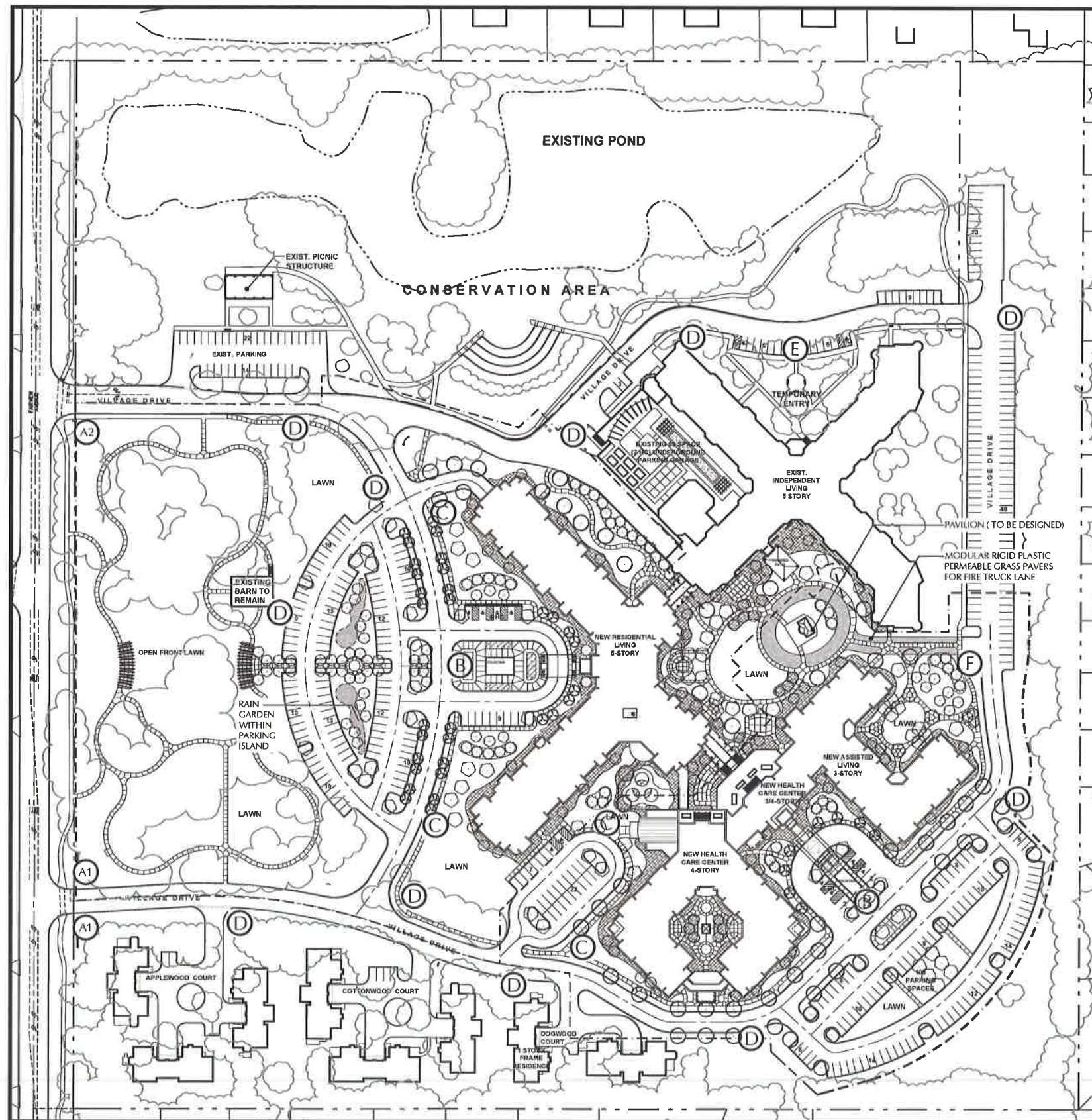
SYMBOL LEGEND

	SHADE TREE 1 Acer rubrum / Red Sunset / Red Sunset Maple Acer saccharum / Legacy / Legacy Sugar Maple Cedrus nana / Snowflake / Skyline Honey Locust Quercus bicolor / Swamp White Oak Tilia cordata / Littleleaf Linden Ulmus x / 'Frisian' / Aristocrat Elm	3" 3" 3" 3" 3"
	SHADE TREE 2 Acer freemanii / Arminius / Freeman Maple Ginkgo biloba / Maidenhair Tree Quercus robur / Royal Prince / Royal Prince English Oak	3" 3"
	ORNAMENTAL 1 B to 10 feet in height, BAB Multi Stem Elaeagnus argentea / Silver Star Crataegus phaenopynum / Washington Hawthorn Malus x / Red Jade / Red Jade Crab Apple Pyrus calleryana / Chanticleer / Chanticleer Pear Syringa reticulata / Japanese Tree Lilac	6' to 8' to 10' to 12' to 15' to 2.5' to 8'
	ORNAMENTAL 2 B to 10 feet in height, BAB Multi Stem Alnus glutinosa / European Alder Betula nigra / River Birch Betula populifolia / Whitepaper / Whitepaper Birch	10' to 10' to 10' to 10' to 10' to 10'
	ORNAMENTAL 3 B to 10 feet in height, BAB Multi Stem Amelanchier x grandiflora / Autumn Brilliance / Autumn Brilliance Serviceberry Cercis canadensis / Eastern Redbud Cornus kousa / Kousa Dogwood Malus sargentii / Sargent Apple	6' to 6' to 6' to 6' to 6' to 6'
	EVERGREEN Juniperus chinensis / Sargentii / Sargentii Chinese Juniper Picea abies / Norway Spruce Picea pungens / Glauca / Colorado Blue Spruce Thuja occidentalis / American Arborvitae Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae Thuja plicata / Green Giant / Western Red Cedar	6' to 10' to 8' to 8' to 8' to 8'
	FOUNDATION PLANTING Buxus microphylla / Wintergreen Boxwood Cotoneaster occidens / Peeking Cotoneaster Euonymus alatus / Striped Euonymus Hydrangea paniculata / Tardiva / Tardiva Hydrangea Hydrangea quercifolia / Oakleaf Hydrangea Juniperus horizontalis / Sea Green / Sea Green Juniper Rhus aromatica / Citrus / Citrus Sumac Ribes alpinum / Alpine Currant Rosa acicularis / Needle Point / Prickly Rose Spirea x humilis / Hedley Spirea / Anthony Water Spirea Syringa meyeri / Patina / Dwarf Korean Lilac Syringa patula / Asia King / Asia King Lilac Taxus media / Everlow / Everlow Yew Viburnum dentatum / Arrowwood / Arrowwood Viburnum Viburnum lentago / Hobble / Hobble Viburnum Viburnum trilobum / Baldy Coptis / Baldy's Coptis American Cranberry Bush Viburnum x juddii / Judd Viburnum Weigela florida / Red Prince / Red Prince Weigela	
	PERENNIAL 1 gal @ 18" x 18" CC Aster novae-angliae / New England Aster Echinacea purpurea / Purple Coneflower Hemerocallis x / Happy Returns / Happy Returns Daylily Hosta fortunei / Francee / Fortune's Hosta Rudbeckia fulgida 'Crispum' / Crispum Black-eyed Susan	
	EXISTING CANOPY Total Canopy: 1,687,300 SF (18.74 AC) Canopy Removed: 90,400 SF (12.00 AC) Canopy Replaced: 47,900 SF (1.10 AC)	



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 630 Dundee Road, Northbrook, IL 60062 847.564.8333 fax. 847.564.9999 www.sasarch.com

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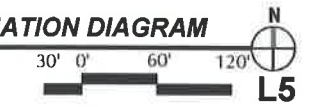
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Redevelopment Plan

SIGN LOCATION KEY

- (A1) UPDATE EXISTING GRAND MONUMENT SIGN (2)
- (A2) GRAND MONUMENT SIGN (1)
- (B) MONUMENT SIGN (2)
- (C) INTERMEDIATE SIGN (4)
- (D) SMALL DIRECTIONAL SIGN (11)
- (E) TEMPORARY SIGN (1)
- (F) FIRE LANE DESIGNATION SIGN (1)

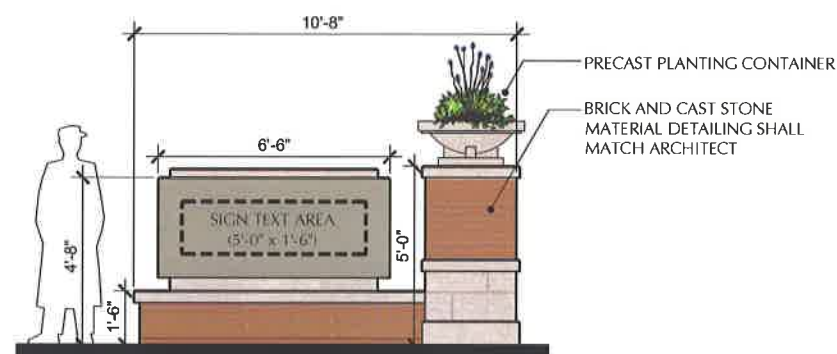


PHASE II SIGN COORDINATION DIAGRAM

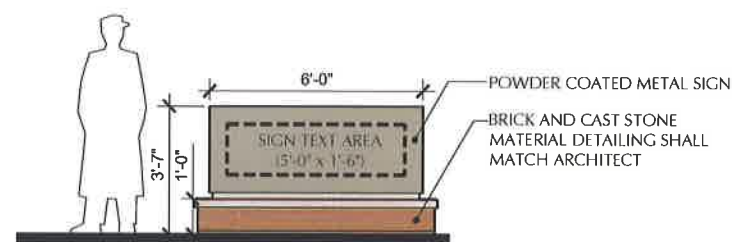




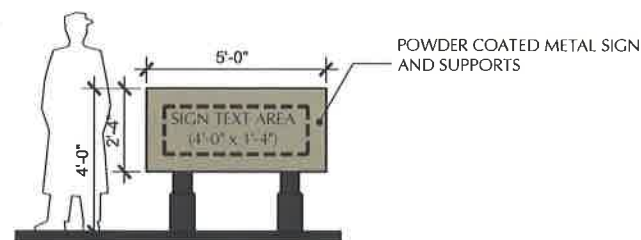
A2 ALTERNATIVE GRAND MONUMENT SIGN
ELEVATION



B MONUMENT SIGN
ELEVATION



C INTERMEDIATE SIGN
ELEVATION



D SMALL DIRECTIONAL SIGN
ELEVATION

GENERAL NOTE:
ALL SIGN ELEVATIONS ARE SHOWN ONLY AS PROTOTYPES
FOR SIZE AND MATERIAL AND WILL BE SUBJECT TO
REFINEMENT AS FURTHER PLANS DEVELOP

OAK TRACE 

A LIFESPAC COMMUNITY

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NOTE:

- (A1) EXISTING GRAND MONUMENT SIGNS TO HAVE UPDATED GRAPHICS AND AESTHETICS.



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2710 Curtiss Street
P.O. Box 1412
Downers Grove, IL 60515-0703
Phone: 630-969-0664
Fax: 630-969-0827
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Staff

Nicholas J. Menninga
General Manager

W. Clay Campbell
*Administrative Services
Director*

Legal Counsel
Michael C. Wiedel

Providing a Better Environment for South Central DuPage County

November 28, 2016

Via Email

Mr. Walter E Graft, P.E.
Gewalt Hamilton Associates
625 Forest Edge Drive
Vernon Hills IL 60061

RE: Oak Trace – 200 Village Drive - Conceptual Site Redevelopment

Dear Mr. Graft:

The Downers Grove Sanitary District hereby grants concept approval for the subject project to a maximum wastewater flow of 63,300 gallons per day. The Sanitary District's sanitary sewers have adequate downstream capacity to serve this project. The proposed building construction plans must be processed through the Sanitary District's standard plan review and permit process (a permit application is enclosed for your use).

Sincerely,

DOWNERS GROVE SANITARY DISTRICT



Ted Cherwak
Sewer Construction Supervisor

Enclosure

CC: VDG Planning Department

Memorandum

625 Forest Edge Drive, Vernon Hills, IL 60061

TEL 847.478.9700 ■ FAX 847.478.9701

www.gha-engineers.com

To: Brian Devlin
Lifespace Communities

Copy: Danny Martin – SAS Architects & Planners, LLC
Don Matthews – GHA

From: Justin Opitz
Dan Brinkman, P.E., PTOE

Re: Traffic and Parking Analyses
Proposed Oak Trace Community Renovations
Downers Grove, Illinois

Date: January 16, 2017

Per your request Gewalt Hamilton Associates, Inc. (GHA) has briefly reviewed the traffic planning and parking needs of the proposed expansion and renovation of the Oak Trace Community.

Background and Summary Statement

Fairview Village is considered a Continuing Care Retirement Center (CCRC) as it provides varying levels of care and living options for its aging residents allowing them to remain on site as they grow older and their individual health care needs change. Traditionally, CCRC type developments are in a campus setting similar to the approximately 39 acre Oak Trace Community.

The current campus is comprised of 218 residential living apartments, 72 assisted living apartments, 160 skilled nursing suites, and 56 residential living cottages.

The December 19, 2016 Conceptual Site Plan for the campus prepared by SAS Architects & Planners, LLC includes renovations and replacement of several of the existing components and will, at completion result in net changes as follows:

- 160 additional residential living apartments
- 6 fewer assisted living apartments
- 58 fewer skilled nursing suites (including short term suites)
- 28 additional memory support suites
- 13 new residential cottages (48 additional units)

Based on our observations and the following analyses, we feel that the additional traffic volumes generated by the expansion and redevelopment can be accommodated by the area roadways and that the proposed parking supply is both in excess of the Village of Downers Grove's requirements and sufficient to accommodate the needs of the Oak Trace campus' residents and staff.

Traffic Impacts

The following table summarizes the anticipated additional traffic volumes generated by the net changes in development on site. The calculated trips are based on historical rate information published in the latest (9th) edition of the Institute of Transportation Engineers (ITE) manual *Trip Generation*.

Table 1 Traffic Generations

Residential Style	ITE Land Use Code	Morning Peak Hour			Evening Peak Hour			Daily 24hr
		In	Out	Sum	In	Out	Sum	
+ 160 Residential Apartments	# 252	+11	+21	+32	+22	+18	+40	+498
-6 Assisted Living Units	# 254	-1	n/c	-1	-1	-1	-2	-16
-58 Skilled Nursing Suites (includes short term suites)	# 620	-7	-3	-10	-4	-9	-13	-159
+28 Memory Support Suites	# 254	+3	+2	+5	+4	+4	+8	+76
+48 Independent Living Cottage Units	# 252	+3	+6	+9	+7	+6	+13	+164
Totals =		+9	+26	+35	+28	+18	+46	+563

The volumes tabulated above are typical of CCRC and Age Restricted types of development, where the majority of the daily trips are made outside the traditional street Peak Hours (normally 7-9 am and 4-6 pm). As can be seen, the proposed expansion and redevelopment is expected to generate between 35 and 46 additional vehicle trips during each of the Peak Hours and approximately 560 new trips on a daily basis. By taking an aggressive approach and calculating each development component separately, we have made an effort to ensure that the maximum traffic impacts of the project are considered.

Parking Analyses

The current site has a total of 351 surface parking spaces and 63 underground spaces for a campus total of 414 spaces. Based on the Site Plan by SAS Architects, there will be 426 surface parking spaces and 326 underground spaces. These combined result in a new campus total of 752 spaces.

It appears that all the surface and underground spaces meet the Village's requirements for parking stall dimensions. Accessible parking should be provided in accordance with Village Code.

The Village of Downers Grove has various parking requirements for the different residential components at Fairview Village. Based on our review of the Village's Zoning Ordinance and definitions, we have calculated the required parking at 527 spaces or 225 fewer spaces than are proposed.

GHA calculated the parking requirements as follows:

Oak Trace Community Renovation
Downers Grove, IL

Table 2 Parking Calculations

Residential Style	Village Requirement	Fairview Village	Parking Required
Residential Apartment	0.6 spaces per dwelling unit	378 apartments	227
Assisted Living Apartments	0.4 spaces per dwelling unit	66 units	27
Skilled Nursing Beds	0.5 spaces per bed	70 total beds	354
Short Term Nursing Suites	0.5 spaces per bed	32 total beds	16
Memory Support Suites	0.5 spaces per bed	28 total beds	14
Residential Cottages	2 spaces per dwelling unit	104 apartments	208
Total Required =			527

Summary

In conclusion, our findings indicate that the additional traffic generated by the proposed expansion can generally be accommodated by the adjacent roadways and that the parking proposed on site is both in excess of the code requirements and sufficient to accommodate resident and staff demands.

3855.900 TPPB 011617.doc

Last Name	First Name	Phone	Signature
Abate	Charles & Kathleen	6125	
Anderson	Betty	6312	
Anderson	Josephine	6491	
Andresen	Doug	6417	
Antoniuk	Jeanette	6518	
Ashcraft	Sedelia (Dea)	6487	
Augustine	Virginia	6420	
Barclay	Hayes	6065	
Batson	William	6474	
Bechina	Joe & Marge	6178	Joe / Marge Bechina ✓
Beck	Natalie	6062	
Beeson	Marcella	6180	
Berry	Carl & Marion	6099	
Besyk	Rosemary	6191	
Biegert	John & Evelyn	6054	
Bird	Henry	6421	HEB
Blauvelt	Jane	6579	
Bleke	Dorothy	6122	
Bolton	Charles & Elizabeth	6130	
Bonheimer	Noreen	6438	MMB ✓
Bonin	Larry & Cesira	6274	
Bourne	Veta	6078	
Bowman	Dorothy	6189	
Bozich	Lila	6258	
Brandwein	Harriet	6493	LMB
Bratkovich	Polly	6058	
Brinkman	Elaine	6571	
Broadbent	Juaine	6139	
Brown	Elene	6552	
Bruns	Lois	6578	LB
Buchanan	Jack	6155	
Buenz	Elenore	6143	
Burzloff	Joyce	6132	
Byers	Edris	6154	EB ✓
Cassidy	Shirley	6477	
Cecchi	Roy	6126	
Cech	Doris	6516	
Chana	Dorothy	6429	

BRIANS ✓ visitor.

Chandler	Barbara	6522	
Chen	Nancy	6483	
Christensen	Ed	6582	<i>Ed Christensen</i>
Chval	Adella	6092	
Cook	Peter	6593	
Cook	Katy	6117	
Coomer	Jim & Irene	6153	
Cramer	Garland	6160	
Crane	Bob & Jane	6159	
Cullen	Joan	6045	
Cumming	Bill	6164	
Danielson	Dorothy	6063	
Daskewicz	Leonard	6188	
Day	Bonnie	6395	
DeBruin	Billie	6584	
Del Monaco	Arturo	6076	
Denemark	Emil	6264	
Dindia	Barbara	6416	
Domagala	Diane	6465	
Dowd	George	6558	
Drahn	Aloha	6311	
Drevalas	Marge	6583	
Dutkovich	Sharon	6059	
Dvorak	Irene	6444	
Edberg	Lois	6173	<i>LE</i>
Ericson	Richard & Nancy	6174	
Evans	Lorraine	6470	
Fahrmeier	Dorothy	6486	
Forst	Barbara	6529	
Fox	Sue	6576	<i>SF</i>
Fredrickson	Paul	6495	
Froemke	Marjorie	6148	
Garrison	Lew	6479	
Geraci	Mary Ann	6195	
Gilomen	Betty	6507	
Gingrich	Irene	6349	
Goon	Don & Diana	6093	<i>DMY</i>
Grabowski	Ronnie	6050	
Graff	Mary	6051	

Gralak	Lorraine	6594	
Graunke	Del & Elaine	6075	<i>Elaine & Del Graunke</i>
Grazis	Brenda	6133	
Gregory	Char	6166	
Guzzaldo	James	6494	<i>RG</i>
Haffner	Richard & Barbara	6068	
Hanke	Ellie	6190	
Haraburda	Annabelle	6559	
Harris	Craig	6517	
Harrison	Donald & Charlene	6536	
Hatch	Jean	6577	
Heller	Molly	6152	
Hermann	Mary Katherine	6128	<i>Mrs. Hermann</i>
Herzog	Al & Carolyn	6175	
Heuberger	Elly	6561	<i>Elly Heuberger</i>
Hillman	Harry & Annette	6502	
Hilsabeck	Jeanette	6194	
Hodgson	Vincent	6359	
Hoff	Glenda	6120	
<i>r. Hollensteiner</i>	Joann	6544	
Hood	David & Chris	6163	
Houser	Juanita	6142	
Hrstka	Warren	6419	<i>Warren</i>
Hubbell	Esther	6445	
Hurter	George & Becky	6134	
Hynek	Lorraine	6023	<i>Hynek</i>
Johnson	Virginia	6196	
Johnson	Clyde & Carole	6276	
Johnson	Mary R.	6481	
Johnson	Carter	6186	<i>Carter Johnson</i>
Jones	Dave & Ann	6070	
Jontry	Linda	6157	
Kaiser	Bernie	6074	
Kinzie	Judy	6455	
Kivitts	Ellyn	6089	
Kleist	Marge	6515	
Kober	Cleone	6052	
Koch	Russell	6545	<i>✓ O</i>
Kocjan	Irene	6555	

Koehlinger	Diane	6508	
Kolar	Lois	6510	
Kolb	Maris	6086	0
Krause	John & Marilyn	6127	
Kriete	Jane	6278	
Kurtz	Charles	715-651-6481	
Laman	Dorothy	6437	
Lee	Jane	6490	JL.
Leichti	Alice & Jim	6138	
Leuffgen	Ron & Alice	6315	
Lindberg	May	6097	
Linden	John & Eileen	6181	
Lindquist	Ruth & Gordon	6587	
Lorenz	Harold	6590	
Lukes	Charlette	6167	
MacDonald	David & Peg	6540	
Maier	Curtis	6497	
Mankivsky	Jan	6505	
Martindale	Ruth	6539	
n Matthreussen	Ed & Mary	6183	
Mayer	Mary	6161	
McAtee	Judy	6131	
McDermott	Fran	6247	
Memler	Don & Glad	6193	
Menconi	Frank & Lily	6146	
Merker	Suzanne	6475	
Meyer	Larry	6095	
Mihalik	Virginia	6111	
Miller	Elizabeth	6123	
Miner	Bob & Vivian	6585	Robert Miner
Moore	Bill & Magee	6090	
Moroney	Mary <i>mm</i>	6176	
Moyar	Ruth	6028	
Neder	Bob	6091	0
Nei	Isabel	6441	
Nelson	Jeanne	6513	
Nolan	Rosemary	6560	
O'Donnell	James & Janet	6136	
Olson	Pat	6534	

Oney	Joan	6586	<i>jmo</i>
O'Reilly	Pat	6543	
Ove	Jim	6165	
Pacholski	Norb & Pat	6088	
Parent	Pat	6072	
Parker	Margaret	6473	
Pastryk	Eleanor	6435	
Petrovich	Lillian	6499	
Pinkham	Emiko	6172	
Pitrak	Jim	6443	
Potenza	Harriett	6517	<i>UHP</i>
Potts	Janet	6162	
Puglisi	Pat	6307	
Pultorak	Adrienne	6501	
Purcell	Ruth	6119	<i>O</i>
Quinn	Berneice	6595	
Rauh	Mary Lou	6240	
Reapsome	Jim & Martha	6071	
Reid	Jean	968-2020	
Richardson	Raymond	6528	<i>RCGR</i>
Riegler	Doris	6187	
Riley	Peter & Pat	6168	<i>PR-PR</i>
Riordan	Don & Virginia	6520	
Rippe	Alvera	6053	<i>AR</i>
Robinson	Virginia	6509	
Rohr	Ruth	6297	
Rouffa	Al	6358	
Russell	Jackie	6141	<i>JR</i>
Russo	Patt	6596	
Sandman	Olgha	6489	
Sasinka	Carolle	6077	
Sawula	Kataryna	6468	
Scherrer	Helen	6094	
Schilder	Mike & Roz	6085	
Schlottmann	Anneliese	6306	
Schnulle	Alvanell	6185	
Scholz	Anita	6137	
Schuetz	Katherine	6060	
Seidmon	Eleanor	6305	

Smith	Hilary	6171	
Soukup	Hank & Ann	6082	
Stauffer	Bill & Martha	6554	
Steele	Marynelle	6485	
Stellmack	Jeanette	6245	J.S. O
Stern	Ralph	6572	
Stroede	Henrik & Irma	6573	
Sulhoff	Lorraine	6575	
Sullivan	Lynn	6061	
Taylor	Dorothy	6469	
Testa	Rosamond	6551	
Thaxton	Doug	6563	DT
Thompson	Marjory	6592	
Thygesen	Cliff	6232	
Tice	Marie	6531	
Tockston	Elaine	6246	
Tolbert	Shirley	6145	
Tolman	Vernadene	6215	
Trinklein	Margaret	6135	✓
Tuggle	Robert	6014	BT
Vala	Victoria	6009	
Van Alstine	Marge	6589	✓ O
Van Arsdell	Grace	6514	
Van Ausdall	Marilyn	6182	
Devander	Jerry	6533	
Veldman	Marthann	6333	
Velon	Nancy	6557	
Vrchota	Robert	6319	
Wagner	Mary	6467	
Wainscott	Rena	6519	
Wear	James & Suzanne	6064	James H. Wear
Weiss	Roger	6548	
Welko	Lenora	6170	
Wensel	Gene & Lois	6472	
Wentworth	Florence	6096	
Wilson	Joan	6484	
Zelmer	Muriel	6471	
Ziamba	Hank & Joan	6532	

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Beck	Natalie	6062	
Beeson	Marcella	6180	
Berry	Carl & Marion	6099	
Besyk	Rosemary	6191	
Biegert	John & Evelyn	6054	83
Bird	Henry	6421	
Blauvelt	Jane	6579	
Bleke	Dorothy	6122	
Bolton	Charles & Elizabeth	6130	
Bonheimer	Noreen	6438	
Bonin	Larry & Cesira	6274	X
Bourne	Veta	6078	
Bowman	Dorothy	6189	
Bozich	Lila	6258	
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Broadbent	Juaine	6139	JS
Brown	Elene	6552	
Bruns	Lois	6578	X
Buchanan	Jack	6155	
Buenz	Elenore	6143	
Burzloff	Joyce	6132	
Byers	Edris	6154	
Cassidy	Shirley	6477	
Cecchi	Roy	6126	
Cech	Doris	6516	
Chana	Dorothy	6429	

Chandler	Barbara	6522	
Chen	Nancy	6483	
Christensen	Ed	6582	
Chval	Adella	6092	
Cook	Peter	6593	
Cook	Katy	6117	
Coomer	Jim & Irene	6153	✓ X
Cramer	Garland	6160	
Crane	Bob & Jane	6159	
Cullen	Joan	6045	
Cumming	Bill	6164	
Danielson	Dorothy	6063	over
Daskewicz	Leonard	6188	
Day	Bonnie	6395	
DeBruin	Billie	6584	
Del Monaco	Arturo	6076	
Denemark	Emil	6264	
Dindia	Barbara	6416	
Domagala	Diane	6465	
Dowd	George	6558	
Drahn	Aloha	6311	
Drevalas	Marge	6583	X
Dutkovich	Sharon	6059	
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Fox	Sue	6576	
Fredrickson	Paul	6495	
Froemke	Marjorie	6148	
Garrison	Lew	6479	
Geraci	Mary Ann	6195	
Gilomen	Betty	6507	E G
Gingrich	Irene	6349	Over
Goon	Don & Diana	6093	
Grabowski	Ronnie	6050	
Graff	Mary	6051	

Gralak	Lorraine	6594	
Graunke	Del & Elaine	6075	
Grazis	Brenda	6133	
Gregory	Char	6166	
Guzzaldo	James	6494	
Haffner	Richard & Barbara	6068	
Hanke	Ellie	6190	
Haraburda	Annabelle	6559	
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Heller	Molly	6152	
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r	Joann	6544	
Hood	David & Chris	6163	
Houser	Juanita	6142	
Hrstka	Warren	6419	
Hubbell	Esther	6445	
Hurter	George & Becky	6134	
Hynek	Lorraine	6023	
Johnson	Virginia	6196	
Johnson	Clyde & Carole	6276	X
Johnson	Mary R.	6481	
Johnson	Carter	6186	
Jones	Dave & Ann	6070	
Jontry	Linda	6157	
Kaiser	Bernie	6074	BR
Kinzie	Judy	6455	
Kivitts	Ellyn	6089	
Kleist	Marge	6515	
Kober	Cleone	6052	X
Koch	Russell	6545	
Kocjan	Irene	6555	

Koehlinger	Diane		6508	
Kolar	Lois		6510	
Kolb	Maris		6086	
Krause	John & Marilyn		6127	
Kriete	Jane		6278	
Kurtz	Charles	715-651-6481		
Laman	Dorothy		6437	
Lee	Jane		6490	X
Leichti	Alice & Jim		6138	
Leuffgen	Ron & Alice		6315	
Lindberg	May		6097	X
Linden	John & Eileen		6181	
Lindquist	Ruth & Gordon		6587	
Lorenz	Harold		6590	
Lukes	Charlette		6167	
MacDonald	David & Peg		6540	
Maier	Curtis		6497	
Mankivsky	Jan		6505	
Martindale	Ruth		6539	
n	Ed & Mary		6183	
Mayer	Mary		6161	
McAtee	Judy		6131	
McDermott	Fran		6247	
Memler	Don & Glad		6193	X
Menconi	Frank & Lily		6146	
Merker	Suzanne		6475	
Meyer	Larry		6095	X
Mihalik	Virginia		6111	
Miller	Elizabeth		6123	
Miner	Bob & Vivian		6585	
Moore	Bill & Magee		6090	X
Moroney	Mary		6176	
Moyar	Ruth		6028	
Neder	Bob		6091	
Nei	Isabel		6441	
Nelson	Jeanne		6513	
Nolan	Rosemary		6560	
O'Donnell	James & Janet		6136	NO
Olson	Pat		6534	NO

MATTHEUSSEN MARY 342
 " ED

X

Oney	Joan	6586	
O'Reilly	Pat	6543	
Ove	Jim	6165	
Pacholski	Norb & Pat	6088	
Parent	Pat	6072	
Parker	Margaret	6473	
Pastryk	Eleanor	6435	
Petrovich	Lillian	6499	
Pinkham	Emiko	6172	EP.
Pitrak	Jim	6443	
X Potenza	Harriett	6517	2 Copies - 1 got well
Potts	Janet	6162	
Puglisi	Pat	6307	
Pultorak	Adrienne	6501	
Purcell	Ruth	6119	Am P.
Quinn	Berneice	6595	
Rauh	Mary Lou	6240	
Reapsome	Jim & Martha	6071	
Reid	Jean	968-2020	X
Richardson	Raymond	6528	
Riegler	Doris	6187	
Riley	Peter & Pat	6168	X
Riordan	Don & Virginia	6520	X
Rippe	Alvera	6053	X
Robinson	Virginia	6509	
Rohr	Ruth	6297	
Rouffa	Al	6358	
Russell	Jackie	6141	X
Russo	Patt	6596	
Sandman	Olgha	6489	
Sasinka	Carolle	6077	
Sawula	Kataryna	6468	
Scherrer	Helen	6094	
Schilder	Mike & Roz	6085	
Schlottmann	Anneliese	6306	
Schnulle	Alvanell	6185	X
Scholz	Anita	6137	
Schuetz	Katherine	6060	eka X
Seidmon	Eleanor	6305	

Smith	Hilary	6171	
Soukup	Hank & Ann	6082	<i>MRS ABD</i>
Stauffer	Bill & Martha	6554	
Steele	Marynelle	6485	<i>MRS</i>
Stellmack	Jeanette <i>Jeannette</i>	6245	
Stern	Ralph	6572	
Stroede	Henrik & Irma	6573	<i>X</i>
Sulhoff	Lorraine	6575	
Sullivan	Lynn	6061	
Taylor	Dorothy	6469	
Testa	Rosamond	6551	
Thaxton	Doug	6563	
Thompson	Marjory	6592	
Thygesen	Cliff	6232	
Tice	Marie	6531	
Tockston	Elaine	6246	
Tolbert	Shirley	6145	
Tolman	Vernadene	6215	
Trinklein	Margaret	6135	
Tuggle	Robert	6014	
Vala	Victoria	6009	
Van Alstine	Marge	6589	
Van Arsdell	Grace	6514	
Van Ausdall	Marilyn	6182	<i>✓</i>
Devander	Jerry	6533	
Veldman	Marthann	6333	
Velon	Nancy	6557	
Vrchota	Robert	6319	
Wagner	Mary	6467	
<i>X</i> Wainscott	Rena	6519	
Wear	James & Suzanne	6064	<i>X</i>
Weiss	Roger	6548	
Welko	Lenora	6170	<i>LW</i>
Wensel	Gene & Lois	6472	<i>CW</i>
Wentworth	Florence	6096	
Wilson	Joan	6484	
Zelmer	Muriel	6471	
Ziemba	Hank & Joan	6532	

Len Swanson X AZ

Last Name	First Name	Phone	Signature
Abate	Charles & Kathleen	6125	K. Abate - B. Abate
Anderson	Betty	6312	
Anderson	Josephine	6491	J. Anderson
Andresen	Doug	6417	X
Antoniuk	Jeanette	6518	
Ashcraft	Sedelia (Dea)	6487	
Augustine	Virginia	6420	
Barclay	Hayes	6065	
Batson	William	6474	W. Batson
Bechina	Joe & Marge	6178	
Beck	Natalie	6062	N. Beck
Beeson	Marcella	6180	
Berry	Carl & Marion	6099	Carl Berry
Besyk	Rosemary	6191	
Biegert	John & Evelyn	6054	X
Bird	Henry	6421	
Blauvelt	Jane	6579	
Bleke	Dorothy	6122	
Bolton	Charles & Elizabeth	6130	Charles Bolton X
Bonheimer	Noreen	6438	
Bonin	Larry & Cesira	6274	Cesira Bonin
Bourne	Veta	6078	
Bowman	Dorothy	6189	
Bozich	Lila	6258	
Brandwein	Harriet	6493	
Bratkovich	Polly	6058	
Brinkman	Elaine	6571	
Broadbent	Juaine	6139	X
Brown	Elene	6552	X
Bruns	Lois	6578	Lois Bruns
Buchanan	Jack	6155	J. Buchanan
Buenz	Elenore	6143	✓
Burzloff	Joyce	6132	
Byers	Edris	6154	
Cassidy	Shirley	6477	
Cecchi	Roy	6126	
Cech	Doris	6516	✓
Chana	Dorothy	6429	

Subrbier Kay

Chandler	Barbara	6522	
Chen	Nancy	6483	
Christensen	Ed	6582	
Chval	Adella	6092	
Cook	Peter	6593	
Cook	Katy	6117	
Coomer	Jim & Irene	6153	
Cramer	Garland	6160	
Crane	Bob & Jane	6159	✓
Cullen	Joan	6045	
Cumming	Bill	6164	
Danielson	Dorothy	6063	
Daskewicz	Leonard	6188	
Day	Bonnie	6395	
DeBruin	Billie	6584	BD
Del Monaco	Arturo	6076	
Denemark	Emil	6264	BD
Dindia	Barbara	6416	BD
Domagala	Diane	6465	
Dowd	George	6558	
Drahn	Aloha	6311	
Drevalas	Marge	6583	BD
Dutkovich	Sharon	6059	
Dvorak	Irene	6444	
Edberg	Lois	6173	
Ericson	Richard & Nancy	6174	
Evans	Lorraine	6470	
Fahrmeier	Dorothy	6486	
Forst	Barbara	6529	
Fox	Sue	6576	
Fredrickson	Paul	6495	
Froemke	Marjorie	6148	
Garrison	Lew	6479	
Geraci	Mary Ann	6195	
Gilomen	Betty	6507	
Gingrich	Irene	6349	
Goon	Don & Diana	6093	
Grabowski	Ronnie	6050	
Graff	Mary	6051	

Gralak	Lorraine	6594	
Graunke	Del & Elaine	6075	
Grazis	Brenda	6133	log
Gregory	Char	6166	
Guzzaldo	James	6494	
Haffner	Richard & Barbara	6068	Barbara & Rick Haffner
Hanke	Ellie	6190	EMH.
Haraburda	Annabelle	6559	AH
Harris	Craig	6517	X
Harrison	Donald & Charlene	6536	
Hatch	Jean	6577	
Heller	Molly	6152	
Hermann	Mary Katherine	6128	
Herzog	Al & Carolyn	6175	
Heuberger	Elly	6561	
✓ Hillman	Harry & Annette	6502	X
Hilsabeck	Jeanette	6194	
Hodgson	Vincent	6359	
Hoff	Glenda	6120	
✓ r	Joann	6544	X
Hood	David & Chris	6163	D Hood S. Dew
Houser	Juanita	6142	
Hrstka	Warren	6419	
Hubbell	Esther	6445	
Hurter	George & Becky	6134	63091 GWH
Hynek	Lorraine	6023	
Johnson	Virginia	6196	
Johnson	Clyde & Carole	6276	cf. cf
Johnson	Mary R.	6481	
Johnson	Carter	6186	
Jones	Dave & Ann	6070	abg dg
Jontry	Linda	6157	
Kaiser	Bernie	6074	
Kinzie	Judy	6455	
Kivitts	Ellyn	6089	
Kleist	Marge	6515	
Kober	Cleone	6052	
Koch	Russell	6545	Russell Koch
Kocjan	Irene	6555	X

Koehlinger	Diane		6508	
Kolar	Lois		6510	
Kolb	Maris		6086	
Krause	John & Marilyn		6127	
Kriete	Jane		6278	
Kurtz	Charles	715-651-6481		<i>CAK</i>
Laman	Dorothy		6437	
Lee	Jane		6490	
Leichti	Alice & Jim		6138	
Leuffgen	Ron & Alice		6315	
Lindberg	May		6097	
Linden	John & Eileen		6181	
Lindquist	Ruth & Gordon		6587	
Lorenz	Harold		6590	
Lukes	Charlette		6167	<i>Ed</i>
MacDonald	David & Peg		6540	
Maier	Curtis		6497	
Mankivsky	Jan		6505	
Martindale	Ruth		6539	
n	Ed & Mary		6183	
Mayer	Mary		6161	
McAtee	Judy		6131	<i>jmm X</i>
McDermott	Fran		6247	
Memler	Don & Glad		6193	<i>asm X</i>
Menconi	Frank & Lily		6146	<i>asm X.M. X</i>
Merker	Suzanne		6475	
Meyer	Larry		6095	<i>asm</i>
Mihalik	Virginia		6111	
Miller	Elizabeth		6123	
Miner	Bob & Vivian		6585	
Moore	Bill & Magee		6090	
Moroney	Mary		6176	<i>X</i>
Moyar	Ruth		6028	
Neder	Bob		6091	
Nei	Isabel		6441	
Nelson	Jeanne		6513	
Nolan	Rosemary		6560	
O'Donnell	James & Janet		6136	
Olson	Pat		6534	

Oney	Joan		6586	
O'Reilly	Pat		6543	
Ove	Jim		6165	
✓ Pacholski	Norb & Pat		6088	
Parent	Pat		6072	
Parker	Margaret		6473	
Pastryk	Eleanor		6435	
Petrovich	Lillian		6499	
Pinkham	Emiko		6172	
Pitrak	Jim		6443	
Potenza	Harriett		6517	
Potts	Janet		6162	
Puglisi	Pat		6307	
Pultorak	Adrienne		6501	
Purcell	Ruth		6119	
Quinn	Berneice		6595	
Rauh	Mary Lou		6240	
Reapsome	Jim & Martha		6071	Jim Reapsome LMS.
Reid	Jean	968-2020		JR
Richardson	Raymond		6528	
Riegler	Doris		6187	
Riley	Peter & Pat		6168	
Riordan	Don & Virginia		6520	
Rippe	Alvera		6053	
Robinson	Virginia		6509	
Rohr	Ruth		6297	
Rouffa	Al		6358	
Russell	Jackie		6141	
Russo	Patt		6596	PR
Sandman	Olgha		6489	
Sasinka	Carolle		6077	
Sawula	Kataryna		6468	
Scherrer	Helen		6094	
Schilder	Mike & Roz		6085	
Schlottmann	Anneliese		6306	
Schnulle	Alvanell	RB	6185	
Scholz	Anita		6137	Scholz +
Schuetz	Katherine		6060	
Seidmon	Eleanor		6305	E. Seidmon

Smith	Hilary	6171	
Soukup	Hank & Ann	6082	
Stauffer	Bill & Martha	6554	X
Steele	Marynelle	6485	
Stellmack	Jeanette	6245	
Stern	Ralph	6572	
Stroede	Henrik & Irma	6573	<i>H Stroede</i>
Sulhoff	Lorraine	6575	
Sullivan	Lynn	6061	
Taylor	Dorothy	6469	
Testa	Rosamond	6551	
Thaxton	Doug	6563	
Thompson	Marjory	6592	
Thygesen	Cliff	6232	
Tice	Marie	6531	
Tockston	Elaine	6246	
Tolbert	Shirley	6145	
Tolman	Vernadene	6215	
Trinklein	Margaret	6135	
Tuggle	Robert	6014	
Vala	Victoria	6009	
Van Alstine	Marge	6589	
Van Arsdell	Grace	6514	<i>Grace Van Arsdell</i>
Van Ausdall	Marilyn	6182	
Devander	Jerry	6533	
Veldman	Marthann	6333	
Velon	Nancy <i>NEV</i>	6557	
Vrchota	Robert	6319	
Wagner	Mary	6467	
Wainscott	Rena	6519	
Wear	James & Suzanne	6064	
Weiss	Roger	6548	
Welko	Lenora	6170	
Wensel	Gene & Lois	6472	
Wentworth	Florence	6096	
Wilson	Joan	6484	<i>J. Wilson</i>
Zelmer	Muriel	6471	
Ziemba	Hank & Joan	6532	

Last Name	First Name	Phone	Signature
X Abate	Charles & Kathleen	6125	
Anderson	Betty	6312	
Anderson	Josephine	6491	
Andresen	Doug	6417	
Antoniuk	Jeanette	6518	<i>AA</i>
Ashcraft	Sedelia (Dea)	6487	<i>Ashcraft</i>
Augustine	Virginia	6420	
Barclay	Hayes	6065	
Batson	William	6474	
Bechina	Joe & Marge	6178	
Beck	Natalie	6062	
Beeson	Marcella	6180	
Berry	Carl & Marion	6099	
Besyk	Rosemary	6191	
Biegert	John & Evelyn	6054	
Bird	Henry	6421	
Blauvelt	Jane	6579	
Bleke	Dorothy	6122	
Bolton	Charles & Elizabeth	6130	
Bonheimer	Noreen	6438	
Bonin	Larry & Cesira	6274	
Bourne	Veta	6078	
Bowman	Dorothy	6189	<i>db</i>
Bozich	Lila	6258	
X Brandwein	Harriet	6493	
Bratkovich	Polly	6058	
Brinkman	Elaine	6571	
Broadbent	Juaine	6139	
Brown	Elene	6552	
Bruns	Lois	6578	
Buchanan	Jack	6155	
Buenz	Elenore	6143	
Burzloff	Joyce	6132	
Byers	Edris	6154	
Cassidy	Shirley	6477	
Cecchi	Roy	6126	
Cech	Doris	6516	
Chana	Dorothy	6429	

X Chandler	Barbara	6522	Barbara Chandler
X Chen	Nancy	6483	Nancy Chen
Christensen	Ed	6582	
Chval	Adella	6092	
Cook	Peter	6593	
Cook	Katy	6117	
Coomer	Jim & Irene	6153	
X Cramer	Garland	6160	GC
X Crane	Bob & Jane	6159	
Cullen	Joan	6045	
Cumming	Bill	6164	Bill Cumming
Danielson	Dorothy	6063	
Daskewicz	Leonard	6188	
Day	Bonnie	6395	
X DeBruin	Billie	6584	
Del Monaco	Arturo	6076	A. Del Monaco
Denemark	Emil	6264	
Dindia	Barbara	6416	V
Domagala	Diane	6465	
Dowd	George	6558	
Drahn	Aloha	6311	
Drevalas	Marge	6583	
Dutkovich	Sharon	6059	
Dvorak	Irene	6444	
Edberg	Lois	6173	
Ericson	Richard & Nancy	6174	RE.
Evans	Lorraine	6470	
Fahrmeier	Dorothy	6486	
Forst	Barbara	6529	
Fox	Sue	6576	
Fredrickson	Paul	6495	Paul
Froemke	Marjorie	6148	
Garrison	Lew	6479	
Geraci	Mary Ann	6195	
Gilomen	Betty	6507	
Gingrich	Irene	6349	
Goon	Don & Diana	6093	
X Grabowski	Ronnie	6050	RG
Graff	Mary	6051	

Gralak	Lorraine	6594	
Graunke	Del & Elaine	6075	
Grazis	Brenda	6133	
X Gregory	Char	6166	
X Guzzaldo	James	6494	
Haffner	Richard & Barbara	6068	
Hanke	Ellie	6190	
Haraburda	Annabelle	6559	
Harris	Craig	6517	
Harrison	Donald & Charlene	6536	
Hatch	Jean	6577	Jean Hatch
Heller	Molly	6152	
X Hermann	Mary Katherine	6128	
X Herzog	Al & Carolyn	6175	Al
Heuberger	Elly	6561	
Hillman	Harry & Annette	6502	ASH & HSH
Hilsabeck	Jeanette	6194	
Hodgson	Vincent	6359	
Hoff	Glenda	6120	
r Hollenskeiner	Joann	6544	
Hood	David & Chris	6163	
Houser	Juanita	6142	
Hrstka	Warren	6419	
Hubbell	Esther	6445	
Hurter	George & Becky	6134	
Hynek	Lorraine	6023	
Johnson	Virginia	6196	
X Johnson	Clyde & Carole	6276	shee
Johnson	Mary R.	6481	
Johnson	Carter	6186	
Jones	Dave & Ann	6070	
Jontry	Linda	6157	
Kaiser	Bernie	6074	
Kinzie	Judy	6455	
Kivitts	Ellyn	6089	
Kleist	Marge	6515	
Kober	Cleone	6052	
Koch	Russell	6545	
Kocjan	Irene	6555	TK

Koehlinger	Diane	6508	
Kolar	Lois	6510	<i>L. K.</i>
Kolb	Maris	6086	<i>mk</i>
Krause	John & Marilyn	6127	
Kriete	Jane	6278	
Kurtz	Charles	715-651-6481	
Laman	Dorothy	6437	
Lee	Jane	6490	
Leichti	Alice & Jim	6138	<i>✓</i>
Leuffgen	Ron & Alice	6315	
Lindberg	May	6097	<i>mg</i>
Linden	John & Eileen	6181	
Lindquist	Ruth & Gordon	6587	
Lorenz	Harold	6590	
Lukes	Charlette	6167	
MacDonald	David & Peg	6540	
Maier	Curtis	6497	
Mankivsky	Jan	6505	
Martindale	Ruth	6539	
n Mattheussen	Ed & Mary	6183	
X Mayer	Mary	6161	<i>M Mayer</i>
McAtee	Judy	6131	
McDermott	Fran	6247	
Memler	Don & Glad	6193	
Menconi	Frank & Lily	6146	
Merker	Suzanne	6475	
Meyer	Larry	6095	6095
Mihalik	Virginia	6111	
Miller	Elizabeth	6123	
X Miner	Bob & Vivian	6585	
Moore	Bill & Magee	6090	<i>mdm</i>
Moroney	Mary	6176	
Moyar	Ruth	6028	
Neder	Bob	6091	<i>g R Neder</i>
Nei	Isabel	6441	
Nelson	Jeanne	6513	
Nolan	Rosemary	6560	
O'Donnell	James & Janet	6136	<i>HTOP</i>
X Olson	Pat	6534	

Oney	Joan	6586	
O'Reilly	Pat	6543	
Ove	Jim	6165	
Pacholski	Norb & Pat	6088	<i>NP PP</i>
X Parent	Pat	6072	<i>✓</i>
Parker	Margaret	6473	
Pastryk	Eleanor	6435	
Petrovich	Lillian	6499	
X Pinkham	Emiko	6172	
Pitrak	Jim	6443	
Potenza	Harriett	6517	
Potts	Janet	6162	
Puglisi	Pat	6307	
X Pultorak	Adrienne	6501	<i>AP</i>
Purcell	Ruth	6119	
Quinn	Berneice	6595	
Rauh	Mary Lou	6240	
Reapsome	Jim & Martha	6071	
Reid	Jean	968-2020	
Richardson	Raymond	6528	
Riegler	Doris	6187	<i>✓</i>
Riley	Peter & Pat	6168	
Riordan	Don & Virginia	6520	
Rippe	Alvera	6053	
Robinson	Virginia	6509	
Rohr	Ruth	6297	
Rouffa	Al	6358	<i>AR</i>
Russell	Jackie	6141	
Russo	Patt	6596	<i>✓</i>
X Sandman	Olgha	6489	<i>OS.</i>
Sasinka	Carolle	6077	
X Sawula	Kataryna	6468	
X Scherrer	Helen	6094	<i>HS</i>
Schilder	Mike & Roz	6085	
Schlottmann	Anneliese	6306	
Schnulle	Alvanell	6185	
Scholz	Anita	6137	
Schuetz	Katherine	6060	
Seidmon	Eleanor	6305	

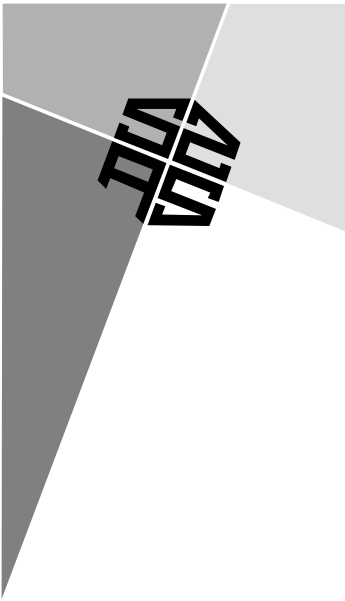
Smith	Hilary	6171	HS
Soukup	Hank & Ann	6082	
Stauffer	Bill & Martha	6554	MBS
Steele	Marynelle	6485	
Stellmack	Jeanette	6245	
Stern	Ralph	6572	
Stroede	Henrik & Irma	6573	
Sulhoff	Lorraine	6575	
Sullivan	Lynn	6061	
Taylor	Dorothy	6469	
Testa	Rosamond	6551	
Thaxton	Doug	6563	
Thompson	Marjory	6592	
Thygesen	Cliff	6232	
Tice	Marie	6531	
Tockston	Elaine	6246	Elaine Tockston
Tolbert	Shirley	6145	
Tolman	Vernadene	6215	
Trinklein	Margaret	6135	
Tuggle	Robert	6014	
Vala	Victoria	6009	
Van Alstine	Marge	6589	
Van Arsdell	Grace	6514	
Van Ausdall	Marilyn	6182	
Devander	Jerry	6533	
Veldman	Marthann	6333	Marthann Veldman
Velon	Nancy	6557	
Vrchota	Robert	6319	
Wagner	Mary	6467	
Wainscott	Rena	6519	Rena Wainscott
Wear	James & Suzanne	6064	
Weiss	Roger	6548	RW
Welko	Lenora	6170	
Wensel	Gene & Lois	6472	
Wentworth	Florence	6096	
Wilson	Joan	6484	
Zelmer	Muriel	6471	
Ziemba	Hank & Joan	6532	HZ

Oak Trace Apartment Visitor Sign In Sheet

February 16, 2017 Community Development Meeting

Please print or write legibly!

Visitor Name	Address
SANDRA MITCHELL	6572 FAIRVIEW DR
(z) Danielle Weiss	6576 Fairview Ave
STEVE = DEBBIE CHIKA	1452 SCHRAMM DR. WESTMONT
Abe Glazer & Meg Marshall	1412 Schramm Dr



SAS

-
- 10:00 AM - Meeting for just the residents of the Garden Home area that would be affected by phase I redevelopment.
 - 1:00 PM – Meeting open to all Oak Trace Residents* to hear about the redevelopment plans
 - 3:00 PM – Meeting open to all Oak Trace team members (Staff) to hear about the redevelopment plans.

Presentation lead by Ann Walsh, LifeSpace Communities, Vice President of Operations and Brian Devlin, LifeSpace Communities, Vice President of Development. All supported by onsite management.

*The meeting was aired on the closed circuit, in house TV system making it available in all residential units. An over flow room was set up with a live feed TV.

Residents and staff were encouraged to ask questions and an open question and answer session was conducted at the end of the presentation.

The bulk of the questions from residents at this first meeting was focused on the affected homes and residents that would need to transition.

Friday, November 17 – Resident Meeting

An open Tea / Social was held to allow residents and staff to come ask questions.

Question forms were provided throughout the community for residents, staff, guests and family to submit questions to the Executive Director. These are still available and used today.

Tuesday, January 10 – Resident Meeting

- 9:30 AM – Meeting held with Oak Trace Garden Home Residents to communicate long-term visions for the campus and how these may affect their homes specifically.
- 11:00 AM – All resident* meeting held to review the redevelopment plans and offer a look at the future vision of the campus beyond phase 1 redevelopment.
- 2:00 PM- All Team Member (Staff) meeting held to review the future visions beyond phase I.

Presentation lead by Ann Walsh, LifeSpace Communities, Vice President of Operations and Brian Devlin, LifeSpace Communities, Vice President of Development. All supported by on-site management.

*The meeting was aired on the closed circuit, in house TV system making it available in all residential units. An over flow room was set up with a live feed TV.

Residents and staff were encouraged to ask questions and an open question and answer session was conducted at the end of the presentation.

The bulk of the questions from residents and staff focused on what new amenities will be offered and where.

Some concerns were voiced about parking. Parking both during the construction and afterwards.

Landscaping and the look and feel of the campus was mentioned in several incidences. The residents ask that we keep as many trees as possible.

Wednesday, January 25 – Resident Meeting

- 10:30 AM – A special meeting was held in the Oak Trace Health Center for all Health Center residents and staff.

Health Center residents had several questions about the construction process and where the entrance will be to the building during construction. The answer was that we believe there will be a temporary entrance located on the East side of the Health Center during construction. We assured them we would let them know when plans progress.

Thursday, February 16 – Neighborhood Meeting

- 7:00 PM – Meeting held for the surrounding neighbors of Oak Trace's Senior Living Community

Presentation lead by Brian Devlin, LifeSpace Communities, Vice President of Development. Questions were answered by Brian Devlin and Michael Arenson, Principal at SAS Architects + Planners. All supported by on-site management.

Invitations to this neighborhood meeting were sent to all neighbors surrounding the property, as requested by the Village of Downers Grove Planning Department.

The presentation focused on all 3 phases of development at Oak Trace and the potential impact on the surrounding Community. Ownership walked through the development plans, shadow studies and site sections for the new phases of work. Following the presentation, Lifespace opened the floor for questions from the neighbors. The following is a summary of the major concerns presented:

Concerns over the amount of traffic increased from the new development.

- Response: We have completed a traffic study to estimate the effects of this new development and found the results to not be a significant increase to existing traffic.

Concerns over the views from across Fairview will be negatively affected. Concerns that the campus will lose some of its charm.

- Response: Currently, the view from Fairview shows the existing 1-story townhouses and the back of the healthcare building. In the new plan, we are reorienting the entrance to Residential Living building so that it will be facing Fairview with an open front lawn which will feature walking paths, terraces and landscaping. The view will be further enhanced by the Residential Living Villas, as these villas will be designed to mimic the high quality of housing within the area, with heavy use of stone and brick.

Concern: Concerned over the possibility of losing the red barn. There was strong bias that they red barn should remain on campus.

- Response: The current masterplan indicates that the red barn will remain and will feature some parking closer to the entrance, which will enhance its accessibility. There are no plans to remove the red barn to date.

Concerns that the neighbors to the east of the property will see the roof lines of the Healthcare Center from their homes.

- Response: The East property line features an existing berm which will block the majority of views from the neighboring properties. The berm is heavily landscaped with existing trees which will remain as a part of this process. If there are gaps in the landscaped area, ownership can add some new landscaping to fill in those gaps.

Concerns with the timeline for construction.

- Response: The current timeline features a Fall 2017 start date with an 18 month construction period. The Residential Living building will start construction a few weeks after the completion of the Healthcare Center and will take about 18-20 months. The Residential Living Villas are market driven and will depend on the demand on campus for this product.

Concerns with the noise during construction.

- Response: The Village has strict ordinances which govern construction which we will conform to. The Village of Downers Grove permits construction to take place 7am-7pm Monday-Saturday. We will minimize the amount of Saturdays that we will complete work in order to reduce nuisance of construction. Ownership can work with the surrounding neighbors to give them warning prior to start of major portions of the work.

Concerns over construction parking on site.

- Response: In order to facilitate the needs of the workers, owners will employ a combination of shuttling and temporary site parking to accommodate extra traffic from construction workers.

Concern: In the past, neighbors had the ability to come onto the campus to fish and walk around the conservation area. Neighbors inquired about the possibility of continuing this in the future.

- Oak Trace is part of the community and would love to have more neighborhood involvement on campus. Owners are willing to work with neighbors to foster an the opportunity to enjoy this campus. Owners will have to research the possibility of fishing within the pond, as there is a conservation easement on this portion of the property.



250 Village Drive
Downers Grove, Illinois 60516

P.630.769.6200
F.630.769.6226

OakTraceDG.com

December 23, 2016

To Whom It May Concern,

Oak Trace (formerly Fairview Baptist Home) is a Continuing Care Retirement Community (CCRC) in Downers Grove where approximately 400 seniors receive personalized and quality health care and services.

Oak Trace is in the process of redeveloping and upgrading its health care center to further enhance care services and programs for current and prospective residents. Oak Trace's plans include constructing a new skilled health care center with the capacity for 102 residents living in a neighborhood setting. The neighborhoods would have mostly private rooms allowing our residents even more privacy in a homelike setting. This building will consist of physical therapy, rehabilitation areas and memory support. Oak Trace would add assisted living apartments and memory support suites, which are greatly needed. We are eager to continue serving the seniors in Downers Grove by improving our care setting and accommodations in order to enrich the lives of the members of our community and those in the surrounding community.

As the administrator of the health center at Oak Trace, I support the redevelopment plans of Oak Trace and recommend the approval of the community's Certificate of Need Application by the Illinois Department of Public Health. I could not be any more grateful for this opportunity for the residents that I serve at Oak Trace.

Sincerely,

Michelle Hart-Carlson,
Oak Trace administrator



Woodridge Clinic

UMANG S. PATEL, MD
Board Certified Internal Medicine

VIJAY C. PATEL, MD
Board Certified Family Practice

THELMA S. MARIN, MD
Board Certified Family Practice

PRANJAL H. SHAH, MD
Board Certified Internal Medicine

PATRICK DOLAN, MD
Board Certified Pediatrics

PAOLA PORTELA, MD
Board Certified Pediatrics

RESHMA AJMERE, MD
Board Certified Pediatrics

MADHU JAIN, MD
Board Certified Allergist

CHANDRA SHARMA, MD
Board Certified Family Practice

WINSTON THEIN-WAI, M.D.
Endocrinology

FARZEEN ANWAR, PA-C
Board Certified Physician Assistant

Locations:

Woodridge Clinic
7530 S. Woodward Ave.
Woodridge, IL 60517
Phone: (630) 910-1177
Fax: (630) 910-6995

Woodridge Clinic - Lemont
15884 W. 127th Street, Suite H
Lemont, IL 60439
Phone: (630) 754-8710
Fax: (630) 754-8311

Woodridge Clinic - Lombard
805 S. Main Street
Lombard, IL 60148
Phone: (630) 620-6225
Fax: (630) 620-6286

Hospital Affiliations:

Good Samaritan Hospital
Downers Grove, IL

Edward Hospital
Naperville, IL

Hinsdale Hospital
Hinsdale, IL

Bolingbrook Hospital
Bolingbrook, IL

Elmhurst Hospital
Elmhurst, IL

December 21, 2016

To Whom It May Concern:

For over forty years, Oak Trace (formerly Fairview Baptist Home) has provided high quality living accommodations, programs and healthcare services to seniors in the Downers Grove Township under both the previous owner, Fairview Ministries, and the current owner, Lifespace Communities, Inc. Oak Trace is a licensed life care Continuing Care Retirement Community ("CCRC") and is currently home to approximately 400 residents.

Oak Trace is currently preparing to modernize and redevelop its healthcare center to provide better quality of care and additional services to current and prospective residents. Oak Trace's plans include the construction of a new four-story healthcare building on the same parcel of land as the current skilled nursing facility. The healthcare facility will consist of a new 102-bed replacement nursing unit and associated physical therapy and rehabilitation space, as well as 66 new assisted living apartments and 28 new memory support assisted living suites. The redeveloped skilled nursing unit will continue to serve the needs of the seniors in the Downers Grove and surrounding population as well as current and future residents of the CCRC. It will provide modern nursing rooms and predominantly private rooms in a neighborhood setting, and will add a level of living – memory support assisted living – not previously available to seniors at Oak Trace.

As the Medical Director of Renal Services at Oak Trace, I support the redevelopment plans of Oak Trace and recommend the approval of the community's Certificate of Need Application by the Illinois Department of Public Health.

Sincerely,

Pranjal H. Shah, M.D.
Medical Director Oak Trace
7530 Woodward Ave.
Suite A
Woodridge, IL 60517

cc: Chris Romick, Executive Director - Oak Trace



3825 Highland Avenue
Tower I, Suite 4C
Downers Grove, IL 60515
Phone 630.968.1595
Fax 630.968.1590

5201 South Willow Springs Road
Suite 260
LaGrange, IL 60525
Phone 708.354.1306
Fax 708.354.1538

December 21, 2016

To Whom It May Concern:

For over forty years, Oak Trace (formerly Fairview Baptist Home) has provided high quality living accommodations, programs and healthcare services to seniors in the Downers Grove Township under both the previous owner, Fairview Ministries, and the current owner, Lifespace Communities, Inc. Oak Trace is a licensed life care Continuing Care Retirement Community ("CCRC") and is currently home to approximately 400 residents.

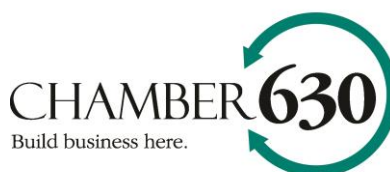
Oak Trace is currently preparing to modernize and redevelop its healthcare center to provide better quality of care and additional services to current and prospective residents. Oak Trace's plans include the construction of a new four-story healthcare building on the same parcel of land as the current skilled nursing facility. The healthcare facility will consist of a new 102-bed replacement nursing unit and associated physical therapy and rehabilitation space, as well as 66 new assisted living apartments and 28 new memory support assisted living suites. The redeveloped skilled nursing unit will continue to serve the needs of the seniors in the Downers Grove and surrounding population as well as current and future residents of the CCRC. It will provide modern nursing rooms and predominantly private rooms in a neighborhood setting, and will add a level of living – memory support assisted living – not previously available to seniors at Oak Trace.

As the Medical Director of Renal Services at Oak Trace, I support the redevelopment plans of Oak Trace and recommends the approval of the community's Certificate of Need Application by the Illinois Department of Public Health.

Sincerely,

A handwritten signature in cursive script that reads 'Naveen Reddy'.

Naveen C. Reddy, M.D.
Medical Director of Renal Services at Oak Trace
3825 Highland Ave. Ste. 4C
Downers Grove, IL 60515
cc: Chris Romick, Executive Director - Oak Trace



December 20, 2016

To Whom It May Concern:

For over forty years, Oak Trace (formerly Fairview Baptist Home) has provided high quality living accommodations, programs and healthcare services to seniors in the Downers Grove Township under both the previous owner, Fairview Ministries, and the current owner, Lifespace Communities, Inc. Oak Trace is a licensed life care Continuing Care Retirement Community (“CCRC”) and is currently home to approximately 400 residents.

Oak Trace is currently preparing to modernize and redevelop its healthcare center to provide better quality of care and additional services to current and prospective residents. Oak Trace’s plans include the construction of a new four-story healthcare building on the same parcel of land as the current skilled nursing facility. The healthcare facility will consist of a new 102-bed replacement nursing unit and associated physical therapy and rehabilitation space, as well as 66 new assisted living apartments and 28 new memory support assisted living suites. The redeveloped skilled nursing unit will continue to serve the needs of the seniors in the Downers Grove and surrounding population as well as current and future residents of the CCRC. It will provide modern nursing rooms and predominantly private rooms in a neighborhood setting, and will add a level of living – memory support assisted living – not previously available to seniors at Oak Trace.

Chamber630 supports the redevelopment plans of Oak Trace and recommends the approval of the community’s Certificate of Need Application by the Illinois Department of Public Health.

Sincerely,

A handwritten signature in cursive script that reads "Laura Crawford".

Laura Crawford
President & CEO

cc: Chris Romick, Executive Director - Oak Trace
Board of Directors – Chamber630

2001 Butterfield Road, Suite 105
Downers Grove, IL 60515
(630) 968-4050

5 Plaza Drive, Suite 212
Woodridge, IL 60517
(630) 960-7080



Marked
11/3/07

November 9, 2007

Mr. Stephen Stewart
Executive Vice President
Fairview Ministries, Inc.
210 Village Drive
Downers Grove, IL 60516-3036

Re: Release of Conservation Right in the Form of an Easement

Dear Mr. Stewart:

Enclosed is the signed copy of subject document. If you have any questions please feel free to call me at 630-963-1304.

Sincerely,

A handwritten signature in cursive script that reads "Deborah Utecht".

Deborah Utecht
Administrative Service Manager

DU:db

Enclosure



After Recording, Mail to:

Richard W. Olson
Fairview Baptist Home
250 Village Drive
Downers Grove, IL 60516

RELEASE OF CONSERVATION RIGHT IN THE FORM OF AN EASEMENT

THIS INDENTURE, made this 1st day of November, 2007, by and between THE DOWNERS GROVE PARK DISTRICT, an Illinois body corporate and politic (hereinafter "Park District"), and FAIRVIEW BAPTIST HOME, an Illinois not for profit corporation (hereinafter "Fairview").

The following recitals are a material part of this instrument:

WHEREAS:

A. Fairview is the owner in fee simple absolute of certain real property as legally described in Exhibit A (the "Subject Property"), depicted in Exhibit B and a portion of which property is subject to a Conservation Easement previously granted to the Park District in the property legally described in Exhibit C (the "Protected Property"), all said exhibits are attached hereto and incorporated by reference.

B. The Park District is a body corporate and politic under the laws of the State of Illinois with its offices at 2455 Warrenville Road, Downers Grove, Illinois.

C. Pursuant to contractual agreement entered into between Fairview and the Park District executed April 27, 1992, and recorded at the DuPage County Recorder of Deeds on July 21, 1992, as Document Number R92-138508 and known as "Grant of Conservation Right in the Form of an Easement" ("the Contract"), Fairview granted the Park District a conservation right over the property described at Exhibit C pursuant to the Real Property Conservation Rights Act, 765 ILCS 120/0.01, *et seq.*, as amended (the "Conservation Easement"), however, Fairview and the Park District now agree that the Park District will release its interest under the Conservation Easement to Fairview in exchange for payment of a specified sum.

D. From the date of said Contract, the Park District has at all times enjoyed the benefits of this Conservation Easement on, over and across the Protected Property, giving the Park District a non-possessory interest in the Protected Property in order to enforce the development and use restrictions set forth in the Contract.

E. Per the Contract, at all relevant times, the Park District and Fairview (collectively, "the Parties") contemplated the Park District's possible release of the Conservation Easement on,

over and across the Protected Property, upon the election of Fairview and Fairview's fulfillment of certain conditions precedent as set forth in the Contract.

F. Section 3.02 of the Contract provides that Fairview "reserves the right and option to repurchase from the [Park District] the Conservation Rights in the Form of an Easement granted hereunder by the payment to [the Park District] of a sum equal to the amount of the cash contribution [Fairview] would have been required to pay to [the Park District] pursuant to applicable ordinances of the Village of Downers Grove and the Downers Grove Park District if the annexation of the Fairview Property to the Village of Downers Grove occurred at the time the right and option is exercised. [Fairview] may exercise such right and option by one year prior written notice to [the Park District]. If [Fairview] shall exercise its right or option to repurchase such Conservation Right in the Form of an Easement, [the Park District] shall execute and deliver to [Fairview] a recordable release or reconveyance of such Conservation Right in the Form of an Easement upon payment of the purchase price as described above, both of which shall take place within the twelfth (12th) calendar month following the month in which [Fairview] exercises its right or option to repurchase, the date, place and time to be mutually agreed by [Fairview] and [the Park District]."

RELEASE OF CONSERVATION RIGHT IN THE FORM OF AN EASEMENT

NOW, THEREFORE, in consideration of the sum of Ten Dollars (\$10.00) and other valuable consideration in hand paid, the receipt and sufficiency of which are hereby acknowledged, the following grants, agreements and covenants are made by and between the Parties:

1. The Park District hereby waives, releases and disclaims its right to one-year prior written notice of Fairview's intention to repurchase the Conservation Easement as granted in Section 3.02 of the Contract.

2. Pursuant to the terms of the Contract, the Village of Downers Grove has calculated the current repurchase price of the Conservation Easement to be \$316,674.16.

3. Fairview has tendered \$316,674.16 to the Park District, in consideration for which the Park District hereby enters into and executes the instant Release of Conservation Right in the Form of an Easement.

4. The Park District acknowledges payment in full of the above-mentioned amount due.

5. In consideration of the above payment, the Park District releases the Protected Property from the Conservation Easement under the terms of the Contract between the Parties, and the Park District authorizes and directs that the Grant of Conservation Easement, which it received from Fairview under the Document recorded as R92-138508, be released of record.

6. In so doing, the Park District acknowledges that it forfeits all rights and interest created by the Conservation Easement, and that the Park District has no continuing interest in the Protected Property and may not interfere with or restrict the development or use thereof.

7. The Parties have executed this agreement on the day and year first above written.

FAIRVIEW BAPTIST HOME

DOWNERS GROVE PARK DISTRICT

By: [Signature]
Its: Exec VP

By: [Signature]
Its: _____

Attest:
[Signature]
11/6/07 Adm Serv Mgr

Attest:
[Signature]
11-6-07

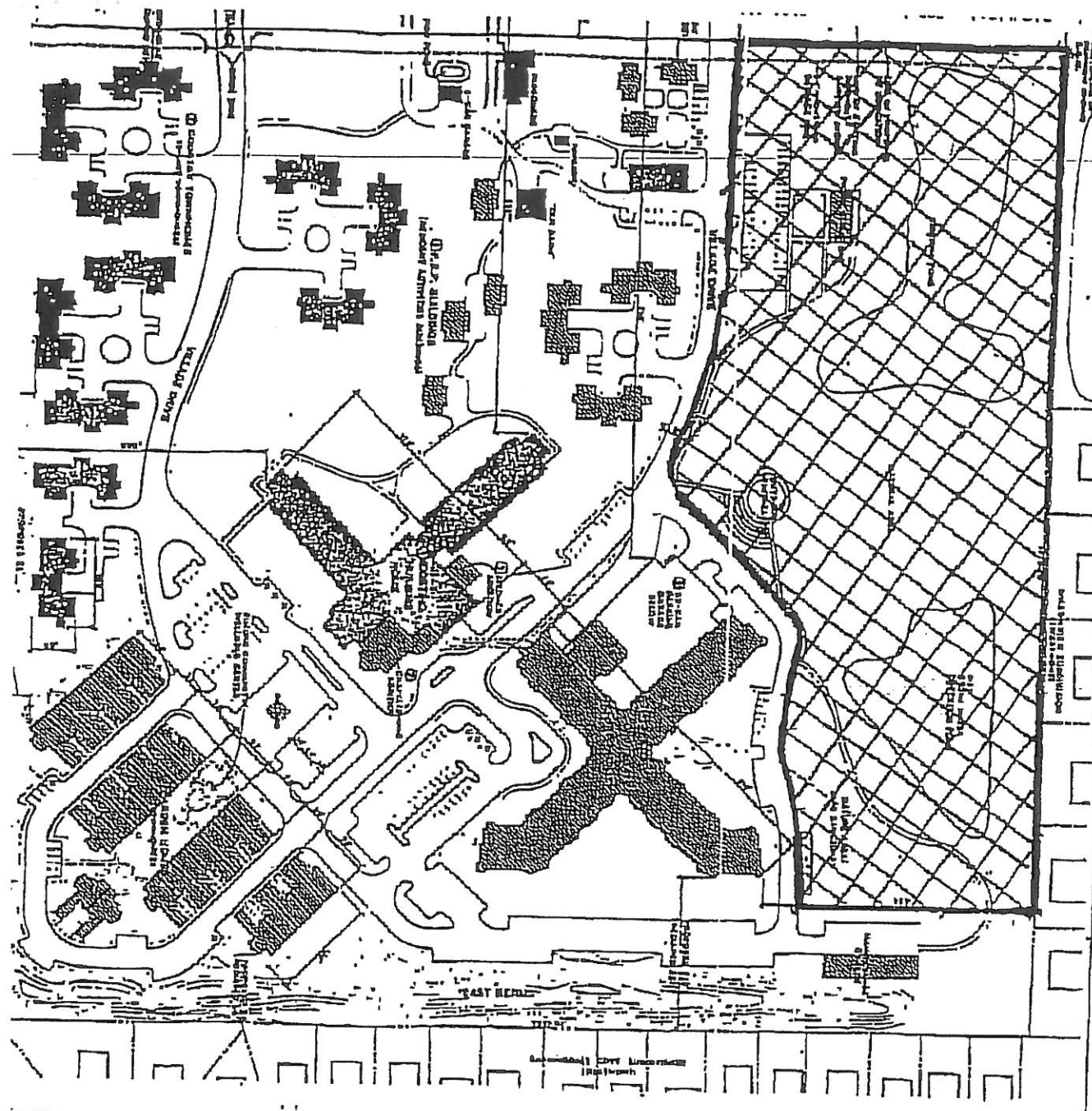
Prepared By:

Mark R. Heinle, Esq.
Ancel, Glink, Diamond, Bush,
DiCianni & Krafthefer, P.C.
140 S. Dearborn, 6th Floor
Chicago, IL 60603

Exhibit A

The Southwest Quarter of the Northwest Quarter of Section 21, Township 38 North, Range 11,
East of the Third Principal Meridian, in DuPage County, Illinois.

PIN 09-21-102-003



PORTIONS OF THIS DOCUMENT ARE
ILLEGIBLE AT TIME OF RECORDING

[Handwritten Signature]
RECORDER

LEGEND

BUILDING USED AND DESCRIPTION

- 1. **EXISTING BUILDING**
- 2. **PROPOSED BUILDING**
- 3. **PROPOSED PARKING SPACES**
- 4. **PROPOSED DRIVEWAYS**
- 5. **PROPOSED SIDEWALKS**
- 6. **PROPOSED BIKEWAYS**
- 7. **PROPOSED UTILITIES**
- 8. **PROPOSED FENCES**
- 9. **PROPOSED LIGHT FIXTURES**
- 10. **PROPOSED SIGNAGE**

SITE UTILIZATION DATA

PROPOSED UTILITIES

PROPOSED FENCES

PROPOSED SIGNAGE

PROPOSED LIGHT FIXTURES

PROPOSED BIKEWAYS

PROPOSED SIDEWALKS

PROPOSED DRIVEWAYS

PROPOSED PARKING SPACES

PROPOSED BUILDING

EXISTING BUILDING

PREPARED BY: [Handwritten Name]

DATE: [Handwritten Date]

SCALE: [Handwritten Scale]

PROJECT: [Handwritten Project Name]

REVISIONS:

APPROVED: [Handwritten Signature]

TITLE: [Handwritten Title]

THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 21; THENCE NORTH 89-58'23" EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF SAID NORTHWEST QUARTER A DISTANCE OF 50 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTH 89-58'23" EAST ALONG SAID NORTH LINE, A DISTANCE OF 1116.58 FEET TO A POINT WHICH IS 156.50 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 21; THENCE SOUTH 00-04'52" WEST ALONG A LINE WHICH IS PARALLEL WITH AND 156.50 FEET WEST OF THE EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 305.54 FEET TO A POINT ON THE NORTH LINE OF A PROPOSED ROADWAY; THENCE NORTH 89-55'08" WEST A DISTANCE OF 76.50 FEET; THENCE ALONG A TANGENTIAL CURVE TO THE LEFT HAVING A RADIUS OF 213.00 FEET AN ARC DISTANCE OF 56.61 FEET TO A POINT OF TANGENCY; THENCE SOUTH 74-51'11" WEST A DISTANCE OF 36.76 FEET; TO A POINT OF CURVATURE; THENCE ALONG A TANGENTIAL CURVE TO THE RIGHT HAVING A RADIUS OF 187.00 FEET AND ARC DISTANCE OF 85.19 FEET TO A POINT OF TANGENCY; THENCE NORTH 79-02'39" WEST A DISTANCE OF 79.55 FEET TO A POINT OF CURVATURE; THENCE ALONG A TANGENTIAL CURVE TO THE LEFT HAVING A RADIUS OF 76.00 FEET, AN ARC DISTANCE OF 74.10 FEET TO A POINT OF TANGENCY; THENCE SOUTH 45-02'41" WEST A DISTANCE OF 91.61 FEET TO A POINT OF CURVATURE; THENCE ALONG A TANGENTIAL CURVE TO THE RIGHT HAVING A RADIUS OF 40.00 FEET, AN ARC DISTANCE OF 50.16 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 488.00 FEET, AN ARC DISTANCE OF 228.87 FEET TO A POINT OF TANGENCY; THENCE NORTH 89-55'53" WEST A DISTANCE OF 95.79 FEET; THENCE NORTH 85-05'27" WEST A DISTANCE OF 120.00 FEET; THENCE NORTH 89-55'53" WEST, A DISTANCE OF 100.00 FEET TO A POINT 50.0 FEET EAST OF THE WEST LINE OF SAID SECTION 21; THENCE NORTH 00-04'07" EAST PARALLEL WITH SAID WEST LINE OF SECTION 21, A DISTANCE OF 409.92 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT C

FILE 17-PLC-0003: A petition seeking approval of a Planned Unit Development Amendment for the expansion of senior living options at Oak Trace. The property is zoned R-5A/PUD, Residential Attached House 5A/Planned Unit Development. The property is located on the east side of Fairview Avenue, between 65th Street and 67th Court, commonly known as 200 Village Drive, Downers Grove, IL (PIN 09-21-102-007). Brian Devlin, Petitioner; Lifespace Communities, Owner.

(Mr. Quirk recuses himself.)

Senior Planner Rebecca Leitschuh referenced the Planned Unit Development (PUD) Amendment before the commissioners for 200 Village Drive, also known as Oak Trace Senior Living. She explained that the scope of the redevelopment and proposed construction was significant enough to constitute a major amendment, which was why it was before this commission for a public hearing. Full notification of the public hearing was made. An aerial of the existing conditions followed with staff explaining that to the north was Westmont which was zoned R-4 General Residence, to the east was R-3 Single Family Detached, to the west was Downers Grove with R-1 and R-3 Single Family zoning and to the south was Darien. Ms. Leitschuh confirmed that staff did send a staff report to the City of Darien and to the Village of Westmont and spoke to representatives of those municipalities about the public hearing. No concerns were voiced by either municipality.

Per staff, the current proposal was zoned R-5A/PUD Multi-family Residential use, as identified in the village's Comprehensive Plan and Future Land Use Map, and consisted of approximately 38 to 39 acres. A 3-D rendering was referenced. The facility currently includes a skilled nursing building with 160 beds; a sheltered care facility with 72 units; an apartment complex with 218 units; and townhomes that totaled 56 units. Ms. Leitschuh walked through the various structures that were located on the campus. She stated that in 2007 the "conservation area" was released by the park district due to the owner making payment to the park district at that time and during the first creation of the PUD. While the conservation easement had been removed, the village was requiring that an easement be placed over the existing detention pond and its confines. Photos of the various campus areas followed.

Per Ms. Leitschuh, the new redevelopment will comprise of a new four-story healthcare center which will consist of 32 new short-term rehabilitation suites, 28 memory care suites, 62 skilled nursing suites, and 66 assisted living apartments. Also planned is a new five-story residential living building with 160 apartments. The existing residential building will be renovated on the first floor mainly to connect the overall campus and to open up corridors and the courtyard. Thirteen new residential living villas are planned in different groupings.

Ms. Leitschuh stated that back in 2007 a similar size redevelopment was approved by the village but was not constructed due to the economic downturn. Today's proposal was similar in size and scope to the approved redevelopment concept. Ms. Leitschuh explained that the proposal is a multi-year and multi-phase program and is an expansion of the Oak Trace campus. It will result in the replacement of the existing nursing facility. The construction of the new assisted living and memory support assisted living apartments is licensed under the Assisted Living and Shared Housing Status. It includes construction of new residential living apartments in multiple buildings, including the five-story residential building.

Per Ms. Leitschuh, Phase I is scheduled to begin in 2017 and will include the new four-story healthcare center. The existing residences in multiplex cottages and townhomes will be demolished, the main campus drive will be redeveloped, and a new temporary entrance and parking will be constructed between the existing Healthcare Center and Residential Living buildings. A list of the Healthcare Center's amenities followed with staff stating the phase will add approximately 163 residents at full occupancy. An elevation and rendering of the Healthcare facility was referenced.

Phase II will begin in late 2018 and will include the demolition of the existing Healthcare Center building and 12 existing residences to allow for the development of a five-story Residential Living building comprising of 160 new apartments. Ms. Leitschuh summarized how the layouts of the new Residential Living Building, Healthcare Center and the existing Residential Living Buildings will be designed as a new open lawn concept to feature courtyards, scenic walks and trellises connecting the campus to the barn. A new pavilion structure will be used for public functions. A 20-foot wide fire lane will be created using grass pavers. The existing barn will remain as is. The rehab of the existing Residential Living building's first floor will take place after completion of the new Residential Living building. Phase II adds about 210 new residents allowing for 40% of couples. An elevation and rendering of same followed.

As for Phase III, Ms. Leitschuh clarified this was more or less the petitioner's tentative vision for the townhomes and should the economy change in the next decade the petitioner would return before the commission for another PUD amendment. Planned were three-story villas that include one level of parking and two levels of living apartments, with four units to a floor. The size, scope and character of these buildings will be driven by the needs and desires of the community at the time of development. Units will be constructed in clusters. Per staff, the apartments will be maintaining the setbacks of the existing townhouses. Photos of the building, conceptually, were referenced. This phase would add up to 160 residents if fully developed.

Referring to the overhead, Ms. Leitschuh referenced an overlay diagram reflecting the two different traffic patterns on-site, how residents would access their properties, and access the overall buildings on the site. Staff believed the proposal was an improvement for the overall campus because it was had more straightforward way-finding for drivers. Per staff, two of the four current access drives to Fairview would be closed.

Continuing, Ms. Leitschuh shared that current required parking for the site was 352 parking spaces and 414 were provided. In Phase I there were 389 parking spaces proposed which were more than the 279 spaces required. In Phase II there would be 555 spaces proposed over the 351 required. In Phase III there will be 752 parking spaces over the 527 required. Approximately 28 handicapped spaces were provided, above the 15 required.

A review of the site plan depicting the turning radius of an emergency vehicle followed. A copy was provided to the fire department, per Ms. Leitschuh. A diagram reflecting the service of fire suppression was also referenced on the overhead. The petitioner's landscape plan was referenced with three plans for the three different phases. Staff pointed out that the open space requirements in residential districts were different from the open space requirements in all other districts as it related to the percentage requirement. Instead, building coverage was considered. However, in its current state, 64% of the property was open space and 36% had some type of impervious surface on it including sidewalks and streets. For the final Phase III, 61.2% remained open space while 38.85% would be impervious space. Ms. Leitschuh indicated the petitioner wanted to show on its plans that a large percentage of the existing tree canopy remained. She stated the landscaping for the proposal was above what was required in the zoning ordinance for open space, quantity, and types of landscaping.

Overall, Ms. Leitschuh reported that when the future villas are constructed, they will not be built any further into the existing setback except for one which may be three feet closer although the petitioner had expressed they were agreeable to shifting the setback to comply with current setbacks.

Staff believed this was an appropriate application for a PUD to request additional signage since the site was like an institution/campus and since Village Drive is private, the petitioner would have very limited

sign allowances according to strict interpretation of the sign ordinance. Ms. Leitschuh presented photos of the proposed monument sign for the main entrance on the north at Fairview (A-2). On-site signage within the campus was also noted. The grand monument sign (A-1), located at the south entrance, would be updated. Additional signage was pointed out. Additionally, only the three monument signs adjacent to Fairview Avenue would be visible from the public right-of-way. A photometric plan for the site also followed with staff noting that all boundaries met zero (0), meaning there was no light spill over to surrounding properties. Only one area (.01) spilled over which was allowed and represented current conditions.

Continuing, Ms. Leitschuh reported staff received 25 letters from Oak Trace residents, 4 letters from surrounding friends/family, another 4 letters from surrounding property owners (not the residents), and 3 phone calls. A neighborhood meeting was held by the petitioner as well as four on-site resident meetings. Ms. Leitschuh explained that in this type of application what was before the commissioners was criteria of the zoning ordinance, the subdivision ordinance and the comprehensive plan. While she well aware of the content and concern expressed in the correspondence received, she reminded the commissioners it was staff's responsibility to review the criteria, land use, zoning ordinance and determine whether the proposal met the criteria.

Reviewing the bulk standards, Ms. Leitschuh reported that in almost all of the townhomes the plan met the existing setback, which was 34 feet 6 inches (closest) to the southern property line. The future townhomes would be at 31 feet 4 inches. Building height of the existing residential building was 55 feet 10 inches and the proposed residential building would be the same height. Dwelling units per acre were briefly reviewed with staff finding that the proposed dwelling unit per acre would be 17.28 which conformed with the overall intent of the code – both in the zoning ordinance and the village's comprehensive plan. Floor area ratio was 0.8 and existing was 0.31. The townhomes would be slightly over at 0.885.

Referring to the village's Subdivision Ordinance, Ms. Leitschuh explained the ordinance had a new provision that states when new residential units are constructed, the school and park districts are given an opportunity to receive compensation (donation) in order to provide the necessary services for the increased population. Staff found that the park donation of \$51,634.98 was a condition of approval for Phase III. A history followed on how the park donation was determined, noting that only 9 additional units were being proposed from the 2007 proposal and the donation would not take place until those 9 units were constructed in Phase III. Per staff, due to the proposal being a senior community, the village did not require a school donation.

Addressing the village's current Comprehensive Plan and the draft updated plan, the particular section under review was identical in its goals, objectives, and in identifying that particular part of the community as Multi-family. Some of the main goals from the Residential Areas Plan for this proposal included: 1) ensure quality housing stock remains a staple of the community; 2) maintain the optimal balance of housing types within the community; 3) ensure adequate buffering between residential and commercial uses; and 4) encourage a diversity of housing types, sizes and prices. Staff found that Oak Trace and Fairview Village had offered the same services in the past and the proposal continued to offer the services for seniors, which was one of the fast growing populations to meet its growing need for additional types of housing and care on-site in order for the population to remain in the same community.

Ms. Leitschuh stated that both Comprehensive Plans indicate that Multi-family is a growing market within the village and should be located along arterial streets. The proposal targets senior citizens through design, amenities, and medical support services; it establishes that the existing tree canopy is important to maintain and expand with new development; and it incorporates three of the four levels of

residential modernization: renovation, expansion, and redevelopment. Furthermore, she said the plans address stormwater management for the near- and long-term. However, Ms. Leitschuh indicated that in 2007 the detention basin was redesigned and construction of the on-site stormwater services occurred. Therefore, there was no need for additional stormwater engineering.

Per Leitschuh, the zoning map amendment review and approval criteria was not relevant as the property was already zoned PUD and the changes being proposed did not require a zoning map amendment since the site was already zoned R-5A/PUD (Residential Attached House 5A/Planned Unit Development).

Staff found the proposal was consistent with both comprehensive plans, the subdivision ordinance and the park donation based on the information discussed above. The PUD overlay provided the necessary tools to redevelop the property and meet some of the main goals of the residential areas. Staff felt the proposal was a creative solution to modernize the campus with improved pedestrian circulation, etc. Staff also found that 8 of the 10 overlay district provisions and objectives found in Section 4.030 were met. The proposal was consistent with 1) the current and draft updated Comprehensive Plan(s), 2) it implemented the residential policy to provide senior living options; 3) it provided flexibility and creativity in responding to continuing changes; and 4) it encouraged a diversity of housing types and sizes on the campus. Additional benefits of the proposal followed, with staff describing how the housing needs of the growing senior population were being met by offering a variety of housing types, thereby allowing seniors to age in place and within the community.

Lastly, Ms. Leitschuh discussed that appropriate terms and conditions were being imposed on the approval which would protect the interests of the surrounding property owners and residents. The development called for taller and more dense units to be located near the center of the site while the lower buildings, which would be more in scale with adjacent residential areas, would be located around the perimeter. Public safety conditions were added which ensured emergency access and safe buildings. Additionally, this project would advance many goals and objectives laid out in several adopted documents. This standard had been met, per staff.

Staff found the proposal in compliance with the overall goals of a PUD and it was an appropriate application of a PUD. The zoning criteria under the PUD amendment were met and supported by the village's comprehensive plan.

For the petitioner, Mr. Brian Devlin with Lifespace Communities, DesMoines, Iowa, shared his PowerPoint presentation and explained that Lifespace was the parent company of Oak Trace, a non-for-profit provider of senior living community across the U.S. In 2007, Lifespace acquired Oak Trace from Fairview Baptist Home via bankruptcy. Due to the age of the Health Center and its maintenance issues, Mr. Devlin explained that the petitioner, as well as the residents, wanted a new health center. The parent company, being a larger company, could invest the money into Oak Trace and continue to provide the continued care for the growing senior population in the community. The redevelopment was critical to keeping the long-term viability of Oak Trace to attract residents.

Mr. Devlin explained the reason for the redevelopment was because Oak Trace had been operating under state waivers since 2007 and was grandfathered in under older codes, with the promise that eventually it would construct a new health center which took years of planning for senior living. It was a need-based level of living. After much review of the site and considering expansion, it became clear there was no land available on the campus to construct something that was going to cause some distraction or cause residents to relocate. A number of factors were taken into consideration before choosing the right location to locate the Health Center.

Mr. Devlin stated the first communication with residents took place in November 2016 where Phase I

plans were discussed. However, he did confirm that those residents living in the cottages currently were the first ones contacted explaining that the cottages would have to be razed. In January 2017 another meeting took place to discuss the second phase plans which included the Residential Living expansion and commons. Affected residents of that phase were asked to meet with Mr. Devlin's firm in advance. The company's executive director also met with the residents of the Health Center to discuss construction logistics. There has been ongoing communication with the affected residents and Mr. Devlin emphasized that they want to work individually with each resident to try to accommodate them and make the process smooth.

Mr. Devlin reported that 28 cottages will be affected by the Health Center replacement; 27 of the cottages were occupied. Of those 27, 11 have transition agreements with Lifespace and 3 were pending agreements. There were 16 that were outstanding. Two options were available to cottage residents: 1) transfer to another apartment within the community, with expenses covered and honor their currently monthly service fees, or 2) move elsewhere with Lifespace giving the resident 100% refund of their entrance fee. An explanation followed on how entrance fees were determined.

Per Mr. Kulovany's question on how long the company had been working on the plan, Mr. Devlin estimated it was about a year and a half ago.

Mr. Michael Aronson, SAS Architects, explained his company focuses on senior living and his firm has constructed over 100 different facilities since his firm's existence. As to why the development ended up in its proposed configuration, Mr. Aronson reviewed the site plan and described those areas on the campus that could not be developed, such as the conservation easement, the pond and the two strips along the residential neighborhoods to the east and south. The front yard contained townhomes and the topography was a challenge. The barn also existed on the site. The other challenge he voiced was that construction of the new Health Center could not be built over the old Health Center because the current residents there had to remain and then be relocated when the new Health Center was completed. The sites in green were "opportunity" spaces that were for consideration.

When Phase I (new Health Center) was proposed to the southeast corner, Mr. Aronson said it was with consideration to have connectivity to the residential living so that all levels of care interacted with each other. There were also shared services – a major kitchen area, major laundry area and dining areas. The proposed Health Center will house a three-story assisted living portion to the east and a four-story portion to the west, contain short-term stay, memory support, and two skilled nursing floors. In the middle of the center will be common space, i.e., dining space, physical therapy, a chapel, activity spaces, etc. The building has been sited with the neighbors in mind with landscaping proposed to screen the parking lots.

Under Phase II, the Residential Living portion (five stories) will be constructed where the current skilled nursing facility is located and adds parking in front of the building that surrounds a center courtyard with activity/public space. The large courtyard space will connect all three new buildings being proposed. Reviewing the final site plan, Mr. Aronson noted that the Residential Living building will be taller than 55 feet at 68 feet. The four-story portion was 60 feet in height and the three-story was less than 60 feet but close to 59 feet of the existing five-story building. He stated the stories were the same but it was the architectural elements that were causing the height increase. Renderings of the Health Center and center courtyard space were depicted.

Ms. Gassen asked for confirmation of the building heights again. Mr. Aronson stated that staff's slide indicating that the new building was at 55 feet 10 inches was not what was on the drawing and he wanted to clarify that information – although the three-story portion of the Health Center was less than the 55' feet 10" inches. The four-story portion was 60 feet (1 ft. higher). The high portions, or peaks, of

the Residential Living were 68 feet. Ms. Leitschuh stated the petitioner's zoning analysis did have the information Mr. Aronson just stated. For further clarification, Mr. Aronson mentioned staff's earlier statement that the closest corner of the new villas would be 31 feet 6-inches – he thought it was revised to 34 feet 6” inches so that at no point would any of the new townhomes be closer than the existing buildings. He believed it was a drafting error on his part.

Mr. Kulovany asked for the location of the current dialysis center. Mr. Aronson stated it currently was in the skilled nursing building and only for those residents in the skilled nursing facility. He noted the skilled nursing, short-term stay were licensed by Illinois Dept. of Health while the assisted living and memory support communities were licensed by the Illinois Dept. of Aging.

Per Mr. Boyle's question, the floor area ratio (FAR) figure quoted in staff's presentation was for Phase II and Phase III. Per Mr. Aronson, the FAR for Phase I was significantly below the allowed and Phase II was also below the allowed. Phase III's FAR was based on all of the townhomes being constructed, with the FAR being .88 and the allowable being .80.

Confirming the number of new units, Mr. Aronson explained there will be 32 new units for short-term; 28 units for memory; 62 units for skilled; 66 units for assisted, and the new Residential Living (RL) space would have 160 new units. The existing RL was 218 units. Ms. Leitschuh clarified that in her zoning analysis slide, she separated the data into two categories – one was with the addition of the townhouses and the other was everything prior to the addition of the townhomes. With the addition of the large buildings, she said the proposed FAR would be 0.523 and with the addition of the villas (townhomes) the FAR would be 0.885.

Chairman Rickard opened up the meeting to public comment.

Mr. Ed Manski, stated he was the attorney representing the residents of Oak Trace whose homes were being razed. He wanted to ensure those residents whose homes were being demolished had a chance to explain what that meant to them and asked to take their comments under consideration. He stated many of those he was representing lived in Downers Grove, raised their families here, and chose to retire here. Mr. Manski stated all of the residents had contracts with Oak Trace to live in their homes they were in currently as long as they were independent. His understanding of the village's code was that the Plan Commission must consider whether the terms and conditions have been imposed to protect the interests of existing residents of the PUD. He asked how the residents could be protected when they “were being thrown out of their homes.” He also clarified that the code states they must be protected and not that their interests be weighed versus the interest of the applicant. He hoped the Plan Commission would protect them. Mr. Manski stated the proposal had to be reviewed in its entirety, which included the residents' rights. And, until the residents' contracts expired, his position of the request was that it was premature and that an appropriate condition for the project to allow it to proceed, would only be when the residents' contracts have expired and are no longer living in their homes. He believed the course of action that Oak Trace was taking was in direct violation of the contracts. He believed the best way for the commission to consider the proposal was to ask themselves what they would do as a Plan Commission if one of tonight's residents was one of their parents who had to move out of their home – consisting of a first floor, two bedroom/two bath home with garage/patio/gardens and then move into a one-bedroom apartment.

Ms. Barbara Dindia, 6653 Garden Court, stated when she contracted with Oak Trace they emphasized she could live there for the rest of her life until she was incapacitated. She chose to upgrade her home and paid extra to make her home comfortable. She has two stepchildren and does not want to become a burden to them. She hoped the commissioners would think about their future living arrangements and hoped the commissioners would not support the proposal.

Ms. Karen Kelly, 1016 Ashford Lane, Westmont, was present on behalf of her mother, Elaine Toxten (phonetic) who was unable to be present. She resides at 6668 Woodview Court, one of the garden homes to be demolished. She stated her mother moved into her garden home on January 6, 2016 from Burr Ridge where she had resided for 41 years. Ms. Kelly stated she and others installed a paver patio, provided landscaping [at her garden home] so her mother would feel more comfortable transitioning into a new environment, along with her dog. When her mother entered into the contact, Ms. Kelly stated Oak Trace already knew they would be demolishing her mother's home and told her mother nine months later. It was deliberate and deceitful on the part of Oak Trace and Lifespace Communities. She commented on her and her family's connection to Downers Grove and asked the commissioners to consider how they want to approach this situation as it will not only be a reflection of the action of Lifespace Communities but also of this village.

Ms. Patricia Riley, 6666 Woodview Court, stated she and her husband moved to Oak Trace three years ago and fell in love with the tree area and cottages. When she moved into her building, she stated there was an initial payment of \$7,000 down if the garage was going to be used, plus \$60.00 a month in addition to the rent. With the three-season porch, her gardens and the independence it gives her, she and her husband can walk the campus without feeling like it is an apartment setting. She stated she was told of this decision shortly before Thanksgiving and was told of the plan one hour before the rest of the community was told. She and husband were told they would be evicted by May 31, 2017 and the decision was "written in stone." No discussion and no options would be discussed. Originally, she said she was told by Ann Walsh, Senior V.P. of operations, there would be no more townhomes built. However, that was changed and it was 10 years down the road.

She stated that Brian (Devlin) said the plan was decided a year and a half ago. She stated that Marketing was still selling units until the middle of November. She said she was told October 16th was when the plan was put into effect and Mr. Devlin said tonight it was a year and a half ago. She believed that if the residents had been told earlier it would have been easier for the residents to cope with the situation and allow more time for Oak Trace to provide the residents with equal living arrangements. Ms. Riley said that in November residents were told there were no available apartments and there were still not enough to fill the 33 people that would be displaced by the move. She also recalled the question she had asked Oak Trace and its parent company Lifespace: with 40 acres at their disposal, was it really necessary to displace 33 elderly residents – given its mission was to enhance and improve the lives of elderly residents.

Ms. Joyce Bursloff, 6634 Beechwood Court, said she read through the letters that the residents wrote and heard the presentation today. She summarized that the residents were told mid-November that they had to be out by May 31, 2017 and it gave them less than seven months to figure out what to do. She found decisions she made quickly were bad decisions. It took her two years to decide to live at Oak Trace. Also, she said Lifespace admitted it had no plans on how to handle the residents' situations while it spent a year and a half on planning the financials and the buildings. She said they claimed they wanted to help each person individually but knew they did not have enough two bedroom apartments available for the residents of the garden homes. They expected they would get enough apartments because residents would die. If true, they needed three months to refurbish all of the apartments before the garden residents could move in. It meant they were at their deadline point and did not have the appropriate apartments for all the residents. They said their program was set in stone and it took them five years to decide to build the new Health Center and where to locate it but thought it was fine to tell 28 units to make their decision very quickly. It was not fair and it looked like Lifespace did not care whether or not people stayed or went. She questioned how quickly could residents go and look for a home, go through the legal issues, and move in seven months.

She also questioned whether it was legal to tell the residents that they must move. Was the short time span designed to get the residents to do something before that question could be settled? Every non-Oak Trace person she discussed this matter with could not believe what Lifespaces was trying to do. In the documentation that was provided to the commissioners by Lifespace, Ms. Bursloff said the documentation mentions that Lifespace wants to keep the Downers Grove residents in Downers Grove but she pointed out that commissioners should look at the number of Downers Grove residents that were not being allowed to stay where they have contracted to stay. She stated some of the residents cannot afford to move into an apartment. She also pointed out information on Mr. Devlin's slide differed. Where his slide depicted that residents could pay at the same rate, Ms. Bursloff stated her paperwork differed and that it was only for approximately three years and then the rates would increase.

Ms. Bursloff shared that she and other residents feel they have lost their trust in Lifespace since Lifespace sent a notice to the residents and stated they had done their due diligence yet they admitted they did not have a plan for the residents of the garden homes. She asked the commissioners to not issue a permit until all issues were settled and not to allow them to proceed on their time schedule. A broken contract was serious and must be considered. She pointed out the issue was not just about 28 units in Phase I. It also involved Phase II where in two years, 12 more first floor two-bedroom units with attached garages would be demolished (she is in that group). Phase III has all remaining 16 units to be razed. Ms. Bursloff stated all contracts were being broken with the residents of the exterior units. She stated residents were given a choice when they moved but now they were removing the choice residents made. Even those residents who chose to come in a year ago were not told their units might not be available in a very short time and they may have to move to apartments they do not want. She emphasized the residents love their independence but the company was taking it away as they remove the units. They have also stalled the residents' rights to talk to them by failing to respond to written requests.

Mr. Richard Ericson, 6664 Woodview Court, stated his family moved to Downers Grove in 1957 and were active in the village through various organizations. He and his wife moved to Florida and then returned to Downers Grove to retire and live at Oak Trace because it had three levels of care and was near family. They moved into their garden home in early 2014 with new interior renovations. They specifically chose Oak Trace because of the opportunity to buy and which provided them a home where they could live for the rest of their retirement. Mr. Ericson said his wife has limited mobility and she gets much joy viewing nature and the wildlife that comes to their outside patio. Eight days prior to Thanksgiving last year they were told at their garden home group meeting that their home would be razed to make room for a new Health Center and would be evicted in June. Oak Trace's plan to evict them and their fellow residents should be troubling to the commissioners and every official in the village. The disregard of the residents' rights, well being and contracts, Oak Trace and its parent company, Lifespace, is attempting to evict them from their homes.

Mr. Ericson quoted language from a letter he received from senior vice president and general counsel of Lifespace, Jodie Hirsch: "As a 501c3, we're charged with contributing positively to society. Being accountable to society and to those we serve and showing through word and action, that we deserve the trust of our residents and their families." Mr. Ericson believed the commissioners could agree with the residents that Lifespace was not living up to this commitment. He asked the commissioners to not support the petitioner's request to evict the residents from their homes and construct a new health center in its present location.

Mr. Jim Leichti, 6673 Garden Court, stated that about half a century ago he sat where the commissioners were and understood how seriously the commissioners took the responsibilities of their position. Sitting on the other side, he now knew how all those people felt that faced him. Years ago he and his wife and family lived along Prairie Avenue near Longfellow School and after 45 years their five-level home took

its toll on his wife's knees. They needed a one floor residence and so they moved to Fairview Baptist Home where the two of them lived independently in a ranch cottage, two-bedroom/2 bath home, two living rooms and a kitchen and a year-round enclosed sun porch. They have flower gardens and a number of fruit trees and a maple tree as well as a rear courtyard full of flowering trees where residents walk with their loved ones in wheel chairs and rest on the benches, etc. Mr. Leichti said it is a restful place on the campus. He spoke of the nature the residents see in the wooded areas. He noted, however, that last November, he received a note from management advising that he and his wife's long-time home would be razed on Memorial Day.

Mr. Leichti said his contract with Lifespace, owner of Oak Trace, stated he and his wife will "never be evicted." He further stated that a change of this magnitude will be devastating. He asked the commissioners to vote for an extensive construction delay and that the commission suggest that Lifespace find an alternative location for planned facilities or offer, at least, equivalent living arrangements to the 28 affected families.

Rev. David Bebb Jones, 6584 Willowood Court (Phase II) stated he was surprised that Mr. Devlin said that Lifespace came in 2007. He clarified that Lifespace came in August of 2011. He was on the bankruptcy committee when Fairview Village went into bankruptcy and represented unsecured creditors. Some of the other residents present were also on the same committee. He stated the bankruptcy court and judge were very clear that any persons or corporations interested in purchasing the bankrupt Fairview Village would honor the contracts of all residents. He believes Lifespace intended to do that when they purchased Fairview Village. However, what was distressing to the residents was the manner in which the decision was made and in which it was conveyed. To his knowledge, Mr. Devlin, Mr. Ericson and others did not meet with any of the residents and he was not part of the way they developed the campus. He reiterated that it was conveyed to the 28 cottage residents one hour before it was announced to the rest of the facility.

He stated he knew the residents had asked since they knew it was coming to be involved in some fashion, but the community was not involved and a decision was made and the commission was hearing from representatives of those who are affected immediately or who will be affected in two or three years. There was no concern for the sensitivity, stress or anxiety that would come to the residents or their families. From that first meeting, Mr. Bebb Jones stated they told the residents they did not have a plan but would meet individually with residents to find a way. However, he stated that when the decision was made there was no plan for what to do for the residents who had lived under contract for either the rest of their time or if there needed to be a redevelopment of equal or similar types of residence. It has also created an anxiety with the parent organization, which he was sad about. He loves living at Oak Trace and loves the people he lives with, the staff, the community and the programs. He agreed there could have been a better way of working together for all involved. He asked the commissioners not to approve the request until everyone who was impacted would have a satisfactory arrangement and to take that into consideration.

Mr. Terry Carden, attorney with Myers, Carden & Sax, representing Oak Trace, stated he had numerous communications with Mr. Manski, who represents several of the residents heard tonight. He stated he represents long-term care facilities throughout the States of Illinois and Wisconsin. He stated Lifespace does have integrity and is caring. He stated this was not the forum to litigate the issues that were raised but said the contracts that were in place were in place pursuant to the Illinois Life Care Facilities Act and they were not leases or real estate transactions. It was a life care plan. He explained that the core of a continuing care retirement community in Illinois or any other state is the health center or the skilled nursing facility, i.e., a nursing home. It cannot operate without that component. Mr. Carden pointed out that this facility had been operating since the takeover in 2011 under waivers by IDPH, which still allowed the facility to remain with the promise that it would be redeveloped. He empathized with the

residents of the garden homes but pointed out there was no farm field next to the site anymore or opportunity to purchase more property in order to construct the facility. He commended the architects for arriving at the plan in place since it was the best possible plan to address all of the issues. He encouraged the commissioners to set aside the legal issues, focus on the plan, and support the proposal.

Ms. Amy LaCroix, Regional Operations Director with Lifespace Communities, after hearing the input wanted to clarify some of the comments made. First, as to the eviction, she stated she attended the meeting that was outlined in Mr. Devlin's PowerPoint presentation which was in November. The plan was to meet with the residents one on one because there were various levels of living on the campus and they wanted to discuss with the residents their desires to either downsize or choose a higher level of living. Examples followed. Residents were offered three options: 1) Lifespace would pay for the residents' move, pack/unpack their belongings, refurbish the new apartment at Oak Trace that would include residents' upgrades either bringing it up to the same level as Oak Trace or reimburse them; 2) Equitable size – currently there were 30 vacant apartments at Oak Trace (studio to two bedrooms) with a square footage range of 900 to 1100 sq. feet. The affected garden homes in Phase I were 1150 to 1250 square feet. So far there are 7 residents with 3 who moved internally, 3 that chose to move out (an option with 100% refund) and 1 to a higher level of care. Four residents were currently pending between internal transfer and moving out.

Ms. LaCroix stated that the current garden homes in Phase I were substantially lower in their monthly fee as compared to the rest of the campus on the residential living side. Lifespace would like to honor that and so for the five years of construction for Phase I and II, the monthly fee would remain the same for the affected residents in Phase I (about 5 years). After Phase II was completed, incremental increases, for the next 5 years, would start to bring the monthly fees up closer to market value, given the investment Lifespace was making in Oak Trace -- \$70.0 Million for Phase I; Phase II \$70 to \$80 Million – over an estimated 10 year timeline. The annual rate increase would still remain in place.

Regarding the communication, Ms. LaCroix stated that currently there were 274 residential living apartments -- garden and townhomes combined -- at Oak Trace and 230 were presently occupied. She stated it would be difficult to communicate with a small group and not have that communication be given out to the larger group without some explanation, which was why the decision was made to communicate in a townhome forum, meet with the affected residents prior to the meeting, and help control the message in a smaller group as approved by her company's board of directors. The year and a half alluded to by Mr. Devlin was the due diligence, market feasibility before going before her board of directors for approval. Regarding the Health Center, she reiterated it was operating under a waiver and currently there were 105 residents being cared for and 49 in the sheltered care. Twelve residents receive dialysis. Health Center residents and the Residential Living residents could both take advantage of the dialysis center should they need it but the regulation stated that the Residential Living and the Health Center needed to be connected so that a Residential Living resident did not have to go through the Health Center to take advantage of the dialysis center.

Ms. Dorothy Danielson, 6671 Woodview Ct., stated no one has mentioned that in the residents' contract it says that they are allowed to displace us to something similar – an apartment will never be similar to what she lives in: five rooms, attached garage, a porch and beautiful gardens. She would have never moved into Oak Trace and into a apartment. She noted her former Elmhurst home was 50 years old and no one was tearing it down. The key word was “similar” and it was in the contract.

Hearing no more comments, the chairman stated the commission would take a five minute break and have Mr. Devlin return to address the comments raised and provide a closing statement. (The commission took a five-minute break at 9:15 p.m.; reconvened at 9:20 p.m.)

Mr. Devlin stated he wanted to touch on a comment raised, which was how long his company was planning, wherein he estimated 18 months, but he wanted to clarify that “pencil didn’t go to paper long after that.” He did not want to give anyone in the room the impression that he knew for 18 months that Lifespace was going to destroy the cottages. Secondly, he acknowledged the process had been very difficult for those that were cared for on a daily basis but explained that if nothing was done at Oak Trace the consequences could be significantly dire for more residents. He summarized the campus was purchased out of bankruptcy and there were problems with it and the plans presented today were \$150 Million Dollars’ worth of investment in the campus to sustain it. There were many residents that would benefit from the investment, including those in the room, but it was at the cost of their current homes. Furthermore, he commented that while there were some contract comments being quoted to the commission, his firm worked closely with village staff, followed rules and adhered to the items outlined in the PUD and he would hope this commission would approve the project for those reasons and he would continue to work with the residents on the other items.

Mr. Kulovany pointed out under that under paragraph E of the PUD, the commission is to protect the interests of surrounding property owners, residents and existing and future residents and to not take into consideration third-party contracts. However, due to the residents’ comments and the letters he read, he found it impossible to separate the well-being of the existing residents without the financial considerations or the considerations for their moving. Mr. Kulovany asked whether the previous contracts went away with the bankruptcy or did Lifespace enter into new contracts with the residents.

In response, Mr. Terry Carden, attorney with Myers, Carden & Sax, representing Oak Trace, explained the contracts that were with Fairview Baptist that existed prior to the bankruptcy still remained in place. Many other residents had contracts that were initiated with Lifespace and many of the contracts had language in them that dealt with the eventuality of campus redevelopment and talked about moving units.

Mr. Kulovany asked Mr. Carden if there was a definition for the word “similar” as referenced by some of the residents, wherein Mr. Carden surmised that “similar” typically is meant by square footage in the industry and for many residents in the room it would not be a satisfactory answer. Furthermore, he stated that the Life Care contract was based upon the services and not the location. In courts of review, Illinois state statute does not provide a specific right to a specific unit within the entire community because it is a continuing care retirement community. It provides for the multiple levels of care and also provides for the opportunity to move to different units within the same level of care. What Lifespace was attempting to do with every resident was to make every accommodation possible that went beyond the terms of the contract with regard to moving expenses, reimbursement and refunding of the entrance fee. With regard to any changes that were made to the property or to the unit -- the garden home -- make it equivalent as best possible in a different unit. If there was the need to move to a smaller unit and then eventually to a larger unit, based on the desires of the resident, Lifespace has been communicating specific options “along those lines.” He stated it was never going to be perfect or a one for one. However, without approving the proposed plan there would be not Health Center and without a Health Center, a CCRC could not survive.

Mr. Kulovany asked what was the typical deposit (entrance fee) for a two bedroom townhome, wherein Mr. Devlin stated it depended upon when someone purchased and the prices changed throughout, depended upon the contract type and refundability. What the charge was for today, he offered to get those figures for the commission.

As a follow-up question, Mr. Kulovany asked how frequently townhomes became available.

Ms. LaCroix stated she did not have the paperwork for the two bedrooms; however, she clarified that the

entry fees for a 90% refundable studio to the townhome ranged anywhere from \$80,000 to \$500,000 at Oak Trace, based on current product. The garden and townhomes at Oak Trace stayed “fairly occupied” and she could not provide a number as to how often they become available.

Ms. Johnson said it was stated that Oak Trace tries to provide “similar accommodations in the same level of care” and asked if that was also being done for the new apartments, wherein Ms. LaCroix confirmed positively and clarified that the garden and townhomes were considered residential (or independent) living and the apartments were the same. In addition there were two other levels of living on campus which was the Health Center (skilled nursing) and Sheltered Living (assisted living).

Mr. Boyle asked to explain the difference between the 2007 approved plan and the proposed plan.

Senior Village Planner Leitschuh recalled there was another multi-story residential living building but she could not remember whether it was just apartments or was sheltered care. Some of the garden homes were remaining and some of them were proposed to be demolished.

Ms. Gassen asked if the petitioner was trying to get other property on the west side of Fairview in the 2007 petition, wherein Ms. Leitschuh said there were two parts to that PUD. The one that was approved by council was similar to the plan being proposed tonight but was for the stand-alone lot. A second part of that was not recommended and that was across the street on Fairview and it was for expanding the Oak Trace campus to the other side of Fairview which did not go through.

Hearing no other questions for the petitioner, Chairman Rickard closed the public hearing.

After reviewing the plan and listening to the testimony, Chairman Rickard believed no one objected to the proposal that was being presented as it relates to the construction, the amenities and the amendment to the PUD. However, he believed the main issue revolved around the contractual agreement between the residents and the organization that ran the project. Basing it on the PUD amendment, he had no reason to deny it but then again had no doubt there were issues that needed to be reviewed, but they were outside the purview of the Plan Commission. He agreed much commentary, from both sides, was heard but did not know if it was something the commissioners could or should be discussing/reviewing at this level.

Ms. Johnson asked for clarification and interpretation from staff regarding some wording as it relates to “the obligation to review or protect the existing residents” as it related to the comprehensive plan and private contracts, wherein Ms. Leitschuh explained that every petition that comes before the commission ends up being a private relationship between a tenant and an owner of the property which staff does not get in the middle. Contracts are not reviewed by staff, and staff has strict guidelines and case law from the state and the Supreme Court determining what staff must base decisions on. Staff relies on the zoning ordinance and comprehensive plan.

While Ms. Johnson understood staff’s explanation regarding the contracts, she pointed out that staff was quoting in the commissioners’ packets such language had to be considered by the commission and asked staff what it had in mind when that was drafted. Ms. Leitschuh stated that phrase was listed in the PUD section because a PUD is a more unique, flexible zoning tool when reviewing certain types of developments where unusual conditions exist on a site. Examples followed. Ms. Leitschuh explained that when staff is reviewing Section E of the PUD, it considers the appropriateness of a PUD versus enforcing the strict zoning district requirements, and whether the general public benefit is greater than what can be accomplished with strict R-5A zoning. She stated the proposal was already a PUD and met that criteria, i.e., it still functions as a senior living facility/continuing care facility and were not changing the proposal before the commission currently.

Mr. Kulovany inquired that if the village council approved the proposal, how long would the petitioner have to pull permits after an approval and when would they have to break ground, wherein Ms. Leitschuh (looks up timeline and reads) summarized that the petitioner would have within one year for the first permit and then one opportunity for an extension. For projects to be developed in phases, she indicated that since the petitioner put forth project timelines, staff assumed those to be agreed upon and accepted. As for those projects under litigation and what happens to the approval process, Ms. Leitschuh stated that, to her knowledge, it still remained. However, she would have to speak to the village's attorney to confirm.

Mr. Boyle, understanding that the facility was currently operating under waivers, asked staff if there was a duration to those waivers, wherein staff did not know the answer.

Mr. Kulovany further voiced that Items A through D of the PUD had been met and it met with the village's Comprehensive Plan for the open front yard. The new units were higher quality, which was a positive, and a goal of the village's Comprehensive Plan. The elderly population was also growing which matched up to the Comprehensive Plan. Lastly, he saw the proposal as drawing new residents to Downers Grove and allowing Downers Grove residents to remain in the village. However, the issue he had was considering the trees, the gardens, the fact that surface attached garages existed, and being able to walk out one's back/front yard, there were no similar properties and so he would not support the proposal. Mr. Kulovany cited his own father's residency at Fairview Village and pointed out that for those current residents who chose townhomes, they chose certain attributes and put down a significant amount of money for safekeeping with Fairview Village, later to become Oak Trace, which was a "significant vote on their part."

He did not believe the commission was protecting the existing residents – citing that it was a recommending body guided by ordinances -- and that the village council made the final decision. He also did not believe there was a good faith effort made, especially with 64% open space, no offer for temporary living of similar type residence in other properties. In walking the site, there was room to do it. He would not support.

Ms. Gassen, in reviewing the plan and what was being proposed, believed everyone agreed the proposal was good for the community and the senior citizen population, but the larger issue for the commissioners was addressing Paragraph E of the PUD and whether the commission thought terms and conditions had been imposed to protect the interests of the existing residents of the PUD. Ms. Gassen asked for staff's confirmation that when the commissioners review the proposal that they are to look at the specifics of the project and not the interim construction complications, wherein Ms. Leitschuh stated that was the criteria for reviewing.

Ms. Rollins pointed out that the commission had to also take into consideration the residents who were not present at the meeting that did see an improvement, i.e., they saw a potential improvement to a facility they live in that currently did not meet code.

The chairman entertained a motion.

WITH RESPECT TO FILE 17-PLC-0003, MS. ROLLINS MADE A MOTION THAT THE PLAN COMMISSION RECOMMEND TO VILLAGE COUNCIL TO APPROVE THE PLANNED UNIT DEVELOPMENT AMENDMENT FOR THE OAK TRACE SENIOR LIVING COMMUNITY AT 200 VILLAGE DRIVE, SUBJECT TO STAFF'S EIGHT (8) CONDITIONS.

NO SECOND. MOTION DIED FOR LACK OF A SECOND.

WITH RESPECT TO FILE 17-PLC-0003, MS. JOHNSON MADE A MOTION THAT THE PLAN COMMISSION RECOMMEND THAT THE VILLAGE COUNCIL DENY THE PLANNED UNIT DEVELOPMENT AMENDMENT SUBJECT TO THE FOLLOWING EIGHT (8) CONDITIONS LISTED IN STAFF'S REPORT:

- 1. THE PLANNED UNIT DEVELOPMENT AMENDMENT SHALL SUBSTANTIALLY CONFORM TO THE STAFF REPORT; ENGINEERING, ARCHITECTURAL AND LANDSCAPE DRAWINGS PREPARED BY SAS ARCHITECTS AND PLANNERS, DATED JANUARY 13, 2017 AND LAST REVISED ON FEBRUARY 9, 2017 EXCEPT AS SUCH PLANS MAY BE MODIFIED TO CONFORM TO THE VILLAGE CODES AND ORDINANCES.**
- 2. THE HEALTHCARE CENTER AND THE NEW RESIDENTIAL LIVING BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC SUPPRESSION SYSTEM AND AN AUTOMATIC AND MANUAL FIRE ALARM SYSTEM.**
- 3. A FIRE COMMAND CENTER SHALL BE PLACED WITHIN THE DEVELOPMENT IN A LOCATION APPROVED BY THE FIRE DEPARTMENT.**
- 4. ALL FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100 FEET OF FIRE HYDRANTS AND SHALL REQUIRE APPROVAL OF THE LOCATIONS AT EVERY PROJECT PHASE.**
- 5. THE INTERIOR COURTYARD SHALL HAVE A MOUNTABLE CURB AND 20-FOOT WIDE FIRE LANE IN A LOCATION APPROVED BY THE FIRE DEPARTMENT.**
- 6. UTILITY EASEMENTS FOR THE NEW WATER MAIN SHALL BE PROVIDED.**
- 7. STORMWATER EASEMENTS SHALL BE GRANTED OVER ALL STORMWATER FACILITIES, EXISTING AND PROPOSED, THAT ARE NOT CURRENTLY IN EASEMENTS.**
- 8. PRIOR TO THE BUILDING PERMIT FOR PHASE III BEING ISSUED, THE APPLICANT SHALL PROVIDE A \$51,634.98 PARK DONATION FOR NINE LIVING UNITS.**

SECONDED BY MR. KULOVANY. ROLL CALL:

AYE: MS. JOHNSON, MR. KULOVANY, MR. BOYLE, MS. GASSEN

NAY: MS. ROLLINS, CHAIRMAN RICKARD

ABSTAIN: MR. QUIRK

MOTION TO DENY PASSED. VOTE: 4-2-1

Ms. Leitschuh asked those commissioners who voted to deny the motion if they wanted to add something to the record. Chairman Rickard stated he felt the project was a benefit and it met the standards but the one issue that appeared to have a split was the contractual issues which was out of the commission's purview. If there was something illegal it would be determined by a court of law.

Ms. Rollins said her comments were similar and felt there may be litigation issues but it was a planning/zoning issue which she felt the petitioner met the needs and followed the zoning requirements.



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March 27, 2017

Mayor Martin T. Tully and Members of the Village Council
Village of Downers Grove
801 Burlington Avenue
Downers Grove, Illinois 60525RE: Oak Trace Senior Living Community: Proposed Planned Unit Development Amendment

Dear Mayor Tully and Council Members:

We represent Lifespace Communities (“Lifespace”), the owner of Lifespace DG, LLC d/b/a Oak Trace Senior Living Community which is located in the Village at 200 Village Drive (“Oak Trace”). As you are aware, Lifespace has requested approval of a Planned Unit Development amendment for a campus master plan for Oak Trace (the “Proposed PUD Amendment”). The Oak Trace community is located on approximately 38 acres which are zoned R-5A/PUD.

Both in its written submittals to the Village and at the March 6 Plan Commission public hearing, Lifespace presented compelling evidence that the Proposed PUD Amendment satisfies the review and approval criteria for a Planned Unit Development amendment set forth in Section 28.12.040.C.6 of the Downers Grove Zoning Ordinance. Indeed, your staff concluded, in its March 6th report to the Plan Commission (the “Staff Report”), that the Proposed PUD Amendment is consistent with the Village’s current and draft Comprehensive Plans, the Zoning Ordinance, and surrounding zoning and land use classifications. For that reason, your staff recommended that the Plan Commission recommend that you approve Lifespace’s request.

We are submitting this correspondence to you in response to certain concerns that were expressed at the Plan Commission public hearing and to explain further why we believe the Proposed PUD Amendment satisfies the aforesaid review and approval criteria.

Section 28.12.040.C.6 Review and Approval Criteria

The decision to amend the zoning map to approve a PUD development plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard.

RESPONSE: This sentence of the Zoning Ordinance clearly indicates that no single standard is to dominate the decision to approve the Proposed PUD Amendment.

Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 2 of 7

In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

a. The zoning map amendment review and approval criteria of Sec. 12.030.I.

RESPONSE: As noted in the Staff Report: “The property is already zoned R5-A/PUD (Residential Attached House 5A/Planned Unit Development) and comprises Fairview Baptist Home Planned Development #32 (ORD #3456). The proposed PUD Amendment does not require a zoning map amendment. Thus, this standard is not applicable.”

b. Whether the proposed PUD development plan and map amendment would be consistent with the comprehensive plan and any other adopted plans for the subject area.

RESPONSE: As noted in the Staff Report, the Proposed PUD Amendment is consistent with both the current and draft updated Comprehensive Plans. The Comprehensive Plan dated July 21, 2015 identifies the Oak Trace property as “Multi-Family,” where “specialized senior housing” is encouraged. The Comprehensive Plan also indicates that “[s]enior housing, which includes multi-family residential and assisted and extended-care facilities, should be provided in convenient locations to accommodate the needs of senior citizens within Downers Grove. This allows Downers Grove residents to age in place and remain in the community.” As further noted in the Staff Report, “[w]ith multiple buildings and uses on a single campus, a PUD overlay allows for a creative and modern development while addressing the key concepts of improved pedestrian circulation, safety, and senior living opportunities per the current and draft updated Comprehensive Plan.” The Proposed PUD Amendment will provide each of the types of senior housing recommended in the Comprehensive Plan in a convenient location. Thus, this standard is satisfied.

c. Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.

RESPONSE: The Proposed PUD Amendment satisfies the vast majority of the PUD overlay district objectives set forth in Section 4.030 of the Zoning Ordinance, where “furtherance of some or all of” such objectives is recommended. Specifically:

- (1) The Proposed PUD Amendment implements the goals of the Comprehensive Plan by providing numerous senior living opportunities in Downers Grove and at this location.
- (2) The Proposed PUD Amendment addresses ongoing changes in social, economic and market conditions and will provide for modernized senior living, which achieving the public benefit of serving the growing senior community in Downers Grove.

Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 3 of 7

- (3) The Proposed PUD Amendment includes the efficient and economical provision of facilities and services by providing open natural spaces for the enjoyment of senior citizens and by providing necessary services for Downers Grove's senior citizen population.
- (4) The Proposed PUD Amendment provides a variety of housing types and sizes while providing a mixed-use type of campus with many common area amenities.
- (5) The Proposed PUD Amendment involves a relatively compact, mixed-use redevelopment where residential and other spaces are located in close proximity to one another.
- (6) The transportation network within Oak Trace will be improved for both motorized and non-motorized travel.
- (7) The new buildings in Oak Trace will be of a high quality and will transition smoothly to surrounding areas. The taller buildings will be located in the center of the site and smaller, lower buildings will be located around the perimeter. In addition, Oak Trace will be separated from neighboring properties by berms and substantial landscaping.
- (8) The Proposed PUD Amendment preserves the existing wetland area along the north property line as well as a popular barn that serves as an amenity to the residents.
- (9) The Proposed PUD Amendment contemplates the incorporation of many sustainable features.
- (10) Oak Trace, as redeveloped, will include attractive, high-quality landscaping (including native landscaping), lighting, architecture and signage.

Thus, this standard has been satisfied.

d. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.

RESPONSE: As noted in the Staff Report, the Proposed PUD Amendment "will result in the redevelopment of an existing senior living facility in the Village that currently serves the senior citizens of Downers Grove. The ability to modernize the facility and continue to offer a variety of housing options for a numerous seniors is a public benefit. As the population of Downers Grove ages and grows, it is important that housing opportunities are provided for our seniors which allows them to age in place and within the community."

In addition, the modernization of the facilities is not only a benefit to the public--it is an absolute necessity. Oak Trace is currently operating under an FSES (Fire Safety Evaluation System) plan of correction for a number of building deficiencies. Under an FSES plan of correction, Oak Trace has developed equivalencies to meet current

Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 4 of 7

fire and safety code standards. However each year the ability to construct equivalencies becomes more difficult and expensive. As building codes continue to evolve, it is only a matter of time when Oak Trace will not be able to construct equivalencies for this aging structure to keep it in compliance with licensure requirements. The only option will be the demolition and rebuilding of the existing structure. Trying to correct the deficiencies within the current structure is fiscally and, for all intents and purposes, physically impossible.

Thus, this standard has been satisfied.

e. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

RESPONSE: (a) Effect on surrounding property owners and residents: As noted above, to minimize adverse impact on surrounding property owners and residents Lifespace has planned for the construction of taller buildings near the center of the site and for the construction of lower buildings around the perimeter of the site, and it will be constructing berms and substantial landscaping around the site perimeter.

(b) Effect on existing and future residents of the PUD: To provide the best possible living experience and care for existing and future Oak Trace residents, and to ensure ongoing compliance with the stringent Illinois Life Care Facilities Act which governs the permitting and use of life care contracts in the state, as well as the requirements of the Illinois Department of Public Health (for skilled nursing care) and the Illinois Department of Aging (for assisted living), Lifespace has determined that it is critically important to address its long-deferred need to upgrade and modernize its physical plant. When Lifespace purchased the property in 2011, it recognized that it would need to fund and construct a major redevelopment plan, largely due to an aging campus which had not be materially improved for decades. Lifespace was the successful bidder in the bankruptcy proceeding largely due to its financial ability to bring much needed improvements to the property, including the ability to address the issue of the aging Health Center, which at that time was operating under state waivers due to the inability of the then-owner to finance necessary improvements to maintain its licensure. Upon purchase of Oak Trace, Lifespace instituted new residency agreements which advised the resident that Lifespace would be reconstructing the campus and that such reconstruction would require relocation to similar units (it is interesting to note that the former owner, Fairview Baptist Home, had the exact same provision in its residency agreements since 2009, when it became apparent to them that demolition would be the only option.) In this context, “similar” does not mean “exactly the same,” but rather other residential living units where a resident is provided the service amenities and health care contemplated by the contract. It is important to note that what Oak Trace residents purchase is not the real estate or an

Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 5 of 7

interest in real estate, but a Life Care contract that is essentially a health insurance contract – it provides that the resident will be cared for at Oak Trace throughout the term of their contract, which in most cases is the resident’s lifetime. The different levels of living offered by Oak Trace, based on the resident’s care needs, specifically contemplate resident moves throughout the campus based on the condition of his or her health. The paragraph concerning construction was an additional provision advising them that they might also need to move to a different location given the needs of redevelopment. The primary importance in a Life Care contract is that, no matter the reason for the move, the resident’s health benefits will continue. It is an unfortunate reality that the Health Center building on the Oak Trace campus is functionally obsolete, and its physical plant has reached the end of its useful life. In order to address these significant capital needs, and to provide the opportunity to serve a greater number of senior citizens in the future, Lifespace has no choice but to reconfigure portions of the property to reconstruct the Health Center building. Additionally, to meet market demand and the needs of current residents, Lifespace is providing additional levels of living by adding Assisted Living apartments and associated commons along with Assisted Living licensed Memory Support suites to protect and care for residents suffering from dementia and Alzheimer’s. The redevelopment of Oak Trace will ensure its long-term viability both for current and future residents of the community. Failure to upgrade the facilities will ultimately result in the loss of licensure and subsequent forced closure and/or by the continuous decline in occupancy and, therefore, financial hardship.

Initially, as to Phase I of the development, some 27 of the current residents of Oak Trace voiced concerns about the demolition of existing townhomes and cottages asserting that such demolition would cause them undue hardship and violate their contractual agreements with Lifespace. This number has since decreased by half as Lifespace has provided a number of options to these residents, both financial and physical, to address their concerns. While Lifespace has significantly ameliorated these concerns, private contractual arrangements with the residents have no bearing on the Village’s consideration of the Proposed PUD Amendment. *See Hibser v. Zoning Bd. of Appeals of Peoria County, 12 Ill.App.2d 365 (2nd Dist., 1957)*. Lifespace does not dispute that as members of the public these residents are entitled to have their voices heard and their opinions considered. However, the interests of a smaller group may be outweighed by the interests of the community as a whole. *See Hannifin Corp. v. City of Berwyn, 1 Ill.2d 28 (1953) and Klehr v. Zoning Board of Appeals of the Village of Skokie, 24 Ill.App.3d 512 (1st Dist., 1974)*. In this case, the hundreds of other residents of Oak Trace and the greater Downers Grove community, both today and in the future, will be affected should Lifespace not be permitted to upgrade and modernize.

To that end, Lifespace has exercised an exceptional degree of care in considering the proposed redevelopment of the site with a view to both the current and future needs

Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 6 of 7

of the community for the proposed improvements. Lifespace did not take lightly its decision to demolish the townhome and cottage units, and it is pursuing every possible measure to ensure that the transition is as smooth and seamless as possible for the residents who have been requested to relocate. Lifespace has been transparent regarding the redevelopment process by hosting a number of community and individual meetings, allowing for question and answer sessions and working with the affected residents to address their concerns. Such measures include: the return of 100% or more of the entrance fee initially paid; priority access to available apartments; reimbursement of attorneys' fees; additional payments for inconvenience; a discounted monthly fee rate on the new apartment; reimbursement or direct payment of all packing and moving costs; assignment of parking spaces in the parking garage; and free refurbishment of the new apartment. Moreover, many of the amenities referenced in the resident letters, such as having a pet, access to craft rooms, access to nature and the like, are all available in the apartments, in addition to other services such as exercise facilities and life enrichment activities and venues, which will now be closer in proximity and more easily accessible than from the cottage homes.

As evidence of the care and consideration that went into the planning of the Oak Trace redevelopment project, and to address comments made at the Plan Commission public hearing regarding an 18-month timeline, Lifespace spent a great deal of time in due diligence and architectural study before establishing the current plan of redevelopment. Initial due diligence and engagement of necessary consultants began in August, 2014. In response to information discovered during due diligence, the project planning and architectural designs continued to be refined through July, 2016. In that time, financial models, market studies, Lifespace Board of Directors presentations, and continuous architectural concepts varying significantly from one schematic to another were conducted. Multiple site options were considered with respect to the scope and design of the project. The current plan was approved by the Lifespace Board of Directors in July, 2016 and chosen by them as it promised the most amenities and services for the residents in a financially feasible model. It is important to note that the costs of construction are not paid by a fund that Lifespace holds apart from resident revenue. The business model for a not-for-profit senior living community is built entirely on revenue received from the residents. The challenge for any not-for-profit senior living provider is to provide the best services and amenities at a cost that the residents can afford. It is very important to note that the proposed development will not come at any additional expense to the current residents at Oak Trace. To support the business model, the revenue created by the residential living expansion will support the debt needed to construct a new Health Center building and renovate and expand the commons amenities available to the residents. The current residents will retain tremendous value for the fees that they pay while obtaining the benefits of brand new amenities. In light of this important fact, before communicating plans to residents, Lifespace felt it important to further

Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 7 of 7

develop the architectural plans and seek construction pricing input for inclusion in the financial model to verify the project's feasibility. Once the project was fully vetted, Lifespace communicated plans of the project to its residents in November, 2016.

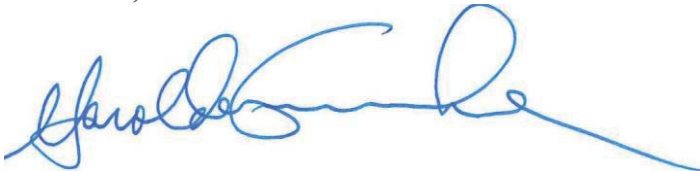
The decision to redevelop Oak Trace has not been made arbitrarily or unreasonably. It was made with only the best interests (both services and costs) of its current and future residents in mind. The short-term inconvenience to the townhome and cottage residents will be more than offset and compensated for by the long-term viability, health and vibrancy of the community as a whole.

For the foregoing reasons, this standard has been satisfied.

Our project team looks forward to continuing its work on this exciting project with your staff and to appearing before you on April 11th.

Very truly yours,

MELTZER, PURTILL & STELLE LLC



Harold W. Francke

cc:

Brian Devlin, Lifespace Communities, Director of Design, Construction and Redevelopment
Jodi Hirsch, Lifespace Communities, Senior Vice President and General Counsel
Patrick Gleason, Greystone Communities
Michael Arenson and Jim Moyer, SAS Architects & Planners

February 19, 2017

Rebecca Leitschuh, Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objection to Oak Trace planned building project

Dear Ms Leitschuh,

My name is Steven Ericson. My wife and I live on Ridgewood Circle in Downers Grove. I was raised in Downers Grove and my wife Norma and I have lived here since 1984. We raised our 3 children here and all three are still Downers Grove residents.

My parents currently live at Oak Trace and if the currently proposed new development at Oak Trace is approved, Oak Trace plans to force them to move from the home they moved into 3 years ago. They are both 84 years old. My mother is partially disabled, and uses a walker 100% of the time.

They chose to live at Oak Trace for a number of reasons including location, the services offered, and the fact that it guaranteed them a lifetime solution. They have been married for 63 years, and spent more than half of that time in Downers Grove. They raised four children here. Two of their children still live in Downers Grove, along with their three grandchildren, and their first great grandchild is in March and will live less than a mile from Oak Trace. As people age, support from family members is extremely important. Having family close by was the most important reason they selected Oak Trace.

They also chose Oak Trace because it provided three levels of care – independent living, assisted living, and nursing home care. This gave them the peace of mind to know they would have access to the care they needed and more importantly, should one of them need to move into nursing care, the other one could be close by and able to see them daily. After 63 years of marriage, this was extremely important to them. Once they made the decision to move to Oak Trace, they signed a **contract** to live independently in a Garden Home with a patio and a small yard.

In a 2015 Social Accountability Report, Life Space stated “As a 501(c)(3), we’re charged with contributing positively to society, **being accountable to society and to those we serve**, and showing through word and action that we **deserve the trust of our residents and their families.**”

I think that you can agree with me that Life Space is not living up to this commitment. Please respect the wishes of these long term residents of Downers Grove and do not approve Oak Trace’s request to build a new Health Center in the proposed location.

Respectfully Yours,



Steven Ericson
1424 Ridgewood Circle
Downers Grove, IL 60516

Mary Ann Smith
1035 Maple Avenue
Downers Grove, IL 60515

February 17, 2017

Ms. Rebecca Leitschuh,
Senior Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Ms. Leitschuh,

I am writing about the situation at Oak Trace which will come before the Planning Commission at your next meeting in which you will be voting on an approval for a new health center to be built on the Oak Trace property. This new health center requires the demolition of 26 homes on the property. I know several of the residents in these homes. These are elderly people who when they bought into Oak Trace were guaranteed continuous care and the expectation that their lives would not be disrupted by the very ones contracted to care for them. If the health center is built as planned, 26 family units will be displaced, causing significant emotional and physical distress. I am writing to protest this flagrant disregard for their rights and well-being.

If there is need for a new health center at Oak Trace, it should be built on a piece of the property that does not infringe on the rights of the people currently living in the individual homes, or on an adjacent piece of property.

I strongly urge you to vote against the approval of the new health center at Oak Trace as it is currently planned, requiring the destruction of peoples' homes and the upheaval of their lives.

Thank you for your consideration in this matter. Please consider the impact of your vote on the lives of these citizens of Downers Grove.

Sincerely,



Mary Ann Smith

Resident of Downers Grove for 45 years

February 17, 2017

VIA FIRST CLASS MAIL

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objection to Oak Trace Development

Dear Ms. Leitschuh,

My name is Karen Ericson. I live on Highland Avenue in Downers Grove. I was born in Downers Grove, attended Fairmont Elementary School, O'Neil Junior High, and Downers Grove South High School. I moved away for a college and for a few years, but moved back to Downers Grove in 2005.

My parents currently live at Oak Trace, and if the currently proposed new development at Oak Trace is approved, they would be evicted from their home. They are both 84 years old. My mother is partially disabled, and uses a walker 100% of the time. There are no other comparable alternatives to their current living situation at Oak Trace.

They chose to live at Oak Trace for a number of reasons including location, the services offered, and the fact that it guaranteed them a lifetime solution. The first reason was because of its location in Downers Grove. They have been married for 63 years, and spent more than half of that time in Downers Grove. They raised four children here. Two of their children still live in Downers Grove, along with their three grandchildren, and their first great grandchild is expected on March 16th, and would live less than a mile away from Oak Trace. As people age, support from other family members is extremely important. Having family close by was the most important reason they selected Oak Trace.

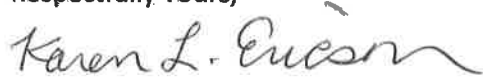
They specifically chose Oak Trace because it provided three levels of care – independent living, assisted living, and nursing home care. This gave them the peace of mind to know they would have access to the care they needed, and more importantly, should one of them need to move into nursing care, the other one could be close by, and able to see them daily. After 63 years of marriage, this was extremely important to them.

Finally, they selected Oak Trace because it guaranteed them a lifetime solution. By providing three levels of care, my parents were confident that they would be able to stay here, and be near their family for the rest of their retirement years. Once they made this decision, they signed a **contract** with Oak Trace to live independently in a Garden Home with a patio and a garden.

In a letter from the Senior Vice President and General Counsel of Life Space, in 2015's Social Accountability Report, Jodi Hirsch stated "As a 501(c)(3), we're charged with contributing positively to society, **being accountable to society and to those we serve**, and showing through word and action that **we deserve the trust of our residents and their families.**"

I think that you can agree with me that Life Space is not living up to this commitment. Please respect the wishes of these long term residents of Downers Grove, and do not approve Oak Trace's request to evict them from their home to build a new Health Center in the proposed location.

Respectfully Yours,

A handwritten signature in cursive script that reads "Karen L. Ericson". The signature is written in black ink and is positioned below the typed name.

Karen L. Ericson
4528 Highland Ave
Downers Grove, IL 60515



SHAWN M. COLLINS
ROBERT L. DAWIDIUK
EDWARD J. MANZKE

JEFFREY M. CISOWSKI
KELSEY N. KERR
JORDAN C. OLEJNICZAK
JOHN D. RISVOLD

Of Counsel
JOHN A. SOPUCH III

February 3, 2017

VIA FIRST CLASS MAIL

Rebecca Leitschuh, Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objections to Oak Trace Permit Application

Dear Ms. Leitschuh,

As you may know, this office represents 25 residents living in the Garden Homes at the Oak Trace senior living community. I have enclosed for the Plan Commission's review, letters of objection to Oak Trace's recent permit application. The enclosed objections are from Oak Trace residents. Copies of these letters have also been sent to Mayor Tully.

My clients and I, along with their supporters will be at the Plan Commission Meeting on March 6, 2017.

If you have any questions or need any additional information, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to be "EJ Manzke", written over the typed name "Edward J. Manzke".

Edward J. Manzke

EJM/ab

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Jan. 30, 2017

Dear Ms. Leitschuh:

In March of 2013 my late husband John and I moved from our beautiful home and garden in Elmhurst to our also lovely Garden Home at Oak Trace. The contract was made in good faith so we expected to live out our lives here in safety and peace.

We have been active in this community, even starting several new programs for the residents. When my husband died after only one and a half years I have continued in leadership roles and participating in many activities. It is my desire to stay in my home because it allows me to do the things that I enjoy, as gardening, bird watching and spending time out of doors close to my house. These are the things

that make me who I am and provide pleasure in my life. We chose Oak Trace because of the Lawn and Garden Home and never considered an apartment.

The brutal way that Life Space prevented this plan has resulted in anger, broken heartedness and stress beyond what a senior should have to endure. Not only for me, but for my family as well. Since I can pay my fees and I am mentally and physically able to live independently I would like to stay in my Garden Home.

I hope you can help us stay in our Garden Home.

Sincerely,

Dorothy C. Danielson
6671 Woodview Ct.
Downers Grove, Ill. 60516

January 30, 2017

VIA FIRST CLASS MAIL

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objection to Oak Trace Development

Dear Ms. Leitschuh,

My name is Richard Ericson, and my wife and I are both 84 years old and have lived at Oak Trace since January, 2014. We originally moved to Downers Grove in 1957. We built two houses in Downers Grove, one on Indianapolis, and the second on 62nd street. We also raised four children in Downers Grove.

In 1984, my company transferred me to Orlando, Florida to start-up a new plant. After deciding it was time to sell our home and move into a retirement home, we chose to move back to Downers Grove and live at Oak Trace. We selected Oak Trace because it provided three levels of care, in addition to being close to our family members who live on Ridgewood Circle, Meadowcrest, and Highland Avenue in Downers Grove, some of whom have lived in Downers Grove their entire lives.

We made arrangements to arrive in early 2014. We live in a beautiful garden home located at 6664 Woodview Court. The interior of the home was completely redone including a brand new kitchen, new appliances, new flooring, new fixtures, etc. with some of the additions made at our own expense. It was used as a model prior to our arrival in 2014. We specifically chose Oak Trace because of the opportunity to "buy-in" which provided us a home where we could live for the rest of our retirement. My wife has limited mobility and is partially disabled, and it brings her great joy to observe the birds and wildlife that come to our patio outside our home. Even though moving 1200 miles at our age was very difficult and a considerable expense, we were glad to be near our family and have a place to live that provided assisted living as spelled out in our contract with Oak Trace. Soon after our move we found out that one of our sons had cancer so we were able to provide some help and visit him.

Eight days before Thanksgiving last year, at a meeting of our garden home group, we were told our home would be destroyed to make room for a new health center and we would be evicted in June. Our world has been turned upside down because we understood when we bought this home and made it our own, that we would be able to stay here for the rest of our lives, and the home would be sold only after we were deceased and the proceeds given to our family.

Oak Trace's plan to evict my wife and I, as well as our friends and neighbors, should be troubling to you and every Downers Grove official. In disregard of our rights, our well-being and our contract, Oak Trace and its parent company, Life Space, is attempting to evict us from our home. How could government officials approve or allow Oak Trace to do this to us?

In a letter from the Senior Vice President and General Counsel of Life Space, in 2015's Social Accountability Report, Jodi Hirsch stated "As a 501(c)(3), we're charged with contributing positively to

society, being accountable to society and to those we serve, and showing through word and action that we deserve the trust of our residents and their families.”

I think that you can agree with us that Life Space is not living up to this commitment.

We ask you to not approve Oak Trace’s request to evict us from our home to build a new Health Center in the proposed location.

Sincerely,

Nancy Ericson
Richard Ericson

Richard and Nancy Ericson

VIA FIRST CLASS MAIL

February 1, 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, Il. 60515

Re: Objection to Oak Trace Development

Dear Ms. Leitschuh,

I am writing to you to strongly object to the proposed development and construction of a new health center at Oak Trace in Downers Grove.

My name is Lila Bozich, and my late husband Anthony and I moved to what was then Fairview (and now Oak Trace) in 2007. We moved into a beautiful garden attached home located at 6649 Garden Court in Downers Grove, in which I currently reside as a widow. My husband and I chose this community and home for a variety of reasons, especially including the independent living of a one story home, the independence provided by our attached garage, and our beautiful patio and garden. I have felt comfortable and secure with the knowledge that my contract with Fairview, and its successor Oak Trace, ensured that I would be able to live in my beautiful home as long as I am physically able to reside independently. This promise by Fairview in our contract obligated its successor, Oak Trace, to ensure that this home was the place where I could spend the remainder of my retirement years.

Recently, my dream and assurance that this would be retirement residence was shattered when the current administrators at Oak Trace disclosed its plans to build a new health center at Oak Trace. The news was initially well received by my neighbors and I until further disclosure by Oak Trace employees revealed a diagram of the new facility, which showed the new nursing home facility is to be built where on top of the homes where I and more than 20 of my neighbors currently reside. We initially thought that the diagram must be in error, as we couldn't envision construction of a nursing home facility that would displace we garden home residents.

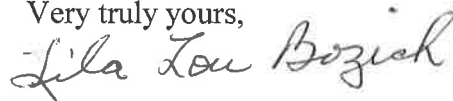
When further questioned by my neighbors and I, the Oak Trace administrators informed us, much to our shock and dismay, that the diagram wasn't in error, but rather that they intended to build the new nursing facility where our homes are located, and that they further intended to evict us from our homes by June 2017 to make way for the new building. You can only imagine the anxiety, stress and fear that my neighbors and I have experienced since this disturbing and disconcerting revelation. I am 88 years of age, and I have become literally physically ill due to the stress caused by the avaricious actions of Oak Trace.

It appears to me that Oak Trace has more than enough property at this Downers Grove site to locate a new nursing facility elsewhere on its property, which suggests that the real reason for locating a new facility on property where my neighbors and I live is because they find our contracts less financially beneficial to Oak Trace than of those residents living in the apartment building. Apparently, they choose not to live with the bargain they have made with us.

As residents and voters of Downers Grove and DuPage County, Oak Trace's scheme to evict me and my neighbors should be considered reprehensible to you and every other elected and appointed official of this Village. Oak Trace and its parent company, Life Space, is acting in complete disregard of our contractual rights and our well-being, and we therefore beseech our Village officials not to be a part of this unfair and illegal taking by Oak Trace. We respectfully ask you and other Village officials to put a hold on any approval process that may be before the Village regarding any such new construction until such time as this proposal has been properly vetted both in public and in the courts. Because of our senior ages, my neighbors and I may not represent the future, but our past contributions to this community should be duly regarded, and the best way to show that appreciation is to ensure that the Village is not complicit in this wrongful taking.

After working hard for most of our lives, my neighbors and I believed that we would be able to enjoy our remaining golden years with the certainty that we could enjoy the current roofs over our heads until we were no longer independent. Please do not allow Oak Trace to shatter our beliefs and dreams. We need your help to stop this wrongful eviction!

Very truly yours,



Lila Lou Bozich

Rebecca Leitschuk
Senior Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove IL 60515

January 30, 2017

Re objection to Oak Trace
Development

Dear Mrs Leitschuk

I am writing to object to the location
of the proposed new health center at oak trace
in Downers Grove.

My name is Carolyn Berzog, my husband
Al & I have lived here since June of 2013.
We live in a garden home at 6665 Wadswick
We chose this home for several reasons.
I love my easy access to our dogs, my
flowers, and view of trees & great grass on
ground level. We also are very happy with
easy access to garage & storage area.
We planned to live here until health reasons
would cause a change.

We were recently told we have to vacate
our home by June of 2017. We were very
upset by only having a 6 month notice
and considered their actions, heartless. We
are both in our middle 80's. This
prospective move has been very stressful
to me.

I've talked to my doctor for related
problems & medication was prescribed.

We've worked hard our whole lives
and hoped our move to our oak & rose
Cottage was our last. our 2 sons
and their families live close by & we see
them often.

oak & rose's plans for eviction of us
and our neighbors should cause
Owner's Board officials to take notice
and maybe help us to understand
those drastic changes to our lives.

Sincerely
Cecylea Herzog
Cecylea Herzog

6660 Garden Court
Downers Grove, IL 60517
January ,2017

Rebecca Leitschuh, Sr. Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Re:Objection to Oak Trace Development

Dear Ms. Leitschuh,

I am writing to object to the proposed development of a new health center at Oak Trace in Downers Grove.

My name is Carter Johnson and, come April, I will have been at this location for two years., Six months after my wife of 54 years passed away I moved here. I took a loss on my home in Bolingbrook, because Oak Trace ideally suited my needs for my remaining years. It has been perfect and I was shocked to learn in late November that they were demolishing my home to make way for the new Health Center. This violates the contract I signed with Oak Trace when I came here.....and they said that June first would be the deadline.

We were given two options: 1) move into an apartment or 2) move out. An apartments is not a "similar" residence, as their contract states, for the following reasons:

1) It has no **garage**. The only garages they have are in the basement of the apartment building and are full. I now have a garage that's attached, with immediately accessible to my car, plus the storage a garage provides.

2) I have a medium-sized **dog**, who is 10 1/2 and I could no longer tie her up behind my screen porch. There are small dogs in the apartments but handling a dog of this size would be terribly inconvenient.

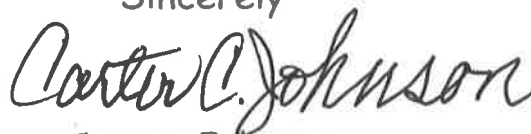
3) There is no space for my **workshop**. I have in my second bedroom a desk, computer, printer, various file cabinets, a large scroll saw and stand and 25 bins of puzzles I have made. I don't sell them but rather loan them out to people here at Oak Trace and around the country. Every day, I make 25 or so pieces as I feel like it. The woodshop downstairs in the apartment building is nice but it hasn't the space for my puzzle bins, and cannot provide the immediate accessibility my current home provides.

4) I'm 1/2 mile from my **daughter's residence**. This is one of many reasons I chose Oak Trace. Since moving into an apartment is not a satisfactory option, I must leave and there is not a place to stay that is as close to her.

So that's the status. I must go.....somewhere.....unless the Village of Downers Grove does not approve the plans of Oak Trace. I thought I would live out my remaining years without the worries associated with housing; evidently Oak Trace doesn't believe that for its residents.

Please help.....

Sincerely

A handwritten signature in black ink that reads "Carter A. Johnson". The signature is written in a cursive style with a large, prominent "C" and "J".

Carter Johnson

Janet W. Potts
6651 Garden Court
Downers Grove IL 60516

January 31, 2017

VIA FIRST CLASS MAIL

Ms. Rebecca Leitschuh
Senior Planning
Village of Downers Grove
801 Burlington Avenue
Downers Grove IL 60515

RE: Objection to Oak Trace Development

Dear Ms. Leitschuh,

I am writing to object to the planned construction of a new health center at Oak Trace in Downers Grove.

I have lived at Oak Trace since May 28, 2014, in one of the "Town and Garden" homes slated for destruction in order to build that center. I chose this residence after much searching as it combined an affordable single floor home and attached garage with the lifetime care stated in their brochures and by their marketing staff. In addition, my contract stated that if I would need to be relocated either temporarily or permanently, I would be placed in "... another similar Residence" This promise eased my mind and those of my children as it seemed that I could be here for the rest of my life. It also meant that my car would be under cover and easily available without the cost of buying a space in the underground garage.

Late last fall administrators at Oak Trace and LifeSpace Communities, Inc., the parent organization, disclosed their plans for a new health center here. The idea was well-received until siting plans showed that I and at least 20 of my fellow residents would lose our homes since the building would be located where our homes are. When this was pointed out to the administrators, they stated that demolition was scheduled to begin by June(!) and that we would be evicted. As far as I can tell, little planning had been done as to the relocation of so many families as there are no "similar residences" available to relocate to. In fact, the administrators must think that we are going to quietly "fold our tents" and slink away, as they are actively marketing apartments in the main building – which is the closest thing to "similar residences" that exist here.

This has resulted in great anxiety and stress for me. I had chosen Oak Trace after a lot of looking and was pleased that I could find such a place relatively close to my family and activities, and that was able to give me an option that I could afford without being a burden on my children. Now all that is being taken away from me in complete disregard for my well-being.

Rebecca Leitschuh
January 31, 2017

Page 2

As a grandmother and great-grandmother, I had planned to enjoy my home with the certainty that I could spend the rest of my life here in peace. I am asking for help – the Village of Downers Grove should not approve Oak Trace's attempt to kick us out.

Sincerely,

A handwritten signature in cursive script that reads "Janet W. Potts". The signature is written in dark ink and is positioned above the printed name.

Janet W. Potts

/jp

January 29,2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove IL.

Re. Oaktrace Proposed Redevelopment

Dear Ms. Leitschuh,

My name is Patricia Riley, I have resided with my husband Peter at 6666 Woodview Ct. for 3 yrs. This is one of the 26 Garden Homes Oak Trace plans to demolish this summer. We were informed of this decision at a meeting on Nov 16, 2016 and told we were to be evicted by May 31,2017. The choices given to us at that time were either move off campus or into the residential apartment building, at which time they could not accommodate the residents from the 26 homes, and they still cannot.

We moved into our Garden home for several reasons, our own garage, a 3 season screen porch and a beautiful garden front and back. We also liked the idea that we would be walking to the residential building and the health center for meals and other activities, fresh air and the need for exercise being priorities for our age group. We were assured in our contract with Oak trace that we would be able to live in our home as long as we were physically able to live independently.

At that November meeting, due to the negative response from not only the Garden home residents but many of the people from the residential building and the other cottages on campus, we were told that the Administration would "hold our hands". The next day a meeting was proposed to have a mental health professional come and help us handle our grief. No one from the Garden homes attended that meeting. I personally considered it an insult.

Via a conversation the following day an Administrator admitted they were only dealing with square footage.

A temporary Director was brought in just to handle this transition and has made a statement that he wished he had been called in 9 months earlier.

Due to our age and physical fitness, another move would be very difficult for us. In disregard of our rights, our contract and our well being,

Oak Trace and its parent company Life Space is planning to evict us from our homes. How could the village of Downers Grove allow Oak Trace to do this? One of our reasons for moving here is the fine reputation Downers Grove has as a family community.

Please help us to avoid this injustice!

Sincerely

Patricia Riley
Patricia Riley

February 1, 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objection to Oak Trace Development

Dear Mrs. Leitschuh,

My name is Jim Leichti. For several years I sat on the Plan Commission where I voted on the type of problems you are studying today. I know how serious the board members are in living up to the demands of their position. I have felt what they feel.

At any rate, I am 93 years of age, my wife is 92, has some memory problems, and uses a walker. We have lived in Downers Grove for 58 years. We have now lived at Oak Trace for 14 years. We reside in a 1245 sq. ft., two bedroom, two bath, air conditioned, separate cottage with an attached garage. I have a lawn and large flower garden, with many flowering trees in my yard, on the edge of a wooded, undeveloped area. We see deer loping down the street, foxes come running by, and occasionally a coyote.

We have the use of a fitness center, available 24/7 without charge. I walk almost daily around our 40 acre property, through woods, and around a several acre pond to enjoy the wild flowers, fountains, and the silence and sounds of nature. We attend lectures by leaders, expert in their field, meet with specialists, and participate on committees suggesting campus changes, eat meals with friends of long standing, and have medical facilities on site.

We have a contract for life care in these or appropriate similar housing. But there is no similar housing. There are 28 people effected like ourselves, but management has no plans or made meaningful offers to us.

Management has offered no meaningful alternatives, and the Memorial Day Construction Start Deadline is approaching at what we elderly, many single, or without family support, individuals feel is a break neck pace.

Will you vote for me to possibly shorten mine and my wife's lives by the shock of sudden change when it need not be?

We are asking you to vote for an extensive delay to the construction start date, that you suggest to the corporation that they plan for an alternate location for its planned facilities, and to offer meaningful alternate living arrangements to the effected individuals.

Sincerely,

Alice M. Leichti
Jim Leichti
Alice and Jim Leichti

Downersgroobjectiontootdevelopmentwjmd1277

January 27, 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60516

Re: Objection to Oak Trace Development

Dear Ms. Leitschuh,

I am writing to object to the proposed development and construction of a new health center at Oak Trace in Downers Grove.

My name is Helen Scherrer and I have lived at Oak Trace since June 2007. I chose Oak Trace (then Fairview Village) because I liked the independent living in the garden home where I had my own attached garage, my independence, and no stairs. My favorite room is the sunroom because I make puzzles and watch the birds on my feeders. I enjoy seeing people walking their pets along the walkway behind my home. My plan is to live here as long as I am physically able and my contract guarantees it.

In November 2016, I found out that my residence was going to be demolished and I was told to find another place to live by June 1st, 2017. Instead of having a Happy Thanksgiving and a Merry Christmas and a Happy New Year, I ended up having conversations about the unpleasant and stressful situation.

I pray to God that this letter will help you decide that my contract will let me keep my home until the day I will not be able to live on my own. I just turned 89 years old in December, have always been independent, and would like to continue. I realize that in your position that you have to decide what is best for Downers Grove, but please remember that I am also a Downers Grove resident and deserve your consideration.

Respectfully yours,



Helen Scherrer

Barbara Dindia
6653 Garden Court
Downers Grove, Il. 60516

January 26, 2017

Ms. Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, Il. 60515

Dear Ms. Leitschuh

RE: Oak Trace Redevelopment Plan

In November, 2016 the residents of Woodview and Garden Courts were notified in a group meeting that Oak Trace had plans to demolish our homes and construct a new health center in their places. We were given until May 30, 2017 to vacate the premises. Needless to say, we were all shocked! We contracted with Oak Trace to live in our garden home (with an entrance fee and monthly assessment) for what Oak Trace painted as a Lifecare community.” The contract I signed does not provide reason to evict unless my monthly assessment is not paid, which is not the case.

Personally, I was thrilled to be settled in a lovely garden home that would allow independence from my step children. Although I am very close to my step children, I didn't think it was their responsibility to care for a step mother in her declining years. My step children approved of the residence I chose and have been delighted to see me happy until now. The anxiety I have felt has affected my health as well as that of my “daughter” who suffers from MS. None of my family could believe that Oak Trace would be so calloused to “evict” senior citizen residents, some of whom are in their 90s. Could you imagine having to move at that stage in your life when you thought you were settled?

Could the Village of Downers Grove please reject the Oak Trace request to demolish my beautiful home where I have lived for the past 3 ½ years? Please make that a “ YES, WE REJECT”!

Sincerely,

Barbara Dindia

Oak Trace
6662 Garden Ct.
Downers Grove, IL 60516

January 27,

Rebecca Leitschuh, Senior Planner
Village of Downers Grove
801 Burlington Ave. Downers Grove, IL 60515

Dear Ms. Leitschuh,

We are writing this letter because it concerns the destruction of our home here in Downers Grove. We moved here to Oak Trace Retirement Community in April of 2015, not quite two years ago. We live in an independent living area in a cottage called a garden home.

Our home was completely rehabbed just before we moved in, new appliances, cabinets, carpet etc. It is a spacious cottage and has a beautiful yard with flowers, birds and squirrels.

The attached garage and easy access to the car is very important to us. One of us has a bad back, walks with a cane, and finds walking any distance to be painful. The attached garage is a God Send.

Last fall it was announced that our garden home, along with about twenty others, will, in the spring, be torn down to make way for a new health center. Life Space of Des Moines, Iowa, the owner of Oak Trace, is responsible. We hear that there will be some apartments in the apartment building that may be available but they are small with no balconies or patios and they are far away from the apartment parking lot. They do not compare to our garden home.

We are 89 and 90 years old and we find ourselves soon to be evicted. This is devastating to us. What will we do with our furnishings? Where will we hang our hats? It is scary. The stress of this situation is overwhelming. It is affecting our health. It is making us ill.

We moved here for security in our old age and here we are losing our home. When we moved in here we were not told that the move would be temporary. We thought this would be our forever home. We feel very strongly that the present health center can be rehabbed and a new addition can be built right next door to it on property that is now a big parking lot. Please consider a decision to forestall a building permit for Life Space until different improvements for the health center can be designed. We don't want to lose our home.

Thank you.

Jane & Bob Crane

Jane Crane
Bob Crane

January 28, 2017
6650 Garden Ct.
Downers Grove, IL 60516

Re: Objection of Oak Trace development

Dear Ms. Leitschush,

My husband, age 85 and I, age 83, have lived at Oak Trace for 3½ years. We were attracted to Oak Trace by its beautiful grounds. We chose one of the garden homes because we liked being able to step outside our door to enjoy fresh air and the beauty around us. We thought we would live in this atmosphere for the rest of our lives. When we would need more care, the health center would become our home.

We should have been aware that something was amiss when we had to have four different executive directors in the period of three years. They had to know that something was going on in the minds of Lifespace administrators.

You can't imagine our dismay (no, you probably can) when without warning we were told, just before Thanksgiving, that we would be displaced by the new health center, forced to leave our homes by June 1. Our Oak Trace contract promises us a similar place to live if we needed one, and as far as we know they have nothing compared to our current home: 2 bedrooms, 2 bathrooms, living room, a full eat-in kitchen, a closed in porch, and attached garage.

We are totally agreed regarding a new health center but assumed it would be built in one of the open spaces within the 40 some acres of Oak Trace property.

-2-

Since being told that we will be evicted from our homes there has been fear, tears, sadness, anxiety and stress among all the garden home residents. After working all our lives, then fending the place where we wanted to spend the rest of our lives, this Lifespace decision is certainly devastating to all of us.

We can't comprehend that our government officials could consider allowing these evictions to happen, a total breach of our contract. Please help us!

Sincerely,

James and Irene Coomer

January 29, 2017

Rebecca Leitschuk
Senior Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove, Ill. 60515

Re: Objection to Oak Trace
Development

Dear Ms. Leitschuk:

My name is Charmaine Gregory. I have lived at 6659 Garden Court, Downers Grove since April 2002. I love my home. I moved here with my husband, who passed away eight years ago. I not only love my home, but also the people, my neighbors, the staff, the location.

I was assured when I moved here, this would be my home for however long I decided to stay.

When Lifespace (Oak Trace) purchased Fairview Village they agreed to honor our present contracts. Their mission was to insure our lives would be stress free, and secure in every way. Their "Mission" seems to have failed - in many ways.

With this expansion proposal our lives are shattered. We, all whom are affected, are stressed and very insecure.

2.

Our lives do not seem to matter to the organization whose job it is to deal with & care for seniors.

In the last four years Lifespace has invested thousands + thousands of dollars restoring, redoing and remodeling the homes. Now, it seems, its time to destroy these homes. Giving the residents a false sense of security, which borders on fraud.

We were informed of this decision to evict + destroy the week before Thanksgiving (great timing), treating the decision as a "given", we were given no recourse or choice.

They are attempting to take away our lives, and our investment, and we strongly object.

My children are heartbroken for me, but they know how happy I have been living here. Invision your Grandparents facing these same issues. How would it affect your family?

After working hard our entire lives, we hoped that we would be able to enjoy our home and in it spend the remainder of our retirement. Oak Trace's attempt to "kick" us out of our home should not be approved by the Village of Downers Grove.

Please Help us!

Sincerely
Charmaine Gregory

Mary M. Moroney

6667 Woodview Ct, Downers Grove, IL 60516

January 31, 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objection to Oak Trace Development

Dear Rebecca Leitschuh:

I am writing to object to the proposed development and construction of a new health center at Oak Trace in Downers Grove.

I moved to Oak Trace in April '15 to reside in a beautiful one story garden home with an attached garage. I have felt comfort and security knowing that as long as I was physically able to live independently this was my home. This promise by Oak Trace and memorialized in my contract made this the place where I wanted to spend the remainder of my retirement.

Just before Thanksgiving I was told of the plans to evict me and my neighbors from the homes we love. This news certainly put a damper on my holidays, caused many sleepless nights and the overall stress has taken a toll on my health.

Oak Trace's attempt to literally kick us out of our home should not be approved by the Village of Downers Grove. Please help us!

Sincerely,



OT-Resident

February 1, 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objection to Oak T. Development

Dear Mrs. Leitschuh,

On Nov 13th 2016, I attended a meeting run by Oak Trace and Life Space. I was told that our garden apartments would be razed and we would be evicted by June 1st in order to build a new health center on our property.

I moved into Oak Trace Jan 6th 2016 and I was never told about any plans to evict us in the coming year. I chose this home because it was a one story unit with a small back porch and an attached garage, suitable for my life style with my dog and my ability to drive. I expected to live in this unit until I passed away or became unable to care for myself. This BombShell that was dropped on us has caused much anxiety and sleepless nights.

I do not want to move. My contract states that in order to move me they have to provide similar accomodations of which there aren't any. They should not be allowed to do this

(2)

We are all people in our 80's and 90's - moving is
a very difficult thing to do

I hope the village of Downersgrove will not
approve this travesty at this time so that we can
live in our homes for the foreseeable future

Sincerely

Edaine Jackson

6668 Woodview Ct

Downers Grove, IL 60516

Phone 630-769-6246

January 30, 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objection to Oak Trace Development

Dear Ms. Leitschuh

I am writing to object to the proposed development and construction of a new health center at Oak Trace in Downers Grove.

In August 2013 I moved into my home at 6663 Woodview Court in anticipation of a happy, safe and comfortable retirement life. I sold my home and used savings to make this possible, feeling it was a worthwhile investment for my future. I would be living in my home town, living independently with the knowledge help would always be available if needed. I was told I could do anything I wanted to make this my 'home', which I have done.

In November 2016, with no written contact or verbal advance notice, I was invited to a meeting and told I would have to leave my home by June 2017. I was being evicted contrary to the contract I signed with Oak Trace. Where would I go? They didn't know, which shows a lack of planning on their part. I was told, 'they care about us'. Just how is this eviction caring about us?

Since being told that I was being evicted from my home there has been fear, anxiety and a great amount of stress in my life. I am an 82 year old lifetime resident of the village, my family owned a business in the village, my mother wrote for the local paper for 30 years and I began my teaching career teaching the children of Hillcrest School.

Now in total disregard of my rights, well-being and my contract, Oak Trace is trying to evict me from my home. I've lived up to the contract I signed. Shouldn't Oak Trace do the same?

As a representative of the village please help me by not allowing Oak Trace to evict me from my home. Please give me the support I have come to expect from the village throughout my lifetime as a village resident.

Sincerely,

Charlette Lukes

Donald and Charlene Harrison
6661 Garden Court
Downers Grove, IL 60516
February 2, 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Dear Ms. Leitschuh:

This letter is to object to the Oak Trace Redevelopment Plan.


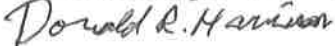
Seven years ago my husband and I made a decision to simplify our lives. We choose to transition from our home to join friends at Oak Trace (formerly, Fairview Village). Although the decision was not easy at this stage in our lives, we were excited to have found a retirement community with small cottages to call home. It was the independent living in these one story cottages that "sealed the deal" for us to move here. We enjoy being able to maintain our garden landscape, do work in our garage and relax with our family, friends and neighbors in the backyard. The Garden Court homes enable us to live and provide for ourselves independently and share park-like common space for all residents of the retirement community.

Recently (Thanksgiving, 2016), the Garden Court residents were invited to a special meeting with the facility administrators. A proposal for the development and construction of a new health center was presented to us. Unfortunately, the new construction would be built on top of our homes! We were essentially being evicted and they thought we should be thrilled about it!! We are not.

The idea that we may be removed from our home by July, 2107 has been harmful. Now we feel betrayed, stressed and anxious. It has been difficult to think about what lies ahead. The thought of having to move at our age is very troubling to us. This type of situation is not supposed to happen to people in a retirement community. We moved here to retire.

We urge you to NOT approve this proposed Oak Trace Redevelopment Plan.

Let's use common sense!

Sincerely,



Donald and Charlene Harrison

To: Senior Planer Rebecca Leitschuh

From: Joyce Burzloff
6634 Beechwood Ct.
Downers Grove, Il. 60615

Date: 2/2/17

Re: Building Permits for Oak Trace

I have lived at Oak Trace for almost 4 years. I came here with the confidence that Lifespace was a good leader and would keep its word. Unfortunately, I was wrong. They have made some changes in workers claiming it would save us money. I have seen no savings in dollars, but I have seen a reduction in services. I mention this because it sort of sets a pattern to what is going on now with the destruction of 28 Garden units that are in good condition. They have told those residents that basically, they had to be out in six months. They did this with no plan in place to meet the needs of those people that live in those units. Contracts vary, but some say they can only be moved to an equivalent unit. There are no equivalent units. Their units represent 50% of all non apartment units. They are all large two bedroom units with an attached garage. Lifespace is expecting these residents to accept less. Also, as I read the contract, they have no legal reason to evict them from the facility. The legitimate reasons include failure to pay the monthly fee (unless they have given or gambled away what they had to put them in a bad financial situation), are a danger to others, or have a condition that can not be treated at this facility.

My view of Lifespace at this point is that the more they get away with, the more they will take away from residents. It is a view I never expected to have when I came to this place. I want to see Lifespace as an organization that is compassionate for the residents it is supposed to be caring for. While a new health center would show such compassion, doing so at the cost of throwing current residents out, is outrageous.

I am asking for your help to get Lifespace to act in a compassionate way with all residents and to meet the standards within the contract.

Respectfully

Joyce Burzloff

30 January 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Dear Ms. Leitschuh,

Just over two years ago my husband and I moved into a Townhome in Oak Trace. We thought we had found a home where we would live for many years. It provided the independence of living in a separate unit but at the same time health care would be provided in the health center when a need arose. As we are among the youngest on the campus, we thought we had many years to live in our home. Our contract states we can live here until our health, limits our abilities.

We do not remember any mention of the construction of a new health care center when we chose to move here. Within the last year we heard talk that a new facility would be built in the near future. Residents began to speculate as to where it would be constructed. Never was it thought that Life Space, the parent company of Oak Trace, would demolish the 28 units on Garden Court and Woodview. It was a total shock to the residents in these units. They were told in mid November that they would have to move by the end of May. Some residents have lived there for over twenty years and other had moved to one of these units within the last year. They do not want to leave their homes.

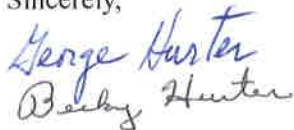
Residents were told that they could move into the main building. But no similar two bedroom units were available for the residents living in the soon to be demolished units. The apartment units would be smaller and lacking many of the attractive features in their present units.

In January we learned that our unit and eleven other additional units on Beechwood and Willowwood will be demolished so that another apartment building can be constructed. We were told that this would not happen until 2020, after the completion of the new health center. Although this gives us much longer to find a suitable place to move, we do not want to leave our homes.

We also wonder what the neighbors on the adjacent streets will think when a five story health center is constructed nearly in their back yards. There will be traffic moving around the building twenty four hours a day. It will include residents, visitors, staff, emergency vehicles, delivery trucks, etc. This will disrupt their quiet neighborhood.

Please consider the wants and needs of the present residents living in the projected site, so that their homes are not demolished.

Sincerely,

Handwritten signatures of George and Becky Hurter in blue ink.

George and Becky Hurter
6631 Beechwood Court
Downers Grove, IL 60516

Rebecca Leitschuh, Senior Planner
Village of Downers Grove
801 Burlington
Downers Grove, IL 60516

January 31, 2017

Dear Madam:

I am concerned for the residents of Oak Trace Senior citizen Community in Downers Grove, and hope that you may be of some assistance.

A recent announcement that 28 of our cottages are scheduled to be demolished this Spring caught us totally off guard. The fact that there are no vacant cottages for those occupants to transfer to flies in the face of the promise of security and care that senior citizens expect from a presumably reliable, compassionate administration dedicated to the oversight of senior citizens' final years.

Granted that every institution requires occasional upgrading and major maintenance, it is the responsibility of the management to plan carefully with due consideration to the immediate impact on the community and proceed in a timely fashion.

I, for one, am very fond of our current variety of housing options: cottages, independent living apartments, assisted living facilities and intensive care units. Spiritual, physical, mental and emotional development activities abound. Not a native Chicagoan, I have enthusiastically recommended Downers Grove as a great place to live. This latest development has dampened my supportive stance.

Any assistance you able to supply will be warmly welcomed.

Sincerely, 

Margaret Trinklein
6633 Beechwood Court
Downers Grove, IL 60516

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Ms Leitschuh,

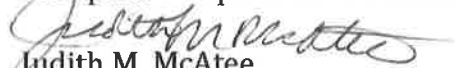
I have lived happily in a cottage at Oak Trace for one year. I was not told when I signed my contract to move in about the redevelopment plan to eliminate the Garden cottages and in 3 years to do the same for my cottage.

I do not feel they are offering either the Garden cottage residents nor will offer me and the other Beechwood and Willowwood residents similar housing. We have an attached garage and independent living in separate units, not apartments and, if lucky, a garage space for our vehicles under the apartment building. This is not a similar space that is stated in all our contracts.

I believe Lifespace does not have concern for its residents and purposely did not inform new residents of its plan to destroy the Garden cottages and then our abodes in 2-3 years. I moved here for the open space beauty of the complex, not wall to wall buildings as they propose.

So, while we need a new health center, I believe a new location can be found where no cottages will be destroyed and the open life style of the cottages residents can be maintained.

Thank you for reading my concerns and factoring them into your consideration on Lifespace's request for a building permit.


Judith M. McAtee
6636 Beechwood Court
Downers Grove, IL 60516

30 January 2017

Ms. Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington
Downers Grove, IL 60515

Dear Ms. Leitschuh:

As you are certainly aware, Oak Trace was purchased by Lifespace in the Fairview Village bankruptcy. As you may also be aware, the sale was contingent upon Lifespace honoring the contracts of the present residents.

The current situation in which 26 individuals and/or couples are being uprooted from their homes does not seem to be in the spirit of honoring their contracts. These residents had the option of making their home in an apartment or in a cottage. For their own reasons they chose to live in a cottage rather than an apartment, and they had every reason to expect to live in their homes as long as they were able.

For an entity that concerns itself wholly with seniors and the elderly, their method of notifying the 26 residents that they were being evicted is unfathomable. They were all herded into a room and informed that they had six months to move, and then given 30 minutes to ask questions. Unsurprisingly, this left some in tears.

These residents are my friends and neighbors, and thus I am writing to ask that as you make your decision regarding Lifespace's plans, you ask that they (Lifespace) reconsider the necessity of destroying these homes.

Thank you for your consideration.



Brenda Grazis
6632 Beechwood Ct.
Downers Grove

copy: Mayor M. Tully

Beth Lukes
20 Oak St
Glendale, OH 45246
January 27, 2017

Rebecca Leitschuh
Senior Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Re: Objection to Oak Trace Development

Dear Ms. Leitschuh,

I am writing on behalf of my aunt, Charlette Lukes. In January, 2013, I accompanied her to visit Oak Trace as she was investigating communities in which she could live independently, yet rely on continuing care if required in the future. We met with Fran Wright, who presented us with a variety of residence options and highlighted both the continuing care aspect of Oak Trace as well as the guaranteed care available to residents. Charlette and I both found many benefits at Oak Trace, including the lovely homes available that would meet her needs now and into the future. Per the Lifespace material we were provided, she could "secure yourself - and your future - against unpleasant surprises. Relish a style of living that fulfills you to your core."

We agreed that moving into Oak Trace was a wise decision, given that her family lives in Ohio and she desired to remain in the Downers Grove area where she has lived all of her life, taught in the school systems, and has life-long friends. I could be assured that should she require additional care, we would be able to rely on Oak Trace with minimal disruption for Char. There was a lovely corner unit available, and she invested her own money to make upgrades to the home, assuming that she would enjoy years of independent living in that unit. My aunt continues to be very independent and able to manage on her own. She enjoys her home and living situation at Oak Trace and has no desire to change it.

Now that Oak Trace has notified my aunt and her neighbors of their decision to eliminate this housing and evict them, this has caused considerable angst and uncertainty for Char and our family. I am dismayed that Oak Trace would consider turning these residents out with no thought of their future and well-being, let alone the contracts they entered into for these specific units. I hope that Oak Trace will live up to its agreement and not break the contract that Char signed in good faith, relying upon it for the foreseeable future. I ask you to represent the interests of these Downers Grove residents who took Oak Trace at their word to provide, in their words, "security against unpleasant surprises," only to be presented with the most unpleasant of surprises by Oak Trace itself.

Warm regards,



Beth Lukes

H JAMES ODONNELL
6635 Beechwood Ct.
Downers Grove, IL 60516
February 1, 2017

Ms. Rebbcca Leitschuh
Sr. Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Ms. Rebbcca Leitschuh:

Have you heard what they are doing at Oak Trace CCRC? They announced in November a construction plan including a Medical Center to replace that existing and a new Residential Living Building. They also included that the Medical Center will be located on the site of twenty eight now occupied Garden Homes and with the clearing of the site and construction beginning this Summer. Most of these residents will be without housing at that time and with a very limited number of acceptable apartments on the Oak Trace property. None of these apartments are comparable with a Garden Home and many of these persons did not ever want an apartment. Remember that these are people that moved here with in mind living here forever.

I'm in a second wave residents that will be forced to say goodbye to our Town Homes. At that time it will be necessary to destroy twelve Garden Homes making way for another Residential Living Building. There will be nothing here similar to our present living at that time.

What are future plans worth now that we are going looking for them??

Sincerely,


H JAMES ODONNELL

DAVID BEBB JONES and ANN BERAN JONES
6584 Willowwood Court
Downers Grove, IL 60516
February 1, 2017

Mayor Martin Tully, Mayor of Downers Grove, IL
Ms Rebecca Leitschuh, Senior Planning Office, Downers Grove, IL
801 Burlington, Ave.
Downers Grove, IL 60515

Dear Mayor Tully and Ms Leitschuh:

We are residents in Oak Trace, our Continuing Care Retirement Community at 250 Village Drive in Downers Grove. We live in a cottage in Willowwood Court and have lived here since June, 2010. We have thoroughly enjoyed our six and one half years in this community of senior residents and valued staff members.

This is a difficult letter to write because of our love of Oak Trace and all that it offers to residents. However, **we wish to add our voices of concern in the Development Plans for the construction of a new health facility on our campus.** You are aware of the controversy that surrounds the development plans, which require the permission of the Village of Downers Grove.

Our concerns are as follows:

We are aware of the often stated need for a new health facility. That has been made clear through the five plus years of ownership by the Lifespace Corporation. We have been waiting for several years for decisions by Lifespace and have asked to be involved in the decision making process. This has not occurred. The result is that the community was not informed or involved in the decisions. None of us knew what Lifespace was going to do until the day of the announcement.

You are aware that Lifespace announced the plan to build the new facility on the space occupied by 28 cottages. The residents of these units were not informed on the decision until one hour before the entire community was notified. At that initial meeting they were told that there was no plan in place for future housing for persons in these units. Lifespace promised to work with each resident individually to find 'replacement housing'. There clearly were not sufficient available units in the apartment building to accommodate all of these residents at this time and the date of 'eviction' was in May, 2017.

All of us who chose to move to either Fairview Village or Oak Trace did so with the understanding of continuing care for the rest of our lives in our current homes or in housing of a comparable nature. If our needs changed those of us in cottages knew that we might need to move to the apartment building or health center. **What is deeply disturbing about the Lifespace Development Plan is that the organization did not plan for the housing needs of residents impacted by the decision.** To date we do not believe all residents have been offered housing alternatives of a comparable nature, as promised in most contracts.

IT IS OUR BELIEF THAT THE VILLAGE OF DOWNERS GROVE SHOULD NOT ISSUE BUILDING PERMITS FOR THE OAK TRACE HEALTH CENTER UNTIL ALL RESIDENTS IMPACTED BY THE NEW CENTER HAVE BEEN GRANTED NEW COMPARABLE HOUSING THAT GENERALLY MEETS THEIR NEEDS AND EXPECTATIONS UPON MOVING TO OUR COMMUNITY.

We are not opposed to a new health center. Our complaint is with the manner and timing in which the Development Plan was introduced. It was without sufficient planning or any genuine awareness or concern for the persons immediately impacted by the decision. We are frankly appalled and distressed by the callousness of this decision and the lack of sensitivity to the needs of senior citizens in the announcement and continuing forward movement without regard to the feelings and disruptions of lives caused by this decision. Senior citizens are not helped by precipitous change. This should have been very carefully worked through far in advance of any announcement to insure that all residents would be assured of continuing housing at Oak Trace.

Thank you for your serious consideration to our request to postpone any permits until all alternative housing has been secured for residents.

Sincerely,


Ann Beran Jones


Rev. David Bebb Jones

Suellyn R. Scharping
6145 Plymouth Street
Downers Grove, IL 60516-1783
suescharping@comcast.net
630-968-0157

February 22, 2017

The Honorable Martin T. Tully, Mayor
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Ms. Rebecca Leitschuh, Senior Planner
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Re: Objection to location of the proposed Oak Trace Health Center

Dear Mayor Tully and Ms. Leitschuh:

I have been following the proposal of Oak Trace to evict approximately two dozen senior citizens at Oak Trace, tear down their garden homes and whatever other style of home they have a paid contract for and build a Health Center. I am not privy to the terms of the contracts, but I was told that the contract calls for Oak Trace to provide similar housing if and when that happens. I have also been told that there is no similar housing available.

Health Centers serve a wonderful purpose and might, indeed, prolong the lives of some of the residents should they choose to use it. However, it really upsets me that seniors would be convinced to buy into a facility with the understanding that they will be there until God calls them home to Him and will have the options of independent living in the home they bought, assisted living, and then nursing care when that time comes. Now they will have nothing. Can you imagine how traumatic that must be for someone in their upper 70's, 80's or 90's?

My husband and I are friends with a couple that this decision has impacted heavily upon because one of them is handicapped and family, their church and friends are all in the close area. Now what do they have? Nothing.

Please consider the lives of the seniors when making your decision and don't be swayed by the power of the "almighty dollar". Thank you for considering the impact of your decision on the elderly and the fact that Oak Trace is bound by the regulations that go with being a 501(c)(3) organization.

Sincerely,



Suellyn R. Scharping

Suelyn R. Scharping
6145 Plymouth Street
Downers Grove, IL 60516-1783
suescharping@comcast.net
630-968-0157

February 22, 2017

The Honorable Martin T. Tully, Mayor
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Ms. Rebecca Leitschuh, Senior Planner
Village of Downers Grove
801 Burlington Avenue
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Please consider the lives of the seniors when making your decision and don't be swayed by the power of the "almighty dollar". Thank you for considering the impact of your decision on the elderly and the fact that Oak Trace is bound by the regulations that go with being a 501(c)(3) organization.

Sincerely,


Suelyn R. Scharping

Ann Klicar
5933 Hillcrest Ct.
Downers Grove, IL 60516
February 25, 2017

Rebecca Leitschuh, Senior Planner
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Mrs. Leitschuh,

It is my understanding that there will be a Planning Commission meeting Monday, March 6th to discuss approval of the proposed new health center at Oak Trace. I have friends who are among the residents of the twenty plus garden homes that would be affected, as their specific home would be demolished to create space for the new health center.

My friends, the Ericsons, have a signed contract with Oak Trace that certainly would be broken by the facility, as at this time there is no comparable living unit at Oak Trace would that provide the same independent living configuration.

I should think that Oak Trace would want to maintain their reputation and good relations with their community by first constructing new units on their property, for these families in the independent living garden homes. We have heard that there were five proposed sites on Oak Trace land for the new health center, hence there are space options to accomplish this replacement housing first. Plus, in so doing Oak Trace maintains their community numbers rather than diminishing the resident population. No doubt it would be the folks in the independent living units who would be using the new center.

We hope that Downers Grove planning will promote this option, or revert to one of the other sites that would not affect the garden homes, for the benefit of all.

Sincerely,



Ann Klicar

Lissa Trice
6761 Meadowcrest Drive
Downers Grove, IL 60516

February 20, 2017

Rebecca Leitschuh, Senior Planner
Village of Downers Grove
801 Burlington Ave
Downers Grove, IL 60515

Dear Ms. Leitschuh,

I am writing a letter in regards to the current proposal for the building of the Oak Trace Health Center. You will be voting on the proposal at the Planning Commision meeting Monday, March 6th and I urge you to **vote against** the current proposal.

The current proposal would lead to the destruction of 26 family units that are currently homes to elderly Downers Grove residents. These residents were promised continued care and if the proposal goes through they will be subjected to unwarranted physical and emotional distress. As the elderly population continues to grow in Downers Grove it is our duty to help and protect this underserved population.

My grandparents currently live in one of the units that will be demolished if this proposal goes through. One of the main reasons they chose Oak Trace was to have lifelong care close to myself and other family living in Downers Grove. After buying in and signing a contract for lifelong care they will now, at 84 years of age, be displaced to a non-comparable living situation. This will cause an upheaval in their lives that is completely unnecessary.

If Oak Trace has a need for a new Health Center they should be required to build it in a location that would not uproot so many elderly people.

I strongly urge you to vote against the Life Space Oak Trace Health Center proposal.

Sincerely,

Lissa Trice

H JAMES ODONNELL
6635 BEECHWOOD CT
Downers Grove, IL 60516
February 1, 2017

Mr. Martin Tully, Mayor
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Subject: Oak Trace CCRC

Dear Mr. Martin Tully, Mayor:

By now you are aware of the plans Life Space Communities has in store for Oak Trace CCRC. They recently presented this property redevelopment plan to we residents, in particular those in Garden Homes (26). These homes occupy the land on which the new Medical Center will be built. The construction schedule calls for building to begin this Summer. The relocation of the subject residents presently is a huge problem as housing facilities are not available here at Oak Trace. Oak Trace cannot provide "similar" housing now or in their plans as resident contracts specify.

To follow the Medical Center, comes a new Residential Living Building and the destruction of 12 Town Homes and the necessary efforts to house these residents.

It appears likely, with the completion of the Residential Living Building that the remaining Town Homes will be demolished.

These comments may be helpful as you review this proposed expansion of the Oak Trace property. My wife and I presently occupy one of the Town Homes.

Sincerely,

A handwritten signature in cursive script that reads "H James O'Donnell".

H JAMES ODONNELL

30 January 2017

Mr. Martin Tully, Mayor
Village of Downers Grove
801 Burlington
Downers Grove, IL 60515

Dear Mr. Mayor:

I have written the following letter to Ms. Leitschuh and am sending you a copy for your information and comments to her, as you see fit.

Dear Ms. Leitschuh:

As you are certainly aware, Oak Trace was purchased by Lifespace in the Fairview Village bankruptcy. As you may also be aware, the sale was contingent upon Lifespace honoring the contracts of the present residents.

The current situation in which 26 individuals and/or couples are being uprooted from their homes does not seem to be in the spirit of honoring their contracts. These residents had the option of making their home in an apartment or in a cottage. For their own reasons they chose to live in a cottage rather than an apartment, and they had every reason to expect to live in their homes as long as they were able.

For an entity that concerns itself wholly with seniors and the elderly, their method of notifying the 26 residents that they were being evicted is unfathomable. They were all herded into a room and informed that they had six months to move, and then given 30 minutes to ask questions. Unsurprisingly, this left some in tears.

These residents are my friends and neighbors, and thus I am writing to ask that as you make your decision regarding Lifespace's plans, you ask that they (Lifespace) reconsider the necessity of destroying these homes.

Thank you for your consideration.



Brenda Grazis
6632 Beechwood Ct.
Downers Grove

copy: Ms. R. Leitschuh

Mayor Martin Tully
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Mayor Tully,

I have lived happily in a cottage at Oak Trace for one year. I was not told when I signed my contract to move in about the redevelopment plan to eliminate the Garden cottages and in 3 years to do the same for my cottage.

I do not feel they are offering either the Garden cottage residents nor will offer me and the other Beechwood and Willowwood residents similar housing. We have an attached garage and independent living in separate units, not apartments and, if lucky, a garage space for our vehicles under the apartment building. This is not a similar space that is stated in all our contracts.

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So, while we need a new health center, I believe a new location can be found where no cottages will be destroyed and the open life style of the cottages residents can be maintained.

Thank you for reading my concerns and factoring them into your consideration on Lifespace's request for a building permit.


Judith M. McAtee

6636 Beechwood Court
Downers Grove, IL 60516

Mayor Martin Tully
Village of Downers Grove
801 Burlington
Downers Grove, IL 60516

January 31, 2017

Dear Sir:

I am concerned for the residents of Oak Trace Senior citizen Community in Downers Grove, and hope that you may be of some assistance.

A recent announcement that 28 of our cottages are scheduled to be demolished this Spring caught us totally off guard. The fact that there are no vacant cottages for those occupants to transfer to flies in the face of the promise of security and care that senior citizens expect from a presumably reliable, compassionate administration dedicated to the oversight of senior citizens' final years.

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Any assistance you able to supply will be warmly welcomed.

Sincerely, 

Margaret Trinklein
6633 Beechwood Court
Downers Grove, IL 60516

30 January 2017

Mayor Marvin Tully
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Dear Mayor Tully,

Just over two years ago my husband and I moved into a Townhome in Oak Trace. We thought we had found a home where we would live for many years. It provided the independence of living in a separate unit but at the same time health care would be provided in the health center when a need arose. As we are among the youngest on the campus, we thought we had many years to live in our home. Our contract states we can live here until our health, limits our abilities.

We do not remember any mention of the construction of a new health care center when we chose to move here. Within the last year we heard talk that a new facility would be built in the near future. Residents began to speculate as to where it would be constructed. Never was it thought that Life Space, the parent company of Oak Trace, would demolish the 28 units on Garden Court and Woodview. It was a total shock to the residents in these units. They were told in mid November that they would have to move by the end of May. Some residents have lived there for over twenty years and other had moved to one of these units within the last year. They do not want to leave their homes.

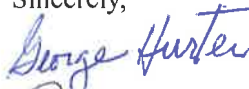

Residents were told that they could move into the main building. But no similar two bedroom units were available for the residents living in the soon to be demolished units. The apartment units would be smaller and lacking many of the attractive features in their present units.

In January we learned that our unit and eleven other additional units on Beechwood and Willowwood will be demolished so that another apartment building can be constructed. We were told that this would not happen until 2020, after the completion of the new health center. Although this gives us much longer to find a suitable place to move, we do not want to leave our homes.

We also wonder what the neighbors on the adjacent streets will think when a five story health center is constructed nearly in their back yards. There will be traffic moving around the building twenty four hours a day. It will include residents, visitors, staff, emergency vehicles, delivery trucks, etc. This will disrupt their quiet neighborhood.

Please consider the wants and needs of the present residents living in the projected site, so that their homes are not demolished.

Sincerely,

George and Becky Hurter
6631 Beechwood Court
Downers Grove, IL 60516

To: Mayor Martin Tulley

From: Joyce Burzloff
6634 Beechwood Ct.
Downers Grove, Il. 60615

Date: 2/2/17

Re: Building Permits for Oak Trace

I have lived at Oak Trace for almost 4 years. I came here with the confidence that Lifespace was a good leader and would keep its word. Unfortunately, I was wrong. They have made some changes in workers claiming it would save us money. I have seen no savings in dollars, but I have seen a reduction in services. I mention this because it sort of sets a pattern to what is going on now with the destruction of 28 Garden units that are in good condition. They have told those residents that basically, they had to be out in six months. They did this with no plan in place to meet the needs of those people that live in those units. Contracts vary, but some say they can only be moved to an equivalent unit. There are no equivalent units. Their units represent 50% of all non apartment units. They are all large two bedroom units with an attached garage. Lifespace is expecting these residents to accept less. Also, as I read the contract, they have no legal reason to evict them from the facility. The legitimate reasons include failure to pay the monthly fee (unless they have given or gambled away what they had to put them in a bad financial situation), are a danger to others, or have a condition that can not be treated at this facility.

My view of Lifespace at this point is that the more they get away with, the more they will take away from residents. It is a view I never expected to have when I came to this place. I want to see Lifespace as an organization that is compassionate for the residents it is supposed to be caring for. While a new health center would show such compassion, doing so at the cost of throwing current residents out, is outrageous.

I am asking for your help to get Lifespace to act in a compassionate way with all residents and to meet the standards within the contract.

Respectfully

Joyce Burzloff

Donald and Charlene Harrison
6661 Garden Court
Downers Grove, IL 60516
February 2, 2017

Martin Tully
Mayor
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Dear Mr. Tully:

This letter is to object to the Oak Trace Redevelopment Plan.

Seven years ago my husband and I made a decision to simplify our lives. We choose to transition from our home to join friends at Oak Trace (formerly, Fairview Village). Although the decision was not easy at this stage in our lives, we were excited to have found a retirement community with small cottages to call home. It was the independent living in these one story cottages that "sealed the deal" for us to move here. We enjoy being able to maintain our garden landscape, do work in our garage and relax with our family, friends and neighbors in the backyard. The Garden Court homes enable us to live and provide for ourselves independently and share park-like common space for all residents of the retirement community.

Recently (Thanksgiving, 2016), the Garden Court residents were invited to a special meeting with the facility administrators. A proposal for the development and construction of a new health center was presented to us. Unfortunately, the new construction would be built on top of our homes! We were essentially being evicted and they thought we should be thrilled about it!! We are not.

The idea that we may be removed from our home by July, 2107 has been harmful. Now we feel betrayed, stressed and anxious. It has been difficult to think about what lies ahead. The thought of having to move at our age is very troubling to us. This type of situation is not supposed to happen to people in a retirement community. We moved here to retire.

We urge you to NOT approve this proposed Oak Trace Redevelopment Plan.

Let's use common sense!

Sincerely,



Donald and Charlene Harrison

March 20, 2017

The Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60516

RE: Oak Trace Community Development Program

Dear Village of Downers Grove Council Members,

Please accept this letter in support of the planned development of a new health center building at Oak Trace Lifespace Community. It is vital that the community these residents have bought into continues to serve their needs as expected when they entered an "ongoing supportive continuum of life care center." They came to this lifespace with the expectation that as they aged, they would age in place, and have the continuum and continuity of care they deserve and expect. They didn't come here to find a failing health center that can no longer pass inspections appropriately. This new center must be constructed. Clearly, getting all residents to support this effort will be no small task, but the Village must work with Oak Trace on acceptable solutions to make this redevelopment plan a reality, and quickly.

It is, of course, a disappointment that some folks will be displaced from their townhomes. For those residents, the largest of efforts should be made to accommodate their needs. Compromises may take a while, but with sincere effort and care, they can be accomplished. After all, these same residents have the expectation of some day using the health care center themselves. And I'm certain they would like to feel safely cared for in a modern facility that easily passes inspection and provides the services they need. I feel that these residents are entitled to the concerns they have and careful consideration should be given to their needs.

The residents of the independent living apartments will not be unduly affected by these new changes. Once again, they bought into this type of community, and should feel strongly that their investment must keep pace with the next level of care in a safe, clean, and technologically capable environment. A few people may feel disappointed that their townhouse neighbors will be displaced, but that is no reason to condemn the larger population of the rest of the community to an uncertain future. If the new health center is not built, what will this community's residents do, if the property is forced to close? If that becomes an unfortunate reality, there will be far more residents displaced overall. Even independent families will have to find new residences. And, those that wish to stay with a continuity of care facility will have difficulty finding (and perhaps affording) a new location. Not just the residents, but the families and caregivers will be affected too if housing is not geographically convenient to them or to their medical providers.

And last, but certainly not least, what happens to all the current health care residents when the facility will no longer be granted "interim" passed inspection privileges? Eventually the old center will close, and if a new one is not available, these residents will have to find new alternatives as well. And, they will be even less likely to find acceptable options quickly, if at all.

Please find a way to work together with all interested and affected parties to make this redevelopment effort a reality – soon!

Sincerely,



Cara Bass

Daughter of Concern Resident that she will lose her home and continuity of care that is critical to her well-being

March 21, 2017

The Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL. 60515

To Whom It May Concern:

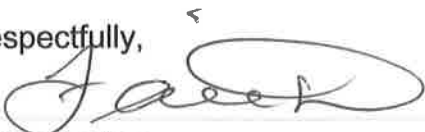
I would like to express my support for the redevelopment program here at Oak Trace. I am so proud to work for a community which is dedicated to serving seniors. Oak Trace is one of twelve communities owned by Life Space Communities. Our motto at each community is to provide exceptional care and services to our residents. We exceed accomplishing that here at Oak Trace. But, to keep our promise of Life Care to our residents it is imperative that Oak Trace be equipped with a Health Center which will ensure the future and current care our residents depend upon.

I work in the Independent Living Residential building at Oak Trace. Our Health Center is definitely an integral part of life for our residents at Oak Trace. Often our residents have a spouse or dear friend who lives at the Health Center. By offering all levels of care right here in the Oak Trace Community, spouses and dear friends are never faced with being separated. The accessibility from the Residential Building to the Health Center is invaluable. They can still be in contact every day.

Oak Trace employees genuinely care about our residents. Oak Trace is their home. Residents depends on the Oak Trace team to provide a safe and secure environment that supports successful aging within Oak Trace. I would like tell you a story about a husband and wife at Oak Trace. This particular couple moved to Oak Trace and lived in the Residential Building for ten years. Until, one day, the husband was admitted to the hospital following a stroke. As a result, he could no longer live independently. A transfer to our Health Center was needed. I saw his wife the other day and asked how her husband was doing. She put her hand on my arm and said, "If we had not moved to Oak Trace...I don't know what we would have done. Richard and I can still be together and our children do not have to worry about us. We have our Oak Trace family right here. We are loved and cared for."

The story of this couple is just one of many here at Oak Trace. To keep providing this priceless resource for Downers Grove, Oak Trace needs to sustain its provision of all levels of health care....Catered Living, Memory Support and Skilled Care. Oak Trace desperately needs a new Health Center. Please write a happy ending for the future stories of our residents. Support our need to build a new Health Center here at Oak Trace.

Respectfully,



Faith Rawley

Old Trane will be missed BUT
I SUPPORT A NEW HEALTH
CENTER BECAUSE I GO TO
DIALYSIS AND WE NEED A
BETTER DIALYSIS CENTER.
THE ELEVATORS HAVE A
MIND OF THEIR OWN AND
WHEN YOU WANT TO GO UP
YOU GO DOWN.
WE NEED A WARM CHURCH,
THIS ONE IS AN ICEBOX.
AND OTHER PEOPLE KEEP GETTING
LEAKS IN THEIR ROOMS AND
IN THE DINING ROOM AND
THE WALL CAVED IN.

Bertha Dyot

We need a New health
center because it will
Really help us
We need water fountains
so we can have more
places to get together
and not stay in our rooms
and working elevators.

Georgia Winkless

3/20/17

Village Council of Downers Grove:

I've lived at Oak Trace for over 4 years - My husband, Jack, and I both used the facilities of the Health Center. We received good care, but the facility definitely needs to be brought up to today's standards - it is outdated to say the least.

I am in favor of the new development program proposed for Oak Trace - it is sorely needed. Life Space studied our 40 acres and selected what they deemed to be the best location - It is unfortunate that many residents are impacted and will have to move.

We must stand up for progress if we are to survive. My vote is to build a new modern health center in the proposed location.

Trish is a necessary affirmative vote for your Council.

An interested party in our future of Oak Trace.

Natalie Beck

3/22/17

I support the new Health Center because we will have better meeting places and social opportunities. The WiFi is very important to me, so better WiFi system is needed. Have better maintenance supplies. Things are always breaking or shutting down. If our building is destroyed or falls down, where am I going to go. My family can't do it.

It would be great to have a great wonderful place to go in this location.

In my room when the pipes burst below me my tub fills up with yucky black sludge / stinky water. My sink stops up too.

Francis Stone

To, Village of Downers Grove

I support new health center as it will provide newer building with lot of amenities, new technology, furniture, new fitness center, updated medical technology. Thank you.

Girija Goramahalli
03/22/17

03/22/17

Hope there will be a ^{pastor} chaplain and
place of worship, kind of concened
but neither for or against.
Janet Boone

03/22/17

Private rooms in skilled nursing, private bathrooms in skilled nursing that are more accessible. Updated heating and air conditioning that has individual heating and cooling controls, updated furnishings and large common areas, garden areas, new dining venues, larger programming areas, new therapy gym and equipments. I support new health center

Betsy Lou Olson

3/9/17

Regarding: New Construction for Oak Trace Health Center

Dear Mayor Tulley, Commisionners and Council Members:

I am an Oak Trace employee and have been employed for 3 years with the community as Resident Services Director for Residential Living and Social Services Director in the Health Center. I was originally hired to work in Residential Living the Independent Living building so that is the only part of the community I saw when I first came and I was very impressed with the surroundings and amenities that the community offered. My duties were expanded and I had to go to the Health Center to provide coverage. When I walked into the health center I was very shocked at the contrast in the amenities and physical environment for the residents in the health center. The health center had a five start rating for care but the building and the environment had a lot to be desired with leaks in the ceiling and rooms, worn carpet, poor plumbing, double rooms, outdated bathrooms, heating concerns and with no heat in many Administrative offices. I was surprised about the discrepancy in the two environments and the difference in what one group versus the other had to endure as far as the amenities.

The Oak Trace Health Center is the link to the community for the Downers Grove. Many residents who are not Oak Trace residents choose the health center to rehabilitate there. The future of Oak Trace and the Downers Grover community is dependent upon the Health Center being able to survive in the 21st century regarding the amenities and technology. As the Health Center exists now it will not be long before that building is condemned because of the structural needs and repairs that need to be done. There is no way that the community can repair the items since the majority is structural items that only a new health center will solve. As a part of the Downers Grove community and health care provider the needs of the residents certainly need to be addressed in the health center. I am in full support of the plan for construction of a new health center which has been promised to Residents at Oak Trace for many years. It is unfortunate that a few residents will have to relocate but without this transition Oak Trace has no future or way to provide for the needs of the many residents who reside in the health center and who will be admitted to the health center in the future. Without the continued revenue of the health center Oak Trace and Downers Grove community will not be successful.

Please bear these considerations in mind as you move to approve this project which is richly needed for the future of Oak Trace and Downers Grove.

Sincerely,



Maggie Batts, Resident Services Director
Licensed Clinical Social Worker

I believe the update is necessary because of how old the Oak Trace Health Center is. Technology has grown from the time the Health center has been built, and continues to grow and change everyday. Economically, it would benefit the residents of Oak Trace because we would be able to control the temps in our rooms. ~~Some~~ rooms would be private in skilled nursing. Privacy is so important to us old folks. It would benefit us to think we don't have to share a room with someone for the rest of our lives. We are living in a modern world and should be able to keep up with changing times.

Betty M. Montgomery

3/22/2017

resident council president

To Whom it May Concern,

I support the re-development plan for Oak Trace Residential Living and Health Center. I believe the residents will benefit from updated technology and a Certified Memory Care program. They will be able to have private rooms in skilled as well as private path rooms.

For staff members I think the redevelopment plan is great! We are employed at Oak Trace because we have a passion to work within a senior community. To have a new modernized Healthcenter would also benefit staff because we are able to help more people and give more families the support of their aging parents & family members. More jobs would be available for the community as well.

I hope to see the redevelopment plan begin this summer and I'm excited to see all of the positive changes within the community & staff.

Thank you,
Vanessa [Signature]
Resident Services

ethel mag mayo

3/22/2017

It's a good thing for the future. Great to be able to expand to accomodate more residents who are living longer and need assistance. I also think about my children who are seniors that will eventually be able to move to a community like Oak Trace and enjoy all of the benefits of a brand new community.

Ethel Mae Mayo

March 23, 2017

Village Council of Downers Grove,

I started at Oak Trace as a PT Receptionist in Residential Living. I got to know our residents and feel part of the community. I was blessed to have the job working with wonderful Residents and Team Members.

I am currently working in the Sales Department in Residential Living and am a part of the process of helping prospects to choose Oak Trace. I see firsthand the transformation of a prospect that was living independently in their home, to a Resident thriving in a vibrant community that promotes longevity in living through new friends, activities and a new place to call home.

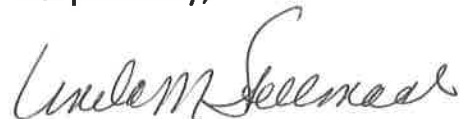
With a contract at Oak Trace, Residents are able to stay independent through all levels of care until their celestial discharge.

Which brings me to the purpose of this letter. If we do not build a new Health Care Center, where will these Residents live out the rest of their lives? Our Health Care Center is 40+ years old and we cannot put anymore band aids on the building. If the new building is not built, these Residents will not have a place to live, the community will cease to be able to attract new Residents, therefore, our community will fail and I will be out of a job.

Oh, and by the way, my mother-in-law lives here. Where will she live if the redevelopment is not passed? Will you be able to tell me and my family why?

Thank you for allowing me to voice my support for the Oak Trace redevelopment. I hope you will make the right decision for ALL RESIDENTS.

Respectfully,



Linda M. Stellmack

Downers Grove City Council

801 Burlington Avenue

Downers Grove, IL. 60515


March 23, 2017

I am writing in support of the new Health Center at Oak Trace. My Mom will be going on her 5th year in the Health Center in April. I am very pleased with the care she has received at Oak Trace. However, it's evident that the facility itself is outdated. You can see the years of wear - in the resident's rooms, their bathrooms, the staff bathrooms, the nurse's stations, the dining areas. The hallways are long, the elevators are iffy, and I'm certain the residents and staff would be thrilled to have a modern facility to enhance the quality of care and their quality of life.

I understand several independent living residents will need to move to make room for a new Health Center. That is unfortunate and I can understand why they would be upset. However, the reason people sign up for a lifecare community is to have a guaranteed safety net for a continuum of care. Providing a new Health Center guarantees they will have the best of care if/when it's their turn for assistance. Isn't this the very reason they wanted to be part of the Oak Trace community?

In these last 7 years, I've learned 'denial' is an incredibly strong emotion. People deny the fact that they will get older and will most likely need care as they age. Right now life might be great in the OT cottages, but it won't stay that way forever. They need to look ahead. In time, they will be grateful a new Health Center was built to provide them the very best of care.

With kind regards,



Mary Straka and the Pietryga Family

On behalf of my Mom at the Oak Trace Health Center

250 Village Drive

Downers Grove, IL.

March 23, 2017

Dear Village Council Members:

I have been a team member at Oak Trace for almost four years. I have served in the capacity of the health center administrator. In this position it is my role to oversee the day to day operations of the health center, ensure that residents receive exceptional care and services and to be a good fiscal steward of our resident's funds. This is a position that I do not take for granted as residents and their family members have entrusted the health center team and me to provide to them quality care and to ensure their safety.

The decision to redevelop the Oak Trace community starting with a new health center has brought high emotional moments for those residents living in the Town and Garden Homes, their family members and friends. In life, there are tough moments and decisions in which you have to do the right thing even if it is not the popular thing to do. I know that the redevelopment plan and the construction of a new health center is the right thing to do.

The current health center is tired, antiquated and soon won't be able to meet the needs of our residents. The amount of funds spent during my time at Oak Trace to put band-aid fixes on mechanical problems does not make me feel like a good fiscal steward. Oak Trace, as a not for profit Lifespace Community, would rather reinvest in capital improvements, programs and services than spend monies on leaky pipes and equipment that has outlived its purpose. Delaying the redevelopment of new health center jeopardizes the care for future health center residents that have paid fees to be a part of a Continuing Care Retirement Community. There will come a time soon in which the health center will not meet the requirements of the Life Safety Codes. When that time comes, it will be too late for redevelopment.

I ask that with all the personal stories, emotions and difficult decisions to be made that you do the right thing and approve the redevelopment of the Oak Trace Health Center.

Sincerely,



Michelle Hart-Carlson

Health Center Administrator

March 23, 2017

Village of Downers Grove
Council Members
801 Burlington Ave
Downers Grove, IL 60515

Dear Council Members:

My name is Dolly Nation. I am the lead receptionist for the Oak Trace Health Care Center. I have been employed by Oak Trace for approximately 9 years and it has been my great joy and privilege to know and work with many of the wonderful residents of the health care center.

Many of the health care center residents have a good family support structure, many of whom I know very well and admire for the love they show to their family members who live here. Oak Trace is a wonderful place and we try to provide the care and support that these residents deserve, and as their family members expect. Though most of the residents are elderly and often have health issues, they deserve to have a voice in this matter of a new facility. As I have thought about what to say, there are 2 key points I would like to state.

First, I firmly believe our residents deserve a nicer living environment. The current facility has a comfortable feel, but prospect of having a private room, or a nicer bathroom, or wider hallways, or other amenities would certainly provide greater enjoyment for these residents.

Second, since I am most often the person who has to call the maintenance team on a regular basis, I know there are numerous issues with the building that I am sure continue to drain the financial resources of Oak Trace. I know that I have called maintenance for broken water pipes, heating and air conditioning problems, electrical breakers that pop, water leaking in the ceiling, not to mention that sometimes you can detect sewerage smell in the building. I even have water on the interior brick walls surrounding my work space on occasion when it rains.

All this being said, I know there has been opposition from the residents in the cottages, most of whom I know and respect. I do not blame them for wanting not to be displaced. However, they have a voice and the ability to make choices. The residents in the catered (assisted) living, memory support, and skilled living building do not have voice and they need to know that Oak Trace is working on their behalf and on behalf of future residents. I believe they would love to have a nicer living space that does not have so many maintenance issues and provides a more comfortable environment.

I would urge you to approve the development plans and I am confident that if the council approves the new facilities, the quality of life for these residents and new residents will be greatly enhanced. Thank you reading my letter.

Sincerely,

Dolly Nation
Dolly Nation *Dolly Nation*

I SUPPORT THE NEW HEALTH CENTER
BECAUSE WE NEED BOTH HEATING
AND AIR CONDITIONING DURING THE
SEASONS.

I APPROVE OF ALL THE CHANGES
THAT HAVE BEEN PROPOSED.

WE NEED MORE DINING OPTIONS.

Sharon Foster Day

March 22, 2017

Mr. Chris Romick
Executive Director
Oak Trace
200 Village Drive
Downers Grove, IL 60516

Dear Mr. Romick:

We are addressing the following open letter to you. Please feel free to share it with whomever you may choose.

To Whom It May Concern:

We have been residents of Fairview Village/ Oak Trace for the past 14 years. During that time we have sincerely enjoyed our life experiences on this campus. We have experienced many changes during that time, both good and not so good.

As we understand things, the complex is now engaged in a proposed extensive redevelopment. Of the greatest importance during the earliest phase is the construction of a new health care center, the completion of which is essential to allowing additional phases to proceed forward.

We would like to lend our full support to the successful completion of the health center project as designed in the phase one literature we received. Although some of our fellow residents would have to give up their current living quarters, it appears that there is room enough for everyone to relocate within the open spaces now available. Relocation may be difficult, but it is certainly possible given the current resources.

After talking with other residents, but not speaking for them, we honestly believe a consensus majority of residents want the project to go forward to assure that we will continue to enjoy a full service campus for many years to come. We appreciate your consideration of our input in your final decision making deliberations.

Respectfully submitted,

 
Delbert & Elaine Graunke

Dear, the village of downers grove,
 I have lived in the present
 independent living starting my
 19th year. I was also a patient
 in the health center for four
 months w/ two different fractures,
 not all pleasant. the need for a new
 HC is absolutely necessary. it is
 my desire that difficulties will end
 soon. this plan was presented about 10
 years ago, in hopes that the new
 center will be initiated soon.
 to provide the best patient care
 Oak Trace can offer!
 Sincerely,

200 Village Drive
 Apt. 215

Pauline to Kathleen

3/22/2017

Susan J. Butler
708.545.2309
Downers Grove, IL 60516

Oak Trace
200 Village Drive
Downers Grove, IL 60516

To Whom it May Concern,

Just a small note to express my large appreciation for the foresight that the Oak Trace LifeSpace Community has in planning to expand its health care services. My mother, Janet Butler, has been a resident at Oak Trace for numerous years, first as a resident in an apartment, and now in catered living. She has also been a recipient of skilled nursing care at times.

I'm grateful for the care my mother has consistently received, and know that throughout the changes in management, respect of resident needs has remained a priority. Although the planned construction of the new facilities will be a hardship for a few, the development will benefit many. I fear to think that OT might lose its accreditation for the catered living unit, and understand that while change is difficult, it is needed to remain abreast of mandates and endorsements. It gives many families peace to know that long-term planning is taking place.

Sincerely,



Susan J. Butler
708.545.2309

March 22 2017

DOWNERS. Grove Village Council'

Dear Sir:

We are. Writing to express our support for the proposed new health center building at Oak Trace, This building is a positive step for the future for us as residents of Oak Trace and also for the community of Downers Grove,,

Sincerely,

Handwritten signature in blue ink, consisting of two lines: "Norbert Pacholski" on the top line and "Patricia Pacholski" on the bottom line.

Norbert and Patricia Pacholski

Apt 247

Joan M. Oney
200 Village Drive, Apt. 246
Downers Grove, IL 60516
March 22, 2017

The Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

To Whom It May Concern:

I am a current resident at Oak Trace retirement community and as such I am writing this letter in support of the redevelopment project now under consideration by the Village.

Like many of my fellow residents, in making my decision to move into a retirement community, I chose a continuing care facility so that I would be assured of the availability of long-term care in the event I should need it in the future, and to spare my children the necessity to make these decisions for me.

The Oak Trace Health Center needs to be brought up to date, and that is not feasible without a complete replacement of the current building. A health center is an essential component of a continuing care facility. Without a health center the reason for moving into such a facility is removed, and those who have moved to Oak Trace will have lost their planned security in the final stage of their lives. I am aware that at the last Council hearing there were some unfavorable comments by some residents who will be directly affected by the project. I believe, however, that the comments went to the implementation of the project rather than the project itself.

For the above reasons, I urge the Village to approve the renovation project at Oak Trace.

Respectfully,

A handwritten signature in cursive script that reads "Joan M. Oney".

Joan M. Oney

I support the new HEALTH Center.

1. it needs to be bigger, NO STORAGE

IT WOULD BE NICE TO HAVE STORAGE

TO PUT YOUR WINTER CLOTHING IN

2. MORE ROOM NEEDED

3. MORE NEW PEOPLE

4. COULD HAVE A GUEST ROOM FOR OUT
OF TOWN VISITORS

5. WE NEED ONE THAT ISN'T OLD
LIKE THIS ONE.

6. A NEW HEALTH CENTER WOULD
GIVE US MORE FOOD SERVERS
AND OPPORTUNITY FOR BETTER
FOOD, SO THE SERVERS DON'T HAVE
TO EMPTY DISHES IN THE DINING
ROOM.

7. BE ABLE TO HAVE MORE
INDIVIDUAL ITEMS FOR APARTMENTS

8. MORE ROOMS FOR MORE
GROUPS, GAMES, ACTIVITIES

9. LARGER GIFT SHOP WITH
MORE ITEMS

Mae L Valente

I HAVE RESIDED IN THE OAK TRACE HEALTH CENTER FOR 23 YEARS, AND HAVE SEEN HOW THE FACILITIES HAVE STARTED TO SHOW THE SIGNS OF HARD USE.

WE ALSO NEED LARGER AREAS THAT ARE DESIGNED TO ACCOMMODATE THE NEW INNOVATIONS IN MEDICINE AND TECHNOLOGY,

SIGNS OF HARD USE ARE AS FOLLOWS.
WINDOWS THAT DON'T WORK
PLUMBING THAT LEAKS
DIFFICULTY IN CONTROLLING TEMPERATURE THROUGHOUT THE BUILDING
ELEVATORS THAT OFTEN DON'T WORK WHICH IS A SAFETY ISSUE.

Katherine Subrier

I believe private rooms
in skilled nursing would
be essential. I have been
here about 2 months and
and I do not have a
room mate and this is
wonderful for me, I like
the privacy very much.
I enjoy people & friends
but I do like being
alone in the room, I can
do things as I wish to
& I like it this way.
Updated heating & air
conditioning that has individual
heating/cooling controls would
be very nice.

Margery Klovit

March 23, 2017

Village of Downers Grove
Council Members
801 Burlington Ave
Downers Grove, IL 60515

Dear Council Members:

My name is Dolly Nation. I am the lead receptionist for the Oak Trace Health Care Center. I have been employed by Oak Trace for approximately 9 years and it has been my great joy and privilege to know and work with many of the wonderful residents of the health care center.

Many of the health care center residents have a good family support structure, many of whom I know very well and admire for the love they show to their family members who live here. Oak Trace is a wonderful place and we try to provide the care and support that these residents deserve, and as their family members expect. Though most of the residents are elderly and often have health issues, they deserve to have a voice in this matter of a new facility. As I have thought about what to say, there are 2 key points I would like to state.

First, I firmly believe our residents deserve a nicer living environment. The current facility has a comfortable feel, but prospect of having a private room, or a nicer bathroom, or wider hallways, or other amenities would certainly provide greater enjoyment for these residents.

Second, since I am most often the person who has to call the maintenance team on a regular basis, I know there are numerous issues with the building that I am sure continue to drain the financial resources of Oak Trace. I know that I have called maintenance for broken water pipes, heating and air conditioning problems, electrical breakers that pop, water leaking in the ceiling, not to mention that sometimes you can detect sewerage smell in the building. I even have water on the interior brick walls surrounding my work space on occasion when it rains.

All this being said, I know there has been opposition from the residents in the cottages, most of whom I know and respect. I do not blame them for wanting not to be displaced. However, they have a voice and the ability to make choices. The residents in the catered (assisted) living, memory support, and skilled living building do not have voice and they need to know that Oak Trace is working on their behalf and on behalf of future residents. I believe they would love to have a nicer living space that does not have so many maintenance issues and provides a more comfortable environment.

I would urge you to approve the development plans and I am confident that if the council approves the new facilities, the quality of life for these residents and new residents will be greatly enhanced. Thank you reading my letter.

Sincerely,

Dolly Nation,

March 22, 2017

Village of Downers Grove

To Whom It May Concern:

I am writing this letter in support of Oak Trace's proposal to build a health center on its current campus. My mother, Dorothy Maher has been a resident at the facility for 16 years and has received compassionate and professional care while always being treated with respect and dignity. Oak Trace is truly a credit to our community.

Their plans to upgrade their existing facility will only mean enhanced care for our senior citizens. My mother has always enjoyed the facility and I am sure that she will appreciate a modernized environment where even higher levels of care will be achieved.

Sincerely,



Glenn Van Cura

1755 Banchory Court
Downers Grove, Il 60515

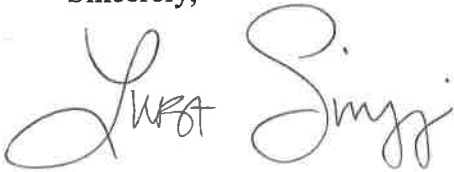
March 20, 2017

Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Village Council Members,

I am writing to express my support of the Oak Trace Health Center renovation project. As the Memory Care Manager of our skilled nursing center, I am privileged to work with our dementia/Alzheimer's residents and understand the importance of providing them with the best care. A new health center will help us to better meet their unique medical, social, and environmental needs. For example, technological upgrades ensure safety by alerting us to the whereabouts residents who wander, access to outdoor garden areas promote sensory stimulation and larger, modernized communal areas offer space for programs and socialization with peers. I know I speak for all of our team members when I say that Oak Trace wants to provide the best care and quality of life for our residents. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Luba Siryj". The signature is fluid and cursive, with the first name "Luba" and the last name "Siryj" clearly distinguishable.

Luba Siryj, MHA, CDP
Memory Care Manager
773-220-7323

Forward To: Village of Downers Grove 3/23/17
In Support of Oak Trace redevelopment

From: timgn@comcast.net [mailto:timgn@comcast.net]

Sent: Thursday, March 23, 2017 1:11 PM

To: Dolly Nation

Subject: Letter of Support

To Whom it May Concern--

I'm writing in support the proposed building project for Oak Trace.

My mother and dad moved into Oak Trace (then named Fairview) on Dec. 1, 2009. They lived together in Independent Living until Dad went into the nursing home in 2013. He passed in November 2013. Since May 9, 2016 my mother has lived in Catered Living.

While Lifespace Communities has done well with the current facilities, buildings and infrastructure become outdated and obsolete. It is certainly time for improvement of the facility.

It has been a wonderful place for my folks. They have developed good friendships, felt very safe and secure, and received excellent healthcare.

I heartily support the expansion and redevelopment of Oak Trace.

Timothy Nelson

Shirley Sandkam strongly supports the HealthCenter in EVERY way.

The Nurses are very important to us on medication they explain how they work in us very carefully to see we get the exact dose.

Very punctual when we push our Lifeline button willing to help us with any extra task.

Dining service is very good. They do a good job of serving us and giving us close attention to our orders. Kudos to Charles and Devenne for trying to give us a new menu after 4 years. Their new training course for servers is an excellent plan.

activities are terrific ehinking up new activities for our group. They work very hard and do a wonderful job. Cathy has a beautiful personality and makes us laugh and that's good for the soul.

Can't wait for cleaning day to get my place spruced up. she does a good job.

Therapy has helped me and Tim
all for it got you back in shape.
Kind, patient therapists and don't
push you beyond your strength.

Receptionists are all GREAT and
so kind.

Top Gun - Michelle Carlson is
absolutely on top of things. She
always has time to stop and
say hello. I think her daily staff
meetings are good to make sure
everyone is on the same page.

This place is run beautifully,

Shirley
Sandkam

#342

March 27, 2017

Village of Downers Grove
801 Burlington Ave
Downers Grove, IL 60515

Attn: Mayor Martin Tully

Dear Sir,

I am writing in regards to the ongoing conflict between the residents of Oak Trace Retirement Village and Lifespace Communities, Inc. I'd like to express my deep concern and disappointment in how the elderly residents of Oak Trace have been treated.

My mother, Janet Potts, moved to Oak Trace in 2013 after a careful evaluation of her retirement options. She was enthusiastic about where she had chosen to life out her life. The garden apartment she moved to allows her the independent living she relishes and the feel of a neighborhood in a secure setting. Imagine her shock when she was informed that a medical center was to be summarily built right on top of her home, and that there really were no other options of equal opportunity available to her on the property, a contractual stipulation she was guaranteed.

In theory, a new medical center will benefit my mother and all the residents of Oak Trace, but the fear and uncertainty that has resulted from Lifespace's announcements and plans far outweigh those benefits at this time. In their cavalier actions, Lifespace is treating these elderly residents as pawns not as the thinking adults they are.

Please abide by the recommendation voted on by the members of the Plan Committee at their March 6, 2017 meeting and ensure that Lifespace Communities honors their commitment to their residents.

Sincerely yours,



Betsy Blackwood
10900 Jann Court
La Grange, IL 60525

240 Arlington Avenue
Naperville, IL 60565
March 26, 2017

The Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Village Councilors:

As the trustee of Barbara R. Chandler, one of the apartment residents of Oak Trace, I am writing in support of Oak Trace's expansion plans.

I believe that the expansion is in the best interests of all of the residents and of the Village. The comfort, health and safety of the residents depend on Oak Trace being operated as a successful business. I also believe that the additional residences that are part of the plan would result in a more efficient and economical operation for Oak Trace, with attendant improvements in service, programs, and safety for residents.

As an important institution in the Village, a healthy Oak Trace contributes to the overall economic and social health of Downers Grove.

Sincerely,



Roger N. Blomquist
630-414-5434

Domestic Home Planning Commission

Domestic Home 11 60515

Dear Members,

As residents of Red Stone Retirement Community we want to share our concerns with you about the need for a new health care building. The current health care center that we occupy with existing entry, and had permission to operate only until a new center is built. We had our share to come to Red Stone 1 1/2 years ago. The center contained provisions for total health care, with assisted living, memory care, and skilled nursing available. Without a new building, Red Stone will not be able to provide this.

We are asking that your approval of this development plan for the site of Red Stone, our residents, and for the good of our community. We are long time residents of Domestic Home (55 years) and are very proud of our community. We believe this redevelopment plan is for the good of all.

Yours Truly,

Martha Strickland
Bill Beuffer

Copy to Mayor Martin Duddy



MELTZER, PURTILL & STELLE LLC

ATTORNEYS AT LAW

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March 27, 2017

Mayor Martin T. Tully and Members of the Village Council
Village of Downers Grove
801 Burlington Avenue
Downers Grove, Illinois 60525

RE: Oak Trace Senior Living Community: Proposed Planned Unit Development Amendment

Dear Mayor Tully and Council Members:

We represent Lifespace Communities (“Lifespace”), the owner of Lifespace DG, LLC d/b/a Oak Trace Senior Living Community which is located in the Village at 200 Village Drive (“Oak Trace”). As you are aware, Lifespace has requested approval of a Planned Unit Development amendment for a campus master plan for Oak Trace (the “Proposed PUD Amendment”). The Oak Trace community is located on approximately 38 acres which are zoned R-5A/PUD.

Both in its written submittals to the Village and at the March 6 Plan Commission public hearing, Lifespace presented compelling evidence that the Proposed PUD Amendment satisfies the review and approval criteria for a Planned Unit Development amendment set forth in Section 28.12.040.C.6 of the Downers Grove Zoning Ordinance. Indeed, your staff concluded, in its March 6th report to the Plan Commission (the “Staff Report”), that the Proposed PUD Amendment is consistent with the Village’s current and draft Comprehensive Plans, the Zoning Ordinance, and surrounding zoning and land use classifications. For that reason, your staff recommended that the Plan Commission recommend that you approve Lifespace’s request.

We are submitting this correspondence to you in response to certain concerns that were expressed at the Plan Commission public hearing and to explain further why we believe the Proposed PUD Amendment satisfies the aforesaid review and approval criteria.

Section 28.12.040.C.6 Review and Approval Criteria

The decision to amend the zoning map to approve a PUD development plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard.

RESPONSE: This sentence of the Zoning Ordinance clearly indicates that no single standard is to dominate the decision to approve the Proposed PUD Amendment.



Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 2 of 7

In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

a. The zoning map amendment review and approval criteria of Sec. 12.030.I.

RESPONSE: As noted in the Staff Report: “The property is already zoned R5-A/PUD (Residential Attached House 5A/Planned Unit Development) and comprises Fairview Baptist Home Planned Development #32 (ORD #3456). The proposed PUD Amendment does not require a zoning map amendment. Thus, this standard is not applicable.”

b. Whether the proposed PUD development plan and map amendment would be consistent with the comprehensive plan and any other adopted plans for the subject area.

RESPONSE: As noted in the Staff Report, the Proposed PUD Amendment is consistent with both the current and draft updated Comprehensive Plans. The Comprehensive Plan dated July 21, 2015 identifies the Oak Trace property as “Multi-Family,” where “specialized senior housing” is encouraged. The Comprehensive Plan also indicates that “[s]enior housing, which includes multi-family residential and assisted and extended-care facilities, should be provided in convenient locations to accommodate the needs of senior citizens within Downers Grove. This allows Downers Grove residents to age in place and remain in the community.” As further noted in the Staff Report, “[w]ith multiple buildings and uses on a single campus, a PUD overlay allows for a creative and modern development while addressing the key concepts of improved pedestrian circulation, safety, and senior living opportunities per the current and draft updated Comprehensive Plan.” The Proposed PUD Amendment will provide each of the types of senior housing recommended in the Comprehensive Plan in a convenient location. Thus, this standard is satisfied.

c. Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.

RESPONSE: The Proposed PUD Amendment satisfies the vast majority of the PUD overlay district objectives set forth in Section 4.030 of the Zoning Ordinance, where “furtherance of some or all of” such objectives is recommended. Specifically:

- (1) The Proposed PUD Amendment implements the goals of the Comprehensive Plan by providing numerous senior living opportunities in Downers Grove and at this location.
- (2) The Proposed PUD Amendment addresses ongoing changes in social, economic and market conditions and will provide for modernized senior living, which achieving the public benefit of serving the growing senior community in Downers Grove.



Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 3 of 7

- (3) The Proposed PUD Amendment includes the efficient and economical provision of facilities and services by providing open natural spaces for the enjoyment of senior citizens and by providing necessary services for Downers Grove's senior citizen population.
- (4) The Proposed PUD Amendment provides a variety of housing types and sizes while providing a mixed-use type of campus with many common area amenities.
- (5) The Proposed PUD Amendment involves a relatively compact, mixed-use redevelopment where residential and other spaces are located in close proximity to one another.
- (6) The transportation network within Oak Trace will be improved for both motorized and non-motorized travel.
- (7) The new buildings in Oak Trace will be of a high quality and will transition smoothly to surrounding areas. The taller buildings will be located in the center of the site and smaller, lower buildings will be located around the perimeter. In addition, Oak Trace will be separated from neighboring properties by berms and substantial landscaping.
- (8) The Proposed PUD Amendment preserves the existing wetland area along the north property line as well as a popular barn that serves as an amenity to the residents.
- (9) The Proposed PUD Amendment contemplates the incorporation of many sustainable features.
- (10) Oak Trace, as redeveloped, will include attractive, high-quality landscaping (including native landscaping), lighting, architecture and signage.

Thus, this standard has been satisfied.

d. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.

RESPONSE: As noted in the Staff Report, the Proposed PUD Amendment "will result in the redevelopment of an existing senior living facility in the Village that currently serves the senior citizens of Downers Grove. The ability to modernize the facility and continue to offer a variety of housing options for a numerous seniors is a public benefit. As the population of Downers Grove ages and grows, it is important that housing opportunities are provided for our seniors which allows them to age in place and within the community."

In addition, the modernization of the facilities is not only a benefit to the public--it is an absolute necessity. Oak Trace is currently operating under an FSES (Fire Safety Evaluation System) plan of correction for a number of building deficiencies. Under an FSES plan of correction, Oak Trace has developed equivalencies to meet current



Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 4 of 7

fire and safety code standards. However each year the ability to construct equivalencies becomes more difficult and expensive. As building codes continue to evolve, it is only a matter of time when Oak Trace will not be able to construct equivalencies for this aging structure to keep it in compliance with licensure requirements. The only option will be the demolition and rebuilding of the existing structure. Trying to correct the deficiencies within the current structure is fiscally and, for all intents and purposes, physically impossible.

Thus, this standard has been satisfied.

e. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

RESPONSE: (a) Effect on surrounding property owners and residents: As noted above, to minimize adverse impact on surrounding property owners and residents Lifespace has planned for the construction of taller buildings near the center of the site and for the construction of lower buildings around the perimeter of the site, and it will be constructing berms and substantial landscaping around the site perimeter.

(b) Effect on existing and future residents of the PUD: To provide the best possible living experience and care for existing and future Oak Trace residents, and to ensure ongoing compliance with the stringent Illinois Life Care Facilities Act which governs the permitting and use of life care contracts in the state, as well as the requirements of the Illinois Department of Public Health (for skilled nursing care) and the Illinois Department of Aging (for assisted living), Lifespace has determined that it is critically important to address its long-deferred need to upgrade and modernize its physical plant. When Lifespace purchased the property in 2011, it recognized that it would need to fund and construct a major redevelopment plan, largely due to an aging campus which had not be materially improved for decades. Lifespace was the successful bidder in the bankruptcy proceeding largely due to its financial ability to bring much needed improvements to the property, including the ability to address the issue of the aging Health Center, which at that time was operating under state waivers due to the inability of the then-owner to finance necessary improvements to maintain its licensure. Upon purchase of Oak Trace, Lifespace instituted new residency agreements which advised the resident that Lifespace would be reconstructing the campus and that such reconstruction would require relocation to similar units (it is interesting to note that the former owner, Fairview Baptist Home, had the exact same provision in its residency agreements since 2009, when it became apparent to them that demolition would be the only option.) In this context, "similar" does not mean "exactly the same," but rather other residential living units where a resident is provided the service amenities and health care contemplated by the contract. It is important to note that what Oak Trace residents purchase is not the real estate or an



Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 5 of 7

interest in real estate, but a Life Care contract that is essentially a health insurance contract – it provides that the resident will be cared for at Oak Trace throughout the term of their contract, which in most cases is the resident’s lifetime. The different levels of living offered by Oak Trace, based on the resident’s care needs, specifically contemplate resident moves throughout the campus based on the condition of his or her health. The paragraph concerning construction was an additional provision advising them that they might also need to move to a different location given the needs of redevelopment. The primary importance in a Life Care contract is that, no matter the reason for the move, the resident’s health benefits will continue. It is an unfortunate reality that the Health Center building on the Oak Trace campus is functionally obsolete, and its physical plant has reached the end of its useful life. In order to address these significant capital needs, and to provide the opportunity to serve a greater number of senior citizens in the future, Lifespace has no choice but to reconfigure portions of the property to reconstruct the Health Center building. Additionally, to meet market demand and the needs of current residents, Lifespace is providing additional levels of living by adding Assisted Living apartments and associated commons along with Assisted Living licensed Memory Support suites to protect and care for residents suffering from dementia and Alzheimer’s. The redevelopment of Oak Trace will ensure its long-term viability both for current and future residents of the community. Failure to upgrade the facilities will ultimately result in the loss of licensure and subsequent forced closure and/or by the continuous decline in occupancy and, therefore, financial hardship.

Initially, as to Phase I of the development, some 27 of the current residents of Oak Trace voiced concerns about the demolition of existing townhomes and cottages asserting that such demolition would cause them undue hardship and violate their contractual agreements with Lifespace. This number has since decreased by half as Lifespace has provided a number of options to these residents, both financial and physical, to address their concerns. While Lifespace has significantly ameliorated these concerns, private contractual arrangements with the residents have no bearing on the Village’s consideration of the Proposed PUD Amendment. *See Hibser v. Zoning Bd. of Appeals of Peoria County, 12 Ill.App.2d 365 (2nd Dist., 1957)*. Lifespace does not dispute that as members of the public these residents are entitled to have their voices heard and their opinions considered. However, the interests of a smaller group may be outweighed by the interests of the community as a whole. *See Hannifin Corp. v. City of Berwyn, 1 Ill.2d 28 (1953) and Klehr v. Zoning Board of Appeals of the Village of Skokie, 24 Ill.App.3d 512 (1st Dist., 1974)*. In this case, the hundreds of other residents of Oak Trace and the greater Downers Grove community, both today and in the future, will be affected should Lifespace not be permitted to upgrade and modernize.

To that end, Lifespace has exercised an exceptional degree of care in considering the proposed redevelopment of the site with a view to both the current and future needs



Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 6 of 7

of the community for the proposed improvements. Lifespace did not take lightly its decision to demolish the townhome and cottage units, and it is pursuing every possible measure to ensure that the transition is as smooth and seamless as possible for the residents who have been requested to relocate. Lifespace has been transparent regarding the redevelopment process by hosting a number of community and individual meetings, allowing for question and answer sessions and working with the affected residents to address their concerns. Such measures include: the return of 100% or more of the entrance fee initially paid; priority access to available apartments; reimbursement of attorneys' fees; additional payments for inconvenience; a discounted monthly fee rate on the new apartment; reimbursement or direct payment of all packing and moving costs; assignment of parking spaces in the parking garage; and free refurbishment of the new apartment. Moreover, many of the amenities referenced in the resident letters, such as having a pet, access to craft rooms, access to nature and the like, are all available in the apartments, in addition to other services such as exercise facilities and life enrichment activities and venues, which will now be closer in proximity and more easily accessible than from the cottage homes.

As evidence of the care and consideration that went into the planning of the Oak Trace redevelopment project, and to address comments made at the Plan Commission public hearing regarding an 18-month timeline, Lifespace spent a great deal of time in due diligence and architectural study before establishing the current plan of redevelopment. Initial due diligence and engagement of necessary consultants began in August, 2014. In response to information discovered during due diligence, the project planning and architectural designs continued to be refined through July, 2016. In that time, financial models, market studies, Lifespace Board of Directors presentations, and continuous architectural concepts varying significantly from one schematic to another were conducted. Multiple site options were considered with respect to the scope and design of the project. The current plan was approved by the Lifespace Board of Directors in July, 2016 and chosen by them as it promised the most amenities and services for the residents in a financially feasible model. It is important to note that the costs of construction are not paid by a fund that Lifespace holds apart from resident revenue. The business model for a not-for-profit senior living community is built entirely on revenue received from the residents. The challenge for any not-for-profit senior living provider is to provide the best services and amenities at a cost that the residents can afford. It is very important to note that the proposed development will not come at any additional expense to the current residents at Oak Trace. To support the business model, the revenue created by the residential living expansion will support the debt needed to construct a new Health Center building and renovate and expand the commons amenities available to the residents. The current residents will retain tremendous value for the fees that they pay while obtaining the benefits of brand new amenities. In light of this important fact, before communicating plans to residents, Lifespace felt it important to further



Mayor Tully and Members of the Village Council
Village of Downers Grove
March 27, 2017
Page 7 of 7

develop the architectural plans and seek construction pricing input for inclusion in the financial model to verify the project's feasibility. Once the project was fully vetted, Lifespace communicated plans of the project to its residents in November, 2016.

The decision to redevelop Oak Trace has not been made arbitrarily or unreasonably. It was made with only the best interests (both services and costs) of its current and future residents in mind. The short-term inconvenience to the townhome and cottage residents will be more than offset and compensated for by the long-term viability, health and vibrancy of the community as a whole.

For the foregoing reasons, this standard has been satisfied.

Our project team looks forward to continuing its work on this exciting project with your staff and to appearing before you on April 11th.

Very truly yours,

MELTZER, PURTILL & STELLE LLC

A handwritten signature in blue ink, appearing to read "Harold W. Francke".

Harold W. Francke

cc:

Brian Devlin, Lifespace Communities, Director of Design, Construction and Redevelopment
Jodi Hirsch, Lifespace Communities, Senior Vice President and General Counsel
Patrick Gleason, Greystone Communities
Michael Arenson and Jim Moyer, SAS Architects & Planners

3-23-2013

Village of Downers Grove
801 Burlington Avenue
Downer Grove, IL 60515

Patti Kolewe
8 E. Kennedy Lane, Unit 204
Hinsdale, IL 60521

re: Oak Trace's Proposed new medical center
Oak Trace
250 Village Drive
Downs Grove IL 60516
630-769-6200

To Whom This May Concern:

My elderly mother is presently a patient in Oak Trace's Medical Center. While the staff and the running of Oak Trace Medical Center is excellent, the facility is in dire need of replacement, not renovation. I strongly urge you to support the redevelopment plan for Oak Trace's new health center.

Not only would a new medical facility be idea for housing all levels of care for elderly patients, it would be an indication to prospective patients or family members of elderly patients that Downers Grove has a new state-of-the-art medical facility. Having that facility would increase the possibility of bringing positive attention to your community. First and foremost, an excellent facility would be complimented by the excellent staff that is already in place.

Again, please support the redevelopment of the Oak Trace's Medical Center which is located in your town.

As Always,



Patti Kolewe

Village of Downers Grove, Council

I have been a resident of Downers Grove for 60 years including 23 years at Fairview Village / Oak Trace. We have all come here to die with the promise for "continuing care." Our nursing home was old when I moved in and it is now "ancient". We desperately need a new "wellness" center. As anyone can see, there is no space to build without tearing something down. On a personal note, not having continuing care with the possibility of having to leave Downers Grove is a frightening thought.

Though there are many voices shouting "foul" - and justifiably so - the many silent voices have not been heard because we didn't realize there was a problem. As there obviously is a problem, I wish to voice my affirmation for going ahead with the redevelopment plans for Oak Trace. This, for the benefit of the many present and future residents of Oak Trace as well as for Downers Grove. I would hope at each of the three phases planned, that we who are displaced, would be offered a living unit if we (I am Phase III) wish to stay at Oak Trace.

Jean Reed
Cottonwood Ct.

ANNE AND STEVE JULIUSSON
1436 ASBURY AVENUE, WINNETKA, IL 60093 847.881.2572

March 21, 2017

Downers Grove City Council
Village of Downers Grove
801 Burlington Rd.
Downers Grove, IL 60515

Dear Ma'am and Sirs,

My 91 year old mother has been living in the Health Care Center at Oak Trace since June of 2014. She has a disease which gives her memory and mobility issues. We moved her there to be closer to my brother and me from another Life Space Community in Des Moines, which she had bought into several years ago. It was the only Life Space Community which could care for her in the Chicagoland area.

Because she had bought into Lifespace, it was our only choice. If we had a choice, we never would have selected it. The space is old and ugly and way overcrowded. As I understand it, the rooms were originally meant to house temporary patients during rehab. They have two patients crammed into each small room, along with all of their worldly belongings. There is very little storage space. My mom's roommate became quite ill and entered into hospice with her bed ten feet from my mother's. She died yesterday morning. The fact that they are so overcrowded that a hospice patient and their family isn't allowed the dignity of being in a room alone is disgraceful. Plus, my mom had to share a room with a dying woman. Horrible.

When I heard that they were planning to tear down the building and build a new one with private rooms, my family was overjoyed. They are in desperate need of it. I understand that some people who live in the independent living building are against the new building. In my opinion, they are not being very forward thinking. Its likely that they or their friends or loved ones will eventually need to move into the Health Center. And they would not want to live there.

With the aging of the population of Baby Boomers, there will be an increasing need for adequate facilities for them. I ask that you will move forward with the plan for the sake of the families in the Downers Grove area. I only hope that my mom will be around to experience the new space.

Thank you,



Anne Albrecht Juliusson

March 22, 2017

Dear Mayor Tully,

We were considering making a move to Oak Trace in the next few years. After hearing about the eviction of from of our friends who live there in the Town Homes we are really taking a hard look at our choice. We would not want to be treated this way and told we had to move out because of tearing down of the Town Homes. We feel this is such a terrible thing to do when we are all much older and moving after only being there for a few years is way too much for anyone to handle. I am sure the owners can find another spot on the grounds and leave all those who have been living there stay in their homes. We are not happy to hear how all of this was handled. I hope you and your office will do all in your power to keep all the town Homes as they are.

Thanks,
Arlene & Floyd Bennett

A handwritten signature in blue ink that reads "Arlene E. Bennett". The signature is written in a cursive style.

April 2, 2017

Dear Mayor Tully,

I am a retired nurse, living at Carillon Lakes in Crest Hill. Three of my neighbors and friends have moved to Oak Trace. I have been very upset hearing what these older people have to go thru. They all thought they were in their final move, and now with very little warning and discussion they are being evicted soon. Most will not have the option of staying with Oak Trace since there are not enough apartments to accommodate them.

Fifteen years ago, Pat Riley, myself and another nurse started the Nurses Group here at Carillon

takes. One of our duties was to set up and run the annual Health Fair. Oak Trace has been a vendor at the Health Fair but this year I am hesitant to ask them because of how they are treating some of their residents.

I sincerely hope another solution can be found so that these older adults are not displaced.

Sincerely
Betty Jacobs, P.N.

Mayor Martin Tully
Village of Downers Grove
801 Burlington Ave
Downers Grove, IL 60515
CC: Ms. Rebecca Leitschuh

March 29, 2017

My name is Robert Miner. My wife, Vivian, and I have lived at Oak Trace for almost two years in Apt. 234. We will both be 90 years old this June and July and will celebrate 67 years of marriage also in June. We love it here at Oak Trace. The staff is excellent and keeps us engaged in many activities. Fortunately, Viv and I have better health and mental acuity than a lot of people our age. For that reason I was elected one of the two floor representatives we elect for each floor and shortly thereafter was elected secretary of the Oak Trace Council. We wish to share our thoughts with you about the building permit that Lifespace Retirement Communities has submitted for your approval in order to build a new Health Center on our campus.

Unfortunately, the proposed construction requires removal of a number of family residences before initial building can begin, with removal of all family residences for later construction plans. This came as an unwelcome surprise to the renters of all these dwellings and to all of us apartment renters as well. The sad fact is that there are not enough suitable large apartments available to move all these persons into. Many residents blame Lifespace for poor planning and communication. Lifespace purchased this 40 acre property in 2007 but was hit with the 2008 recession which has taken several years to overcome. Also, the former owner was headed for bankruptcy. As a result of these two situations, perhaps it has taken Lifespace a longer time to assess their position and make plans for this new enterprise.

The fact of the matter is that we desperately need a new health center. We have operated under waivers of promised construction for 8 years. Should the State inspectors change their minds and close our Health Center, Lifespace would no longer be competitive and could lose this entire campus which means that not just 28 persons are affected but hundreds of additional residents. The lawsuit that "cottage renters" have brought against Lifespace is unfortunately muddying the waters. While all of us are sympathetic for victims of this situation, the lawsuit should be a separate issue from issuance of a building permit if all the State and local requirements are met by Lifespace. We sincerely hope you will approve the building permit and allow the Courts to solve issues between renter's rights, owner's rights and contract laws.

Sincerely,


Robert and Vivian Miner

March 30, 2017

Mayor Tully
801 Burlington
Downers Grove, IL 60515

Dear Mayor Tully,

The situation at Oak Trace has come to our attention because our parents live in the garden homes there. They have lived there for nearly four years, and they love it. This situation, however, has brought distress as they've been told their lovely home will be bulldozed by June 1, 2017 to make a place to build the new health center. None of us are opposed to the idea of a new health center, but the present plan is NOT a good one. We are writing to you to encourage you to oppose the plan as it has been recommended to go forward. We are hopeful that the plan will be reconsidered to either be built in another location at Oak Trace, or that the plan to destroy the garden homes will be postponed until all of the garden home residents have been moved to other Oak Trace locations in a way that they will be satisfied despite and compensated for this disruptive decision.

Thank you for protecting these Downers Grove citizens from a very unfair and stressful situation.

Dan and Laura Bauer, children of Oak Trace residents

RE: Lifespace Redevelopment
& Erection of homes.

Dear Mayor Tully :

I have lived in my home on Gordon Court for fifteen years, I was assured this would be my home until I could no longer function well enough to care for myself and my home. (I'm still conducting Aerobic Classes 3 days a week)

When Lifespace Corp. purchased Fairview Senior Community they promised to honor our contracts we had with Fairview. Now they are forcing us to leave our homes by evicting us. This is an unbelievable way to treat us. These are people, trained to care for seniors. Instead they are treating us as cattle with no concern to our wishes or needs, and peace of mind. Causing emotional stress and illness to many.

My neighbor, Bob Crane, has been taken to the hospital twice in the last few weeks. Doctors Diognostic Chronic Migranes, brought on by stress. Must have been some headaches to be taken to the hospital for several days.

We love our homes & chose to live in a home, not an apartment. Put yourself in our position. How would you feel to be evicted from your home? How would your family respond?

2.

I wish to continue to be independent as long as possible.

I hope you can understand our frustration, should this go thru, they would also be destroying our beautiful campus, destroying open space, trees, flowers, which we all love. It will become brick & cement.

Thank you

Charmaine Gregory

DAVID BEBB JONES
6582 Willowood Court
Downers Grove, IL 60516

Mayor Martin Tully, Mayor of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Mayor Tully:

I am a resident of Oak Trace, Continuing Care Retirement Community at 250 Village Drive in Downers Grove. My wife and I live in a cottage in Willowood Court. We moved to this community in June of 2010. We enjoy living here and look forward to continuing in this community as long as we live and know we will be relocated in Phase II of Redevelopment.

We wrote to you prior to the meeting of the Plan Commission meeting concerning the redevelopment plans for Oak Trace on March 6. I spoke at that meeting and wish to add my current thoughts on the application for the redevelopment plan. Our original letter, and my comments before the Plan Commission, indicated support for a new health center at Oak Trace. Our concern then remains the same. **WE ARE IN FAVOR OF THE HEALTH CENTER. THE ONLY ISSUE AT THE PRESENT TIME IS THE DEADLINE IMPOSED ON THE RESIDENTS WHOSE HOMES WILL BE DEMOLISHED TO MAKE ROOM FOR THE NEW FACILITY.**

As you know, and Lifespace Management has acknowledged, the announcement and the timing of this plan was very poorly handled and put all cottage residents impacted in a very disturbing and difficult situation. At the time there was not a plan for relocation and it is obvious to all that Oak Trace cannot provide 'similar' housing and so there needs to be significant adjustments in the living circumstances of all who must move. This takes time, especially for senior citizens who moved here expecting to be able to stay in their choice of residence as long as each was able. This has changed and gradually I believe most affected residents are coming to grips with this new reality of their lives.

My recommendation to Oak Trace Management has been to adjust the timing of this project to allow the residents of all 26 cottages to be satisfactorily relocated, either at Oak Trace or outside our community. I obviously do not know a timeline for that, but a positive decision by the City Council could clearly indicate that provision and enable all concerned to move as swiftly as possible to resolve this problem and then promptly begin the necessary work for the new health center which we believe is needed.

Sincerely,


Rev. David Bebb Jones

3-26-17

Oak Grove Planning Commission

Oak Grove, IL 60515

Dear Members,

As residents of Oak Grove Retirement Community we want to share our concern with you about the need for a new healthcare building. The current healthcare center does not comply with building codes, and has permission to operate only until a new center is built.

When we chose to come to Oak Grove 1 1/2 years ago, the contract contained provision for total health care, with assisted living, memory care, and skilled nursing available. Without a new building, Oak Grove will not be able to provide this.

We are asking that you approve
this redevelopment plan for the sake of
Oak Grove, our residents, and for the
good of our community.

We are long-time residents of
Oak Grove (58 years) and are
very proud of our community. We
believe this redevelopment plan is
for the good of all.

Yours truly,

Martha Stauffer
Bill Stauffer

Copy to Mayor Martin Jolly

April 6, 2017

Mayor Martin T. Tully and Members of the Village Council
Village of Downers Grove
801 Burlington Avenue
Downers Grove, Illinois 60525

RE: Oak Trace Senior Living Community: Proposed Planned Unit Development Amendment

Dear Mayor Tully and Council Members:

We are looking forward to appearing before you Tuesday, April 11th to present our proposed development plans for our Oak Trace Community, 200 Village Drive, Downers Grove ("Oak Trace"). In advance of our presentation to you, the following is a high level overview of the project for your consideration:

- The Oak Trace Community, formerly known as Fairview Village and Fairview Baptist Home was purchased out of bankruptcy in 2011 by Lifespace Communities, Inc., an Iowa based nonprofit corporation ("Lifespace"). Oak Trace became the twelfth senior living community to be owned and operated by Lifespace.
- In addition to an immediate influx of \$2 million for capital improvements following the purchase, Lifespace continued over the next six years to provide the funds necessary to improve the services, buildings and grounds of this community, all of which had long been neglected due to the poor financial status of its previous owner.
- During this six years period, Lifespace engaged several architects and developers to create a plan that would bring the Health Care Center up to required standards (the Center was able to meet code requirements through establishing alternative paths approved by the state – but these are temporary measures at best). The costs for the proposed renovations soared to well over \$25 million without an appreciable return on investment – which would mean increased costs to the residents that they can ill afford.
- The best and most affordable option for our residents is to construct a brand new state of the art skilled nursing Health Care building that is designed to meet modern design trends for senior living communities like Oak Trace and provide new amenities for the use and care of our residents and future residents.
- With the replacement of our Health Care building, we will also be able to provide new services and care to our residents by way of Assisted Living apartments and Memory Care suites, which directly address the needs of our residents and will provide a level of care to the Downers Grove market.



Mayor Martin T. Tully and Members of the Village Council
April 6, 2017
Page Two

- In addition to investing in a replacement of our Health Care building, our plans include an expansion of our Residential Living apartments along with new amenities such as restaurant-style dining rooms, lounges, social spaces, art studio, and a central park.
- We will also undergo significant renovations to our existing Residential Living building to update its finishes and provide new amenities such as a spa and fitness center, bistro and juice bar casual dining venue, and an enlarged auditorium for community-wide events.
- Lifespace has been methodical in our approach to this significant development, which has an associated project budget of approximately \$150 million. We have evaluated numerous strategic options for several years in an effort to confirm the development's affordability and benefit to our residents and the residents of Downers Grove.
- By making this significant investment, we will be able to reposition Oak Trace in the market it serves to attract new residents and protect the interests of our current residents.
- Our project plan is accretive and will not come at the expense of our current residents, which was imperative in our project planning.

We are very excited by the future vision for Oak Trace. We have appreciated the close working relationship we have enjoyed with the Village staff in our planning of this project and feel confident that our plans will enhance the landscape of the Village of Downers Grove. Furthermore, with this significant investment, Oak Trace will remain a viable option to the residents of Downers Grove as they age and seek a community where they can experience the benefits, security, and care that Oak Trace provides.

Sincerely,

LIFESPAC COMMUNITIES, INC.



Ann Walsh

Senior Vice President, Operations

