

**VILLAGE OF DOWNERS GROVE**  
**Report for the Village**  
**8/1/2017**

<b>SUBJECT:</b>	<b>SUBMITTED BY:</b>
Award of Contract for Engineering Services for Stormwater Local Drainage Project #12	Nan Newlon Director of Public Works

**SYNOPSIS**

A motion is requested to award a contract for engineering and survey services to WBK Engineering, LLC, of St. Charles, Illinois in the amount of \$70,770.90 for engineering services for stormwater local drainage project #12, Hitchcock Avenue between Cornell Avenue and Glenview Avenue. The amount includes a 10% contingency.

**STRATEGIC PLAN ALIGNMENT**

The goals for 2015-2017 include *Top Quality Infrastructure*.

**FISCAL IMPACT**

The FY17 Budget includes \$80,000 in the Stormwater Fund (Page 4-21, Line 18) for this project.

**RECOMMENDATION**

Approval on the August 1, 2017 consent agenda.

**BACKGROUND**

The area on Hitchcock Avenue, between Cornell and Glenview, was identified in the Village's 2014 Stormwater Project Analysis as lacking "Service Level Drainage". The area consists of a substantial closed depression along the north side of properties fronting Hitchcock. In the April 2013 flood, a number of homes on the north side of Hitchcock reported basement flooding from various causes, as well as substantial ponding in the depression on a regular basis.

Staff received proposals from four (4) pre-qualified engineering firms to complete engineering and surveying services for this project. These services include a topographic survey, drainage study and preparation of construction drawings to improve drainage. After reviewing the proposals, WBK Engineering, LLC was identified as the firm that best meets the needs of the Village. Village staff recommends award of this contract for professional services to WBK Engineering, LLC based on their understanding of the project, capability to perform the work, experience with similar projects and proposed fee. WBK Engineering, LLC has provided professional services for the Village in the past with satisfactory results.

**ATTACHMENTS**

Contract  
Location Map



VILLAGE OF DOWNERS GROVE  
COUNCIL ACTION SUMMARY

INITIATED: Public Works DATE: August 1, 2017  
(Name)

RECOMMENDATION FROM: \_\_\_\_\_ FILE REF: SW-Proj#12  
(Board or Department)

NATURE OF ACTION:

STEPS NEEDED TO IMPLEMENT ACTION:

- Ordinance
- Resolution
- Motion
- Other

Motion to authorize execution of a contract for engineering and survey services for local drainage project #12, (Hitchcock, between Cornell & Glenview) to WBK Engineering, LLC in the amount of \$64,337.18 plus 10% contingency in the amount of \$6,433.72 for a total not-to-exceed \$70,770.90.

SUMMARY OF ITEM:

Adoption of this motion shall authorize execution of a contract for engineering and survey services for local drainage project #12 (Hitchcock, between Cornell & Glenview) to WBK Engineering, LLC in the amount of \$64,337.18 plus 10% contingency in the amount of \$6,433.72 for a total not-to-exceed \$70,770.90.

RECORD OF ACTION TAKEN:

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Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between  
Cornell and Glenview



## REQUEST FOR PROPOSAL (Professional Services)

Name of Proposing Company: WBK Engineering, LLC

Project Name: Stormwater Management Engineering Services for Area 12  
– Hitchcock between Cornell and Glenview

Proposal No.: SW-080-17L

Proposal Due: Friday, July 7, 2017 @ 10:00 A.M. –  
Public Works Facility, 5101 Walnut Avenue  
Downers Grove, IL 60515

Pre-Proposal Conference: Not Required

**Required of Awarded Contractor:**

Certificate of Insurance: Yes

Date Issued: Wednesday June 21, 2017

This document consists of 30 pages.

Return **original, one duplicate copy, and an electronic copy** (.pdf) of proposal in a **sealed envelope** marked with the Proposal Number as noted above to:

JULIE LOMAX, PE, CFM  
STORMWATER ADMINISTRATOR  
VILLAGE OF DOWNERS GROVE  
5101 WALNUT AVENUE  
DOWNERS GROVE, IL 60515  
PHONE: 630/493-8821  
FAX: 630/434-5495  
[www.downers.us](http://www.downers.us)

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The VILLAGE OF DOWNERS GROVE will receive proposals Monday thru Friday, 8:00 A.M. to 5:00 P.M. at the Public Works Facility, 5101 Walnut Avenue, Downers Grove, IL 60515.

**SPECIFICATIONS MUST BE MET AT THE TIME THE PROPOSAL IS DUE.**

The Village Council reserves the right to accept or reject any and all proposals, to waive technicalities and to accept or reject any item of any proposal.

The documents constituting component parts of this contract are the following:

- I. REQUEST FOR PROPOSALS
- II. TERMS & CONDITIONS
- III. DETAILED SPECIFICATIONS
- IV. PROPOSAL/CONTRACT FORM

**DO NOT DETACH ANY PORTION OF THIS DOCUMENT. INVALIDATION COULD RESULT.** Proposers MUST submit an original, and one additional copy in electronic format of the total proposal. Upon formal award of the proposal, this RFP document shall become the contract, the successful Proposer will receive a copy of the executed contract.

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## **I. REQUEST FOR PROPOSALS**

### **1. GENERAL**

- 1.1 Proposals shall be submitted in an 8.5x11 format. They shall be succinct, and directly relevant to this project. Approximate number of pages shall be 20 (not including those within this document to be submitted). Double-sided printing is encouraged.
- 1.2 Notice is hereby given that Village of Downers Grove will receive sealed proposals up to **Friday, July 7, 2017 @ 10:00 A.M.**
- 1.3 Proposals must be received at the Village of Downers Grove by the time and date specified. Proposals received after the specified time and date will not be accepted and will be returned unopened to the Proposer.
- 1.4 Proposal forms shall be sent to the Village of Downers Grove, ATTN: JULIE LOMAX, PE, CFM, in a sealed envelope marked "SEALED PROPOSAL for STORMWATER MANAGEMENT ENGINEERING SERVICES FOR AREA 12 – HITCHCOCK." The envelope shall be marked with the name of the project, date, and time set for receipt of proposals.
- 1.5 All proposals must be submitted on the forms supplied by the Village and signed by a proper official of the company submitting proposal. Telephone, email and fax proposals will not be accepted.
- 1.6 By submitting this proposal, the proposer certifies under penalty of perjury that they have not acted in collusion with any other proposer or potential Proposer.

### **2. PREPARATION OF PROPOSAL**

- 2.1 It is the responsibility of the proposer to carefully examine the specifications and proposal documents and to be familiar with all of the requirements, stipulations, provisions, and conditions surrounding the proposed services. **DO NOT SUBMIT A PROPOSED CONTRACT. UPON ACCEPTANCE BY THE VILLAGE, THIS RFP DOCUMENT SHALL BECOME A BINDING CONTRACT.**
- 2.2 No oral or telephone interpretations of specifications shall be binding upon the Village. All requests for interpretations or clarifications shall be made in writing and received by the Village at least five (5) business days prior to the date set for receipt of proposals. All changes or interpretations of the specifications shall be made by the Village in a written addendum to our proposers of record.
- 2.3 In case of error in the extension of prices in the proposal, the hourly rate or unit price will govern. In case of discrepancy in the price between the written and numerical amounts, the written amount will govern.
- 2.4 All costs incurred in the preparation, submission, and/or presentation of any proposal including any proposer's travel or personal expenses shall be the sole responsibility of the

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proposer and will not be reimbursed by the Village.

- 2.5 The proposer hereby affirms and states that the prices quoted herein constitute the total cost to the Village for all work involved in the respective items and that this cost also includes all insurance, royalties, transportation charges, use of all tools and equipment, superintendence, overhead expense, all profits and all other work, services and conditions necessarily involved in the work to be done and materials to be furnished in accordance with the requirements of the Contract Documents considered severally and collectively.

**3. MODIFICATION OR WITHDRAWAL OF PROPOSALS**

- 3.1 A Proposal that is in the possession of the Village may be altered by a letter bearing the signature or name of the person authorized for submitting a proposal, provided that it is received prior to the time and date set for the proposal opening. Telephone, email or verbal alterations of a proposal will not be accepted.
- 3.2 A Proposal that is in the possession of the Village may be withdrawn by the proposer, up to the time set for the proposal opening, by a letter bearing the signature or name of the person authorized for submitting proposals. Proposals may not be withdrawn after the proposal opening and shall remain valid for a period of ninety (90) days from the date set for the proposal opening, unless otherwise specified.

**4. RESERVED RIGHTS**

- 4.1 The Village of Downers Grove reserves the exclusive right to waive sections, technicalities, irregularities and informalities and to accept or reject any and all proposals and to disapprove of any and all subcontractors as may be in the best interest of the Village. Time and date requirements for receipt of proposal will not be waived.

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## **II. TERMS AND CONDITIONS**

### **5. VILLAGE ORDINANCES**

- 5.1 The successful Proposer will strictly comply with all ordinances of the Village of Downers Grove and laws of the State of Illinois.

### **6. USE OF VILLAGE'S NAME**

- 6.1 The Proposer is specifically denied the right of using in any form or medium the name of the Village for public advertising unless express permission is granted by the Village.

### **7. INDEMNITY AND HOLD HARMLESS AGREEMENT**

- 7.1 To the fullest extent permitted by law, the Proposer shall indemnify, keep and save harmless the Village and its agents, officers, and employees, against all injuries, deaths, losses, damages, claims, suits, liabilities, judgments, costs and expenses, which may arise directly or indirectly from any negligence or from the reckless or willful misconduct of the Proposer, its employees, or its subcontractors, and the Proposer shall at its own expense, appear, defend and pay all charges of attorneys and all costs and other expenses arising therefrom or incurred in connection therewith, and, if any judgment shall be rendered against the Village in any such action, the Proposer shall, at its own expense, satisfy and discharge the same. This agreement shall not be construed as requiring the Proposer to indemnify the Village for its own negligence. The Proposer shall indemnify, keep and save harmless the Village only where a loss was caused by the negligent, willful or reckless acts or omissions of the Proposer, its employees, or its subcontractors.

### **8. NONDISCRIMINATION**

- 8.1 Proposer shall, as a party to a public contract:
- (a) Refrain from unlawful discrimination in employment and undertake affirmative action to assure equality of employment opportunity and eliminate the effects of past discrimination;
  - (b) By submission of this Proposal, the Proposer certifies that it is an "equal opportunity employer" as defined by Section 2000(e) of Chapter 21, Title 42, U.S. Code Annotated and Executive Orders #11136 and #11375, which are incorporated herein by reference. The Equal Opportunity clause, Section 6.1 of the Rules and Regulations of the Department of Human Rights of the State of Illinois, is a material part of any contract awarded on the basis of this Proposal.
- 8.2 It is unlawful to discriminate on the basis of race, color, sex, national origin, ancestry, age, marital status, physical or mental handicap or unfavorable discharge for military service. Proposer shall comply with standards set forth in Title VII of the Civil Rights Act of 1964, 42 U.S.C. Secs. 2000 et seq., The Human Rights Act of the State of Illinois, 775 ILCS 5/1-101et. seq., and The Americans With Disabilities Act, 42 U.S.C. Secs. 12101 et. seq.

### **9. SEXUAL HARASSMENT POLICY**

- 9.1 The Proposer, as a party to a public contract, shall have a written sexual harassment policy that:

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- 9.1.1 Notes the illegality of sexual harassment;
- 9.1.2 Sets forth the State law definition of sexual harassment;
- 9.1.3 Describes sexual harassment utilizing examples;
- 9.1.4 Describes the Proposer's internal complaint process including penalties;
- 9.1.5 Describes the legal recourse, investigative and complaint process available through the Illinois Department of Human Rights and the Human Rights Commission and how to contact these entities; and
- 9.1.6 Describes the protection against retaliation afforded under the Illinois Human Rights Act.

**10. EQUAL EMPLOYMENT OPPORTUNITY**

10.1 In the event of the Proposer's non-compliance with the provisions of this Equal Employment Opportunity Clause, the Illinois Human Rights Act or the Rules and Regulations of the Illinois Department of Human Rights ("Department"), the Proposer may be declared ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations, and the Contract may be canceled or voided in whole or in part, and such other sanctions or penalties may be imposed or remedies invoked as provided by statute or regulation. During the performance of this Contract, the Proposer agrees as follows:

- 10.1.1 That it will not discriminate against any employee or applicant for employment because of race, color, religion, sex, marital status, national origin or ancestry, age, physical or mental disability unrelated to ability, order of protection status, military status, sexual orientation, sexual identity or an unfavorable discharge from military service; and further that it will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate affirmative action to rectify any such underutilization.
- 10.1.2 That, if it hires additional employees in order to perform this Contract or any portion thereof, it will determine the availability (in accordance with the Department's Rules and Regulations) of minorities and women in the area(s) from which it may reasonably recruit and it will hire for each job classification for which employees are hired in such a way that minorities and women are not underutilized.
- 10.1.3 That, in all solicitations or advertisements for employees placed by it or on its behalf, it will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, marital status, national origin or ancestry, age, physical or mental disability unrelated to ability, order of protection status, military status, sexual orientation, or an unfavorable discharge from military services.
- 10.1.4 That it will send to each labor organization or representative of workers with which it has or is bound by a collective bargaining or other agreement or understanding, a notice advising such labor organization or representative of the Proposer's obligations under the Illinois Human Rights Act and the Department's Rules and Regulations. If any such labor organization or representative fails or refuses to

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cooperate with the Proposer in its efforts to comply with such Act and Rules and Regulations, the Proposer will promptly so notify the Department and the contracting agency and will recruit employees from other sources when necessary to fulfill its obligations thereunder.

10.1.5 That it will submit reports as required by the Department's Rules and Regulations, furnish all relevant information as may from time to time be requested by the Department or the contracting agency, and in all respects comply with the Illinois Human Rights Act and the Department's Rules and Regulations.

10.1.6 That it will permit access to all relevant books, records, accounts and work sites by personnel of the contracting agency and the Department for purpose of investigation to ascertain compliance with the Illinois Human Rights Act and the Department's Rules and Regulations.

10.1.7 That it will include verbatim or by reference the provisions of this clause in every subcontract it awards under which any portion of the contract obligations are undertaken or assumed, so that such provisions will be binding upon such subcontractor. In the same manner as with other provisions of this Contract, the Proposer will be liable for compliance with applicable provisions of this clause by such subcontractors; and further it will promptly notify the contracting agency and the Department in the event any subcontractor fails or refuses to comply therewith. In addition, the Proposer will not utilize any subcontractor declared by the Illinois Human Rights Commission to be ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations.

## **11. DRUG FREE WORK PLACE**

Proposer, as a party to a public contract, certifies and agrees that it will provide a drug free workplace by:

- 11.1 Publishing a statement: (1) Notifying employees that the unlawful manufacture, distribution, dispensation, possession or use of a controlled substance, including cannabis, is prohibited in the Village's or Proposer's workplace. (2) Specifying the actions that will be taken against employees for violations of such prohibition. (3) Notifying the employee that, as a condition of employment on such contract or grant, the employee will: (A) abide by the terms of the statement; and (B) notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction.
- 11.2 Establishing a drug free awareness program to inform employees about: (1) the dangers of drug abuse in the workplace; (2) the Village's or Proposer's policy of maintaining a drug free workplace; (3) any available drug counseling, rehabilitation and employee assistance programs; (4) the penalties that may be imposed upon employees for drug violations.
- 11.3 Providing a copy of the statement required above to each employee engaged in the performance of the contract or grant and to post the statement in a prominent place in the workplace.

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- 11.4 Notifying the contracting or granting agency within ten (10) days after receiving notice of any criminal drug statute conviction for a violation occurring in the workplace from an employee or otherwise receiving actual notice of such conviction.
- 11.5 Imposing a sanction on, or requiring the satisfactory participation in a drug abuse assistance or rehabilitation program by, any employee who is so convicted as required by section 5 of the Drug Free Workplace Act.
- 11.6 Assisting employees in selecting a course of action in the event drug counseling, treatment and rehabilitation is required and indicating that a trained referral team is in place.
- 11.7 Making a good faith effort to continue to maintain a drug free workplace through implementation of the Drug Free Workplace Act.

## **12. PREVAILING WAGE ACT**

- 12.1 Proposer agrees to comply with the Illinois Prevailing Wage Act, 820 ILCS 130/1 *et seq.*, for all work completed under this Contract. Proposer agrees to pay the prevailing wage and require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work pursuant to this Contract or related subcontract. For applicable rates, go to the State of Illinois – Department of Labor website ([www.state.il.us/agency/idol/rates/rates.HTM](http://www.state.il.us/agency/idol/rates/rates.HTM)) and use the most current DuPage County rate. The Department revises the prevailing wage rates and the Proposer or subcontractor has an obligation to check the Department’s website for revisions to prevailing wage rates throughout the duration of this Contract.
- 12.2 Proposer and each subcontractor shall keep or cause to be kept accurate records of all laborers, mechanics and other workers employed by them on the public works project, which records must include each worker’s name, address, telephone number when available, social security number, classification, hourly wage paid (including itemized hourly cash and fringe benefits paid in each pay period), number of hours worked each day, and the starting and ending times of work each day. These records shall be open to inspection at all reasonable hours by any representative of the Village or the Illinois Department of Labor and must be preserved for five (5) years from the date of the last payment on the public work.
- 12.3 Since this is a contract for a public works project, as defined in 820 ILCS 130/2, Proposer agrees to post at the job site in an easily accessible place, the prevailing wages for each craft or type of worker or mechanic needed to execute the contract or work to be performed.
- 12.4 Because this is a public works project as defined under the Prevailing Wage Act, 820 ILCS 130/2, any and all contractors and subcontractors shall submit certified payroll records to the Village no later than the tenth (10<sup>th</sup>) day of each calendar month for the immediately preceding month in which construction on a public works project has occurred. **WITHOUT THIS PAPERWORK, NO INVOICE SHALL BE PAID BY THE VILLAGE.** Contractors and subcontractors must also submit a statement affirming that the records are true and accurate, that the wages paid to each worker are not less than the prevailing rate, and that

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the contractor and subcontractor are aware that filing false records is a Class A misdemeanor. The records must include the name, address, telephone number, social security number, job classification, hours of work, hourly rate, and start and end time of work each day for every worker employed on the public work. The Village reserves the right to check the pay stubs of the workers on the job. The Village further cautions that payment for any services rendered pursuant to this Contract may be predicated upon receipt of said records.

- 12.5 In the event that this is a construction project where Motor Fuel tax monies or state grant monies are used in the construction, maintenance and extension of municipal streets, traffic control signals, street lighting systems, storm sewers, pedestrian subways or overhead crossings, sidewalks and off-street parking facilities, and the like, the Village will require an Apprenticeship and Training Certification, attached after the Proposer's Certification.
- 12.6 Any bond furnished as security for performance shall include a provision as will guarantee faithful performance of the Illinois Prevailing Wage Act, 820 ILCS 130/1 et seq.

### **13. PATRIOT ACT COMPLIANCE**

- 13.1 The Proposer represents and warrants to the Village that neither it nor any of its principals, shareholders, members, partners, or affiliates, as applicable, is a person or entity named as a Specially Designated National and Blocked Person (as defined in Presidential Executive Order 13224) and that it is not acting, directly or indirectly, for or on behalf of a Specially Designated National and Blocked Person. The Proposer further represents and warrants to the Village that the Proposer and its principals, shareholders, members, partners, or affiliates, as applicable are not, directly or indirectly, engaged in, and are not facilitating, the transactions contemplated by this Contract on behalf of any person or entity named as a Specially Designated National and Blocked Person. The Proposer hereby agrees to defend, indemnify and hold harmless the Village, and its elected or appointed officers, employees, agents, representatives, engineers and attorneys, from and against any and all claims, damages, losses, risks, liabilities and expenses (including reasonable attorney's fees and costs) arising from or related to any breach of the foregoing representations and warranties.

### **14. INSURANCE REQUIREMENTS**

- 14.1 The Proposer shall be required to obtain, from a company or companies lawfully authorized to do business in the jurisdiction in which the project is located, such general liability insurance which, at a minimum, will protect the Proposer from the types of claims set forth below which may arise out of or result from the Proposer's operations under this Contract and for which the Proposer may legally liable:
- 14.1.1 Claims under workers compensation, disability benefit and other similar employee benefit acts which are applicable to the operation to be performed;
- 14.1.2 Claims for damages resulting from bodily injury, occupational sickness or disease, or death of the Proposer's employees;
- 14.1.3 Claims for damages resulting from bodily injury, sickness or disease, or death

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of any person other than the Proposer's employees;

- 14.1.4 Claims for damages insured by the usual personal injury liability coverage which are sustained: (1) by a person as a result of an offense directly or indirectly related to employment of such person by the Proposer, or (2) by another person;
  - 14.1.5 Claims for damages, other than to the work itself, because of injury to or destruction of tangible property, including loss of use resulting therefrom;
  - 14.1.6 Claims for damages because of bodily injury, death of a person or property damage arising out of ownership, maintenance or use of a motor vehicle;
  - 14.1.7 Claims for damages as a result of professional or any other type of negligent action by the Proposer or failure to properly perform services under the scope of the agreement between the Proposer and the Village.
- 14.2 The Proposer shall demonstrate having insurance coverage for a minimum of \$2 million for professional liability (errors and omissions).
- 14.3 As evidence of said coverages, Proposer shall provide the Village with certificates of insurance naming the Village of Downers Grove as an additional insured and include a provision for cancellation only upon at least 30 days prior notice to the Village.

**15. CAMPAIGN DISCLOSURE**

- 15.1 Any contractor, proposer, bidder or vendor who responds by submitting a bid or proposal to the Village shall be required to submit with its submission, an executed Campaign Disclosure Certificate, attached hereto.
- 15.2 The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.
- 15.3 Said Campaign Disclosure Certificate requires any individual or entity bidding to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the bid or proposal release.
- 15.4 By signing the bid or proposal documents, contractor/proposer/bidder/vendor agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

**16. SUBLETTING OF CONTRACT**

- 16.1 No contract awarded by the Village shall be assigned or any part subcontracted without the written consent of the Village Manager. In no case shall such consent relieve the Proposer from its obligation or change the terms of the Contract.

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All approved subcontracts shall contain language which incorporates the terms and conditions of this Contract.

**17. TERM OF CONTRACT**

17.1 The term of this Contract shall be as set forth in the Detail Specifications set forth in Section III below. This Contract is subject to the Village purchasing policy with regard to any extensions hereof.

**18. TERMINATION OF CONTRACT**

18.1 In the event of the Proposer's nonperformance, breach of the terms of the Contract, or for any other reason, and/or that sufficient funds to complete the Contract are not appropriated by the Village, the Contract may be canceled, in whole or in part, upon the Village's written notice to the Proposer. The Village will pay the Proposer's costs actually incurred as of the date of receipt of notice of termination. Upon termination, the Proposer will deliver all documents and products of whatever kind, and their reproducible originals related to the project, which have been produced to the date of the notice of termination.

**19. BILLING & PAYMENT PROCEDURES**

19.1 Payment will be made upon receipt of an invoice referencing Village purchase order number. Once an invoice and receipt of materials or service have been verified, the invoice will be processed for payment in accordance with the Village payment schedule. The Village will comply with the Local Government Prompt Payment Act, 50 ILCS 505/1 et seq., in that any bill approved for payment must be paid or the payment issued to the Proposer within 60 days of receipt of a proper bill or invoice. If payment is not issued to the Proposer within this 60 day period, an interest penalty of 1.0% of any amount approved and unpaid shall be added for each month or fraction thereof after the end of this 60 day period, until final payment is made.

19.2 The Village shall review in a timely manner each bill or invoice after its receipt. If the Village determines that the bill or invoice contains a defect making it unable to process the payment request, the Village shall notify the Proposer requesting payment as soon as possible after discovering the defect pursuant to rules promulgated under 50 ILCS 505/1 et seq. The notice shall identify the defect and any additional information necessary to correct the defect.

19.3 Please send all invoices to the attention of Kerry Behr, Downers Grove Public Works, 5101 Walnut, Downers Grove, IL 60515.

**20. RELATIONSHIP BETWEEN THE PROPOSER AND THE VILLAGE**

20.1 The relationship between the Village and the Proposer is that of a buyer and seller of professional services and it is understood that the parties have not entered into any joint venture or partnership with the other.

**21. STANDARD OF CARE**

21.1. Services performed by Proposer under this Contract will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the

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profession currently practicing in the same locality under similar conditions. No other representations express or implied, and no warranty or guarantee is included or intended in this Contract, or in any report, opinions, and documents or otherwise.

- 21.2 If the Proposer fails to meet the foregoing standard, Proposer will perform at its own cost, and without reimbursement from the Village, the professional services necessary to correct errors and omissions caused by Proposer's failure to comply with the above standard and reported to Proposer within one (1) year from the completion of Proposer's services for the Project.
- 21.3 For Professional Service Agreements: Project site visits by Proposer during construction or equipment installation or the furnishing of Project representatives shall not make Proposer responsible for: (i) constructions means, methods, techniques, sequences or procedures; (ii) for construction safety precautions or programs; or (iii) for any construction contractor(s') failure to perform its work in accordance with contract documents.

**22. GOVERNING LAW**

- 22.1 This Contract will be governed by and construed in accordance with the laws of the State of Illinois without regard for the conflict of laws provisions. Venue is proper only in the County of DuPage and the Northern District of Illinois.

**23. SUCCESSORS AND ASSIGNS**

- 23.1 The terms of this Contract will be binding upon and inure to the benefit of the parties and their respective successors and assigns; provided, however, that neither party will assign this Contract in whole or in part without the prior written approval of the other. The Proposer will provide a list of key staff, titles, responsibilities, and contact information to include all expected subcontractors.

**24. WAIVER OF CONTRACT BREACH**

- 24.1 The waiver by one party of any breach of this Contract or the failure of one party to enforce at any time, or for any period of time, any of the provisions hereof will be limited to the particular instance and will not operate or be deemed to waive any future breaches of this Contract and will not be construed to be a waiver of any provision except for the particular instance.

**25. AMENDMENT**

- 25.1 This Contract will not be subject to amendment unless made in writing and signed by all parties.

**26. NOT TO EXCEED CONTRACT**

- 26.1 The contract price is a "not-to-exceed" cost. At any time additional work is necessary or requested, and the not-to-exceed price is increased thereby, any change, addition or price increase must be agreed to in writing by all parties who have executed the Contract.

**27. SEVERABILITY OF INVALID PROVISIONS**

- 27.1 If any provisions of this Contract are held to contravene or be invalid under the laws of any

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state, country or jurisdiction, contravention will not invalidate the entire Contract, but it will be construed as if not containing the invalid provision and the rights or obligations of the parties will be construed and enforced accordingly.

**28. NOTICE**

- 28.1 Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to the Village as follows:

**Village Manager  
Village of Downers Grove  
801 Burlington Ave.  
Downers Grove, IL 60515**

And to the Proposer as designated in the Contract Form.

**29. COOPERATION WITH FOIA COMPLIANCE**

- 29.1 Contractor acknowledges that the Freedom of Information Act may apply to public records in possession of the Contractor or a subcontractor. Contractor and all of its subcontractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. (5 ILCS 140/1 et. seq.)

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### **III. DETAIL SPECIFICATIONS**

#### **1. REQUEST**

1.1 The Village of Downers Grove (Village) is requesting Proposals for professional services from previously-qualified engineering firms (CONSULTANT) to provide stormwater management engineering services for the projects identified within this RFP. The firm selected by the Village pursuant to this RFP is not authorized to perform work for the Village until a fully executed and authorized Professional Services Agreement is in place.

#### 1.2 Project Description

As part of the Village's 2014 Stormwater Project Analysis, the Village set a goal to provide a minimum uniform standard of Drainage Infrastructure to all properties within the Village. A standard storm event that would be greater than 95% or more of all separate rainfall events that occur in an average given year was defined as the "Service Level Drainage Event." The 2-year, 6 hour event is to be served by new storm sewers. The 10-year, 6 hour event is to be served by a combination of storm sewers and overflow swales or ditches. The full report with details can be found at:

<http://www.downers.us/govt/village-budget/stormwater-project-analysis-report-2014>

One of the projects identified in the 2014 Stormwater Project Analysis is Area 12 – Hitchcock between Cornell and Glenview. A substantial closed depression formed by residences fronting Hitchcock to the south and the railroad to the north has no outlet. In the April 2013 flood, a number of homes on the north side of Hitchcock reported basement flooding from various causes, as well as substantial ponding in the depression on a regular basis.

The second area identified in the 2014 Stormwater Project Analysis is the depression at the corner of Cornell and Gilbert. This area will not be addressed as part of this project.

The 2014 Stormwater Project Analysis suggests a storm sewer through the back yards. However, the number of homeowners who would have to grant access and easements (especially those who are on higher ground and do not flood) makes the originally proposed approach complicated and undesirable. The anticipated solution at this time is to install a storm sewer to the north under the railroad tracks and tie into the existing 42" storm sewer at the northwest corner of Woodward and Warren. The Village would also like to provide Service Level Drainage for Warren, from Cornell to Woodward. Plans for grading within the back yards on Hitchcock may be necessary. Additionally, general floodproofing suggestions to select homeowners on Hitchcock may be required. See Exhibit A.

Firms shall provide a project scope, as detailed in Section 1.3, for the following components:

1. Topographic survey of study area specified in Exhibit A which shall include sufficient survey of the problem areas to install proposed storm sewer and

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview

- establishment of overland flow routes.
2. Drainage study/report of existing conditions as they relate to adequate conveyance of the “Service Level Drainage Event”, conceptual plans (maximum of two alternatives) and associated cost estimates to bring the site up to the recommended level of service.
  3. Preliminary plans (50%), pre-final plans (90%), final engineering plans and specifications, and cost estimates for the project area Site 1.

Please note, final plans must meet all the requirements of Burlington Northern Santa Fe Railway (BNSF). Requirements can be found on their website <http://www.bnsf.com/about-bnsf/faqs.html>.

### 1.3 Scope and Schedule

#### *Topographic Survey*

A topographic survey will be required for the back yards on Hitchcock to determine the ideal location for the proposed storm sewer within the low area (1912, 1914, 1916, 1918, 1920, and 1922 Hitchcock), as well as their properties to coordinate appropriate access. The Village will coordinate access with the homeowners. Additional survey along Warren Avenue from Woodward to Cornell. Note: any work (including surveying) within the BNSF right-of-way must meet all BNSF requirements, which may include, but is not limited to, hiring a flagger through BNSF.

All topographic information acquired as necessary to support a constructible plan set in the future for areas identified in Exhibit A. The topographic survey shall be performed by an Illinois-licensed surveyor and shall include:

- Reference lines parallel to right-of-way lines.
- Existing centerline elevations shall be shown at low points, high points, other significant slope breaks, and at a maximum interval of twenty-five (25) feet.
- Field survey work encompassing the entire right-of-way width of those streets noted. Where the primary right-of-way surveys are shown crossing other rights-of-way which are not to be fully surveyed, the right-of-way crossed by the primary survey shall be surveyed for a length of 100 feet outside the primary right-of-way line extended, in both directions, to show the complete intersection. The survey shall also include a minimum 15-foot width (or greater if specified) of the private property adjoining each side of the right-of-way (ROW), and shall include all adjacent building faces (regardless of distance from the ROW). Right-of-way monumentation recovered shall be clearly indicated on the plan sheets. The establishing of missing monumentation (property corners) is NOT required.
- All survey work shall use NAVD 88 for Vertical Datum and USGS NAD 83 for Horizontal Datum.
- Copies of all field notes and electronic data of the identified segments in AutoCAD Civil3D (v.2013 or later) supplied to the Village. Plans shall be provided to the Village, for its use, in a digital format approved by the Village. Data shall be provided in AutoCAD Civil3D format (2013 or later), and as .pdf documents. Surface data shall also be provided. Copies of all support files (.shx, .ctb., .xml, etc)

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview

as may be necessary to plot a completed drawing shall be provided to the Village by the surveyor.

- Field locations (horizontal dimensions) of all buried/marked utilities; i.e., gas, electrical, and telephone, and sewers. No digging for elevation verification of utilities will be required.
- Supply detailed information for all storm and sanitary sewer structures, pipes, culverts, end sections, etc., water valves, hydrants, etc. within survey limits, and nearest downstream structure outside of survey limits.
- Detailed topography with one-foot contour intervals throughout the described project area, with elevations noted for key changes in grade, as well as high or low points between contours of the same elevation, and elevations of roadway and driveway pavement over culverts.
- Locations and identification of all above ground features; i.e., mailboxes, utility poles, driveway, culvert headwalls, culverts, sidewalks, sump pump outlets, etc.
- Locations of all landscape materials; i.e., bushes, trees (2" diameter and larger), flower beds, etc. Tree sizes (2" diameter and larger) shall be measured four and one-half feet (diameter breast height) above the highest ground level at base of tree. Note locations of landscape timbers, flagstone paths or walls, brick pavers, etc.
- Utilizing IDOT standard drafting symbols and line weights, and indicating lot line intersections, lot numbers and common addresses.
- Contour lines plotted throughout the project with high points or low points indicated between similar contours.
- Providing compatible drawing files (AutoCAD Civil3D 2013 or later) on compact disk or other media approved by the Village.
- Setting sufficient permanent control points ("PK" nails are acceptable) on the base line at 100 foot intervals which can be used to lay out construction stakes.
- Placement of at least two temporary benchmarks located outside the limits of construction at each final design site area.

#### *Drainage Study/Report*

Desired activities shall include:

- Drainage report identifying areas without “Service Level Drainage Event” infrastructure.
- Conceptual level plans/exhibits/cost estimates showing proposed improvements within the drainage area (maximum of two alternatives)
- Identify potential grant opportunities for implementation of any the proposed solutions
- Identify permits or agency approvals and estimated fees that may apply to each proposed solution along with pros/cons associated with each solution
- Anticipate one (1) meeting with Village staff to discuss project alternatives.

#### *Final Engineering/Plans/Specifications*

The Consultant will be required to perform all necessary work required to prepare the plan set, specifications, Special Provisions, and cost estimate for Area 12 - Hitchcock. The topographic survey shall be performed by an Illinois-licensed surveyor and shall be

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between  
Cornell and Glenview

prepared per the requirements above.

Additional work includes the following:

- a. Final Plans shall include, as necessary:
  - Cover Sheet
  - General Notes and Summary of Quantities
  - Earthwork Schedule
  - Typical Sections and Construction Details
  - Alignment, Ties and Benchmarks
  - Grading Plan (1" = 20')
  - Storm Sewer Plan and Profile
  - Sediment Erosion, Sediment Control Plan (1" = 20')
  - Landscape Plans (1" = 20')
  - Cross-Sections (every 50' and at other critical locations)
  - Any other plans as may be required to complete the work
- b. Cost estimate for 50%, 90% and final plans.
- c. Specifications and Special Provisions for any/all work items included in the final design plans, to be used in conjunction with the IDOT Standard Specifications for Road and Bridge Construction (SSRBC), the Village's boilerplate contract documents, and BNSF requirements.
- d. Permit Submittals - Application for any required permits (i.e. BNSF Railroad, IEPA, IDOT, DuPage County Stormwater Management, etc.) and coordination with all applicable agencies. Please refer to railroad utility accommodation policy which can be found at: <https://www.bnsf.com/communities/faqs/pdf/utility.pdf> The selected firm (Consultant) will be required to perform all necessary work (if required) to secure a stormwater permit from the Village of Downers Grove (as a complete waiver community) as well as the Railroad. The Consultant must review the scope of the project and determine if any additional permits are necessary, and must include same in the proposal, including potential wetland delineation/determination. All necessary permitting will be the responsibility of the Consultant unless specifically excluded in this RFP.
- e. The Consultant will be required to make qualified personnel available to answer questions throughout the bidding and construction process. Village Staff will prepare bid documents (with the exception of special provisions and specifications as may be required, which will be provided by Consultant), and will perform all bidding duties. Village Staff will also perform, or contract separately for, all construction administration and construction observation. Any additional material testing or sub-surface investigations will be procured by the Village. Consultant will be responsible for placement of a total of ten (10) stakes along the north and south right-of-way lines of the BNSF right of way within the projects limits which shall remain in place throughout the duration of construction.

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between  
Cornell and Glenview

- f. The Consultant shall furnish to the Village all project drawings, files, notes, calculations, survey data and documents in an electronic format on CDs suitable for making prints and copies of reports as required in above, all of which shall become the property of the Village for its use in the preparation of construction documents for the chosen alternative.
- g. The Proposer shall begin work on the project within seven (7) calendar days after receipt of the Notice to Proceed from the Village and shall abide by the deliverable schedule in section 3 of this RFP.

## 2. PROPOSAL REQUIREMENTS

### 2.1 Quantity and Format

One original and two copies of the statement of proposal (one copy to be in the form of a .pdf file on a CD) shall be submitted in an 8 ½ x 11 format and be organized as follows:

- Cover Letter (optional)
- Project Understanding/Approach
- Firm Qualifications and Experience (Project Data Sheets)
- Key Staff Resumes
- Project Organizational Chart
- Proposed project schedule
- “Not to Exceed” Fee Proposal w/hourly breakdown.

The proposals shall be succinct, and directly relevant to this project. Maximum number of pages for consultant generated proposal information shall be approximately 20 single sided or 10 double sided. Double sided printing is allowable and encouraged. Only those persons planned to be directly involved with this project should be included. Also, please identify the physical location of the project team members.

### 2.2 Deadline and Proposal Disposition

Complete, sealed proposals shall be due NOT LATER than **10:00 A.M. on Friday, July 7, 2017**. Proposals shall become the property of the Village of Downers Grove. The Village will maintain confidentiality of all received proposals, and not disclose information provided by prospective consultants with any other consultant, nor with the selected Consultant, unless otherwise required to be disclosed pursuant to the Freedom of Information Act.

### 2.3 Fee Proposal

The Village of Downers Grove prefers the method of compensation for professional services to be based on hourly-charged personnel rates plus expenses, with a Total “Not to Exceed” cost.

Please submit an estimate of hourly personnel requirements to complete the scope of services outlined in your proposal, a list of current hourly rates and a total “Not To Exceed” cost for providing the proposed services to the Village. This “Not To Exceed” cost shall

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview

include deliverables and reimbursable expenses, such as postage, delivery service, printing, etc. The Village shall be invoiced monthly. **Additional compensation above and beyond the “Not to Exceed” cost (i.e. change orders) will not be considered without a significant change in project scope.**

2.4 Consultant Selection

Consultant Selection will be based on the following:

- Approach to organizing and understanding of the project
- Responsiveness to requirements, terms, timeliness and conditions for performance of the project
- Familiarity with Village of Downers Grove policies and preferences
- Recognition of items related to project, including identification of design elements, and processes that will ultimately result in a quality, streamlined project
- Overall Not-to-Exceed Total Cost

2.5 Pre-Proposal Field Review

Prior to submitting a Proposal, each prospective Proposer shall make all investigations and examinations necessary to ascertain all site conditions and requirements affecting the full performance of this project and to verify any representations made by the Village upon which the Proposer will rely. These investigations shall be limited to public property only. The monetary expenses incurred as a result of conducting these investigations shall be borne by the prospective Proposer and shall not be the responsibility of the Village.

### 3. **PROJECT DELIVERABLES**

3.1 General

The Consultant shall provide the following deliverables not later than the time specified, as appropriate for each component:

Topographical survey data, constructible plans, specifications, special provisions, and cost estimates for Village-accepted improvement shall be provided to the Village, for its use, in a digital format approved by the Village. Plans shall be provided in AutoCAD Civil3D format (2013 or later), and as .pdf documents. The cost estimates shall be in Microsoft Excel format. Specifications shall be in Microsoft Word format.

3.2 Deliverables schedule

Topographic Survey

- To be coordinated with schedule of stormwater report and final designs below.

Final Design for Area 12:

- Four (4) 1-hour project coordination meetings at Public Works including kick off meeting, and progress meetings at 50%, 90% and 100% submittals.
- One (1) hard copy and (1) electronic copy of 50% plan set and Engineer’s Opinion of Probable Cost (EOPC) September 1, 2017

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between  
Cornell and Glenview

- One (1) hard copy and (1) electronic copy of 90% plan set, special provisions, and EOPC September 22, 2017
- One (1) hard copy and (1) electronic copy of 100% plan set, special provisions, and EOPC October 13, 2017
- One (1) CD containing electronic copies of all Final project files, drawings and any supporting documentation compatible with the programs listed above.

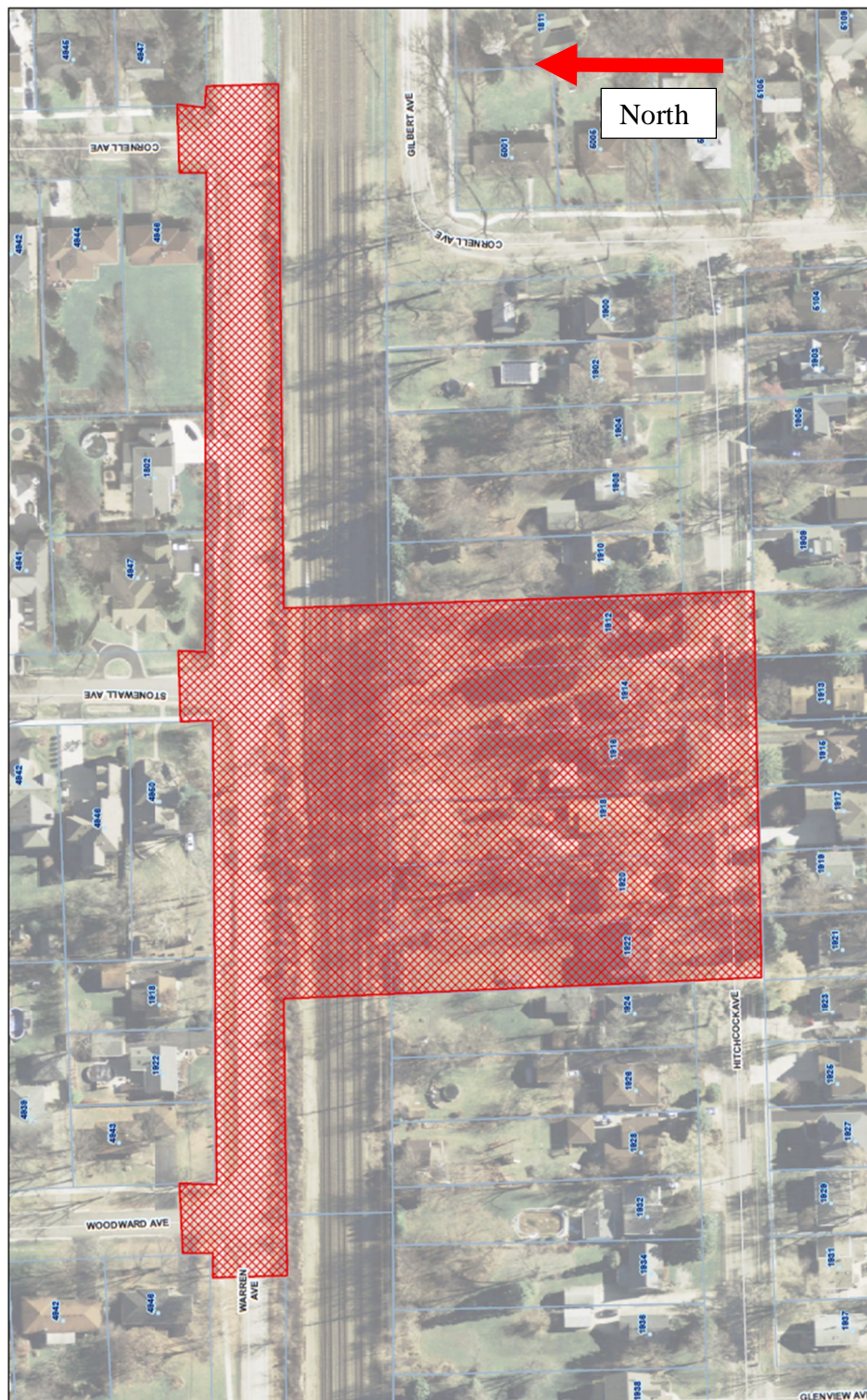
#### **4. CONTACTS**

All questions concerning the project and/or submittal should be directed to:

Julie Lomax, PE, CFM  
Village of Downers Grove  
5101 Walnut Avenue  
Downers Grove, Illinois 60515  
Phone 630-434-5489  
Fax 630-434-5495

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview

# Exhibit A



Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between  
Cornell and Glenview

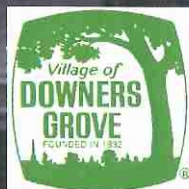
#### **IV. PROPOSER'S RESPONSE TO RFP (Professional Services)**

**(Proposer must insert response to RFP here. DO NOT insert a form contract, the RFP document including detail specs and Proposer's response will become the contract with the Village.)**

# AREA 12: HITCHCOCK BETWEEN CORNELL & GLENVIEW

ENGINEERS | SCIENTISTS | PLANNERS | MEDIATING THE BUILT & NATURAL ENVIRONMENTS

## Request For Proposal / SW-080-17L Stormwater Management Engineering Services



Village of Downers Grove  
Julie Lomax, P.E., CFM  
Stormwater Administrator  
5101 Walnut Avenue  
Downers Grove, IL 60515  
630.493.8821



Submitted By:  
WBK Engineering, LLC  
116 West Main Street, Suite 201  
St. Charles, IL 60174  
Contact: John Witte, P.E., CFM  
P: 630.443.7755  
jwitte@wbkengineering.com



July 7, 2017

Julie Lomax, P.E., CFM  
Stormwater Administrator  
Village of Downers Grove  
5101 Walnut Avenue  
Downers Grove, IL 60515

**Re: Stormwater Management Engineering Services for Area 12- Hitchcock between Cornell and Glenview  
No. SW-080-17L**

Dear Ms. Lomax:

WBK Engineering, LLC (WBK) is pleased to provide you with our proposal for the Stormwater Management Engineering Services for Area 12 Hitchcock between Cornell and Glenview. We are excited for the opportunity to further this project towards construction of a flood reduction solution for the affected residents. Our team includes engineers who worked on the original 2014 Stormwater Projects Analysis, as well as engineers who most recently worked with Downers Grove on analyses related to potential property acquisition. Therefore, the Village can be assured the team has a thorough understanding of the drainage issues affecting this site and the Village's stormwater management goals. We understand that the closed depression in the rear yards leads to basement flooding and damage to residents' properties.

Our principal point of contact will be John Witte, P.E., CFM who has successfully completed stormwater investigation and design projects to alleviate residential flooding. John Wills, P.E. will be heavily involved as an advisor and in the development of alternatives, as well as in a QA/QC role, and Brett Hanson will be the primary design engineer. His recent modeling work with the Village of Downers Grove makes him well suited to efficiently develop the drainage study and prepare the final engineering plans. Brett has robust experience in both stormwater design and forensic studies of existing systems. We have experience in coordinating with railroads in permitting utility infrastructure within their right-of-ways and are confident our experience will result in securing a permit for this project.

WBK has worked with many municipalities within northeastern Illinois on local drainage projects and understand the challenges associated with shrinking municipal budgets. Therefore, the Village can be assured that WBK will investigate, design, and permit the most cost effective solution. The enclosed information illustrates the qualifications and experience our team has to successfully complete the topographic survey, drainage study, and engineering design and permitting. We are very excited about this opportunity, and we would be honored to continue our partnership with the Village of Downers Grove, working together to develop stormwater solutions for Village residents. If you have any questions or require any additional information, please contact me at 630.443.7755. We would appreciate the opportunity to meet with the Village staff to discuss our qualifications for this exciting project. Thank you for your consideration of WBK.

Sincerely,  
WBK ENGINEERING, LLC

A handwritten signature in black ink that reads "John W. Witte".

John W. Witte, PE, CFM  
Water Resources Practice Lead

WBK Engineering, LLC  
WBKEngineering.com

 Part of the Mno-Bmadsen Family

St. Charles Office  
116 West Main Street, Suite 201  
St. Charles, IL 60174  
630.443.7755

Aurora Office  
8 East Galena Boulevard, Suite 402  
Aurora, IL 60506  
630.701.2245

## PROJECT UNDERSTANDING

WBK Engineering LLC (WBK) understands that the Village of Downers Grove (Village) is requesting stormwater management engineering services for Area 12-Hitchcock between Cornell and Glenview. The subject area is a closed depression in residential back yards between Hitchcock and the Burlington Northern Santa Fe Railroad (Railroad). The flooding problems include substantial ponding in the depression on a regular basis and basement flooding of structures adjacent to the depression.

The objective of the drainage study is to identify a drainage solution for the closed depression that reduces the severity and frequency of flooding that affect the adjacent structures while bringing the drainage up to the Service Level Drainage Event. Resident surveys indicate basement flooding of depths between a few inches and 6 feet of water, and ponding durations in the rear yards of up to a week, which has necessitated the Village providing pumps in the vicinity during large storm events to provide relief to the rear yard ponding. We understand the severity of the problem and the direct impact to the residents.

The recommendation in the Village's 2014 Stormwater Project Analysis report included providing a storm sewer in the rear yards of the residents along Hitchcock which would drain the closed depression. This solution required stormwater easements from property owners which makes this approach complicated and undesirable. The anticipated solution at this time is to install a storm sewer to the north under the Railroad tracks and tie into an existing 42" storm sewer at the northwest corner of Woodward and Warren. The Village would also like to provide Service Level Drainage for Warren from Cornell to Woodward. Additionally, recommendations for floodproofing of homes in the area may be required.

## PROJECT APPROACH

The scope of work can be divided into three main tasks with a detailed description of the approach for each task listed below:

- Topographic survey
- Drainage study and stormwater report
- Final engineering with permitting, plans and specifications

### Topographic Survey

In support of the preparation of hydrologic and hydraulic models and future final engineering plans, a topographic survey will be required. The topographic survey shall be performed to meet the Village's requirements as outlined in the request for proposal. The survey shall include; full topographic survey of six residential lots, 1,000 feet of right of way along Warren Avenue, and 350 feet of right of way along Hitchcock Street. The survey shall include; located buried/ marked utilities (gas, electric, telephone), utilities including storm and sanitary, ground features (mailboxes, utility poles, driveways, culverts, sidewalks), and landscape materials (i.e. bushes, trees, flower beds, etc.). The survey shall be in NAVD 88, and NAD 83 vertical and horizontal datums, respectively. The survey shall also include the establishment of two temporary benchmarks within the study area.

The deliverables included in this task include:

- Copies of all field notes
- AutoCAD (Civil3D) drawing of survey data including surface data
- Placement of two temporary benchmarks

Items not included in the Topographic Survey scope of services include:

- Legal descriptions, plats, or boundary surveys
- Tree identification
- Survey outside the limits specified in the request for proposal

### Drainage Study and Stormwater Report

The drainage study will provide a systematic approach to addressing flooding issues with the proposed solutions raising the level of protection for the subject area to pass the Service Level Drainage Event. The drainage study will include six main tasks:

## PROJECT UNDERSTANDING/APPROACH AREA 12, HITCHCOCK BETWEEN CORNELL &amp; GLENVIEW

1. Hydrologic and hydraulic modeling of existing conditions
2. Develop and model proposed conditions alternatives
3. Develop exhibits and cost estimates for proposed alternatives
4. Identify potential grant opportunities
5. Identify permits and agency approvals and associated fees and pros/cons associated with each solution
6. Preparation of Stormwater Report

### Hydrologic and Hydraulic Modeling of Existing Conditions

WBK prepared the hydrologic and hydraulic analysis for the projects outlined in the original Village's 2014 Project Analysis Study, and also the follow up drainage analysis to determine the 2, 10, and 100- year ponding depths in the rear yards. The rear yards of the subject lots on Hitchcock do not meet the Service Level Drainage Event and will require at a minimum a 10" storm sewer draining the depression to bring the system to a 2-year level of service. This understanding of the existing hydrologic model will be the starting point at which we analyze the proposed alternatives.

### Develop & Model Proposed Conditions Alternatives

WBK will use the existing conditions model results to test the proposed alternative which will be able to convey the "Service Level Drainage Event". The goal of the improvements is to efficiently bring the drainage infrastructure of Site 12 up to the Village standard of carrying the 2-year, 6-hour storm via storm sewer, and 10-year 6-hour storm through the storm sewer/overland flow routes while staying focused on the overall goal of reducing the depth and duration of ponding in the rear yards which contribute to basement flooding.

The first step in the analysis of proposed alternatives will be to meet with the Village to discuss the pros and cons of the proposed drainage plan of connecting the proposed rear yard storm sewer to the existing 42" storm sewer north of the Railroad and discuss options for a second alternative.

An item to consider when tying into the existing 42" storm sewer system is the direct connection between the rear yards on Hitchcock, and the tributary area north of the BNSF Railroad. The tributary area to the 42" storm sewer north of the tracks is approximately 240 acres and located in a closed depression that has an overtopping elevation of approximately 708. The depression area on the south side of the tracks in the Hitchcock lots has no outlet, and overtops at an elevation of 706+/- . During a storm event, this 42" storm sewer experiences extreme hydraulic pressure as exhibited by the surcharged structure at Belmont and Hitchcock (directly downstream of the proposed connection).

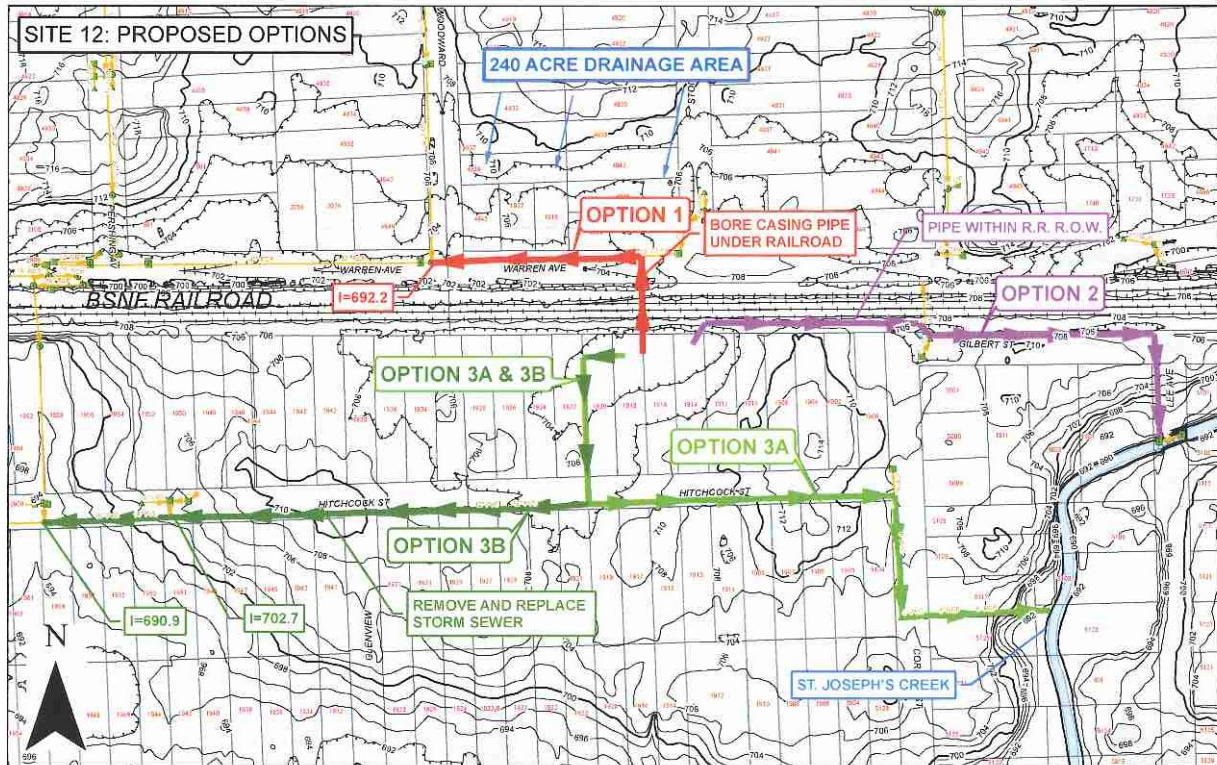
**42" storm sewer surge at Belmont & Hitchcock**



The proposed storm sewer draining the depression on Hitchcock will provide a hydraulic link between the two depressions and possibly cause greater depth of ponding for the residents of Hitchcock allowing the water from north of the Railroad to drain south to the lots and be conveyed through the Hitchcock overland flow route rather than the existing overland flow route. A possible solution to this may be to install a backflow preventer on the proposed storm sewer under the Railroad, although the storm sewer draining the depression would still have to "wait" for the 42" storm sewer to drain down before discharging which may not reduce the depth of ponding in the Hitchcock depression, but may reduce the duration. The duration of ponding and the reliability of the backflow preventer will be items to evaluate when considering this alternative. This option would require installation of approximately 600 lineal feet of storm sewer including 100 feet of bored casing pipe.

Since the preferred option requires coordination with the Railroad, a second option may be to install an E-W pipe within the Railroad right of way on the south side of the tracks. This option is similar to the proposed solution provided in the 2014 report, but would not require easement from individual property owners since the pipe along the rear yards would be installed on Railroad property. This storm sewer would freely drain to St Joseph's Creek, although a longer length of storm sewer would be required compared to the initial option. Initial discussions with the Railroad would be required to determine the viability of this option. This option would require installation of about 1,200 lineal feet of storm sewer (approximately 500 lineal feet on railroad property).

PROJECT UNDERSTANDING/APPROACH AREA 12: HITCHCOCK BETWEEN CORNELL & GLENVIEW



1920 /1922 Hitchcock Lot Lines

A third alternative may be to install a N-S storm sewer along a side yard of the residences at 1920/1922 Hitchcock. This storm sewer would then run east and south to discharge to St. Joseph's Creek. This alternative would include installation of approximately 1,600 lineal feet of storm sewer. An alternative to connect this outlet storm sewer to the existing storm sewer along Hitchcock could be explored, but similar to the connection to the existing 42" storm sewer, would provide a hydraulic link between the two systems and may require a backflow preventer. This option would include installation of approximately 1,600 lineal feet of storm sewer. We would discuss with the Village on whether to investigate these alternatives.



Option	Description	Pro	Con
1	Pipe under railroad	<ul style="list-style-type: none"> <li>• Shortest length of storm sewer</li> <li>• Majority of construction in roadway ROW</li> </ul>	<ul style="list-style-type: none"> <li>• Backflow preventer required</li> <li>• Bore casing pipe under Railroad</li> <li>• Proposed system under pressure</li> <li>• RR coordination required</li> </ul>
2	Pipe along railroad	<ul style="list-style-type: none"> <li>• Provides free outlet for storm sewer</li> </ul>	<ul style="list-style-type: none"> <li>• Longer length of storm sewer</li> <li>• RR coordination required</li> </ul>
3	Pipe through lots	<ul style="list-style-type: none"> <li>• Provides free outlet for storm sewer</li> <li>• No RR coordination required</li> </ul>	<ul style="list-style-type: none"> <li>• Longest length of storm sewer</li> <li>• Requires construction through residences side yard</li> </ul>

## PROJECT UNDERSTANDING/ APPROACH AREA 12, HITCHCOCK BETWEEN CORNELL &amp; GLENVIEW

### Develop Exhibits and Cost Estimates for Proposed Alternatives

As part of the proposed condition analysis, we will prepare conceptual exhibits and concept level cost estimates for the options. Through our previous work with the Village, and our recent experience in preparation of final engineering plans and construction engineering, we can prepare detailed exhibits and accurate cost estimates for the proposed improvement. We recently bid a project last year that included jacking and boring a casing pipe under a Railroad, and have contacts with boring and tunneling contractors therefore can accurately prepare a cost for the work within the Railroad.

### Identify Potential Grant Opportunities

Through our experience on similar projects, a few grant opportunities may be available and will be explored including DuPage County, and IEPA's programs (391 and revolving loan). We have assisted many of our municipal clients in obtaining grants for municipal projects and understand the requirements the project must meet in order to be eligible for such grants.

### Identify Permits and Agency Approvals, Fees, and Pros/ Cons

Through the conceptual design, WBK will assess the required permits and agency approvals for construction of the alternatives. The permitting requirements, fees, constructability and costs will be included in assessing the pros and cons of each alternative to assist the Village in making an informed decision on the recommended alternative.

### Preparation of Stormwater Report

The results of the hydrologic and hydraulic analysis and conceptual projects development and evaluation analysis will be compiled in a final drainage study report. The report will identify the following: the level of service at which the existing storm sewer and overland flow infrastructure operates, a summary of whether the infrastructure meets the "Service Level Drainage Event," and recommendations along with conceptual cost estimates for stormwater infrastructure improvements. We will also identify potential grant opportunities, and permit or agency approvals and the pros and cons associated with each option to allow Village staff to make an informed decision. A draft of the final report will be sent to staff for review prior to compiling the final report.

Deliverables under the Drainage Study and Stormwater Report task include:

- Drainage report including items specified above and in Village's RFP

## Final Engineering with Permitting, Plans, & Specifications

Based upon results of the Stormwater Report and coordination with the Village, WBK will prepare final engineering plans, permits, and specifications for construction of the selected alternative. This task includes several items including:

1. Final Engineering Plans
2. Cost Estimates
3. Specifications and Special Provisions
4. Permit Submittals
5. Request for Information (ROI)/ bidding assistance

### Drainage Improvement Project Plans:

WBK will develop a concise, thorough and complete construction plan set for proposed drainage improvements within the study area. The project team has extensive experience in preparation of plan sets for municipal urban drainage improvement, and also improvements that meet Railroad design requirements, therefore the Village can be assured that the delivered plan sets will contain the necessary information for successful construction of the proposed improvements. Throughout the design process, WBK will prepare 50% and 90% plan sets for Village and Railroad review to ensure the plans meet the expectations and goals of the project along with requirements of the Railroad. The plans and specifications will reference the Illinois Department of Transportation's Standard Specification for Road and Bridge Construction (SSRBC). WBK will also prepare special provisions for all items that do not conform to the IDOT's SSRBC, or other items required through coordination with the Burlington Northern Santa Fe Railroad.

## PROJECT UNDERSTANDING/APPROACH: AREA 12: HITCHCOCK BETWEEN CORNELL & GLENVIEW

### Quantity Calculations & Cost Estimate:

WBK's variety of recent work developing construction plan sets and cost estimates, as well as providing construction engineering services for projects in Northeast Illinois provides us an advantage in developing a detailed and accurate cost estimate for the proposed improvements. One of the major cost items may be boring of the casing pipe under the Railroad. WBK recently completed permitting, design, and bidding of a similar drainage casing pipe for a site development project and have accurate and reliable costs for this item. WBK utilizes current bid tabulations to determine unit costs to deliver an accurate cost estimate. Along with the plan sets, WBK will deliver 50% and 90% cost estimates for Village review prior to completion of the final plans and construction cost estimate.

### Drainage Improvement Project Specifications:

WBK will develop a special provisions document which will define the construction requirements for items not covered by IDOT Standard Specifications for Road and Bridge Construction. WBK will work with the Village and the BNSF Railroad to ensure these specifications are in conjunction with the Village's and Railroads' specific construction requirements and preferences. WBK will deliver specifications at the 90% and final plan stages.

### Permitting Activities

At a minimum, permits will be required from the Village of Downers Grove, for stormwater management, and BNSF Railroad. The stormwater permit will follow the guidelines of the DuPage County Countywide Stormwater and Floodplain Ordinance (Ordinance), and demonstrate that the stormwater design meets the requirements of the Ordinance. WBK is well versed in the Ordinance and have demonstrated experience in preparing and securing Stormwater permits for projects within DuPage County.

Due to the probable presence of wetlands near the improvement areas, at a minimum wetland determinations may be performed as a part of the permitting process. At this time we assume that the improvements can be completed without requiring any direct impacts to wetlands, therefore coordination and permitting with U.S. Army Corps of Engineers will not be required. Every effort will be made to design the improvements to avoid impacts to wetlands. Designing the proposed improvements in this manner will help to ensure that these projects will meet the wetland requirements from a permitting aspect, while still keeping the focus of the projects on creating a uniform drainage service level.

The permit from the Railroad will be the critical path item for the construction of the improvements. In our experience coordination with the Railroad early in the design process reduces the permitting. We anticipate an initial scoping meeting with the Railroad to discuss the proposed improvement and impacts. Once we have established a level of comfort with the design, submittals of the 50%, 90%, and 100 % plans and special provisions will be submitted for their review and comment. We recently prepared a permit application and secured a permit for jacking and boring a storm pipe under a railroad for a commercial site development project. We are also working with the UPRR in securing a permit for the Raymond Street tunnel which includes boring a 12 foot diameter storm sewer under the tracks to accommodate a pedestrian path.

A consideration for refining the proposed improvements for the study area will be evaluating the projects in terms of permitting. As a complete waiver community within DuPage County, the proposed improvements must, at minimum, meet the requirements of the DuPage County Stormwater Ordinance. WBK and specifically John Wills have a deep understanding of the DuPage County Stormwater Ordinance. John was the Project Principal providing oversight and principal drafting of the Ordinance update in 2013.

### Meetings and Coordination:

WBK Engineering anticipates five meetings with the Village towards completion of the project. One project kickoff meeting, three during the preparation of the construction plans, specifications, and cost estimates in order to keep the Village informed on project progress and discuss Village comments, and one during development of the proposed drainage alternatives as part of the drainage report. We also have included time in the proposal to attend four- 1 hour meetings with the Railroad to address comments and questions during the permitting. WBK will ensure qualified personnel are available to answer any questions pertaining to the delivered plan set or specifications during the bidding and construction process. WBK will not perform any construction administration or observation duties under this contract. WBK will provide the project deliverables by the scheduled completion date of October 13, 2017.

## PROJECT UNDERSTANDING/ APPROACH AREA 12: HITCHCOCK BETWEEN CORNELL &amp; GLENVIEW

Deliverables under the Final Engineering Plans, permitting, and specifications task include:

1. Final Engineering plans and cost estimates submitted to the Village at 50%, 90%, and 100% completion
2. Specifications and special provisions (submitted at 100% plan completion)
3. Submittal of a stormwater permit applications to Village of Downers Grove, utility permit through BNSF Railroad, and coordination with applicable agencies
4. Personnel available to answer questions throughout bidding and construction

Items not included in the scope of services include:

1. Permitting and Jurisdictional determination for wetlands
2. Threatened and Endangered Species assessment
3. IHPA consultation
4. Geotechnical Study (may be required by Railroad)

## WHY CHOOSE WBK:

Successful completion of the project will require selection of an engineering firm that can:

- Accurately model and assess the existing hydrology and drainage infrastructure
- Develop “permittable” and “constructible” project alternatives to meet the Village’s “Service Level” drainage requirements and overall budgetary goals,
- The ability to obtain a permit from the BNSF for any infrastructure within the Railroad right-of-way, and
- Prepare accurate final engineering plans, specifications, and estimate of cost for the proposed improvement

WBK Engineering has a qualified staff with years of experience in providing all of the services mentioned above. If selected, WBK will work diligently with the Village of Downers Grove in order to provide stormwater solutions of the highest quality. In addition to our experience providing municipal stormwater solutions to a variety of communities, WBK has an unparalleled understanding of the Village’s stormwater management goals due to the fact that we worked with the Village in development of the Village’s 2014 Stormwater Project Analysis Study. We bring to the project vast experience in coordinating with Railroads for completion of municipal projects. Our history of working on the project with the Village staff from 2014 through the present ensures the project history and intent remains intact.

## WBM QUALIFICATIONS EXPERIENCE AREA 12 HITCHCOCK BETWEEN CORNELL & CLENVIEW



### 2014 Stormwater Project Analysis Report

#### DOWNERS GROVE, IL

Several areas in the Village of Downers Grove experienced flooding during an April 2013 storm event. As a result of this event, Village staff identified approximately 25 new projects that should be investigated and prioritized for future construction. The Village hired WBK Engineering, LLC (WBK) to assist with the analysis and prioritization of these projects.

WBK worked with the Village's engineering staff to analyze each project on a preliminary basis, prepare preliminary cost estimates, and develop a metric to be used to objectively and quantifiably assess each project and prioritize them on the basis of cost/benefit ratio. The result is the "2014 Stormwater Project Analysis" report, issued in June of 2014.

WBK Engineering, LLC (WBK) was responsible for the following tasks on this project:

- Attended workshop meetings with Village staff to analyze problem areas, assess existing conditions and brainstorm potential solutions
- Prepared exhibits depicting existing conditions, problem areas, high-water elevations and proposed solutions
- Developed a metric to be used to prioritize proposed projects
- Performed conceptual and preliminary engineering design of proposed solutions to provide enough data to accurately assess the cost and benefit of each project
- Prepared construction cost estimates of each proposed solution, working closely with Village staff to apply known cost data from recent similar projects constructed by the Village
- Apply the developed metric to each proposed project, and produce a prioritized list of future projects for consideration by the Village
- Completed topographic survey of several proposed project sites to aid in SWMM modeling
- Prepared concept grading plans and analyzed potential storage volumes for potential lot acquisitions
- Hydrologically and hydraulically modeled existing and proposed stormwater systems using SWMM and GIS data

**Time Period:** 2013-2017

**Client:** Kerry K. Behr, PE, CFM  
Stormwater Administrator  
Village of Downers Grove  
5101 Walnut Avenue  
Downers Grove, IL 60515  
630.434.5489

**WBK Team:** John Wills, PE, CPESC  
Scott La Vanne, PE, CFM  
Brett Hanson, EI

### Aspen Valley

#### PINGREE GROVE, IL

Aspen Valley Landscape Supply hired WBK to plan and engineer a new landscape supply showroom and materials yard in Pingree Grove, Illinois. The property is located along Route 20, east of IL Route 47. A major challenge facing the development of this property was caused by its location abutting the Canadian Pacific Railway to the north. To address these challenges, WBK participated in extensive collaboration with the railroad to obtain permits critical to the development of the property.

Significant floodplain occurs on the property as a result of a large tributary area draining through to the northeast. In order to address stormwater requirements on the site, a large detention area was constructed with additional compensatory storage making up for impacts to the floodplain.

Drainage of the detention and compensatory storage facilities occurred through a proposed 12" storm sewer exiting the site to the northeast. The existing tracks provided a physical barrier along the entire northern edge of the site. Therefore, additional cooperation was needed to allow for the jack and bore of a proposed 12" storm sewer through the Canadian Pacific right-of-way to tie into existing stormwater facilities north of the tracks.

By engaging the Canadian Pacific Railway, and with their cooperation, WBK was able to transform a site with limited development potential into the new flagship location for a well-respected and recognizable local business.

WBK performed the following tasks for this project:

- Topographic Survey
- Utility Coordination
- Permitting and Environmental Coordination
- Right of Way/Easement Plans
- Land Planning
- Zoning and Entitlements

**Time Period:** 2015-Current

**Client:** John Weaver  
Aspen Valley Landscape  
Supply Company  
13148 W. 159th Street  
Homer Glen, IL  
708.301.0703

**WBK Team:** Charles Hanlon  
John Witte, PE, CFM  
Chris Lindley  
Adam Rak  
Jeffrey East, EI  
Ginna Podge



## Raymond Street Tunnel and Fox River Trail Re-Route, Phase I & II

### KANE COUNTY, IL

WBK performed the Phase I and is currently performing Phase II services on this project for the Kane County Forest Preserve District to provide a connection of the existing Fox River Regional Bike Trail from the west side of the Union Pacific Railroad (UPRR) tracks to the east side of the railroad tracks in the Raymond Street Forest Preserve in Elgin, Illinois. The project includes a proposed tunnel and multi-use path design.

The original east-west connection traversed under the tracks at the UPRR Bridge over Poplar Creek on a pre-engineered bicycle bridge attached to the south abutment of the bridge through the arch opening of the railroad bridge. Flooding in 2008 and 2013 of Poplar Creek damaged the bridge, required closing of the bridge and ultimately the removal of the bridge and the east-west path connection. A proposed 12-foot inside diameter steel casing pipe bored and jacked under the UPRR tracks will provide connectivity.

Wetlands impacts were identified in the Project Development Report and mitigation is required. Wetland mitigation for this project will be provided by providing wetland credits from wetlands created on Forest Preserve property.

This connection provides a vital link for the Fox River Trail in the Raymond Street Forest Preserve while upholding the Forest Preserve District's mission to "preserve such lands for the education, recreation, and pleasure of all its citizens."

WBK performed the following Phase I and Phase II activities for this project:

- Early Coordination & Data Review
- Topographic Survey
- Utility Coordination
- Trail/Path & Tunnel Plans
- Permitting and Environmental Coordination
- Right of Way/Easement Plans

**Time Period:** 2014-Present

**Client:** Jerry Culp  
Forest Preserve District of Kane County  
1996 South Kirk Rd, Suite 320  
Geneva, IL 60134  
630.232.5980

**WBK Team:** P.J. Fitzpatrick, P.E. (Project Manager)  
Brent Pottorff  
Dave Smoot SE  
Patrick Kelsey, CPSS/SC  
Natalie Paver, PWS

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## Grand Avenue Tunnel under the Union Pacific Railroad

### NORTHLAKE, IL

WBK completed Phase I engineering and Phase II design and contract plans for the construction of two (2) pedestrian tunnels, each approximately 80 feet long, to be bored and jacked under the Union Pacific Railroad tracks in Northlake, Illinois. The project called for the two (2) tunnels for pedestrian improvements along Grand Avenue. The project was funded with CMAQ funds and administered by IDOT.

The project required close coordination with the geotechnical engineer because of the shallow cover over the proposed tunnel pipe and the type of in-situ soils. All design and contract documents required approval from the Union Pacific Railroad and the Illinois Commerce Commission.

WBK performed the following tasks for this project:

- Structural design and structural evaluation and analysis for the boring and jacking of pedestrian tunnels under the Union Pacific Railroad tracks
- Coordination with geotechnical engineer, tunneling contractors, fabricators, stakeholders, the Illinois Commerce Commission and the UP Railroad to determine type of tunnel and monitoring procedures
- Early Coordination and Data Collection
- Geotechnical Soil Analysis
- Consultation with Tunneling Professionals
- Tunneling Plan & Grouting Plan
- Additional Concept Drawings
- Preliminary and Final Cost Estimate - Tunnels

**Time Period:** 2012-2014

**Client:** Andrew Pufundt, P.E.  
Christopher B. Burke Engineering, Ltd.  
9575 W. Higgins Road  
Suite 600  
Rosemont, IL 60018  
847.823.0500

**WBK Team:** P.J. Fitzpatrick, PE  
David Smoot, SE  
Brent Pottorff

## FIRM QUALIFICATIONS &amp; EXPERIENCE AREA 12, HITCHCOCK BETWEEN CORNELL &amp; GLENVIEW



## Ward 1 Drainage District Study

### BATAVIA, IL

The Ward 1 Subdivision in the City of Batavia experiences flooding in large storm events. The City requested a consultant study the capacity and hydrology of the existing storm sewer system and culverts to determine the systems' existing level of service; determine what improvements would be required to bring the existing system up to a 10-year level of service and to run a 100-year storm through the system.

WBK assembled a model of the existing Ward 1 drainage system which hydrologically and hydraulically analyzed the storm sewer system and overland flow routes to determine the cause and extent of the flooding. The SWMM based model simultaneously analyzed the hydrology and hydraulics of the system to simulate the interconnected roadway depressions along with the storm sewer system to determine the depth and duration of flooding. This analysis concluded that closed depressions with ineffective overland flow routes in combination with undersized storm sewers was the cause of flooding. WBK then analyzed flood reduction alternatives which included upsizing of the storm sewer system throughout the study area. A cost estimate for a phased approach to the storm sewer replacement project was prepared. The results of the study were assembled in a report and presented to the City.

WBK Engineering LLC was responsible for the following tasks:

- Survey of existing storm sewer system and overland flow paths
- Hydrologic modeling of the watershed and hydraulic modeling of the storm sewer system and overland flow routes
- Modeling of flood reduction alternatives.
- Preparation of conceptual estimate of costs for preferred flood reduction alternative
- Preparation of bound report summarizing the analysis and presentation of results to City of Batavia Council of Whole

**Time Period:** 2016

**Client:** Andrea Podraza, PE, CFM  
Senior Civil Engineer  
City of Batavia  
200 North Raddant Road  
Batavia, Illinois 60510  
630.454.2757

**WBK Team:** John Witte, PE, CFM  
Scott La Vanne, PE, CFM  
Brett Hanson, EI  
Donald Rericka, PLS, CFedS

## Neighborhood Drainage Studies

### SOUTH ELGIN, IL

The Village of South Elgin turned to WBK Engineering, LLC (WBK) to assist with evaluation of several neighborhood drainage issues throughout the Village. The Village was seeking professional engineering services to find technical solutions, assess landowner impacts, determine funding opportunities and facilitate Village Board decision making

#### Lexington Avenue - Cambridge to Spring Street:

The problem area is an isolated depression drained by storm sewer that was built in several phases and result is a somewhat complicated network of parallel and interconnected pipes. WBK provided storm sewer evaluation and recommendations for drainage improvements including budget projections.

#### Reserve Court Drainage Study:

WBK evaluated existing conditions and determined tributary areas for seven storm sewer outfalls. A series of treatment options were developed to mitigate erosion and allow the homeowners to determine the appropriate solution for their property. We also determined solutions to reduce the duration of inundation in the isolated depression.

#### Castlebar Court Drainage Study:

It was determined by WBK that an emergency overflow route originally planned for the subdivision was modified and "blocked" with landscaping and grade changes. WBK evaluated the impacts of re-establishing the overflow route and performed an evaluation of the storm sewer system determining pipe and inlet capacity related to design event frequency.

WBK performed the following activities for these projects:

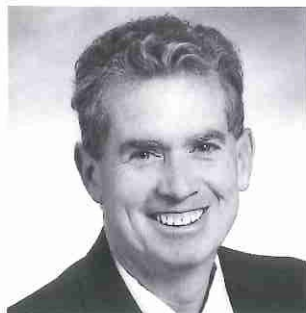
- Survey, Data Collection and Documentation
- Tributary Area and Design Flows Determination
- Storm Sewer and Open Channel Analysis
- Summary Report & Cost Estimating

**Time Period:** 2014 - 2015

**Client:** Richard Gallas  
Director of Public Works  
Village of South Elgin  
735 Martin Drive  
South Elgin, IL 60177  
Phone: 847.695.2742

**WBK Team:** Greg Chismark, P.E.  
Scott La Vanne, P.E., CFM  
Tony Treadway

KEY STAFF APEA 12 HITCHCOCK BETWEEN CORNELL &amp; GLENVIEW



### About John

*As President of WBK, John Wills is responsible for company strategy, direction, and leadership. He is a recognized expert when it comes to complex and difficult to permit engineering projects involving water resources and the environment, flood mitigation and stormwater regulation. His role also includes design consultation and review, supervision of senior staff, and quality assurance. John's 35 years of professional experiences is broad-based and includes: construction engineering on major expressway reconstruction, transportation-related design, stormwater management, hydraulic and hydrologic studies, and a number of projects related to stream restoration and wetland creation. His strengths lie in early identification of the critical path needed to bring a project to completion.*

## John J. Wills, P.E., CPESC

### PRESIDENT

#### Education

Bachelor of Science, Civil Engineering, Bradley University, 1980

#### Professional Registrations & Certifications

Professional Engineer, Illinois 062-041816

Professional Engineer, Wisconsin 43108-6

Professional Engineer, Indiana 11600192

Professional Engineer, Michigan 6201064075

Certified Professional Erosion and Sedimentation Control Specialist

#### Award Winning Projects

Busse Woods South Dam Modification Project, 2016 ASCE-Illinois Outstanding Civil Engineering Achievement Award

Klein Creek Flood Mitigation Project, 2016 Public Works Project of the Year, APWA Suburban Branch & 2016 ACEC-Illinois Engineering Excellence Award

Redmond Park, Village of Bensenville, CECI Achievement Award

I-355/Greene Valley Wetland Mitigation, Illinois State Toll Highway Authority, CECI Honor Award

Willow-Higgins Creek Channel Relocation and Protection - CECI Achievement Award, 1993

Midwest Road Ramp Rehabilitation/Plaza 51 Resurfacing - Outstanding Civil Engineering Achievement Design from the Illinois State Toll Highway Authority, 1994  
Westwood Creek Dam and Pump Station/ Louis Reservoir - Regional Project of the Year - 1994 from the American Public Works Association. CECI Achievement Award, 1995

YWCA Dam Removal – Environmental Project of the Year – 2005 from the Chicago Chapter American Public Works Association

#### Related Project Experience

##### 2014 Stormwater Project Analysis, Village of Downers Grove, IL

As a result of damage from a large storm event in April of 2013, the Village of Downers Grove identified approximately 25 new project areas that concept flood mitigation projects are to be developed for. The project includes investigation and prioritization for development of the Villages 2014 stormwater Program. John leads the team working with the Village's engineering staff to analyze each project area on a preliminary basis, prepare preliminary cost estimates, and to develop a metric to be used to objectively and quantifiably assess each project and prioritize them.

##### Klein Creek Flood Control Reservoir, Carol Stream, IL

Developed project approach, design and permitting of 114 acre-foot flood control reservoir in NE Illinois classified as a dam. Project includes earthen levees, siphon, pump station, and outlet control structures. Managing project team of civil, structural and hydraulic engineers, natural scientists, and project sub consultants.

##### Elk Grove Village Drainage Improvements, Phases I and II, Elk Grove Village, IL

Project Engineer. Variety of flood mitigation measures constructed throughout watershed, including by-pass and overflow storm sewer expansion of an existing detention basin and creation of two other basins for a total of 14 acre-feet of new storage for the Village of Elk Grove Village. Total Construction Cost, all phases, \$2.0 million.



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KEY STAFF AREA 12, HITCHCOCK BETWEEN CORNELL &amp; GLENVIEW



### About John

*John Witte has over 20 years of experience in the field of civil engineering. He is responsible for managing engineers and technicians in providing civil engineering plan sets for projects in civil site residential and commercial development, floodplain and floodway studies, and roadway drainage. John has a wide range of drainage experience, including the completion of hydraulic reports, drainage investigations, and location drainage studies for IDOT, as well as finalizing city and municipal stormwater permits for developments, and completing floodplain and floodway letters of map revision.*

## John Witte, P.E., CFM

### WATER RESOURCES PRACTICE LEAD

#### Education

Master of Science, Civil and Environmental Engineering, Marquette University  
Bachelor of Science, Fisheries and Wildlife Biology, Iowa State University

#### Professional Registrations & Certifications

Professional Engineer, Illinois 062-058599  
Professional Engineer, Wisconsin 37481-006  
Professional Engineer, Michigan 6201064027  
Certified Floodplain Manager, Illinois 06-00233

#### Related Project Experience

##### 8th Avenue, Ellsworth, Main Street Flood Study, Naperville, IL

As Project Lead, John was responsible for directing junior engineers on a study of three flood prone areas within the City of Naperville. The study included hydrological analysis of the watersheds and hydraulic analysis of the existing storm sewer and overland flow routes. The study resulted in a report with limits of flooding for multiple storm events, structures at risk, and recommended solutions.

##### Clow Creek Subdivision, Naperville, IL

Project Manager for drainage investigation of single family subdivision in Naperville, Illinois. Coordinated with client and directed junior engineers in conceptual flood reduction alternatives for a 260 lot subdivision with persistent flooding due to inadequate storm sewers and overland flow routes. Analysis included modeling storm sewer and overland flow routes using Autodesk Storm and Sanitary Analysis 2014 with SWMM hydrology. Phase II currently underway included preparation of final engineering plans for two of the proposed flood reduction alternatives.

##### 441 Stewart Avenue Drainage Analysis, Batavia, IL

As project manager, John was responsible for managing engineering staff and coordination with the client on the project which included a drainage investigation of a roadway depression on Stewart Street in the City of Batavia. The investigation included modeling of the existing conditions to determine the cause of flooding, and development of recommended flood reduction alternatives. The modeling efforts included hydrologic analysis of the watersheds and hydraulic analysis of existing mainline storm sewer and critical overland flow routes through the neighborhood. The analysis also included modeling several proposed improvements including; upsizing storm sewer, adding parallel storm sewer lines, re-grading overland flow routes, and adding restrictor structures at critical locations.

##### Ward 1 Drainage Analysis, Batavia, IL

As Project Manager, John directed engineers in hydrologic and hydraulic analysis of eight roadway depressional areas in Ward 1 that experience frequent flooding. John's duties included QA/QC, client coordination, budgeting and invoicing, resource management, and presentation of final report results to City of Batavia Council of the Whole.

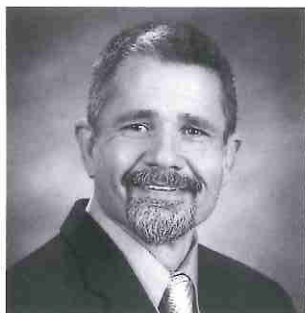
##### DuPage County On-Call Drainage Services, DuPage County, IL

Project Manager assisting the County as needed, by providing professional engineering services including design, modeling, surveying and permitting assistance for drainage projects on an on-call basis. Projects have included replacement of the culverts for First Street and Glenrise Avenue over Tributary #2 of the East Branch DuPage River. Prepared final engineering plans, specifications, and estimates and permit applications for the waterway crossings.



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### About Donald

*Donald Rericka has 28 years of experience in survey, construction layout and engineering design. Much of his early career was devoted to construction layout, surveying boundaries and roadway design topographic surveys.*

*Donald oversees all field survey operations as well as all office analyses of boundary and right-of-way surveys. Donald has performed analysis of right of way surveys along with design surveys on major roads, intersections and private site development projects. His skill set includes hydraulic/bathymetric survey for watershed analysis.*

## Donald Rericka, PLS, CFedS

### SURVEY LEAD

#### Education

AM, Labor and Industrial Relations, University of Illinois, Urbana/Champaign, 1986  
BS, Economics, Illinois State University, 1984

#### Professional Affiliations

Illinois Professional Land Surveyors Association  
Surveyors Historical Society

#### Professional Registrations & Certifications

Professional Land Surveyor, Illinois, 035003465

#### Related Project Experience

##### Ward 1 Drainage Investigation, Batavia, IL

Survey Lead for project which included survey of storm sewer structures throughout Ward 1 in the City of Batavia. Coordinate with design engineer on pickups and preparation of base map for analysis.

##### 441 Stewart Avenue Drainage Analysis, Batavia, IL

Survey manager for a topographic land survey including a full survey of the subject parcel, cross-sections of Stewart Avenue, and measurement and tracing of storm sewer to provide data for a base map to study flooding of the subject parcel.

##### Collins Road Extension, Kendall County, IL

Route and topographic survey for the extension of Collins Road from Grove Road to IL Route 71, including the reconstruction of Minkler Road and a new crossing over Morgan Creek, in Kendall County, Illinois. In addition to route and topographic surveys, tasks include preparation of Plats of Highway and legal descriptions for land acquisition from approximately 10 parcels, and connections to existing IDOT rights-of-way.

##### Fox River Water Reclamation District Topographic Survey, 2016

Survey subconsultant for Black & Veatch on its 2016 Facilities Improvement Project for the FRWRD Elgin North Waste Water Treatment Plant. Performed a detailed boundary and topographic survey on the 18 acre Plant site, and prepared a base map for design on the improvements.

##### Union Road over the Kishwaukee River, McHenry County, IL

Route, Hydraulic and Boundary Survey for the rehabilitation or replacement of the structure carrying N. Union Road over the Kishwaukee River in McHenry County, Illinois. Tasks also include preparation of an IDOT Plat of Highways for land acquisition and easements over four parcels.

##### Professional Surveying Services, Village of Downers Grove, IL

Survey services include route, boundary, and topographic surveys that will be used as based data for plan preparation on various Village projects, as well as construction layout on projects. To date, FluidClarity has been selected by the Village to provide surveying services for seven route surveying projects.

##### Entrance Road Bridge Replacement & Trail Improvements at McDowell Grove Forest Preserve, DuPage County, IL

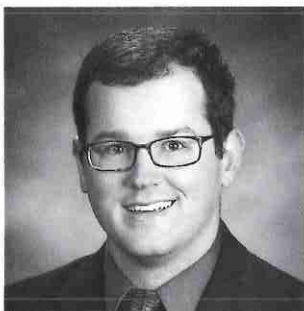
Topographic, Hydraulic and Boundary Survey for the replacement of the Entrance Road Bridge over the West Branch of the DuPage River at McDowell Grove Forest Preserve, DuPage County, Illinois. Tasks also include preparation of easement plats for construction of the project.



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KEY STAFF AREA 12, HITCHCOCK BETWEEN CORNELL &amp; GLENVIEW



## Scott LaVanne, P.E., CFM

### DESIGN ENGINEER

#### Education

Bachelor of Science in Civil Engineering, Purdue University

#### Professional License

Professional Engineer, Illinois - 062067582, 2015

Certified Floodplain Manager - IL-16-00754

#### About Scott

*Scott has 6 years of experience in engineering. He is working with the Water Resources Department and is experienced in hydrologic and hydraulic modeling for projects including dam removal, streambank stabilization and stream restoration. Scott also has a background in roadway design engineering. Scott earned his Bachelor of Science Degree in Civil Engineering in 2011 from Purdue University, with an emphasis on hydraulics and hydrology.*

#### Professional Experience

TranSystems, Civil Engineer I

Illinois Department of Transportation, Engineering Technician

Village of Lake Zurich, Illinois, Engineering Intern

#### Technical Skills

Hydraulic and Hydrologic Modeling

Geomorphic Analysis

Microstation

ESRI ArcGIS

#### Related Project Experience

##### **2014 Stormwater Project Analysis, Village of Downers Grove, IL**

As a result of damage from a large storm event in April of 2013, the Village of Downers Grove identified approximately 25 sites that should be investigated and prioritized for future drainage and flood related improvements. Scott is part of a team working with the Village's engineering staff to analyze each project on a preliminary basis. For each of the 25 projects, WBK developed proposed solutions, initial cost estimates, and a metric to be used to objectively and quantifiably assess each project and prioritize them on the basis of cost/benefit ratio. Following preliminary analysis, the most favorably ranked projects were assessed in more detail using Storm Water Management Model (SWMM) software. Scott utilized GIS tools to efficiently assess multiple independent project sites. This work involved village-produced and publicly available spatial databases to calculate runoff volumes, estimate construction quantities, and assess potential project benefits. Scott also produced sets of exhibits for both engineering analysis and for public viewing.

##### **Busse Woods Dam Modification, Elk Grove Village, IL**

Scott assisted the Hydraulic Engineer with development and completion of a HEC-RAS model to investigate the potential modification of the control structure at the Busse Woods Reservoir. Scott also prepared extensive analysis and documentation to demonstrate compliance with NRCS standards. The proposed project includes the addition of two moveable gates to the structure to alleviate flooding in downstream Elk Grove Village while being sensitive to the ecological impacts of alterations to the existing water levels in the Busse Woods Reservoir complex.

##### **DuPage On-Call Drainage Services, DuPage County, IL**

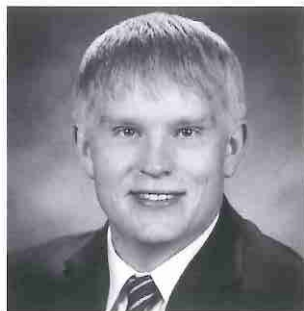
Scott assisted with investigation of nuisance drainage problems in Naperville, Illinois as part of WBK Engineering's on-call contract with DuPage County Public Works. The drainage problems were contained to a townhome development and included two locations of depressional ponding and a site where unusual levels of sump pump discharge were creating hazardous conditions, especially when the discharge would freeze on the nearby road in winter. Scott prepared a report summarizing the findings and proposed flood reduction alternatives. Scott created supporting exhibits in ESRI ArcMap.



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KEY STAFF AREA 12: HITCHCOCK BETWEEN CORNELL &amp; CLENVIEW



### About Brett

*Brett returned to WBK Engineering in the the summer of 2014, after completing his M.S. in Civil Engineering at the University of Illinois. He is working with the Water Resources Group, supporting projects including those listed here. Brett had worked as an engineering intern at WBK during the summer of 2013.*

## Brett Hanson, E.I.

### DESIGN ENGINEER

#### Education

Bachelor of Science in Civil Engineering, University of Illinois at Urbana-Champaign, 2013

Master of Science in Civil Engineering, University of Illinois at Urbana-Champaign, 2014

#### Certification

Engineer Intern, State of Illinois, #061-037431

#### Technical Skills

AutoCAD Civil 3D

GIS - ArcMap

HEC-RAS and HEC-HMS

EPASWMM; EPANET

Autodesk Storm & Sanitary Analysis

#### Related Project Experience

##### **Downers Grove Stormwater Analysis, Downers Grove, IL**

As a result of damage from a large storm event in April of 2013, the Village of Downers Grove identified approximately 25 sites that should be investigated and prioritized for future drainage and flood related improvements. Brett is part of a team working with the Village's engineering staff to analyze each project on a preliminary basis. For each of the 25 projects, WBK developed proposed solutions, initial cost estimates, and a metric to be used to objectively and quantifiably assess each project and prioritize them on the basis of cost/benefit ratio. Following preliminary analysis the most favorably ranked projects were assessed in more detail including modeling in Storm Water Management Model (SWMM). Brett's duties included SWMM modeling of four of the top ranked projects in order to assess the proposed solutions in greater detail. Existing and proposed conditions SWMM models were created for each of the four sites and solution effectiveness was assessed by comparing flood elevations at critical locations within the drainage networks.

##### **8th Avenue, Ellsworth, Main Street Flood Study, Naperville, IL**

As a Design Engineer, Brett was responsible for the hydrologic and hydraulic SWMM analysis of the three study areas in the City of Naperville. The modeling efforts included hydrologic analysis of the watersheds and hydraulic analysis of the existing storm sewer and critical overland flow routes. The study resulted in a report outlining limits of flooding for a variety of return period storm events, structures at risk, and recommended solutions. In addition to the data processing and modeling, Brett also assisted with developing recommended solutions and mapping of inundated areas and at-risk structures using GIS.

##### **Clow Creek Subdivision, Naperville, IL**

Assisted Project Engineer on a drainage investigation of single family subdivision in Naperville, Illinois. Provided support in preparation of conceptual flood reduction alternatives for a 260 lot subdivision with persistent flooding due to inadequate storm sewers and overland flow routes. Flood reduction alternatives were assessed with Storm Water Management Model (SWMM) software through creation of existing and various proposed conditions models and using them to compare flood elevations and drawdown times at critical drainage network locations. Brett's duties included hydrologic and hydraulic SWMM modeling and assessment of the existing and proposed Clow Creek subdivision drainage system and project construction quantities and cost estimates.



Part of the Mino-Brnadsen Family



KEY STAFF AREA 12 HITCHCOCK BETWEEN CORNELL &amp; GLENVIEW



### About Natalie

*Natalie has 11 years of experience and is responsible for conducting on-site floristic studies, evaluations, and preparing maintenance and monitoring reports; on-site soil investigations and assessments, soil interpretation records and reports and soil maps; preparing wetland delineation reports, functional assessments, mitigation plans, and other environmental compliance/permitting documents; assisting with stream, wetland and wildlife habitat assessments and delineations; preparing environmental resource assessments; monitoring of sediment and erosion control on project sites; and construction and native landscape observation and management.*

## Natalie Paver, PWS

### SENIOR ENVIRONMENTAL SCIENTIST

#### Education

Bachelor of Arts, Biology, Monmouth College, May 2003  
 Associates of Arts, Elgin Community College, May 2001

#### Professional Registrations & Certifications

Professional Wetland Scientist, Society of Wetland Scientists, #2275  
 Qualified Wetland Review Specialist, Kane County #W-068  
 Certified Wetland Specialist, McHenry County  
 Certified Wetland Specialist, Lake County #C-138  
 IDOT Documentation of Contract Quantities #14-0585

#### Training

Basic and Advanced Hydric Soil Identification – Illinois Soil Classifiers Association – 2014  
 OSHA HAZWOPER, Hazardous Waste Operations and Emergency Response – The National Environmental Trainers – 2012  
 Federal Wetland/ Waters Regulatory Policy – Wetland Training Institute – 2012  
 Wetland Plant Identification – Robert Mohlenbrock, Biotic Consultants, Inc. – 2012 & 2007  
 Winter Botany Course – Bollinger, Lach and Associates, Inc. – 2008  
 Corps Wetland Delineation Manual – Institute for Wetland and Environmental Education and Research, Inc. – 2007

#### Related Project Experience

##### Floristic Studies and Evaluations

Responsible for preparing floristic quality inventories and assessments including; plant community mapping, invasive and exotic species management, threatened and endangered species consultations, and annual maintenance and monitoring reporting of various mitigation and restoration sites. Natalie has prepared more than a dozen floristic studies.

North Mill Creek, Lake County, IL  
 Franklinville Road over Franklinville Creek, McHenry County, IL  
 Spring Brook No. 1 Waters Mitigation, Warrenville, IL  
 St. Josephs Creek Stabilization, Westmont, IL  
 Braeburn Marsh Ecosystem Restoration, Batavia, IL  
 Spring Brook Tributary No. 2 Remeander, Naperville, IL  
 Stearns Road- Direct Impact Mitigation Site, South Elgin, IL  
 Stearns Road – Adaptive Management Sites, South Elgin, IL  
 Lakewood Crossing, Hampshire, IL  
 Lakewood Prairie, Joliet, IL  
 Lakewood Saddle Ridge, Valley View, IL  
 Lakewood Easton Park, Carol Stream, IL  
 Big Timber over Tyler Creek Road, Elgin, IL  
 Blackberry Creek, Elburn, IL  
 Fox Creek, LaFox, IL  
 Brewster Creek, South Elgin, IL  
 Buffalo Creek Streambank Stabilization, Wheeling, IL

##### Reque Road Property, West Chicago, IL

As the environmental scientist for this project, Natalie was responsible for a wetland and buffer assessment of the property. Natalie coordinated with DuPage County Stormwater Management and the US Army Corps of Engineers in the wetland delineation, jurisdiction, and permitting of the project according to the requirements of the DuPage County Countywide Stormwater and Floodplain Ordinance and the USACE Regional Permit Program.



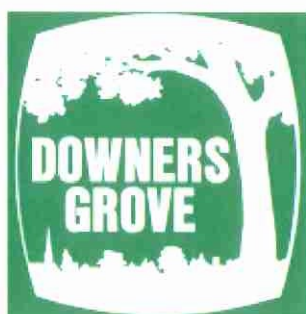
Part of the Mno-Braadsen Family



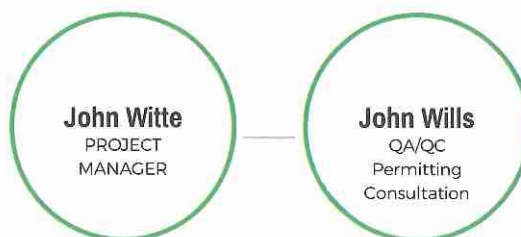
## PROJECT TEAM ORGANIZATION

Since 2014, WBK has continued to support the Village in assessing potential property acquisitions within the context of the 2014 Stormwater Project Analysis Report. Our project team for the Stormwater Management Engineering Services for this project includes Brett Hanson and John Wills who have worked with the Village since 2014 to further assess the viability of the projects, including assessing the impacts of updated property acquisition costs on the stormwater project rankings. Additionally, as a part of the follow up work, they developed SWMM models for Site 12 Hitchcock determining the ponding depths in the back yards. The project will be managed by John Witte, who has over 20 years of experience in drainage engineering, final plan preparation, and project management. He has most recently managed similar drainage projects for municipal clients including the City of Naperville, the City of Batavia, and also has experience working with the Village of Downers Grove. The team also includes Scott LaVanne, who worked with John Wills on the original 2014 report and is available to assist in the supporting role of drainage engineer. Donald Rericka will be the survey lead, and Natalie Paver will handle wetland assessment and permitting. WBK will utilize the institutional knowledge gained during preparation of the original report and supplemental engineering analysis to ensure that the proposed improvements meet the Village's standards for projects within the prioritization framework. All team members work out of our St. Charles office.

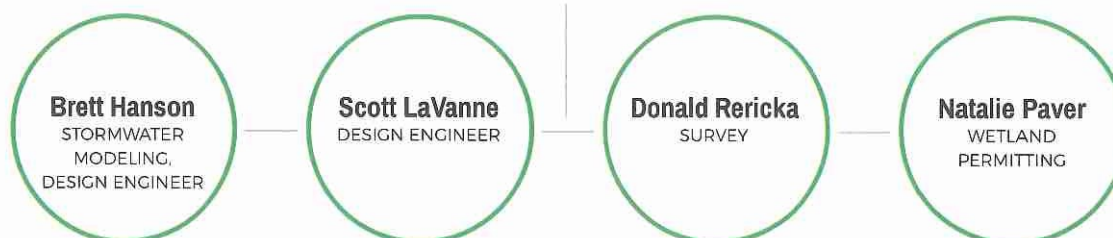
### VILLAGE OF DOWNERS GROVE



#### PROJECT LEAD

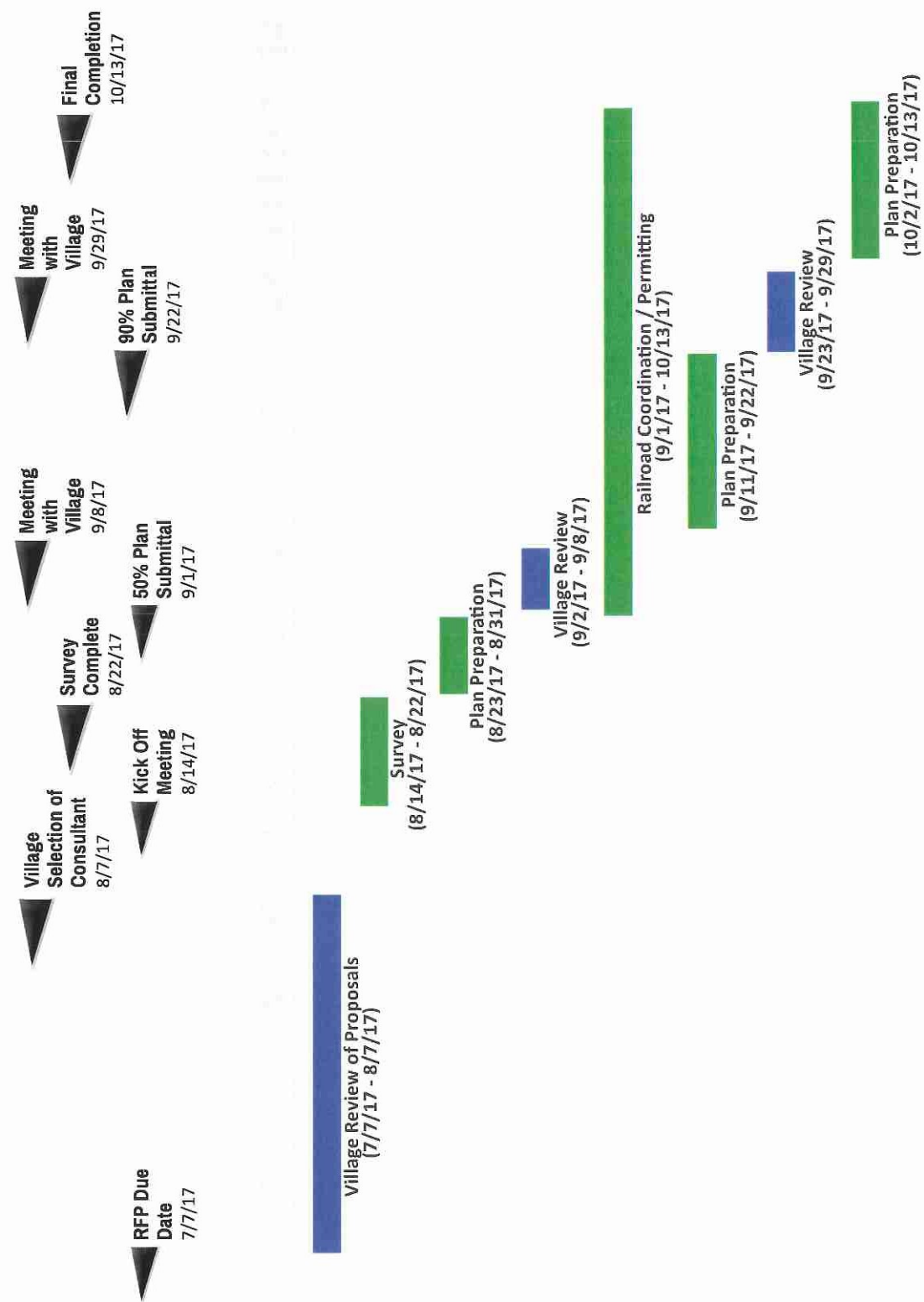


#### KEY STAFF



PROJECT SCHEDULE AREA 12: HITCHCOCK BETWEEN CORNELL & GLENVIEW

# Project Schedule



WBK Engineering Deliverable  
 Village Task





Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview



**VENDOR W-9 REQUEST FORM**

The law requires that we maintain accurate taxpayer identification numbers for all individuals and partnerships to whom we make payments, because we are required to report to the I.R.S all payments of \$600 or more annually. We also follow the I.R.S. recommendation that this information be maintained for all payees including corporations.

Please complete the following substitute W-9 letter to assist us in meeting our I.R.S. reporting requirements. The information below will be used to determine whether we are required to send you a Form 1099. Please respond as soon as possible, as failure to do so will delay our payments.

**BUSINESS (PLEASE PRINT OR TYPE):**

NAME: WBK Engineering, LLC  
 ADDRESS: 116 W. Main St. Ste. 201  
 CITY: St. Charles,  
 STATE: Illinois  
 ZIP: 60174  
 PHONE: 630.443.7755 FAX: 630.443.0533  
 TAX ID #(TIN): 36-4251536

(If you are supplying a social security number, please give your full name)

**REMIT TO ADDRESS (IF DIFFERENT FROM ABOVE):**

NAME: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY: \_\_\_\_\_  
 STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

**TYPE OF ENTITY (CIRCLE ONE):**

- Individual Limited Liability Company –Individual/Sole Proprietor
- Sole Proprietor **Limited Liability Company-Partnership**
- Partnership Limited Liability Company-Corporation
- Medical Corporation
- Charitable/Nonprofit Government Agency

SIGNATURE: *John Will* DATE: July 6, 2017

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between  
Cornell and Glenview

**PROPOSER'S CERTIFICATION**

With regard to SW-080-17L, proposer WBK Engineering, LLC hereby certifies  
(Name of Project) (Name of Proposer)  
the following:

1. Proposer is not barred from bidding this contract as a result of violations of Section 720 ILCS 5/33E-3 (Bid Rigging) or 720 ILCS 5/33E-4 (Bid-Rotating);
2. Proposer certifies that it has a written sexual harassment policy in place and is in full compliance with 775 ILCS §12-105(A)(4);
3. Proposer certifies that it is in full compliance with the Federal Highway Administrative Rules on Controlled Substances and Alcohol Use and Testing, 49 C. F.R. Parts 40 and 382 and that all employee drivers are currently participating in a drug and alcohol testing program pursuant to the Rules.
4. Proposer further certifies that it is not delinquent in the payment of any tax administered by the Department of Revenue, or that Proposer is contesting its liability for the tax delinquency or the amount of a tax delinquency in accordance with the procedures established by the appropriate Revenue Act. Proposer further certifies that if it owes any tax payment(s) to the Department of Revenue, Proposer has entered into an agreement with the Department of Revenue for the payment of all such taxes that are due, and Proposer is in compliance with the agreement.
5. Proposer certifies that not less than the prevailing rate of wages as determined by the Village of Downers Grove, DuPage County or the Illinois Department of Labor shall be paid to all laborers, workers and mechanics performing work for the Village of Downers Grove. All bonds shall include a provision as will guarantee the faithful performance of such prevailing wage clause. Proposer agrees to comply with the Illinois Prevailing Wage Act, 820 ILCS 130/1 et seq., for all work completed. Proposer agrees to pay the prevailing wage and require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work pursuant to this Contract or related subcontract. Proposer and each subcontractor shall keep or cause to be kept an accurate record of names, occupations and actual wages paid to each laborer, workman and mechanic employed by the Proposer in connection with the Contract. This record shall be sent to the Village on a monthly basis along with the invoice and shall be open to inspection at all reasonable hours by any representative of the Village or the Illinois Department of Labor and must be preserved for five (5) years following completion of the Contract. Proposer certifies that proposer and any subcontractors working on the project are aware that filing false payroll records is a class A misdemeanor and that the monetary penalties for violations are to be paid pursuant to law by the proposer, contractor and subcontractor. The Village shall not be liable for any underpayments. If applicable: Since this is a contract for a fixed public works project, as defined in 820 ILCS 130/2, Contractor agrees to post at the job site in an easily accessible place, the prevailing wages for each craft or type of worker or mechanic needed to execute the contract or work to be performed.

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview

BY: John Wills  
Proposer's Authorized Agent

3 6 - 4 2 5 1 5 3 6

FEDERAL TAXPAYER IDENTIFICATION NUMBER

or \_\_\_\_\_  
Social Security Number



Subscribed and sworn to before me  
this 7<sup>th</sup> day of July, 20  .

Jennifer E. Ryan  
Notary Public

(Fill Out Applicable Paragraph Below)

(a) **Corporation**

The Proposer is a corporation organized and existing under the laws of the State of \_\_\_\_\_, which operates under the Legal name of \_\_\_\_\_, and the full names of its Officers are as follows:

President: \_\_\_\_\_

Secretary: \_\_\_\_\_

Treasurer: \_\_\_\_\_

and it does have a corporate seal. (In the event that this bid is executed by other than the President, attach hereto a certified copy of that section of Corporate By-Laws or other authorization by the Corporation which permits the person to execute the offer for the corporation.)

(b) **Partnership**

Signatures and Addresses of All Members of Partnership:

John Wills, President, 116 W. Main St., Ste. 201, St. Charles, IL 60174  
Troland Clay, CEO, 415 E. Prairie Ronde St., Dowagiac, MI 49047

John Wills

The partnership does business under the legal name of: WBK Engineering, LLC  
which name is registered with the office of Secretary of State in the state of Illinois.

(c) **Sole Proprietor**

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview

The Supplier is a Sole Proprietor whose full name is: \_\_\_\_\_  
and if operating under a trade name, said trade name is: \_\_\_\_\_  
which name is registered with the office of \_\_\_\_\_ in the state of \_\_\_\_\_.

5. Are you willing to comply with the Village’s preceding insurance requirements within 13 days of the award of the contract?

Insurer’s Name Corkill Insurance

Agent Carolyn Hanna

Street Address 25 Northwest Pointe Blvd., Suite 625

City, State, Zip Code Elk Grove Village, IL 60007

Telephone Number 847-437-2837

**I/We affirm that the above certifications are true and accurate and that I/we have read and understand them.**

Print Name of Company: WBK Engineering, LLC

Print Name and Title of Authorizing Signature: John Wills, President

Signature: 

Date: July 6, 2017

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview

**Apprenticeship and Training Certification**

(Does not apply to federal aid projects. Applicable only to maintenance and construction projects that use Motor Fuel Tax funds or state grant monies.)

Name of Bidder: \_\_\_\_\_

In accordance with the provisions of Section 30-22 (6) of the Illinois Procurement Code, the Bidder certifies that it is a participant, either as an individual or as part of a group program, in the approved apprenticeship and training programs applicable to each type of work or craft that the bidder will perform with its own forces. The Bidder further certifies for work that will be performed by subcontract that each of its subcontractors submitted for approval either (a) is, at the time of such bid, participating in an approved, applicable apprenticeship and training program; or (b) will, prior to commencement of performance of work pursuant to this Contract, begin participation in an approved apprenticeship and training program applicable to the work of the subcontract. The Illinois Department of Labor, at any time before or after award, may require the production of a copy of each applicable Certificate of Registration issued by the United States Department of Labor evidencing such participation by the contractor and any or all of its subcontractors. Applicable apprenticeship and training programs are those that have been approved and registered with the United States Department of Labor. The Bidder shall list in the space below, the official name of the program sponsor holding the Certificate of Registration for all of the types of work or crafts in which the Bidder is a participant and that will be performed with the Bidder's forces. Types of work or craft work that will be subcontracted shall be included and listed as subcontract work. The list shall also indicate any type of work or craft job category that does not have an applicable apprenticeship or training program. **The Bidder is responsible for making a complete report and shall make certain that each type of work or craft job category that will be utilized on the project is accounted for and listed. Return this with the Bid.**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The requirements of this certification and disclosure are a material part of the Contract, and the Contractor shall require this certification provision to be included in all approved subcontracts. In order to fulfill this requirement, it shall not be necessary that an applicable program sponsor be currently taking or that it will take applications for apprenticeship, training or employment during the performance of the work of this Contract.

Print Name and Title of Authorizing Signature: JOHN WILLS, PRESIDENT  
Signature:   
Date: 7/6/2017

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between  
Cornell and Glenview

**Suspension or Debarment Certificate**

Non-Federal entities are prohibited from contracting with or making sub-awards under covered transactions to parties that are suspended or debarred or whose principals are suspended or debarred. Covered transactions include procurement for goods or services equal to or in excess of \$100,000.00. Contractors receiving individual awards for \$100,000.00 or more and all sub-recipients must certify that the organization and its principals are not suspended or debarred.

By submitting this offer and signing this certificate, the bidder certifies to the best of its knowledge and belief, that the company and its principals:

1. Are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any federal, state or local governmental entity, department or agency.
2. Have not within a three-year period preceding this proposal been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or local) transaction or contract under a public transaction, or convicted of or had a civil judgment against them for a violation of Federal or state antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
3. Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State, or local) with commission of any of the offenses enumerated in paragraph (2) of this certification: and
4. Have not within a three-year period preceding this application/proposal/contract had one or more public transactions (Federal, State or local) terminated for cause or default.

**If the bidder is unable to certify to any of the statements in this certification, bidder shall attach an explanation to this certification.**

Company Name: WBK Engineering, LLC

Address: 116 W. Main St., Ste. 201

City: St. Charles, IL Zip Code: 60174

Telephone: ( 630 ) 443-7755 Fax Number: ( 630 ) 443-0533

E-mail Address: jwills@wbkengineering.com

Authorized Company Signature: 

Print Signature Name: John Wills Title of Official: President

Date: July 6, 2017

Village of Downers Grove – Stormwater Engineering Services for Area 12 – Hitchcock between Cornell and Glenview

**CAMPAIGN DISCLOSURE CERTIFICATE**

Any contractor, proposer, bidder or vendor who responds by submitting a bid or proposal to the Village of Downers Grove shall be required to submit with its bid submission, an executed Campaign Disclosure Certificate.

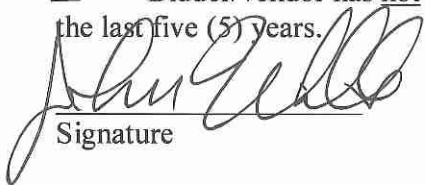
The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity bidding to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the bid or proposal release.

By signing the bid documents, contractor/proposer/bidder/vendor agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

Bidder/vendor has not contributed to any elected Village position within the last five (5) years.

  
Signature

John Wills, President  
Print Name

Bidder/vendor has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

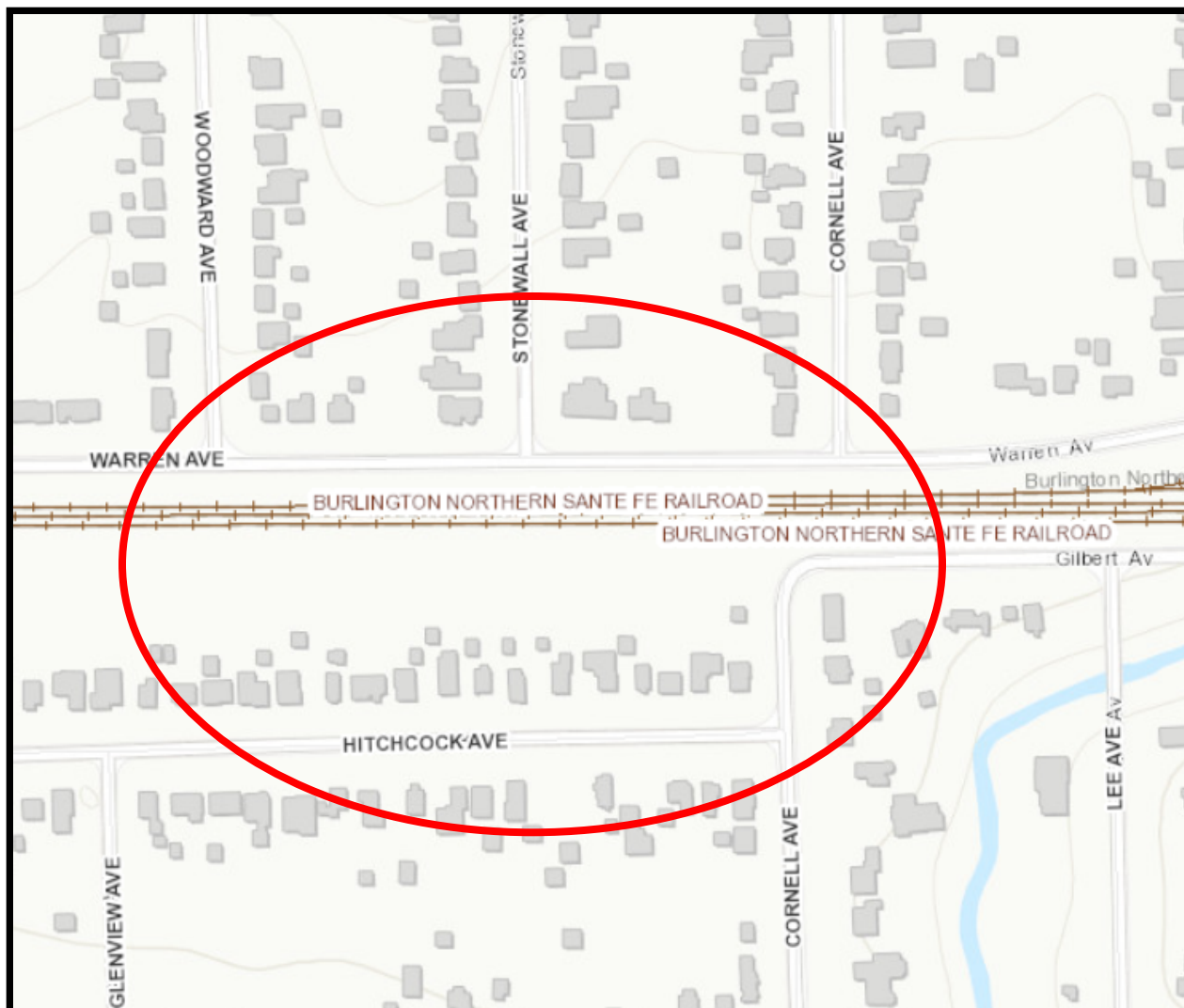
Name of Contributor: \_\_\_\_\_  
(company or individual)

To whom contribution was made: \_\_\_\_\_

Year contribution made: \_\_\_\_\_ Amount: \$ \_\_\_\_\_

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name



Project Location Map – Hitchcock