RES 2021-9170 Page 1 of 9

VILLAGE OF DOWNERS GROVE Report for the Village 11/2/2021

SUBJECT:	SUBMITTED BY:
Acceptance of Public Improvements at 3600-3700 Lacey Road and 3800 Finley Road	Stan Popovich, AICP Director of Community Development

SYNOPSIS

A resolution has been prepared accepting public improvements for the public improvements at 3600-3700 Lacey Road and 3800 Finley Road.

STRATEGIC PLAN ALIGNMENT

The goals for 2021 – 2022 identified *Top Quality Infrastructure*.

FISCAL IMPACT

N/A

RECOMMENDATION

Approval on the November 2, 2021 Consent Agenda.

BACKGROUND

Bridge Development constructed three industrial buildings and associated public improvements at 3600-3700 Lacey Road and 3800 Finley Road. The public improvements included Lacey Road improvements, a median, pavement striping and sidewalks. The public improvements were completed and inspected in November 2019. The stormwater management basin is considered a public improvement and will continue to be maintained by the property owner. The improvements were completed and have been in place for two years, which is the required warranty period.

ATTACHMENTS

Resolution Plat of Subdivision Record Drawings RES 2021-9170 Page 2 of 9

RESOL	UTION	NO.	

A RESOLUTION AUTHORIZING ACCEPTANCE OF PUBLIC IMPROVEMENTS – 3600-3700 LACEY ROAD AND 3800 FINLEY ROAD

WHEREAS, The Village Council has previously approved a plat of subdivision for Bridgepoint Downers Grove Subdivision; and,

WHEREAS, the public improvements were constructed, completed and inspected in November 2019; and

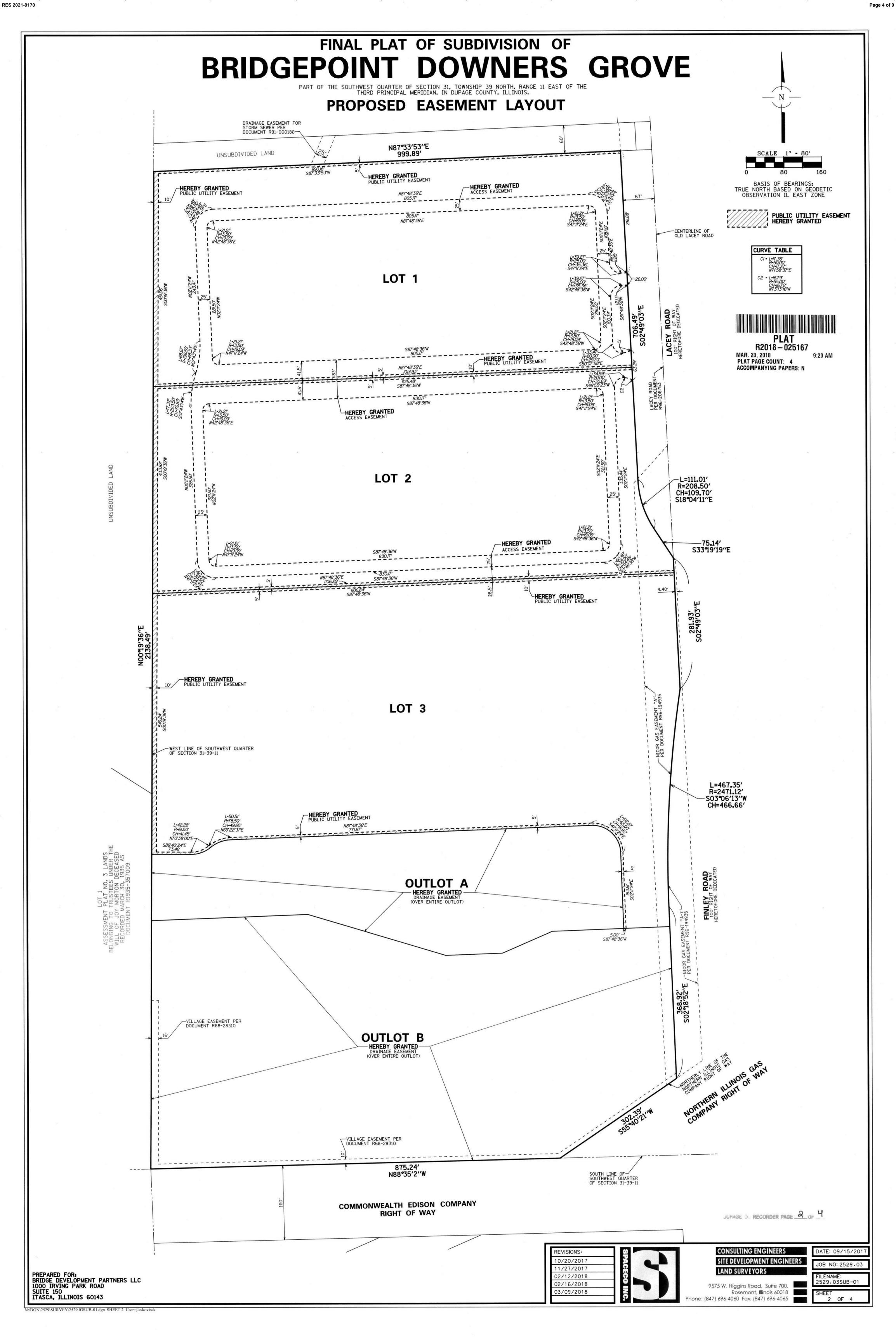
WHEREAS, Andy Sikich, Director of Public Works, has recommended acceptance of these public improvements.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of The Village of Downers Grove, DuPage County, Illinois, as follows:

- That the Village hereby accepts those municipal public improvements constructed as part of the Bridgepoint Downers Grove Subdivision generally located at the intersection of Lacey Road and Finley Road, in accordance with the approved permit plans.
- 2. That the irrevocable standby letter of credit, in the original amount of \$2,288,149.00 submitted by PPF Industrial, previously reduced to \$414,039.00 shall be reduced to \$6,500.00 to ensure the maintenance of the detention basin in accordance with Section 20.407 of the Village Code.
- 3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Resolution.
- 4. That all resolutions or parts of resolutions in conflict with the provisions of the Resolution are hereby repealed.
- 5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

-	Mayor	
Passed:	•	
Published:		
Attest:		
Village Clerk		

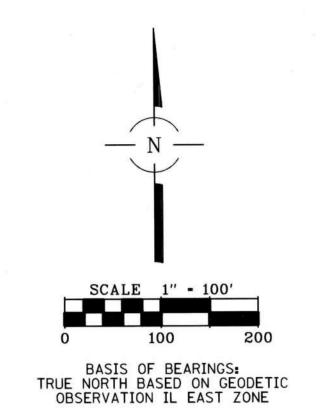
RES 2021-9170 Page 3 of 9 P.I.N.: 06-31-300-009 AREA TABLE FINAL PLAT OF SUBDIVISION OF SQ. FT. ACRES BRIDGEPOINT DOWNERS GROVE LOT 1 468,514 10.756 LOT 2 466,298 10.705 LOT 3 624,188 14.329 OUTLOT A 206,850 4.749 OUTLOT B 533,572 12.248 PART OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS. TOTAL 2,299,422 52.787 **NEW LOT LAYOUT** (SEE SHEET 2 OF 4 FOR PROPOSED EASEMENT LAYOUT) DRAINAGE EASEMENT FOR STORM SEWER PER DOCUMENT R91-000186 N87°33′53′′E 999.89′ UNSUBDIVIDED LAND SCALE 1" - 80' -HEREBY GRANTED PUBLIC UTILITY EASEMENT -CONCRETE MONUMENT TO BE SET HEREBY GRANTED ACCESS EASEMENT BASIS OF BEARINGS: TRUE NORTH BASED ON GEODETIC OBSERVATION IL EAST ZONE 67' -CENTERLINE OF OLD LACEY ROAD HEREBY GRANTED -**DUPAGE COUNTY RECORDER** LOT 1 MAR. 23, 2018 RHSP 9:20 AM \$81.00 06-31-300-009 PLAT PAGE COUNT: 4 000 PAGES R2018-025167 LACEY ROAD
100' RIGHT OF WAY
HERETOFORE DEDICATED 706.49' S02°49'03"E -HEREBY GRANTED PUBLIC UTILITY EASEMENT LACEY ROAD PER DOCUMEN R96-206753 HEREBY GRANTED
ACCESS EASEMENT LOT 2 L=111.01' R=208.50' CH=109.70' S18°04'11"E 75.14′ S33°19′19″E HEREBY GRANTED
ACCESS EASEMENT 32.084 4.40' HEREBY GRANTED PUBLIC UTILITY EASEMENT HEREBY GRANTED
PUBLIC UTILITY EASEMENT LOT 3 -WEST LINE OF SOUTHWEST QUARTER OF SECTION 31-39-11 L=467.35' R=2471.12' S03°06'13''W CH=466.66' HEREBY GRANTED PUBLIC UTILITY EASEMENT L=45.71' R=66.50' CH=44.82' N70°38'00'E N87°48'36"E 771.87' L=94.25' R=60.00' CH=84.85' S47'11'24"E L=47.30' R=73.50' CH=46.49' N69°22'31"E 83.46' S89°40'24"E **OUTLOT A** S02*11′24″ 163.61′ HEREBY GRANTED
DRAINAGE EASEMENT
(OVER ENTIRE OUTLOT) 43.12'-153.02' 334.79' N87°48'36"E 98.70 251.72' N87°48'36"E 57399'34'E NICOR GAS EASEN PER DOCUMENT R 121.16' N87°48'36"E 368,92' S0218'52'E **OUTLOT B** -VILLAGE EASEMENT PER DOCUMENT R68-28310 HEREBY GRANTED
DRAINAGE EASEMENT
(OVER ENTIRE OUTLOT) CONCRETE— MONUMENT TO BE SET VILLAGE EASEMENT PER DOCUMENT R68-28310 875.24' N88°35'2"W SOUTH LINE OF— SOUTHWEST QUARTER OF SECTION 31-39-11 COMMONWEALTH EDISON COMPANY RIGHT OF WAY UPAGE OU RECORDER PAGE ____OF **CONSULTING ENGINEERS** REVISIONS: DATE: 09/15/2017 SITE DEVELOPMENT ENGINEERS 10/20/2017 JOB NO: 2529.03 01/24/2018 PREPARED FOR:
BRIDGE DEVELOPMENT PARTNERS LLC
1000 IRVING PARK ROAD
SUITE 150
ITASCA, ILLINOIS 60143 LAND SURVEYORS 02/12/2018 FILENAME: 2529.03SUB-01 02/16/2018 9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 hone: (847) 696-4060 Fax: (847) 696-4065 03/09/2018 SHEET 1 OF 4 N:\DGN\2529\SURVEY\2529.03SUB-01.dgn Default User=jleskovisek



RES 2021-9170

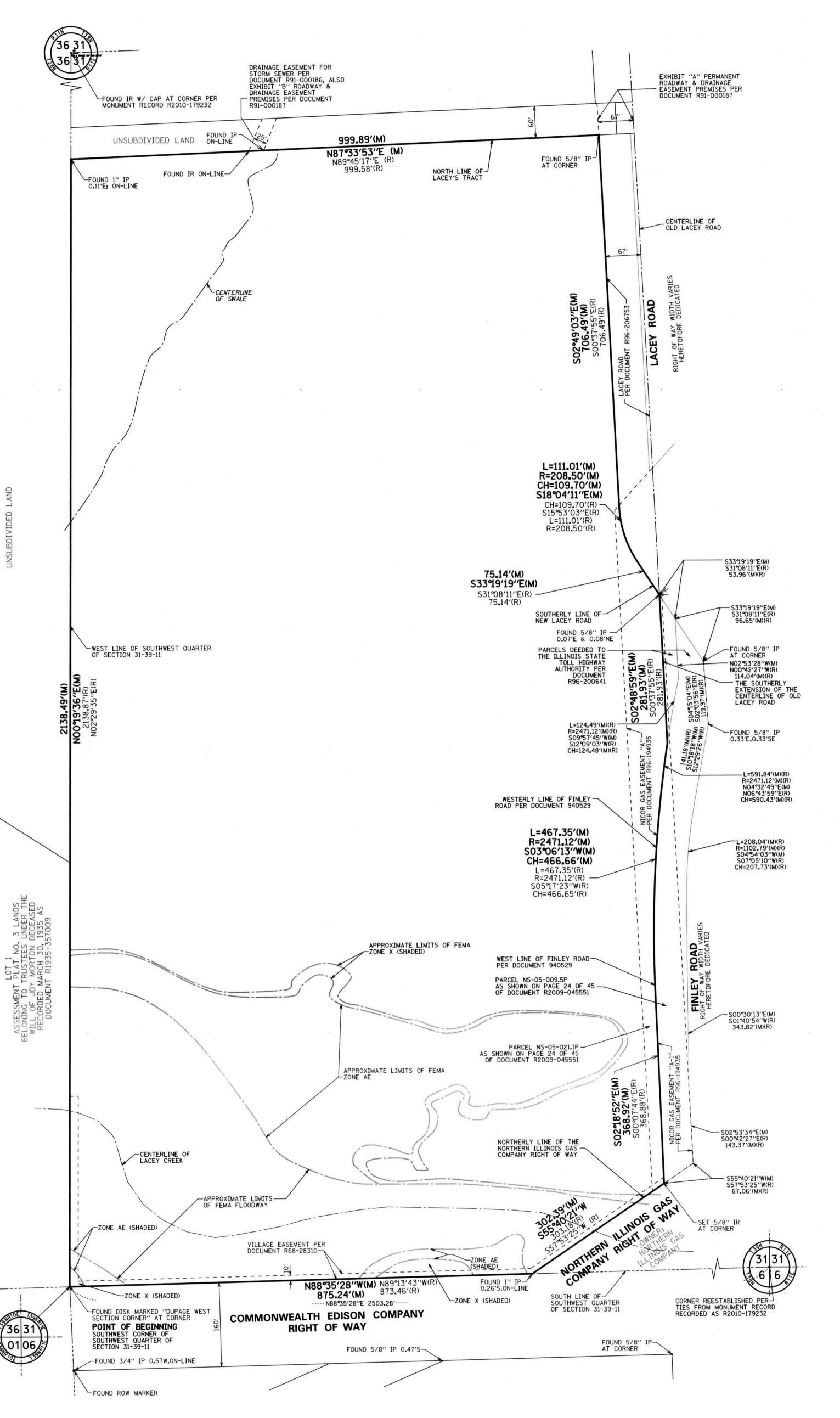
BRIDGEPOINT OF SUBDIVISION OF BRIDGE OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

EXISTING BOUNDARY INFORMATION



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PREPARED FOR: BRIDGE DEVELOPMENT PARTNERS LLC 1000 IRVING PARK ROAD SUITE 150 ITASCA, ILLINOIS 60143

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DUPAGE CO RECORDER PAGE 3 OF 4

REVISIONS: 10/20/2017 01/24/2018 02/12/2018 02/16/2018 03/09/2018



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,

Rosemont, Illinois 60018

Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 09/15/2017

JOB NO: 2529.03

FILENAME: 2529.03SUB-01

SHEET

3 OF 4

Page 6 of 9

FINAL PLAT OF SUBDIVISION OF BRIDGEPOINT DOWNERS GROVE

PART OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

RES 2021-9170

COUNTY OF DUPAGE)

OR IT) ARE THE OWNERS (OR OWNER) OF THE DESCRIBED PROPERTY AND THEY (OR IT) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE PLAT HEREON

THIS IS TO ALSO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF SCHOOL DISTRICTS: DOWNERS GROVE GRADE SCHOOL DISTRICT 58 (ELEMENTARY) COMMUNITY HIGH SCHOOL DISTRICT 99 (HIGH SCHOOL)

John Madurs - Manager PRINTED NAME AND TITLE

1000 W. IRUCAK PARK RO Suine 150, FrASCA IL 60143

NOTARY CERTIFICATE

STATE OF ILLINOIS) COUNTY OF DUPAGE)

I, AM MEMANTA NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT

PERSONALLY KNOWN BY ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS LAM DAY OF MORE A.D. 20 18.

D MAR. Accede 4 /



PLANNING COMMISSION CERTIFICATE

STATE OF ILLINOIS) COUNTY OF DUPAGE)

I, THE UNDERSIGNED, AS CHAIRMAN OF THE PLANNING COMMISSION OF THE VILLAGE OF DOWNERS GROVE, DUPAGE, ILLINOIS, DO HEREBY CERTIFY THAT THIS DOCUMENT HAS BEEN APPROVED BY SAID PLANNING COMMISSION DAY OF NOVEMBER, A.D. 2011

DRAINAGE CERTIFICATE

STATE OF ILLINOIS COUNTY OF DUPAGE

THE OWNER OF THE LAND DEPICTED HEREON, DO HEREBY STATE, THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS AND PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF CONSTRUCTION OF THE SUBDIVISION. FURTHERMORE, AS ENGINEER, I HEREBY CERTIFY THAT THE PROPERTY WHICH IS THE SUBJECT OF THIS SUBDIVISION OR ANY PART THEREOF IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. DATED THIS 9th DAY OF March , A.D. 20 18 .

ILLINOIS REGISTERED PROFESSIONAL ENGINEER STATE REGISTRATION NUMBER AND EXPIRATION DATE

DATED THIS 21 DAY OF MARCH, A.D. 20/1.

DOWNERS GROVE VILLAGE COLLECTOR CERTIFICATE

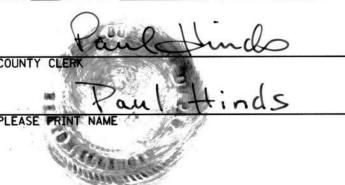
COUNTY OF DUPAGE)

I, THE UNDERSIGNED, COLLECTOR OF THE VILLAGE OF DOWNERS GROVE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT. THIS 14 DAY OF MATCH , A.D. 20 19

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) COUNTY OF DUPAGE)

I, THE UNDERSIGNED, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT. THIS 23 DAY OF March, A.D. 20 18



COUNTY RECORDER CERTIFICATE STATE OF ILLINOIS)

COUNTY OF DUPAGE)

THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE 33 RD DAY OF MARCH A.D. 20 18 AT 9: 20 O'CLOCK A.M AS DOCUMENT NUMBER RADIS - 025/67

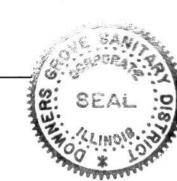
COUNTY RECORDER PLEASE PRINT NAME

DOWNERS GROVE SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS) COUNTY OF DUPAGE)

I NICK MENNING., COLLECTOR OF THE DOWNERS GROVE SANITARY DISTRICT, DO HERBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY UNDEFERRED INSTALLMENT THEREOF

DATED THIS 2/ DAY OF March , 20 18.



VILLAGE COUNCIL CERTIFICATE

STATE OF ILLINOIS) COUNTY OF DUPAGE)

APPROVED BY THE COUNCIL OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS.

COUNTY ENGINEER CERTIFICATE

STATE OF ILLINOIS) COUNTY OF DUPAGE)

THIS PLAT HAS BEEN APPROVED BY THE DUPAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY 2 (FINLEY ROAD) PURSUANT TO ILLINOIS REV. STATE. 765 ILCS 205/2; HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY RIGHT-OF-WAY.

ACCESS EASEMENT PROVISIONS:

THE OWNER OF LOT 1 AND THE OWNER OF LOT 2 SHALL EACH HAVE A NON-EXCLUSIVE EASEMENT OVER THE OTHER LOT IN THE LOCATIONS DEPICTED ON THIS PLAT OF SUBDIVISION AS ACCESS EASEMENTS FOR REASONABLE ACCESS, INGRESS AND EGRESS OVER ALL PAVED DRIVEWAYS, ROADWAYS AND WALKWAYS, AS PRESENTLY OR HEREINAFTER CONSTRUCTED, FOR THE PURPOSE OF PROVIDING FOR THE PASSAGE OF MOTOR VEHICLES AND PEDESTRIANS.

PUBLIC UTILITY EASEMENT PROVISIONS AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO

COMMONWEALTH EDISON COMPANY AND AT&T TELEHOLDINGS INCORPORATED, ILLINOIS A.K.A. ILLINOIS BELL TELEPHONE COMPANY, GRANTEES, THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), ON THIS PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SUFFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. EXCEPT FOR PAVEMENT AND LANDSCAPING, OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION) WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE

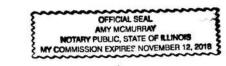
THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE OR AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PROPERTY, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING" AND "COMMON AREA". THE TERM "COMMON AREA OR AREAS", AND "COMMON ELEMENTS" INCLUDE REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT. RELOCATION OF FACILITIES WILL BE DONE BY GRANTEES AT COST OF THE GRANTOR/LOT OWNER, UPON WRITTEN REQUEST OF GRANTOR.

DECLARATION OF RESTRICTIVE COVENANTS

THE UNDERSIGNED OWNER HEREBY DECLARES THAT THE REAL PROPERTY DESCRIBED IN AND DEPICTED ON THIS PLAT OF SUBDIVISION SHALL BE HELD, TRANSFERRED, SOLD, CONVEYED AND OCCUPIED SUBJECT TO THE FOLLOWING COVENANTS AND RESTRICTIONS: (A) ALL PUBLIC UTILITY STRUCTURES AND FACILITIES, WHETHER LOCATED ON PUBLIC OR PRIVATE PROPERTY, SHALL BE CONSTRUCTED WHOLLY UNDERGROUND, EXCEPT FOR TRANSFORMERS, TRANSFORMER PADS, LIGHT POLES, REGULATORS, VALVES, MARKERS AND SIMILAR STRUCTURES APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF DOWNERS GROVE PRIOR TO RECORDING OF THIS PLAT OF SUBDIVISION. (B) AN EASEMENT FOR SERVING THE SUBDIVISION, AND OTHER PROPERTY WITH STORM DRAINAGE, SANITARY SEWER, STREET LIGHTING, POTABLE WATER SERVICE AND OTHER PUBLIC UTILITY SERVICES, IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF DOWNERS GROVE AND DOWNERS GROVE SANITARY DISTRICT, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEPARATELY, TO INSTALL, OPERATE AND MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES AND EQUIPMENT USED IN CONNECTION WITH THE PUBLIC WATER SUPPLY, TRANSMISSION LINES, SANITARY SEWERS, STORM DRAINAGE SYSTEM, STREET LIGHTING SYSTEM, OR OTHER PUBLIC UTILITY SERVICE, AND THEIR APPURTENANCES, EITHER ON, OVER, ACROSS, BELOW OR THROUGH THE GROUND SHOWN WITHIN THE DOTTED LINES ON THE PLAT MARKED PUBLIC UTILITY AND/OR DRAINAGE EASEMENT, OR SIMILAR LANGUAGE DESIGNATING A STORMWATER OR SEWER EASEMENT, TOGETHER WITH THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. EXCEPT FOR PAVEMENT AND LANDSCAPING, OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN, UPON OR OVER, THE PROPERTY WITHIN THE PUBLIC UTILITY EASEMENT AND/OR DRAINAGE EASEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. WHEREAS, SAID LOTS WILL BE CONVEYED TO PURCHASERS SUBJECT TO THIS DECLARATION TO THE END THAT THE RESTRICTIONS IMPOSED SHALL INURE TO THE BENEFIT OF EACH AND ALL OF THE PURCHASERS OF SUCH LOTS WHETHER THEY SHALL HAVE BECOME SUCH BEFORE OR AFTER THE DATE THEREOF, AND THEIR RESPECTIVE HEIRS AND ASSIGNS, AND WHEREAS, THE AFORESAID PROPERTY DESCRIBED ON THE ATTACHED PLAT IS LOCATED ENTIRELY WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS, AND WHEREAS, ALL OF THE PROVISIONS, RESTRICTIONS, CONDITIONS, COVENANTS, AGREEMENTS, AND CHARGES HEREIN CONTAINED SHALL RUN WITH AND BIND ALL OF SAID LOTS AND LAND AND SHALL INURE TO THE BENEFIT OF, AND BE ENFORCEABLE BY THE VILLAGE OF DOWNERS GROVE, ILLINOIS, AND THE OWNERS OR OWNER OF ANY OF THE LOTS OF LAND COMPRISED WITHIN SAID PLAT, AND THEIR RESPECTIVE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS. NOW, THEREFORE, ALL PERSONS, FIRMS OR CORPORATIONS NOW OWNING THE AFORESAID PROPERTY DO COVENANT AND AGREE THAT THEY OR ANY PERSON, FIRM OR CORPORATION HEREAFTER ACQUIRING ANY PROPERTY OR LOTS SHOWN UPON THE ATTACHED PLAT OF SUBDIVISION ARE HEREBY SUBJECTED TO THE FOLLOWING RESTRICTIONS RUNNING WITH SAID PROPERTY TO WHOMSOEVER OWNED, TO WIT: 1. NO IMPROVEMENTS SHALL BE MADE IN OR UPON THE DRAINAGE EASEMENT, INCLUDING DETENTION OR RETENTION AREAS, AS DESCRIBED IN THE PLAT OF SUBDIVISION, EXCEPT FOR LANDSCAPE INSTALLATION OF TREES, SHRUBS, BUSHES AND GRASS AND THE INSTALLATION OF UNDERGROUND UTILITY LINES AND DRIVEWAYS. 2. EACH OWNER OR PURCHASER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE EASEMENT, INCLUDING DETENTION OR RETENTION AREAS, APPLICABLE TO HIS LOT IN SUCH MANNER AS TO INSURE THE FREE AND UNINTERRUPTED FLOW OF STORM WATER THROUGH THE DRAINAGE SYSTEM OF THE SUBDIVISION, AND SHALL NOT DESTROY OR MODIFY GRADES OR SLOPES WITHOUT HAVING FIRST RECEIVED PRIOR WRITTEN APPROVAL OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS.

3. IN THE EVENT ANY OWNER OR PURCHASER FAILS TO PROPERLY MAINTAIN THE DRAINAGE EASEMENT, INCLUDING DETENTION OR RETENTION AREAS, THE VILLAGE OF DOWNERS GROVE, ILLINOIS, SHALL UPON TEN DAYS PRIOR WRITTEN NOTICE, RESERVE THE RIGHT TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK TO OR UPON THE STORMWATER EASEMENT, INCLUDING DETENTION OR RETENTION AREAS, REASONABLY NECESSARY TO INSURE ADEQUATE STORMWATER STORAGE AND FREE FLOW OF STORMWATER THROUGH THE STORMWATER EASEMENT, INCLUDING DETENTION OR RETENTION AREAS. 4. IN THE EVENT THE VILLAGE OF DOWNERS GROVE, ILLINOIS, SHALL BE REQUIRED TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK TO OR UPON THE DRAINAGE EASEMENT, INCLUDING DETENTION OR RETENTION AREAS, THE COST TOGETHER WITH THE ADDITIONAL SUM OF TEN PERCENT SHALL, UPON RECORDATION OF A NOTICE OF LIEN WITHIN SIXTY DAYS OF COMPLETION OF THE WORK, CONSTITUTE A LIEN AGAINST HIS LOT WHICH MAY BE FORECLOSED BY AN ACTION BROUGHT BY OR ON BEHALF OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS.

5. THE AFORESAID RESTRICTIONS AND COVENANTS, AND EACH AND EVERY ONE OF THEM, ARE HEREBY EXPRESSLY MADE AN ESSENTIAL PART OF THIS INSTRUMENT, AND SHALL BE AND REMAIN OF PERPETUAL EFFICACY AND OBLIGATION IN RESPECT TO THE SAID PREMISES AND THE PARTIES HEREIN DESIGNATED, THEIR AND EACH OF THEIR SUCCESSORS, HEIRS, AND ASSIGNS. DATED THIS 6 DAY OF MARCH . 20 18



R2018 - 025167 MAR. 23, 2018 9:20 AM

PLAT PAGE COUNT: 4

ACCOMPANYING PAPERS: N

STATE OF ILLINOIS) COUNTY OF DUPAGE)

I, C. BRIAN LOUNSBURY, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2841, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION THEREOF. THAT PART OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 31;
THENCE NORTH 89 DEGREES 45 MINUTES 17 SECONDS EAST ALONG SAID NORTH LINE OF
LACEY'S TRACT, 999.58 FEET TO AN INTERSECTION WITH A LINE 67.00 FEET, AS MEASURED
AT RIGHT ANGLES, WEST OF AND PARALLEL WITH THE CENTERLINE OF OLD LACEY ROAD;
THENCE SOUTH OO DEGREES 37 MINUTES 55 SECONDS EAST ALONG SAID LAST DESCRIBED
PARALLEL LINE, 706.49 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG A
CURVED LINE CONVEX SOUTHWESTERLY, HAVING A RADIUS OF 208.50 FEET AND BEING
TANGENT TO SAID LAST DESCRIBED CURVED LINE AT SAID LAST DESCRIBED POINT, AN ARC
DISTANCE OF 111.01 FEET TO A POINT OF TANGENCY (THE CHORD OF SAID ARC BEARS SOUTH
15 DEGREES 53 MINUTES 03 SECONDS EAST, 109.70 FEET); THENCE SOUTH 31 DEGREES 08
MINUTES 11 SECONDS EAST, ALONG THE SOUTHERLY LINE OF NEW LACEY ROAD, 75.14 FEET
TO THE SOUTHERLY EXTENSION OF THE CENTERLINE OF OLD LACEY ROAD; THENCE SOUTH OO
DEGREES 37 MINUTES 55 SECONDS EAST ALONG THE SOUTHERLY EXTENSION OF THE
CENTERLINE OF OLD LACEY ROAD, 281.93 FEET TO AN INTERSECTION WITH THE
NORTHEASTERLY EXTENSION OF THE CURVED WESTERLY LINE OF FINLEY ROAD (COUNTY ROAD
2) AS DEDICATED BY INSTRUMENT RECORDED SEPTEMBER 21, 1959 AS DOCUMENT 940529;
THENCE SOUTHERLY ALONG SAID WESTERLY LINE OF FINLEY ROAD AND ALONG SAID
WESTERLY LINE EXTENDED, BEING A CURVED LINE CONVEX NORTHWESTERLY AND HAVING A WESTERLY LINE EXTENDED, BEING A CURVED LINE CONVEX NORTHWESTERLY AND HAVING A RADIUS OF 2471.12 FEET, AN ARC DISTANCE OF 467.35 FEET TO A POINT OF TANGENCY IN SAID LINE (THE CHORD OF SAID ARC BEARS SOUTH O5 DEGREES 17 MINUTES 23 SECONDS WEST, 466.65 FEET); THENCE SOUTH OO DEGREES OT MINUTES 44 SECONDS EAST ALONG THE WEST LINE OF FINLEY ROAD (COUNTY ROAD 2) AS DEDICATED BY INSTRUMENT RECORDED SEPTEMBER 21, 1959 AS DOCUMENT 940529, 368.88 FEET TO AN INTERSECTION WITH THE NORTHERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 57 DEGREES 53 MINUTES 25 SECONDS WEST ALONG SAID NORTHERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY, 303.18 FEET TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 31; THENCE NORTH 89 DEGREES 13 MINUTES 43 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER 873.46 FEET TO THE POINT OF REGINNING IN DUPAGE COUNTY. ILLINOIS. POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

WE DECLARE THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED AND SUBDIVIDED BY SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. SAID PROPERTY CONTAINS 2,299,422 SQUARE FEET OR 52.787 ACRES, MORE OR LESS. WE FURTHER DECLARE THAT THE LAND IS WITHIN THE VILLAGE OF DOWNERS GROVE WHICH HAS ADOPTED A CITY COMPREHENSIVE PLAN AND MAP AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS

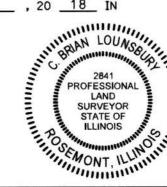
WE FURTHER DECLARE, BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY MAP NUMBER 17043C0607H MAP REVISED DECEMBER 16, 2004, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN: ZONE X (UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY SAID F.I.R.M. MAP.

ZONE X (SHADED) AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE NILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD AS IDENTIFIED BY SAID F.I.R.M. MAP. ZONE AE BASE FLOOD ELEVATIONS DETERMINED AS IDENTIFIED BY SAID F.I.R.M. MAP. FLOODWAY AREAS IN ZONE AE, THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1%

ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD APPROXIMATE LIMITS OF SAID FLOOD ZONES SHOWN HEREON FROM SCALED INSURANCE RATE WE FURTHER DECLARE THAT STEEL REINFORCING RODS (UNLESS OTHERWISE NOTED) WILL BE SET AT ALL LOT CORNERS. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, AS APPLICABLE TO PLATS OF SUBDIVISION.

GIVEN UNDER OUR HAND AND SEAL THIS 9th DAY OF ____MARCH_ ROSEMONT, ILLINOIS. llam C. BRIAN LOUNSBURY, I.P.L.S. No. 035-284 blounsbury@spacecoinc.com LICENSE EXPIRES: 11-30-2018

(VALID ONLY IF EMBOSSED SEAL AFFIXED)



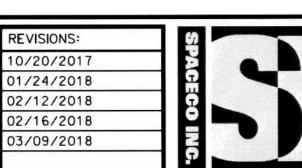
DUPAGE CO RECORDER PAGE 4 OF 4

RETURN TO:

9575 W. HIGGINSRD SUITE 700 OSEMONT, IL 60018

THIS PLAT SUBMITTED FOR RECORDING BY: (SPACECO, INC) 9575 WHIGGINS RD SUITE 700 ROSEMONT, IL 60018

SUBMITTED BY





JOB NO: 2529.03 FILENAME: Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065

2529.03SUB-01 SHEET 4 OF 4

DATE: 09/15/2017

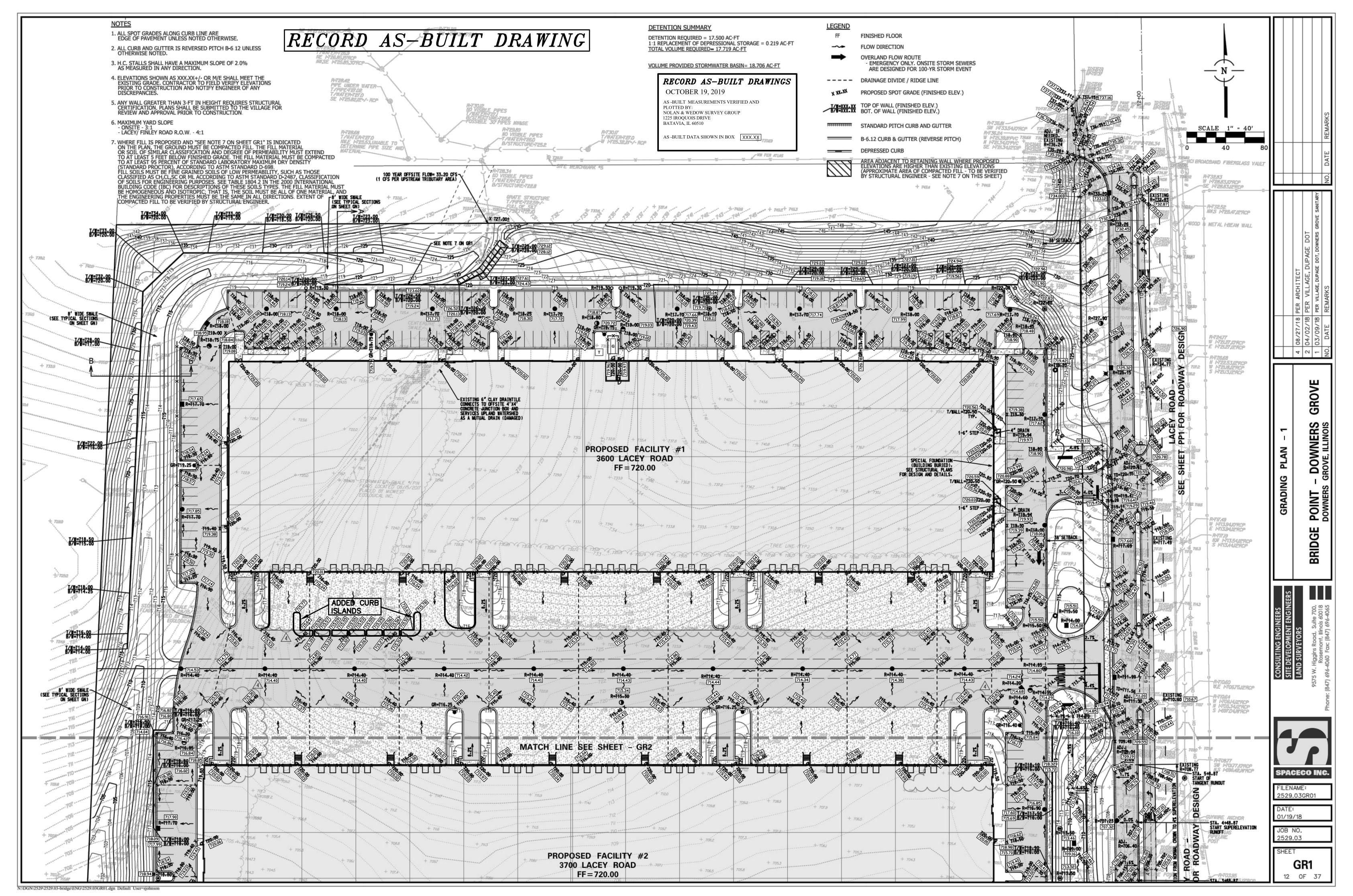
N:\DGN\2529\SURVEY\2529.03SUB-01.dgn SHEET 4 User=jleskovisek

BRIDGE DEVELOPMENT PARTNERS LLC 1000 IRVING PARK ROAD SUITE 150 ITASCA, ILLINOIS 60143

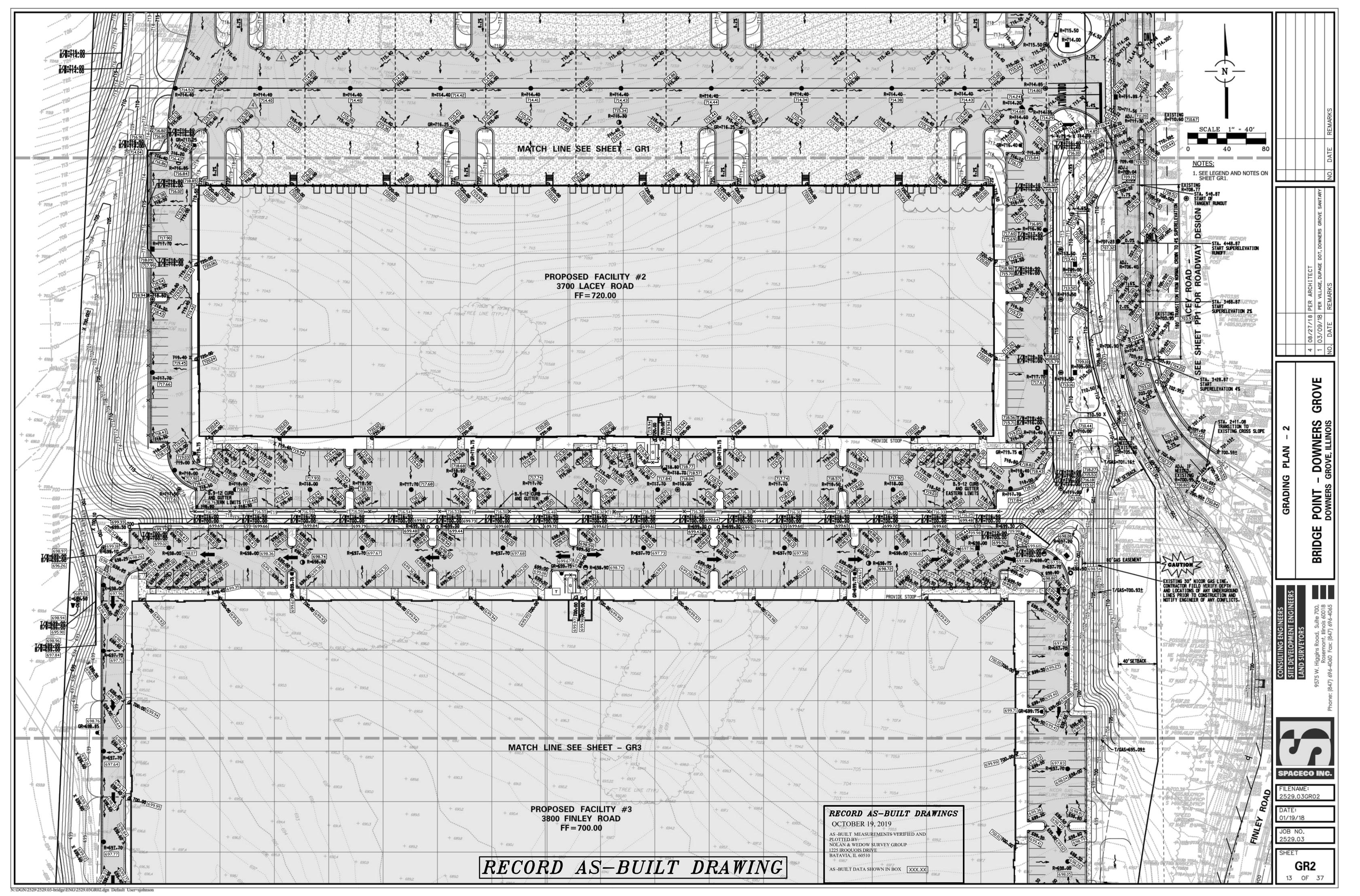
PREPARED FOR:

SPACE CO, FNC

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