

VILLAGE OF DOWNERS GROVE
Report for the Village
11/2/2021

SUBJECT:	SUBMITTED BY:
Acceptance of Public Improvements at 3600-3700 Lacey Road and 3800 Finley Road	Stan Popovich, AICP Director of Community Development

SYNOPSIS

A resolution has been prepared accepting public improvements for the public improvements at 3600-3700 Lacey Road and 3800 Finley Road.

STRATEGIC PLAN ALIGNMENT

The goals for 2021 – 2022 identified *Top Quality Infrastructure*.

FISCAL IMPACT

N/A

RECOMMENDATION

Approval on the November 2, 2021 Consent Agenda.

BACKGROUND

Bridge Development constructed three industrial buildings and associated public improvements at 3600-3700 Lacey Road and 3800 Finley Road. The public improvements included Lacey Road improvements, a median, pavement striping and sidewalks. The public improvements were completed and inspected in November 2019. The stormwater management basin is considered a public improvement and will continue to be maintained by the property owner. The improvements were completed and have been in place for two years, which is the required warranty period.

ATTACHMENTS

Resolution
Plat of Subdivision
Record Drawings

RESOLUTION NO. _____**A RESOLUTION AUTHORIZING ACCEPTANCE OF
PUBLIC IMPROVEMENTS – 3600-3700 LACEY ROAD AND 3800 FINLEY ROAD**

WHEREAS, The Village Council has previously approved a plat of subdivision for Bridgepoint Downers Grove Subdivision; and,

WHEREAS, the public improvements were constructed, completed and inspected in November 2019; and

WHEREAS, Andy Sikich, Director of Public Works, has recommended acceptance of these public improvements.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of The Village of Downers Grove, DuPage County, Illinois, as follows:

1. That the Village hereby accepts those municipal public improvements constructed as part of the Bridgepoint Downers Grove Subdivision generally located at the intersection of Lacey Road and Finley Road, in accordance with the approved permit plans.
2. That the irrevocable standby letter of credit, in the original amount of \$2,288,149.00 submitted by PPF Industrial, previously reduced to \$414,039.00 shall be reduced to \$6,500.00 to ensure the maintenance of the detention basin in accordance with Section 20.407 of the Village Code.
3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Resolution.
4. That all resolutions or parts of resolutions in conflict with the provisions of the Resolution are hereby repealed.
5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Published:

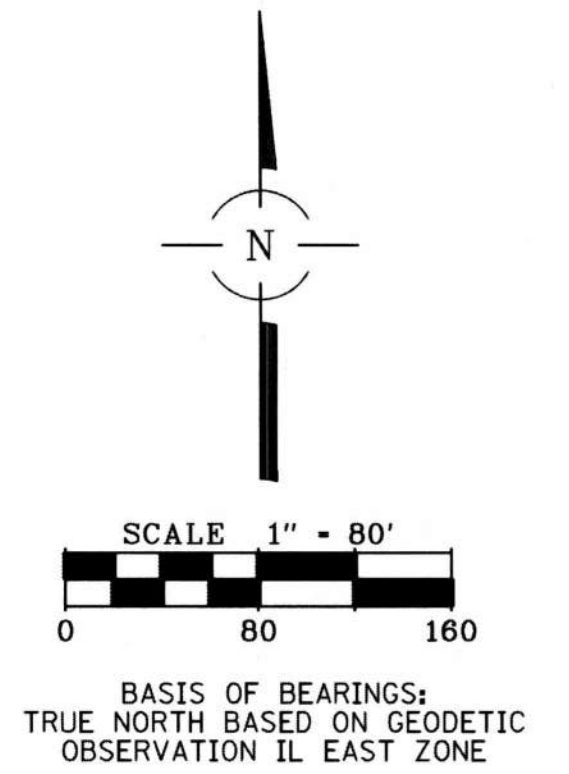
Attest: _____

Village Clerk

FINAL PLAT OF SUBDIVISION OF BRIDGEPOINT DOWNERS GROVE

PART OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

(SEE SHEET 2 OF 4 FOR PROPOSED EASEMENT LAYOUT)



FRED BUCHOLZ
DUPAGE COUNTY RECORDER
 MAR. 23, 2018 RHSP 9:20 AM
 PLAT \$81.00 06-31-300-009
 PLAT PAGE COUNT: 4
 000 PAGES R2018-025167

PREPARED FOR:
BRIDGE DEVELOPMENT PARTNERS LLC
1000 IRVING PARK ROAD
SUITE 150
ITASCA, ILLINOIS 60143


SPACECO INC.

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 09/15/2017

JOB NO: 2529.03

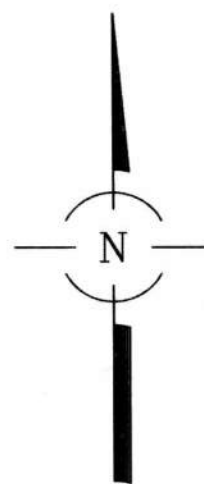
FILENAME:
2529.03SUB-01

SHEET

FINAL PLAT OF SUBDIVISION OF BRIDGEPOINT DOWNERS GROVE

PART OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PROPOSED EASEMENT LAYOUT



SCALE 1" = 80'
0 80 160

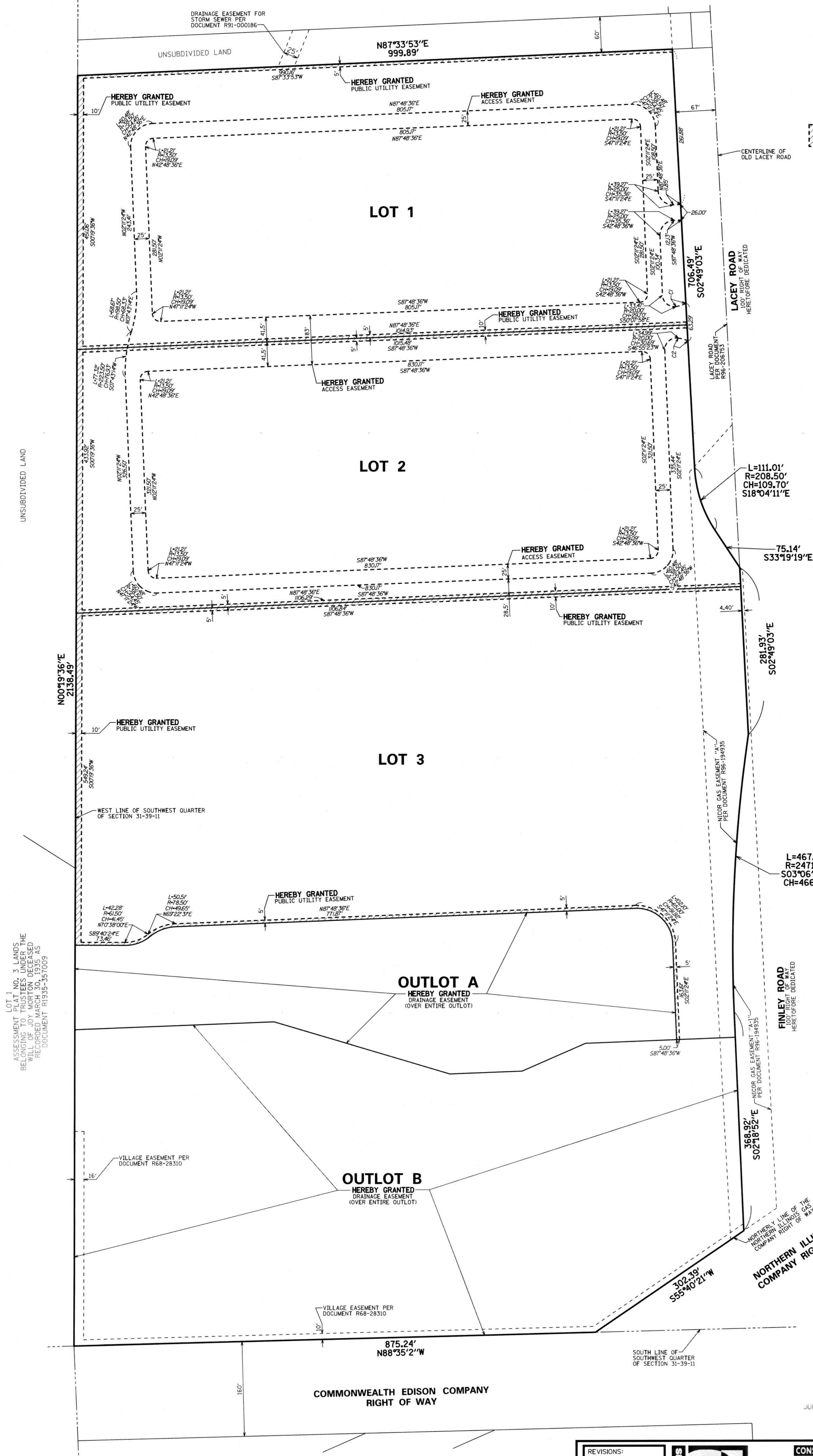
BASIS OF BEARINGS:
TRUE NORTH BASED ON GEODETIC
OBSERVATION IL EAST ZONE

PUBLIC UTILITY EASEMENT
 HEREBY GRANTED

CURVE TABLE	
C1 =	L=17.36' R=208.50' CH=109.70' S18°04'11"E
C2 =	L=111.01' R=208.50' CH=109.70' S18°04'11"E



PLAT
R2018-025167
MAR. 23, 2018 9:20 AM
PLAT PAGE COUNT: 4
ACCOMPANYING PAPERS: N



LOT 1
ASSESSMENT DIST. NO. 1 LANDS
BELONGING TO TRUSTEES UNDER THE
WILL OF JOY MORTON DECEASED
RECORDED MARCH 30, 1935 AS
DOCUMENT R1935-357009

PREPARED FOR:
BRIDGE DEVELOPMENT PARTNERS LLC
1000 IRVING PARK ROAD
SUITE 150
ITASCA, ILLINOIS 60143

REVISIONS:	
10/20/2017	
11/27/2017	
02/12/2018	
02/16/2018	
03/09/2018	



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

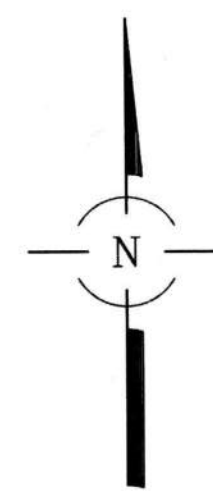
9575 W. Higgins Road, Suite 700,
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Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 09/15/2017
JOB NO: 2529.03
FILENAME: 2529.03SUB-01
SHEET 2 OF 4

FINAL PLAT OF SUBDIVISION OF BRIDGEPOINT DOWNERS GROVE

PART OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

EXISTING BOUNDARY INFORMATION

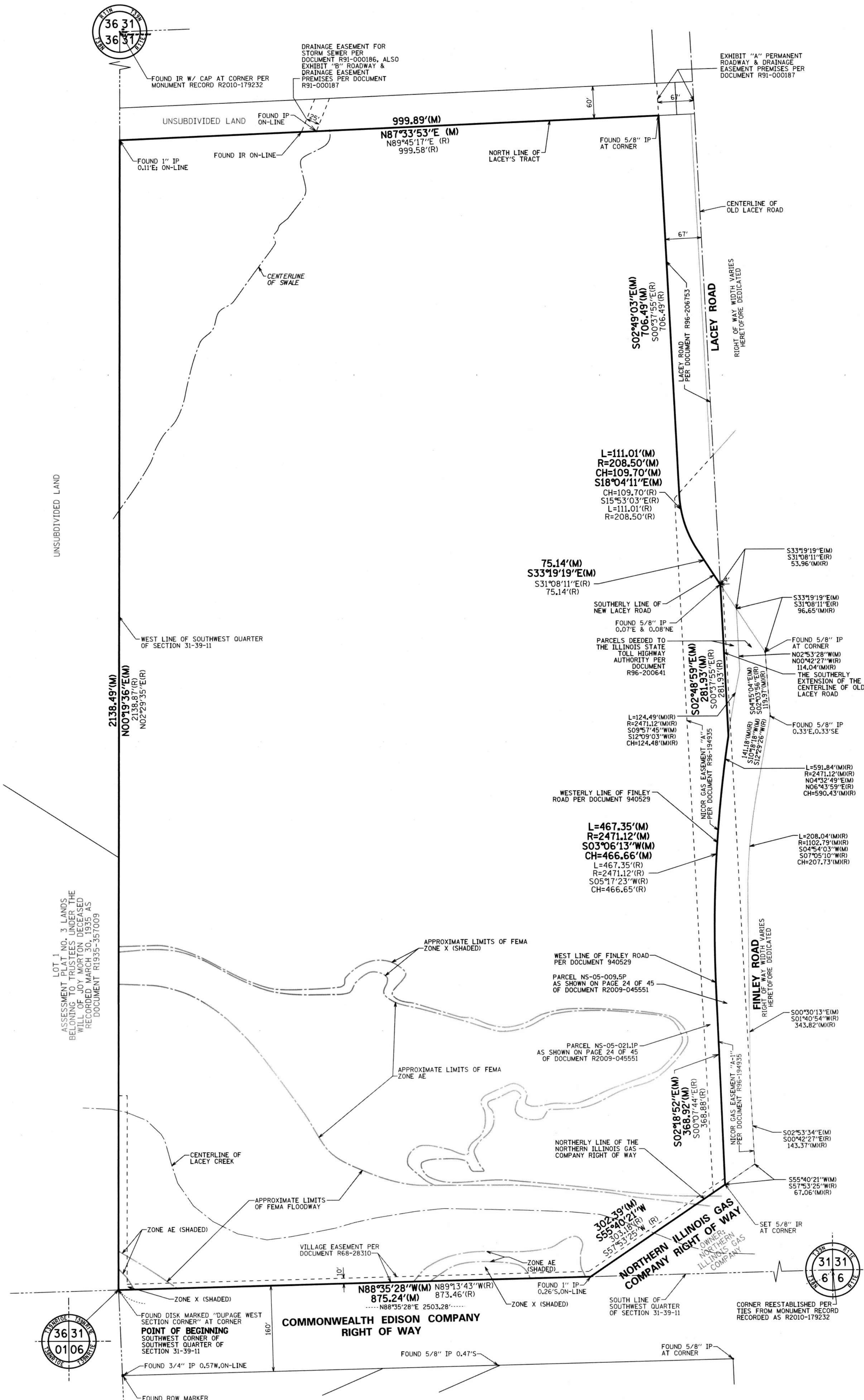


SCALE 1" = 100'
0 100 200

BASIS OF BEARINGS:
TRUE NORTH BASED ON GEODETIC
OBSERVATION 1L EAST ZONE



PLAT
R2018-025167
MAR. 23, 2018 9:20 AM
PLAT PAGE COUNT: 4
ACCOMPANYING PAPERS: N



PREPARED FOR:
BRIDGE DEVELOPMENT PARTNERS LLC
1000 IRVING PARK ROAD
SUITE 150
ITASCA, ILLINOIS 60143

DUPAGE CO RECORDER PAGE 3 OF 4

REVISIONS:
10/20/2017
01/24/2018
02/12/2018
02/16/2018
03/09/2018

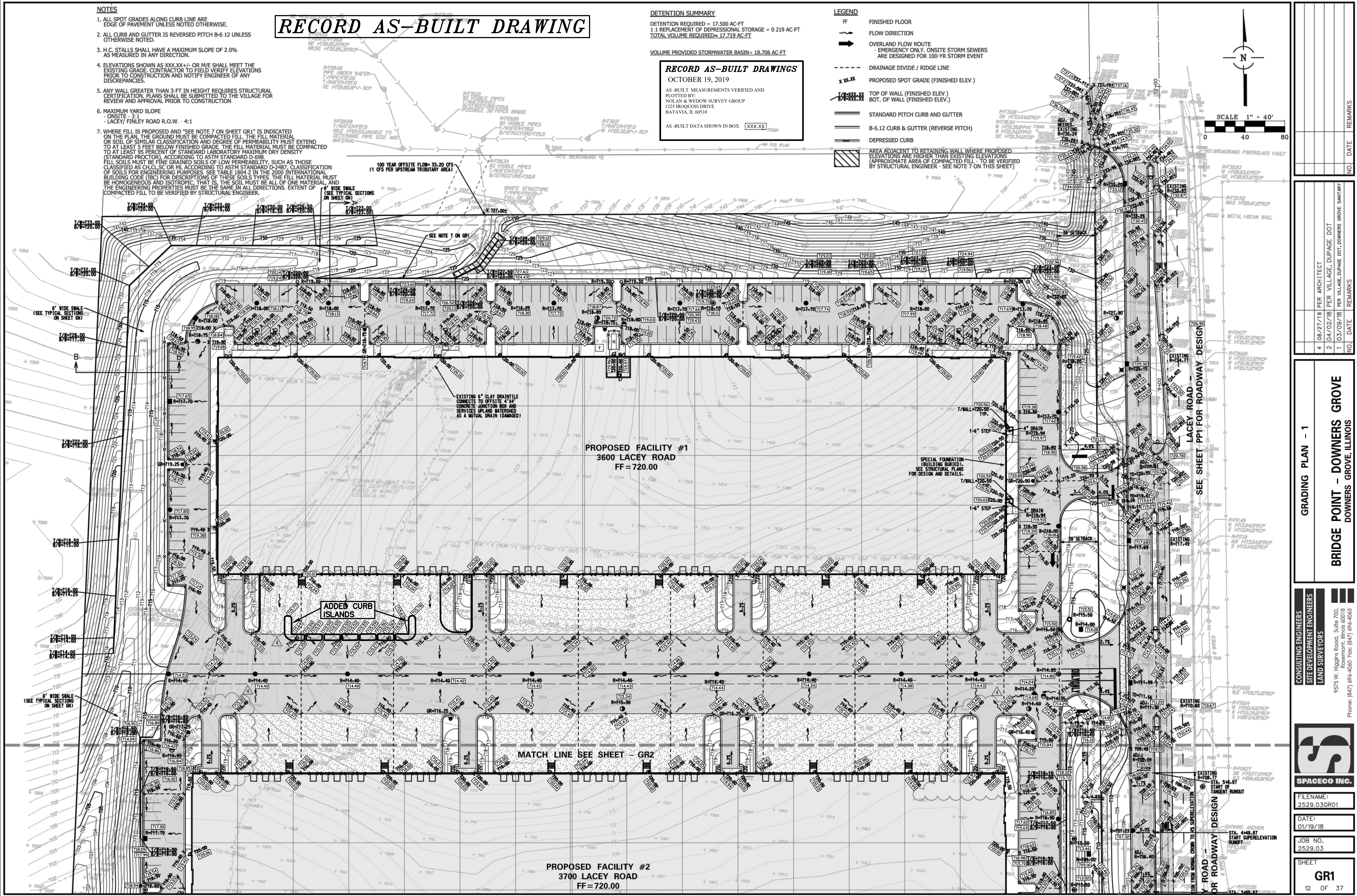


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DATE: 09/15/2017
JOB NO: 2529.03
FILENAME: 2529.03SUB-01
SHEET 3 OF 4

N: 14GN 2529 S	R: VEVY 2529 03 S	B: 01	den	SHEET	4	Seq	res	ov	Seq
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- NOTES**
1. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 2. ALL CURB AND GUTTER IS REVERSED PITCH B-6.12 UNLESS OTHERWISE NOTED.
 3. H.C. STALLS SHALL HAVE A MAXIMUM SLOPE OF 2.0% AS MEASURED IN ANY DIRECTION.
 4. ELEVATIONS SHOWN AS XXX.XX+/- OR M/E SHALL MEET THE EXISTING GRADE. CONTRACTOR TO FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 5. ANY WALL GREATER THAN 3-FT IN HEIGHT REQUIRES STRUCTURAL CERTIFICATION. PLANS SHALL BE SUBMITTED TO THE VILLAGE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 6. MAXIMUM YARD SLOPE
- ONSITE - 3:1
- LACEY/ FINLEY ROAD R.O.W. - 4:1
 7. WHERE FILL IS PROPOSED AND "SEE NOTE 7 ON SHEET GR1" IS INDICATED ON THE PLAN, THE GROUND MUST BE COMPACTED FILL. THE FILL MATERIAL OR SOIL OF SIMILAR CLASSIFICATION AND DEGREE OF PERMEABILITY MUST EXTEND TO AT LEAST 5 FEET BELOW FINISHED GRADE. THE FILL MATERIAL MUST BE COMPACTED TO AT LEAST 95 PERCENT OF STANDARD LABORATORY MAXIMUM DRY DENSITY (STANDARD PROCTOR) ACCORDING TO ASTM STANDARD D-698. FILL SOILS MUST BE FINE GRAINED SOILS OF LOW PERMEABILITY, SUCH AS THOSE CLASSIFIED AS CH, CL, SC OR ML ACCORDING TO ASTM STANDARD D-2487. CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES. SEE TABLE 1.004.2 IN THE 2000 INTERNATIONAL BUILDING CODE (IBC) FOR DESCRIPTIONS OF THESE SOIL TYPES. THE FILL MATERIAL MUST BE HOMOGENEOUS AND ISOTROPIC. THAT IS, THE SOIL MUST BE ALL OF ONE MATERIAL, AND THE ENGINEERING PROPERTIES MUST BE THE SAME IN ALL DIRECTIONS. EXTENT OF COMPACTED FILL TO BE VERIFIED BY STRUCTURAL ENGINEER.

RECORD AS-BUILT DRAWING

DETENTION SUMMARY

DETENTION REQUIRED - 17,500 AC-FT
1:1 REPLACEMENT OF DEPRESSIONAL STORAGE = 0.219 AC-FT
TOTAL VOLUME REQUIRED= 17,719 AC-FT

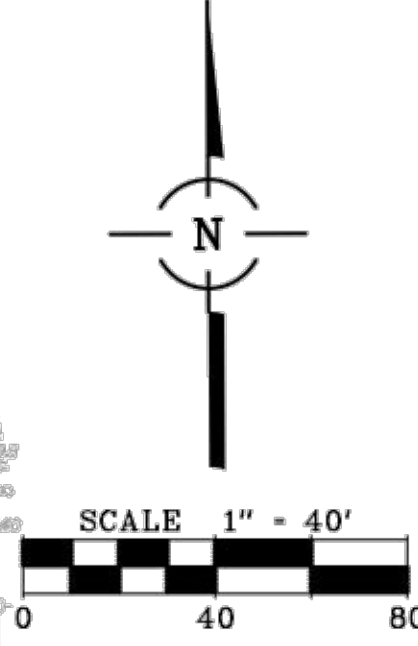
VOLUME PROVIDED STORMWATER BASIN= 18,706 AC-FT

RECORD AS-BUILT DRAWINGS
OCTOBER 19, 2019

AS-BUILT MEASUREMENTS VERIFIED AND PLOTTED BY:
NOLAN & WIDOW SURVEY GROUP
1235 BROOKINGS DRIVE
BATAVIA, IL 60510

AS-BUILT DATA SHOWN IN BOX XXX.XX

- LEGEND**
- FF FINISHED FLOOR
 - FLOW DIRECTION
 - OVERLAND FLOW ROUTE
- EMERGENCY ONLY. ONSITE STORM SEWERS ARE DESIGNED FOR 100-YR STORM EVENT
 - DRAINAGE DIVIDE / RIDGE LINE
 - XXX.XX PROPOSED SPOT GRADE (FINISHED ELEV.)
 - TOP OF WALL (FINISHED ELEV.)
BOT. OF WALL (FINISHED ELEV.)
 - STANDARD PITCH CURB AND GUTTER
 - B-6.12 CURB & GUTTER (REVERSE PITCH)
 - DEPRESSED CURB
 - AREA ADJACENT TO RETAINING WALL WHERE PROPOSED ELEVATIONS ARE HIGHER THAN EXISTING ELEVATIONS (APPROXIMATE AREA OF COMPACTED FILL - TO BE VERIFIED BY STRUCTURAL ENGINEER - SEE NOTE 7 ON THIS SHEET)



REMARKS	
NO.	DATE
4	08/27/18 PER ARCHITECT
2	04/02/18 PER VILLAGE, DUPAGE DOT
1	03/09/18 PER VILLAGE, DUPAGE DOT, DOWNERS GROVE SANITARY

GRADING PLAN - 1

BRIDGE POINT - DOWNERS GROVE
DOWNERS GROVE, ILLINOIS

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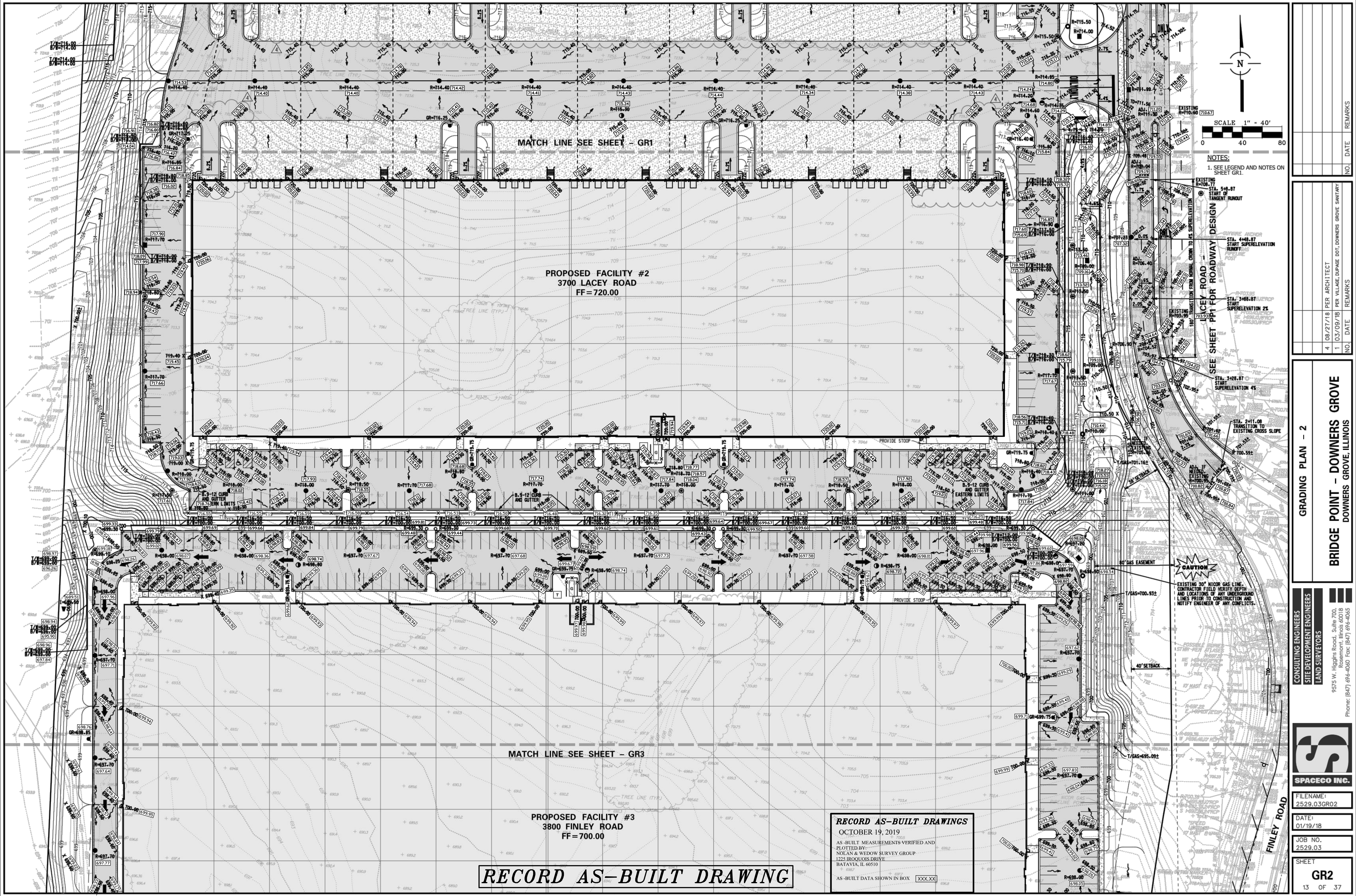
SPACECO INC.

FILENAME:
2529.03GR01

DATE:
01/19/18

JOB NO.
2529.03

SHEET
GR1
12 OF 37



NO.	DATE	REMARKS
4	08/27/18	PER ARCHITECT
1	03/09/18	PER VILLAGE, DUPAGE DOT, DOWNERS GROVE SANITARY

GRADING PLAN - 2

BRIDGE POINT - DOWNERS GROVE
DOWNERS GROVE, ILLINOIS

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SPACECO INC.

FILENAME:
2529.03GR02

DATE:
01/19/18

JOB NO.
2529.03

SHEET
GR2
13 OF 37

