

VILLAGE OF DOWNERS GROVE
Report for the Village Council Meeting
4/12/2022

SUBJECT:	SUBMITTED BY:
License Agreement with TMobile to Maintain and Operate a Communication Facility on Village Property (3801 Highland)	Enza Petrarca Village Attorney

SYNOPSIS

A resolution has been prepared authorizing approval of a License Agreement with TMobile Central, LLC d/b/a TMobile to maintain and operate a communication facility on Village property located at 3801 Highland Avenue.

STRATEGIC PLAN ALIGNMENT

The goals for 2021-2023 include *Steward of Financial, Environmental and Neighborhood Sustainability*.

FISCAL IMPACT

Approval of the proposed agreement would result in the Village collecting \$4,000 for the 3801 Highland Avenue site in monthly license fees with a 4% increase each year thereafter.

RECOMMENDATION

Approval on the April 12, 2022 consent agenda.

BACKGROUND

TMobile Central, LLC is a provider of digital communications in the Chicagoland area. Representatives contacted the Village concerning its desire to renew its license agreement with the Village and continue their operation of antenna on the Village's water tower located at 3801 Highland Avenue. They have had a license agreement with the Village on the 3801 Highland site since March 1, 2007. There will be no changes to the equipment or cabinets that currently exist on the property.

The proposed license agreement will commence upon execution. Approval of the proposed agreement would result in the Village collecting \$4,000 for the site in monthly license fees, with a 4% increase each year thereafter. The agreement shall run for two, 5-year terms ending on December 31, 2032.

ATTACHMENTS

Resolution
Agreement

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING EXECUTION OF A LICENSE AGREEMENT
BETWEEN THE VILLAGE OF DOWNERS GROVE AND TMOBILE CENTRAL, LLC
TO MAINTAIN AND OPERATE A COMMUNICATION FACILITY
ON VILLAGE PROPERTY (3801 HIGHLAND AVENUE)**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois as follows:

1. That the form and substance of a certain License Agreement ("Agreement"), between the Village of Downers Grove ("Village") and TMobile Central, LLC d/b/a TMobile ("Licensee") for the maintenance and operation of antenna equipment on Village property located at 3801 Highland Avenue, Downers Grove, IL, as set forth in the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provision of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____
Village Clerk

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**LICENSE AGREEMENT
BETWEEN THE VILLAGE OF DOWNERS GROVE AND
T-MOBILE CENTRAL LLC TO MAINTAIN AND OPERATE A
COMMUNICATIONS FACILITY ON VILLAGE PROPERTY**

WITNESSETH

WHEREAS, the Village of Downers Grove (hereinafter referred to as the "Village") is an Illinois municipal corporation and a home rule unit, pursuant to the laws of the State of Illinois; and

WHEREAS, the Village is the owner and lessor of certain real estate located at 3801 Highland Avenue, Downers Grove, Illinois (the "Property"), upon which is located a Village Water Tower (hereinafter referred to as the "Tower"); and

WHEREAS, - T-Mobile Central LLC ("Licensee"), a Delaware limited liability company (hereinafter referred to as "Licensee") desires to operate a wireless telecommunications facility on the Property and Tower; and

WHEREAS, Licensee and Village entered into that certain License Agreement dated March 1, 2007 ("Original Agreement"), the term of which is set to expire on February 28, 2022; and

WHEREAS, Licensee has requested permission to license space on the Tower (the "Tower Space") for the continued operation and maintenance of its antennas, coax cabling, TMAs and ancillary equipment related thereto (hereinafter collectively referred to as the "Equipment") and ground space (the "Ground Space") for the placement of its cabinets, radios, backup batteries and other ground based equipment ("Ground Equipment") - the Tower Equipment and Ground Equipment are sometimes collectively referred to herein as the "Licensee Facilities".

NOW, THEREFORE, in consideration of the mutual promises, covenants and conditions, the Village and Licensee agree as follows:

1. **CONTRACT DOCUMENTS:** The provisions set forth in the preamble and the following exhibits are incorporated into and made a part of this Agreement:
 - a. Exhibit 1 - Site map(s) of the Property (or upgrades thereto), as amended from time to time and approved by the Village, showing the Tower Space and the Ground Space, together with the areas on the Property licensed to Licensee to provide access and utility service to the Ground Space (collectively, the "Licensed Premises") which includes location of any proposed underground utilities necessary for operation of the Licensee Facilities.
 - b. Exhibit 2 - Plans and specifications (or upgrades thereto), as amended from time to time and approved by the Village, for the Licensee Facilities, including any conduit routes, cabling runs, and utility lines to be installed on the Property.

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- c. Exhibit 3 - Plans and specifications (or upgrades thereto), as amended from time to time and approved by the Village, for the antennas and any cables or utility lines installed on the Licensed Premises for any sublicensee, if any.
2. **GRANT OF LICENSE:** The Village hereby grants to the Licensee the right, permission and authority to install, operate, maintain, repair and remove the Licensee Facilities upon the terms and conditions hereinafter specified. This Agreement shall not terminate upon the sale, assignment or transfer of the Property, but shall run with the land.
3. **SPECIFICATIONS:** Licensee shall comply with the following specifications:
 - a. During the term of this Agreement, there shall be no substantial variations, modifications, or upgrades from the plans and specifications contained in the attached Exhibits without the prior written approval of the Village, which approval shall not be unreasonably withheld or delayed.
 - b. The Antenna Equipment shall be installed, attached to the Tower, and maintained in conformance with Exhibit 2 and any applicable State and federal requirements. The Antenna Equipment shall be located more than ten feet (10') from any existing antenna equipment installed prior to Licensee's Antenna Equipment and shall not exceed ninety-six inches (96") in height.
4. **CONSTRUCTION, INSTALLATION AND MAINTENANCE:** Licensee may install, repair, maintain, or replace the Licensee Facilities, subject to the following conditions:
 - a. Licensee shall obtain all required permits and authorizations from the Village, in accordance with the applicable ordinances, prior to commencing any work under this Agreement. Such work shall comply with applicable codes and regulations and shall be conducted in a workmanlike manner.
 - b. Licensee shall obtain all necessary approvals from any regulatory authorities for the operation of the Licensee Facilities. Further, the Licensee shall comply with all applicable laws and regulations of such regulatory authorities including, but not limited to the Federal Communications Commission ("FCC").
 - c. All costs connected with the installation, maintenance, repair, use and removal of the Licensee Facilities and any related equipment shall be the responsibility of the Licensee.
 - d. Licensee shall not take any action, or allow any action by parties acting at the direction of Licensee, to be done which may impair the use of or damage the Tower.
 - e. Licensee may not interfere with the use by the Village, its officers, agents and employees, of the Tower or the Property.
 - f. Licensee shall be entitled to access the Licensee Facilities Monday through Friday, 7:00

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- a.m. to 3:30 p.m. Central Time, by contacting the Village Building Services Department at (630) 434-5551 (801 Burlington Tower) or the Public Works Department at (630) 434-5460 (for all other Towers). If access is required after business hours, on weekends, on a holiday or in the event of an emergency, Licensee shall contact the Village at (630) 434-5600. Except in emergency situations, Licensee may be required to pay the Village of Downers Grove for costs incurred for Tower access after-hours.
- g. Licensee shall maintain the Licensee Facilities in good repair, and in a clean and slightly condition.
 - h. Upon termination of this Agreement by either party, Licensee shall, within thirty (30) days and at its expense, remove the Licensee Facilities and restore the Licensed Premises to substantially its original condition, reasonable wear and tear excepted. If the Licensee Facilities are not removed within thirty (30) days, the Village may remove the Licensee Facilities and Licensee shall reimburse the Village for the costs of such removal.
 - i. If Licensee abandons its use of the Licensee Facilities, Licensee shall, within thirty (30) days of receipt of written notice from the Village notifying the Licensee of such abandonment and at its expense, remove the Licensee Facilities and restore the Tower Space to substantially its original condition. The Licensee Facilities will be presumed abandoned if they are not operated for a period of one month or more. If the Licensee Facilities are not removed within thirty (30) days, the Village may remove the Licensee Facilities and Licensee shall reimburse the Village for the costs of such removal.

5. NON-INTERFERENCE WITH VILLAGE OPERATIONS:

Neither this Agreement nor the Licensee Facilities shall interfere with or obstruct the functioning of the Village's operations and services. Licensee warrants that the Licensee Facilities shall be constructed, installed, maintained and operated in such a manner as to not interfere with or obstruct any radio or electronic equipment or signals of the Village's radio and data systems. In the event such interference occurs, and the interference cannot be eliminated by Licensee after reasonable efforts, the Village may terminate this Agreement, in accordance with Paragraph 8(b) of this Agreement. Provided, after notice to Licensee, the Village may immediately terminate this Agreement, or require that operation of the Antenna or any of Licensee's Facilities be immediately ceased where it determines that the Licensee Facilities present an immediate and serious danger to the public health, welfare or safety due to interference with the operation of the Village's radio and data systems.

6. TERM:

- a. This Agreement shall have an initial term beginning March 1, 2022 (the "Commencement Date") and ending December 31, 2022, and two (2) five-year extension terms (the "Extension Terms") beginning January 1, 2023, and January 1, 2028, respectively. Each Extension Term shall automatically commence unless either party provides written notice to the other party of its election not to renew this Agreement at least twelve (12) months prior to the expiration of the then current term. If all Extension Terms occur, the final expiration date of the Agreement shall be December

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31, 2032.

- b. After January 1, 2030, Licensee may request the Village to enter into negotiations towards renewing or extending this Agreement. Any renewal or extension shall be according to terms that are mutually agreeable and the Village shall not be bound to accept any particular terms or to renew any or all of the rights granted by this Agreement.

7. **COMPENSATION:** The monthly license fee for the initial term shall be Four Thousand and No/100 Dollars (\$4,000.00). Beginning on January 1, 2023, and in each subsequent year during the term of this Agreement, the monthly license fee shall increase in an amount equal to the fee for the preceding year multiplied by four percent (4%). The monthly fee shall be paid to the Village of Downers Grove, Village Hall, 801 Burlington Avenue, Downers Grove, IL 60515 each month by the 10th of the month.

8. **TERMINATION:** This Agreement may be terminated as follows:

- a. Licensee may terminate this Agreement at any time upon sixty (60) days written notice to the Village without further liability if Licensee does not obtain all permits or other approvals required from any governmental authority or any easements required from any third party to operate the PCS system, or if any such approval is canceled, expires or is withdrawn or terminated, or if the Village fails to have proper ownership of the Tower or Property or authority to enter into this Agreement, or if Licensee, for any other reason, in its sole discretion, determines that it will be unable to use the Tower or the Property; however, if Licensee terminates this Agreement without cause, it shall pay the Village a termination penalty equal to three (3) months of the then current rental amount.
- b. In the event either party fails to comply with the terms of this Agreement, such party shall be considered in default and the non-defaulting party may serve written notice of its intent to terminate this Agreement. Except where the public health or safety is threatened, the notice shall give the defaulting party not less than thirty (30) days to correct such non-compliance. In the event the default is not corrected within thirty (30) days of such notice, the non-defaulting party may terminate this Agreement by serving a written notice of termination. Notwithstanding the preceding, if any default cannot be cured within thirty (30) days and the defaulting party has diligently commenced and continues to take reasonable action necessary to cure the default, the defaulting party shall be entitled to a reasonable extended period of time in order to cure the default.
- c. In the event the Tower is destroyed or substantially damaged so as to substantially affect Licensee's use of the Property, this Agreement shall be considered terminated.

9. **TOWER REPAIR/MAINTENANCE:** Upon receiving ninety (90) days' notice from the Village that it intends to repair or perform maintenance to the Tower, Licensee shall, at its own expense and in such manner as the Village shall reasonably request, immediately

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remove, relocate, change or alter the position of the Antenna Equipment. During the term of this Agreement, the Tower may be refurbished and/or painted. Refurbishment and/or painting will take several months to complete (approximately five to eight months). Prior to beginning refurbishment and/or painting, the Village will notify Licensee in writing at least ninety (90) days' prior to the beginning of the refurbishment and/or painting. Licensee shall remove its Antenna Equipment from the Tower Space on or before the expiration of the ninety (90) day notice period and shall not reinstall such equipment until the refurbishment and/or painting is completed and the Village has approved such reinstallation, which approval shall not be unreasonably withheld, conditioned or delayed. During such period, Licensee may, at its sole cost and expense, install its Antenna Equipment on a temporary telephone pole or bring a cell on wheels outside the shrouded area of the Tower in a location approved by both the Village and Licensee. However, such temporary arrangement shall not interfere with the refurbishment and/or painting of the Tower or with other Village operations on the Property. The Village shall not be responsible for any costs of removal, relocation, and reinstallation of the Antenna Equipment as a result of the refurbishment and/or painting and. The Village shall remain entitled to the license fee as provided in Section 7. COMPENSATION, above but only if Licensee is able to operate a temporary facility during the renovation and/or painting.

10. RESTORATION: When the Licensee does any work on or affecting the Licensed Premises, it shall, at its own expense, restore the Licensed Premises to as good a condition as existed before the work was undertaken, unless otherwise directed by the Village. If the Licensee fails to restore the Licensed Premises, the Village may, after communications with the Licensee and after affording the Licensee a reasonable opportunity to correct the situation, restore the Licensed Premises, or remove the obstruction therefrom. No such prior written notice shall be required in the event that the Village determines that an emergency situation exists. Licensee shall pay the Village for any reasonable costs of such restoration within fourteen (14) business days after receiving a bill and supporting documentation from the Village for such work.

11. UTILITIES: Licensee shall be responsible for obtaining adequate utilities for operation of the Licensee Facilities, including electricity from any source available on the Property as long as the electricity for the Licensee Facilities are separately metered. Any utilities to be installed must be underground and at a location approved by the Village, such approval not to be unreasonably withheld, conditioned or delayed. Licensee shall pay for the electricity or any other utility it uses in its operations at the rate charged by the servicing utility company and the Village shall not be liable for such charges.

12. TAXES: Licensee shall obtain a leasehold PIN and shall be solely responsible for payment of taxes on the leasehold on the Property (PIN #09-20-301-012) which are assessed as a result of Licensee's Facilities and directly attributable to its use of the Property under the terms of this Agreement. **Licensee shall provide a copy of this Agreement to the DuPage County Supervisor of Assessments and shall request and insure that the tax bill for the leasehold is sent directly to Licensee.** Licensee shall then pay the taxes owed directly to the County Assessor's Office by the due date indicated on the tax bill. Licensee shall be solely responsible to pay any late fees, interest or penalties if not paid by the due date. Licensee shall have the right, at

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its own expense and without expense to the Village, to contest by appropriate proceedings, conducted with due diligence and in good faith, the validity of the amount of taxes or reassessment as applicable to the Licensed Premises or the Licensee Facilities. In the event that the Village becomes aware of any tax delinquency and that delinquency is not cured by the Licensee within thirty (30) days from the date the Village sends written notice, the Village shall have the right to remove any of Licensee's equipment and terminate this Agreement.

13 INDEMNIFICATION: Licensee shall indemnify, become responsible for and hold harmless the Village, its boards, committees, commissions, officers, agents and employees from any and all liability arising out of the existence of this Agreement; the installation, existence, maintenance or repair of the Licensee Facilities, or any act or omission of Licensee, its officers, agents and employees, except for liability which arises from the Village's or its employees' or agents' negligence or intentional misconduct.

For purposes of this Agreement, the term "liability" includes, but is not limited to: actual or claimed loss or damage to property or injury to or death of persons; actual or claimed responsibility for such loss, damage, injury or death; and any and all judgments, decrees, costs and expenses of every sort and kind of incident to such loss, damage, injury, death or responsibility, including, but not limited to, court costs, fines and reasonable attorney's fees.

14. INSURANCE: At all times while this Agreement remains in effect, and in recognition of the indemnification provided in the foregoing Section 12, Licensee shall, at its own cost and expense, maintain a program of liability insurance and/or self-insurance as follows:

- d. During the Term of this Agreement, Licensee shall procure, pay for and maintain in full force and effect (i) workers' compensation insurance as required by law and which insures Licensee against workers' compensation claims arising out of Licensee's activities on the Tower; (ii) special causes of loss insurance covering the Licensee Facilities in an amount not less than one hundred percent (100%) of their actual replacement cost; and (iii) commercial general liability insurance, including broad form property damage insurance for bodily injuries and property damage. Such General Liability Insurance shall include coverage for the premises, operations, underground, collapse, explosion, products and the loss of use, and shall include as additional insureds the Village, and its officers, boards, commissions, elected and appointed officials, agents and employees. Such insurance shall be in the amount of One Million Dollars (\$1,000,000.00) per occurrence and Two Million Dollars (\$2,000,000.00) in the aggregate.
- e. During Construction/Installation. During construction/installation, Licensee's contractor shall also maintain and provide Village with evidence of each of the insurance coverages specified in subparagraph (a) and in the amounts so specified. In addition, the contractor shall provide builder's risk insurance on an "all risks" basis for one hundred percent (100%) of the insurable value of all construction work in place or in progress from time to time, insuring the project, including materials in storage and while in transit, against loss or damage by fire or other casualty, with extended coverage,

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vandalism and malicious mischief coverage, bearing a replacement cost agreed amount endorsement.

- f. Policies. The policy or policies of insurance required by subparagraphs (a) and (b) shall be underwritten by a company or companies authorized to do business in the State of Illinois, shall maintain a minimum A.M. Best's rating of A-VII, shall include the Village as an additional insured and a certificate of insurance shall be delivered, epetrarca@downers.us, to the Village prior to the commencement of the term of this Agreement. Licensee or, where applicable, Licensee's contractors shall furnish the Village with a written notice of any cancellation of insurance required under this Section.

15. LIENS: Licensee agrees that it will not permit or suffer any lien to be put upon or arise or accrue against the Property in favor of any person or persons, individual or corporate, furnishing either labor or material in any work herein proposed, and the Licensee further covenants and agrees to hold the Village and its property free from any and all liens, or rights or claim of lien, which may or might arise or accrue under or be based upon any mechanic's lien law of the State of Illinois. If any such lien or claim for lien is filed or recorded against the Property, the Village shall give Licensee notice thereof and demand that Licensee remove the same, or post adequate security to insure the removal of the same following the resolution of any dispute between Licensee and the lienholder, within thirty (30) days after receiving such notice. Nothing in this provision shall restrict Licensee from granting a security interest in all or any part of the Licensee Facilities and to file of record UCC financing statements and/or fixture filings to perfect the same.

16. ASSIGNMENT AND SUBLEASING: This Agreement may not be assigned or transferred without the express written consent of the Village, which shall not be unreasonably withheld, conditioned or delayed. The Village agrees to respond to any such request within thirty (30) days from receipt of the request. Any assignment or transfer without such written consent shall, at the option of the Village, be deemed to be void and of no effect. Provided, however, this Agreement may be assigned or transferred to Licensee's parent or subsidiary of its parent, successor legal entity or other affiliate of Licensee without the Village's written consent as long as the Village is given written notice of the assignment or transfer within thirty (30) days thereof.

The Village must approve any sublease to any entity that is not Licensee's parent or subsidiary, successor legal entity or other affiliate of Licensee and the Village shall be entitled to fifty percent (50%) of any sublease revenue in addition to the license fee as described in Section 7. COMPENSATION, above.

17. HAZARDOUS SUBSTANCES:

- g. The Village represents and warrants that it has no knowledge of any Hazardous Substance (as defined below) existing on the Property in violation of any applicable federal, State or local law, regulation or ordinance. The Village further agrees to hold Licensee harmless from and indemnify Licensee against any damage, loss or expense or liability resulting from the existence on the Property of any such Hazardous

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Substance(s), including all reasonable attorney's fees and consultant fees, costs and penalties, incurred as a result thereof, unless caused by Licensee or any of its employees or agents.

- h. Licensee represents and warrants that its use of the Licensed Premises will not generate any hazardous substance, and that it will not store or dispose on the Licensed Premises, nor transport to or over the Licensed Premises, any Hazardous Substance in violation of any applicable federal, State or local law, regulation or ordinance. Licensee further agrees to hold the Village harmless from and against and indemnify the Village against any release of such Hazardous Substance to the extent caused by Licensee, or any of its employees or agents, and any damage, loss, or expense or liability resulting therefrom, including reasonable attorney's fees and consultant fees, costs and penalties, incurred as a result thereof, which was caused by Licensee or any of its agents.
- i. "Hazardous Substance" as used herein shall mean any substance or material defined or designated as hazardous or toxic waste, hazardous or toxic materials, hazardous or toxic radioactive substance, or other similar term by any federal, State or local environmental law, regulation or ordinance presently in effect or promulgated in the future.

18. COST OF ENFORCEMENT: The prevailing party in any action or proceeding in court or mutually agreed upon arbitration proceeding to enforce the terms of this Agreement shall be entitled to receive its reasonable attorney's fees and other reasonable enforcement costs and expenses from the non-prevailing party.

19. INVALIDITY: If any section, paragraph, clause or provision of this Agreement shall be held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any of the other provisions of this Agreement.

20. FORCE MAJEURE: Neither party shall be deemed in violation of this Agreement for the delay in performance or failure to perform in whole or in part its obligations under this Agreement due to strike, war or act of war (whether an actual declaration is made or not), insurrection, riot, act of public enemy, fire, flood, epidemic, pandemic or other act of God or by other events to the extent that such events are caused by circumstances beyond such party's control.

21. NOTICES: Unless otherwise specified herein, all notices under this Agreement shall be made in writing and delivered to:

Village:
Village Manager
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515
630.434-5500

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With Copy to:

Village Attorney
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515
630.434-5541

Licensee:

T-Mobile USA, Inc.
12920 SE 38th Street
Bellevue, WA 98006
Attn: Lease Compliance
Site No.: CH45623A

22. **GOVERNING LAW AND VENUE:** This Agreement shall be governed by the laws of the State of Illinois. Venue is only proper in the DuPage County Circuit Court, Illinois or the federal Northern District of Illinois

23. **MISCELLANEOUS.**

- j. If any term of this Agreement is found to be void or invalid, the remaining terms of this Agreement shall continue in full force and effect. Any questions of particular interpretation shall be interpreted as to their fair meaning.
- k. This Agreement and the interests granted herein shall run with the land, and shall be binding upon and inure to the benefit of the parties, their respective successors, personal representatives and assigns.
- l. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, but all of which together shall constitute a single instrument. Signed facsimile and electronic copies of this Agreement shall legally bind the parties to the same extent as original documents.

DocuSign Envelope ID: 011B642A-C341-415E-BBE5-E248FE05A98F

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IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the 30 day of March, 2022.

LICENSEE:
T-MOBILE CENTRAL LLC,
a Delaware limited liability company

VILLAGE OF DOWNERS GROVE

By: [Signature]

By: _____
Village Manager

Title: Sr. Manager, Technology Services

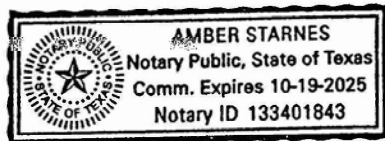
ATTEST:

Village Clerk

Subscribed and sworn to this 30 day of March, 2022.

[Signature]
Notary Public

I:\na\agr.21\ntenna\TMobile\Highland\01-06-22-draft



TMO Signatory Level: L08/SL08

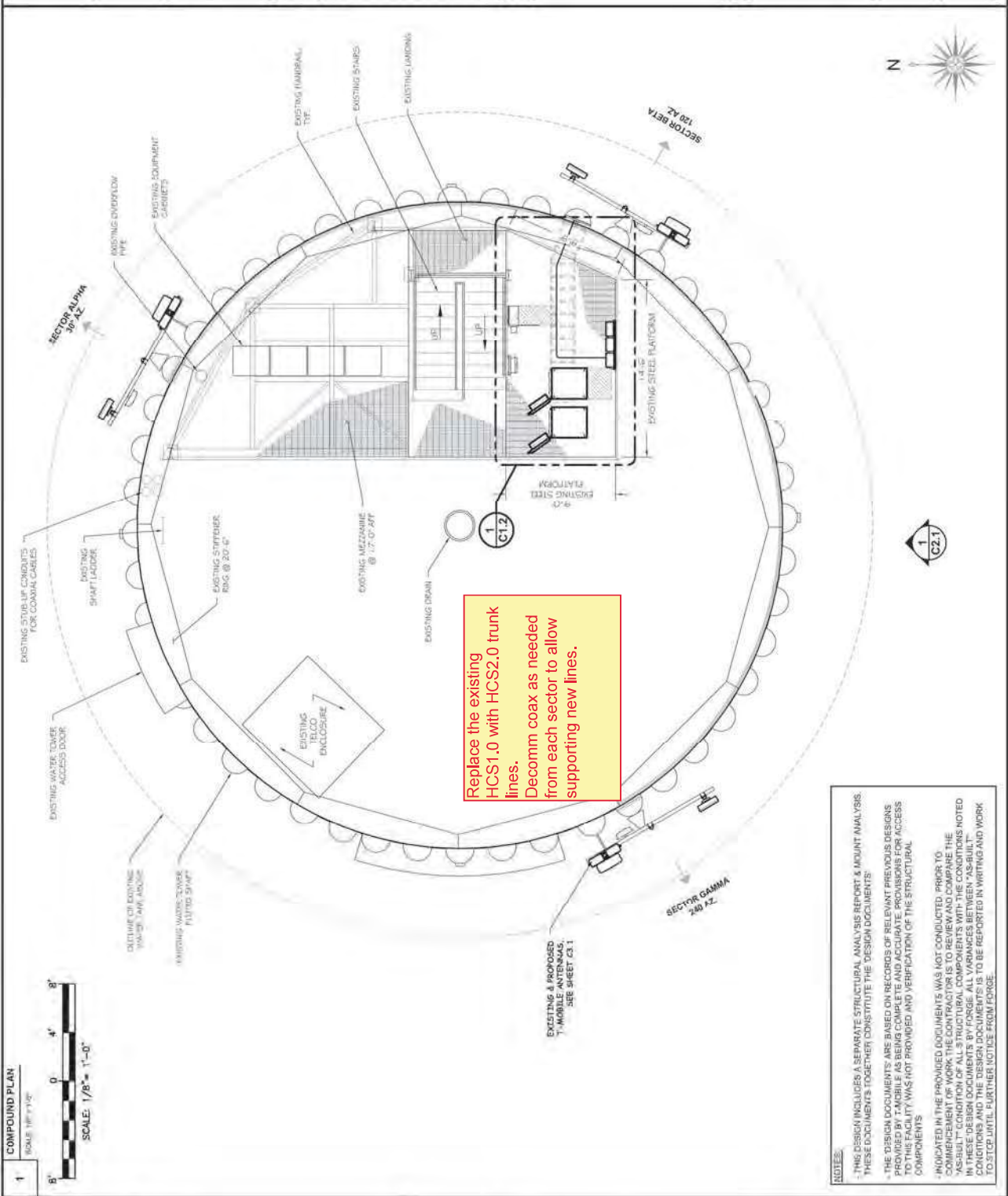
T-Mobile Legal Approval By

[Signature]

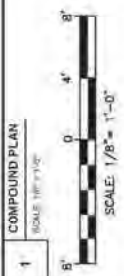
Site CH45623A

EXHIBIT 1

 T-Mobile T-MOBILE USA, INC. 2001 BUTTERFIELD RD DOWNERS GROVE, IL 60515	 Insite inc. 1000 W. BROADWAY SUITE 200 CHICAGO, IL 60606	 FORGE FORGE ENGINEERING, INC. 1400 W. BROADWAY SUITE 200 CHICAGO, IL 60606	FORCE PROJECT NO. 8104 DRAWN BY: AC CHECKED BY: JL	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/17/20</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>10/20/20</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </tbody> </table>	REV.	DATE	DESCRIPTION	1	10/17/20	ISSUED FOR PERMIT	2	10/20/20	ISSUED FOR CONSTRUCTION	 FREDRICK Y. BENJAMIN REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS 082-033842	CH45623A DOWNERS GROVE WT 3701 HIGHLAND AVE DOWNERS GROVE, IL 60515 WATER TOWER	COMPOUND PLAN C1.1
REV.	DATE	DESCRIPTION														
1	10/17/20	ISSUED FOR PERMIT														
2	10/20/20	ISSUED FOR CONSTRUCTION														



Replace the existing HCS1.0 with HCS2.0 trunk lines.
 Decomm coax as needed from each sector to allow supporting new lines.



LEGEND	DESCRIPTION
	MANHOLE/VALVE VAULT
	CATCH BASIN
	CUB INLET
	VALVE
	FIRE HYDRANT
	STREET LIGHT/POLE
	UTILITY/POWER POLE
	GU WIRE/ANCHOR
	TELEPHONE PEDESTAL
	ELECTRIC METER
	GAS METER
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SIGN
	MAIL BOX
	HANDHOLE
	DRAINPIPE
	FE (AT END OF PIPE)
	CHAIN LINK FENCE
	WOOD FENCE
	DEPRESSED CURB
	CONCRETE CURB & GUTTER
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	OVERHEAD WIRES
	UNDERGROUND TELCO
	GAS LINE
	UNDERGROUND FIBER
	BURSHRUB
	TREE DECIDUOUS
	TREE NON-DECIDUOUS
	DRAINAGE ARROW
	CONTOUR LINE
	SPOT ELEVATION
	TOP OF FOUNDATION
	TOP OF CONCRETE
	FINISHED FLOOR
	ABOVE GROUND LEVEL
	BOUNDARY LINE
	CONCRETE
	ASPHALT
	GRAVEL
	BRICK
	NEW BUILDING/EQUIPMENT
	EXISTING BUILDING
	LEASE SITE
	EASEMENT

NOTES:

- THE DESIGN INCLUDES A SEPARATE STRUCTURAL ANALYSIS REPORT & MOUNT ANALYSIS. THESE DOCUMENTS TOGETHER CONSTITUTE THE DESIGN DOCUMENTS.
- THE DESIGN DOCUMENTS ARE BASED ON RECORDS OF RELEVANT PREVIOUS DESIGNS PROVIDED BY T-MOBILE AS BEING COMPLETE AND ACCURATE. PROVISIONS FOR ACCESS TO THIS FACILITY WAS NOT PROVIDED AND VERIFICATION OF THE STRUCTURAL COMPONENTS.
- INDICATED IN THE PROVIDED DOCUMENTS WAS NOT CONDUCTED. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR IS TO REVIEW AND COMPARE THE "AS-BUILT" CONDITION OF ALL STRUCTURAL COMPONENTS WITH THE CONDITIONS NOTED IN THESE DESIGN DOCUMENTS BY FORGE. ALL VARIANCES BETWEEN "AS-BUILT" CONDITIONS AND THE DESIGN DOCUMENTS TO BE REPORTED IN WRITING AND WORK TO STOP UNTIL FURTHER NOTICE FROM FORGE.

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EXHIBIT 2

DocuSign Envelope ID: 011B642A-C341-415E-BBE5-E248FE05A98F



CH45623A DOWNERS GROVE WT

3701 HIGHLAND AVE
DOWNERS GROVE, IL 60515

T-Mobile
Redline

SITE TYPE
WATER TOWER
PROJECT TYPE
ANCHOR



T-MOBILE USA, INC.
2001 BUTTERFIELD RD.
DOWNERS GROVE, IL 60515



FORGE PROJECT NO. 8104
DRAWN BY: AC
CHECKED BY: JL

FORGE PROJECT NO. 8104
DRAWN BY: AC
CHECKED BY: JL

FORGE PROJECT NO. 8104
DRAWN BY: AC
CHECKED BY: JL

FORGE PROJECT NO. 8104
DRAWN BY: AC
CHECKED BY: JL

FORGE PROJECT NO. 8104
DRAWN BY: AC
CHECKED BY: JL

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DRAWN BY: AC
CHECKED BY: JL

SITE INFORMATION

PROPERTY OWNER: VILLAGE OF DOWNERS GROVE
881 BURLINGTON AVE.
DOWNERS GROVE, IL 60515
OWNER CONTACT: TEL: (630) 434-5500

PROJECT NO.: CH45623A
3701 HIGHLAND AVE
DOWNERS GROVE, IL 60515
TEL: (630) 560-0643

SITE ADDRESS: 3701 HIGHLAND AVE
DOWNERS GROVE, IL 60515

CLIENT: RITE R.E. INC.
15660 MIDWEST RD. STE 140
OAKBROOK TERRACE, IL 60181
TEL: (630) 560-1004

COUNTY: DUPage

ENGINEERING CONTACT:

JURISDICTION: VILLAGE OF DOWNERS GROVE

FORGE SERVICES, INC.
15660 MIDWEST RD. STE 140
OAKBROOK TERRACE, IL 60181
TEL: (630) 451-0890
WWW.FORGE-WT.COM

FILE: T11

PROJECT NOTES

THESE DRAWINGS ARE PREPARED BASED ON RFD'S DATED 09/07/2020.
CONTRACTOR TO VERIFY AND OBTAIN LATEST HP-DS BEFORE CONSTRUCTION.
CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS, CONDITIONS, EQUIPMENT ACCESSIBILITY
AND MATERIALS WITH CONFIDENCE TO THESE DRAWINGS AND REPORT DISCREPANCIES BY
WRITING PRIOR TO BID SUBMITTAL.
CONTRACTOR TO OBTAIN "ISSUED FOR CONSTRUCTION" DRAWINGS PRIOR TO
CONSTRUCTION START.

DRAWING INDEX

NO.	SHEET NO.	SHEET TITLE	REVISION
1	T1.1	TITLE SHEET	
2	G1.1	GROUNDING PLAN	
3	G1.2	EQUIPMENT LAYOUT	
4	G2.1	ELEVATION	
5	G3.1	ANTENNA LAYOUT	
6	G4.1	EQUIPMENT DETAILS	
7	G5.1	EQUIPMENT DETAILS	
8	RF1.1	ANTENNA & CABLE SCHEDULE	
9	RF2.1	ANTENNA DETAILS	
10	RF3.1	RF CONFIGURATION DIAGRAM	
11	SL1.1	STRUCTURAL SERVICE	
12	EL1.1	BRANCH CIRCUITS	
13	G1.1	GROUNDING DIAGRAM	
14	G2.1	GROUNDING DETAILS	
15	GA1.1	GENERAL NOTES	
16	GA2.1	GENERAL NOTES	
17	GA3.1	GENERAL NOTES	
18	GA4.1	GENERAL NOTES	

LOCATION MAP

NO SCALE



AREA MAP



SCOPE OF WORK

QTY	EQUIPMENT	QTY	EQUIPMENT
01	EXISTING FOUNDATION TO BE REMOVED	01	NEW FOUNDATION
02	EXISTING TOWER TO BE REMOVED	02	NEW TOWER
03	EXISTING TRUSS TO BE REMOVED	03	NEW TRUSS
04	EXISTING ROOF TO BE REMOVED	04	NEW ROOF
05	EXISTING WALLS TO BE REMOVED	05	NEW WALLS
06	EXISTING FLOOR TO BE REMOVED	06	NEW FLOOR
07	EXISTING CEILING TO BE REMOVED	07	NEW CEILING
08	EXISTING DOORS TO BE REMOVED	08	NEW DOORS
09	EXISTING WINDOWS TO BE REMOVED	09	NEW WINDOWS
10	EXISTING MECHANICAL TO BE REMOVED	10	NEW MECHANICAL
11	EXISTING ELECTRICAL TO BE REMOVED	11	NEW ELECTRICAL
12	EXISTING PLUMBING TO BE REMOVED	12	NEW PLUMBING
13	EXISTING HVAC TO BE REMOVED	13	NEW HVAC
14	EXISTING PAINT TO BE REMOVED	14	NEW PAINT
15	EXISTING FINISHES TO BE REMOVED	15	NEW FINISHES
16	EXISTING INTERIORS TO BE REMOVED	16	NEW INTERIORS
17	EXISTING EXTERIORS TO BE REMOVED	17	NEW EXTERIORS
18	EXISTING LANDSCAPE TO BE REMOVED	18	NEW LANDSCAPE
19	EXISTING UTILITIES TO BE REMOVED	19	NEW UTILITIES
20	EXISTING STRUCTURES TO BE REMOVED	20	NEW STRUCTURES
21	EXISTING INFRASTRUCTURE TO BE REMOVED	21	NEW INFRASTRUCTURE
22	EXISTING SERVICES TO BE REMOVED	22	NEW SERVICES
23	EXISTING CONNECTIONS TO BE REMOVED	23	NEW CONNECTIONS
24	EXISTING ASSEMBLIES TO BE REMOVED	24	NEW ASSEMBLIES
25	EXISTING SYSTEMS TO BE REMOVED	25	NEW SYSTEMS
26	EXISTING EQUIPMENT TO BE REMOVED	26	NEW EQUIPMENT
27	EXISTING MATERIALS TO BE REMOVED	27	NEW MATERIALS
28	EXISTING COMPONENTS TO BE REMOVED	28	NEW COMPONENTS
29	EXISTING PARTS TO BE REMOVED	29	NEW PARTS
30	EXISTING ACCESSORIES TO BE REMOVED	30	NEW ACCESSORIES
31	EXISTING SUPPLIES TO BE REMOVED	31	NEW SUPPLIES
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51	EXISTING ACCESSORIES TO BE REMOVED	51	NEW ACCESSORIES
52	EXISTING SUPPLIES TO BE REMOVED	52	NEW SUPPLIES
53	EXISTING TOOLS TO BE REMOVED	53	NEW TOOLS
54	EXISTING EQUIPMENT TO BE REMOVED	54	NEW EQUIPMENT
55	EXISTING MATERIALS TO BE REMOVED	55	NEW MATERIALS
56	EXISTING COMPONENTS TO BE REMOVED	56	NEW COMPONENTS
57	EXISTING PARTS TO BE REMOVED	57	NEW PARTS
58	EXISTING ACCESSORIES TO BE REMOVED	58	NEW ACCESSORIES
59	EXISTING SUPPLIES TO BE REMOVED	59	NEW SUPPLIES
60	EXISTING TOOLS TO BE REMOVED	60	NEW TOOLS

CODE COMPLIANCE

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ILLINOIS BUILDING CODE, ILLINOIS ELECTRICAL CODE & LOCAL ORDINANCES.
• ILLINOIS BUILDING CODE (2015 IBC)
• ILLINOIS ELECTRICAL CODE (2017 NEC)
• LOCAL ORDINANCES (VILLAGE OF DOWNERS GROVE)
• ILLINOIS STRUCTURAL CODE (2015 IBC)
• ILLINOIS MECHANICAL CODE (2015 IBC)
• ILLINOIS PLUMBING CODE (2015 IBC)
• ILLINOIS HVAC CODE (2015 IBC)
• ILLINOIS PAINT CODE (2015 IBC)
• ILLINOIS FINISHES CODE (2015 IBC)
• ILLINOIS INTERIORS CODE (2015 IBC)
• ILLINOIS EXTERIORS CODE (2015 IBC)
• ILLINOIS LANDSCAPE CODE (2015 IBC)
• ILLINOIS UTILITIES CODE (2015 IBC)
• ILLINOIS STRUCTURES CODE (2015 IBC)
• ILLINOIS INFRASTRUCTURE CODE (2015 IBC)
• ILLINOIS SERVICES CODE (2015 IBC)
• ILLINOIS CONNECTIONS CODE (2015 IBC)
• ILLINOIS ASSEMBLIES CODE (2015 IBC)
• ILLINOIS SYSTEMS CODE (2015 IBC)
• ILLINOIS EQUIPMENT CODE (2015 IBC)
• ILLINOIS MATERIALS CODE (2015 IBC)
• ILLINOIS COMPONENTS CODE (2015 IBC)
• ILLINOIS PARTS CODE (2015 IBC)
• ILLINOIS ACCESSORIES CODE (2015 IBC)
• ILLINOIS SUPPLIES CODE (2015 IBC)
• ILLINOIS TOOLS CODE (2015 IBC)

ADDRESS

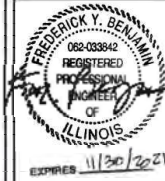
COORDINATES



LATITUDE: 41° 46' 12.00" N (41.770000° N) (NAD 83)
LONGITUDE: 88° 00' 34.92" W (88.009722° W) (NAD 83)
GROUND ELEVATION: 699 FT. (NAVD 88)
DATA SOURCE: RFD'S



ILLINOIS ONE-CALL SYSTEM
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FOR MORE INFORMATION OR TO REGISTER
YOUR PROJECT, VISIT www.1call800.com
OR CALL 1-800-4-A-DIG



CH45623A
DOWNERS GROVE WT
3701 HIGHLAND AVE
DOWNERS GROVE, IL 60515
WATER TOWER

TITLE SHEET

T1.1

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GENERAL NOTES:

HEALTH AND SAFETY:
 CONTRACTOR SHALL PROVIDE ALL SAFETY EQUIPMENT AND FALL PROTECTION TO INSURE THE SAFETY OF ON SITE PERSONNEL DURING CONSTRUCTION.
 ACCESS TO THE TANK INTERIOR WATER COMPARTMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE WATER DEPARTMENT SUPERVISOR. PRECAUTIONS SHALL BE TAKEN TO PREVENT WATER CONTAMINATION.
 THE PAINT SYSTEM SHALL BE CHECKED FOR HAZARDOUS METALS, WHERE HAZARDOUS METALS ARE FOUND IN THE PAINT SYSTEM, THE ENVIRONMENT AND WORKERS MUST BE PROTECTED FROM CONTAMINATION.

GENERAL WELDING:

- ALL WELDING SHALL BE IN ACCORDANCE WITH ANSIA D900 SEC. 8, WELDING, SEC. 10, ERECTION AND SEC. 11, INSPECTION AND TESTING.
- ALL WELDS TO THE TANK SURFACE SHALL BE MADE WITH E 7018 LOW HYDROGEN ROD AND SHALL BE SMOOTH AND FREE OF BURNS AND UNACCEPTABLE WELDS SHALL BE REPAIRED AS REQUIRED TO MEET ANSIA D900 REQUIREMENTS.
- NO WELDING SHALL BE DONE WHEN THE AMBIENT TEMPERATURE IS BELOW 32 DEGREES FAHRENHEIT UNLESS THE REQUIREMENTS OF ANSIA D900, SEC. 10.2 ARE FOLLOWED.
- WELDING MAY CAUSE BLISTERING OF THE INTERIOR PAINT OPPOSITE THE WELD. DAMAGED PAINT SURFACES SHOULD BE REPAIRED PER WATER TANK OWNER SPECIFICATIONS. CONTRACTOR SHALL COORDINATE ALL PAINT MATERIALS & METHODS WITH OWNER PRIOR TO WORK BEING DONE.
- GALVANIZED COMPONENTS SHALL NOT BE WELDED DIRECTLY TO THE TANK SURFACE.
- ALL WELDS IN THE TANK AND STRUCTURAL ATTACHMENTS SHALL BE MADE IN A MANNER TO ENSURE COMPLETE FUSION WITH THE BASE METAL WITHIN THE LIMITS SPECIFIED FOR EACH JOINT, AND IN STRICT ACCORDANCE WITH THE QUALIFIED WELDING PROCEDURE SPECIFICATIONS.
- ALL WELDS FOR ANTENNA INSTALLATION SHALL BE SEAL WELDS.
- CONTRACTOR SHALL REPAIR ALL DAMAGED PAINT AREAS OF TANK DUE TO CUTTING, WELDING AND GRINDING, DUE TO THE GENERATION OF METAL FILINGS WHICH WILL RUBST STAIN THE TANK SURFACES IF NOT CLEANED OFF IN A TIMELY MANNER. CONTRACTOR SHALL REMOVE ALL METAL FILINGS IMMEDIATELY. DAMAGED PAINT SURFACES SHOULD BE REPAIRED PER WATER TANK OWNER SPECIFICATIONS. CONTRACTOR SHALL COORDINATE ALL PAINT MATERIALS & METHODS WITH TANK OWNER PRIOR TO WORK BEING DONE.

PAINTING:

SURFACE PREPARATION (EXTERIOR & DRY INTERIOR)

- ADHESIVE ELAST CLEAN ALL NEW STEEL COMPONENTS TO AN SSPC-SP6 "COMMERCIAL BLAST CLEANING" CONDITION PRIOR TO APPLICATION OF PRIMER COAT.
- AFTER WELDING OR CUTTING, CLEAN ALL DAMAGED SURFACES IN ACCORDANCE WITH SSPC-SP6 "ROUER TOOL CLEANING" CONDITION PRIOR TO APPLICATION OF PRIME COAT.

COATING (EXTERIOR)

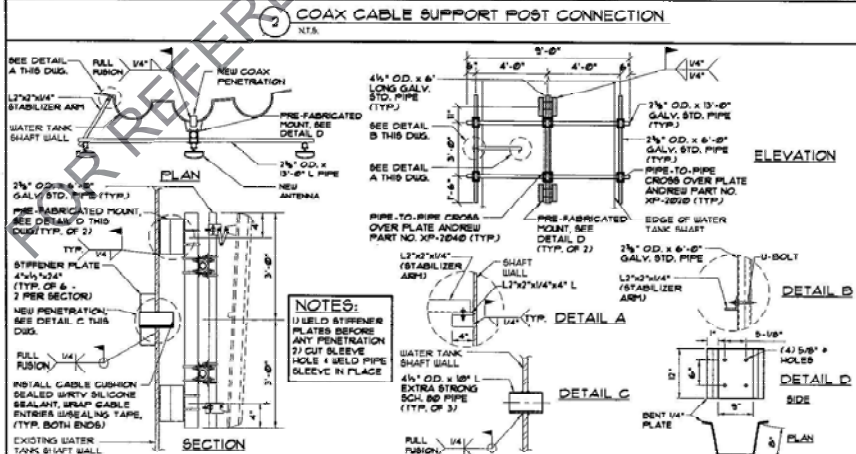
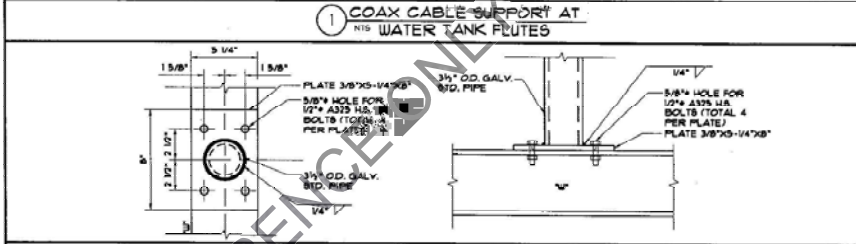
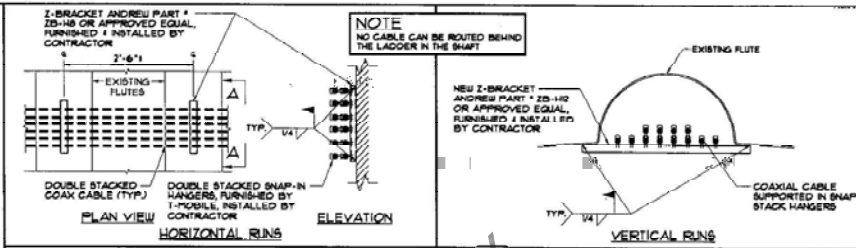
- THE EXTERIOR PAINT REPAIR SYSTEM WILL BE ONE PRIME COAT OF TNEPEC SERIES 70, ONE INTERMEDIATE COAT OF TNEPEC SERIES 70, AND ONE COAT OF TNEPEC SERIES 904. PAINT THE EXTERIOR TO MATCH THE EXISTING TOPCOAT COLOR.
- THE THREE-COAT SYSTEM WILL BE APPLIED AT 2.0 - 3.0 MILS PER COAT, TO A THICKNESS OF 6.0 - 9.0 MILS.

COATING (DRY INTERIOR)

- THE DRY INTERIOR PAINT REPAIR SYSTEM WILL BE TWO COATS OF TNEPEC SERIES 70. PAINT THE DRY INTERIOR TO MATCH THE EXISTING TOPCOAT COLOR.
- THE TWO-COAT SYSTEM WILL BE APPLIED AT 3.0 - 4.0 MILS PER COAT, TO A THICKNESS OF 6.0 - 8.0 MILS.

NOTES:

- ALL STEEL ANTENNA INSTALLATION COMPONENTS MUST BE PAINTED TO MATCH EXISTING PAINT SYSTEMS ON THE EXTERIOR AND DRY INTERIOR.
- NO COMPONENTS CAN REMAIN GALVANIZED OR STAINLESS STEEL. THE SPECIFIED PAINT SYSTEMS WILL NOT HAVE GOOD ADHESION ON GALVANIZED OR STAINLESS STEEL SURFACES.
- CONTACT TNEPEC TO OBTAIN A SUITABLE SURFACE PREPARATION SYSTEM FOR GALVANIZED AND STAINLESS STEEL SURFACES. THE SYSTEM MUST MAKE PREVIOUSLY GALVANIZED AND STAINLESS STEEL SURFACES COMPATIBLE WITH THE SPECIFIED PAINT SYSTEMS THAT WILL BE APPLIED.
- IF APPLICABLE, PAINT ALL NEW STEEL IN A SHOP SETTING, PRIOR TO DELIVERY TO THE SITE.
- WELDING ON ONE SIDE OF A STEEL SHEET MAY RESULT IN BURNED PAINT ON THE OPPOSITE SIDE. IF THIS OCCURS, THE BURNED PAINT ON THE OPPOSITE SIDE WILL NEED TO BE PAINT REPAIRED.
- FOLLOW ALL PAINT MANUFACTURERS' RECOMMENDATIONS WHEN USING THEIR PRODUCTS.



3 TYPICAL ANTENNA MOUNTING & COAX PENETRATION

T-Mobile

8950 West Bryn Mawr Ave.
 Suite 800 Chicago, IL 60631
 Office: (773) 714-3400
 Fax: (773) 444-5521

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Fullerton
 Engineering Consultants

9100 W Higgins Rd, Suite 800
 Rosemont, Illinois 60018
 Tel: 847.797.0100 Fax: 847.797.0105

PREPARED BY: AG
 CHECKED BY: AG
 APPROVED BY: LMB

#	DATE	REVISIONS
1	5/3/06	10% REVIEW
2	5/26/06	PERMIT CONSTRUCTION

Professional Engineer
 STATE OF ILLINOIS

0062-05728
 REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

DATE: 5/26/06

SITE NAME:
 DOWNERS GROVE WATER TANK

SITE NUMBER:
 CH45-623A

SITE ADDRESS:
 3801 HIGHLAND AVE
 DOWNERS GROVE, IL 60515

SHEET TITLE:
 SITE DETAILS

SHEET NUMBER:
 C-4

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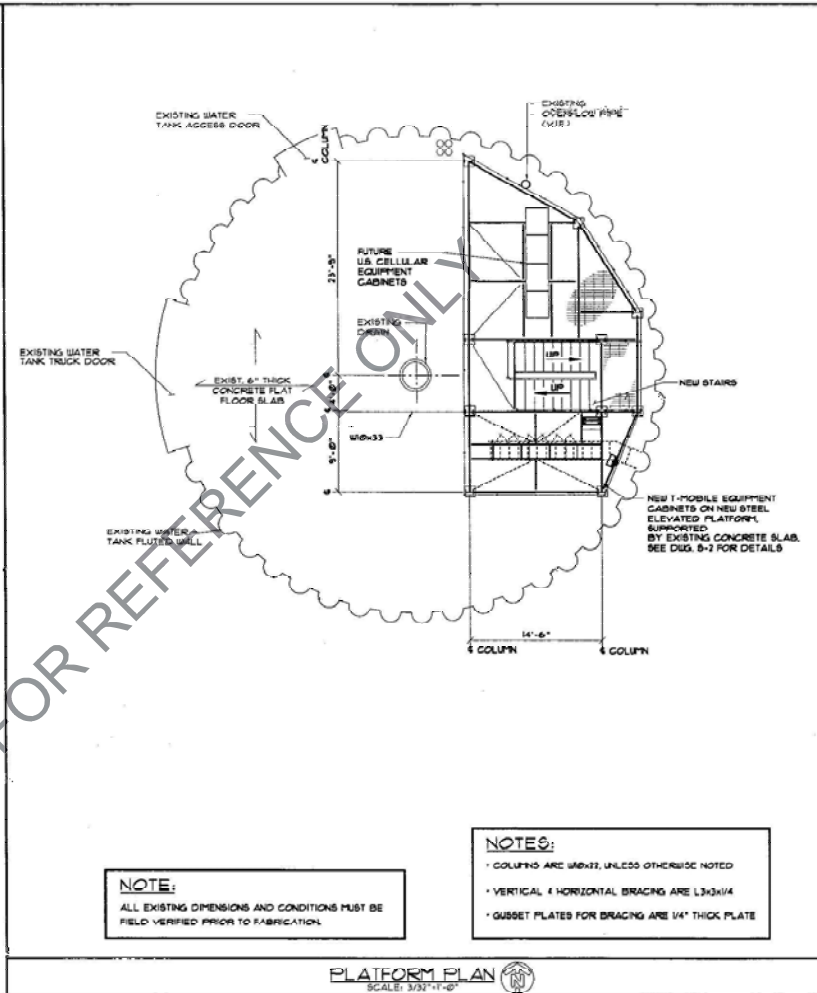
STRUCTURAL NOTES

10 APPLICABLE CODES
 11 DESIGN & CONSTRUCTION OF ALL WORK SHALL CONFORM TO THE FOLLOWING CODES:
 INTERNATIONAL BUILDING CODE, 2003 EDITION.

20 DESIGN LOADS
 21 FLOOR LOAD: 75 PSF
 22 EQUIPMENT CABINETS: 75 PSF
 23 BATTERY RACK / BATTERIES: 84 PSF
 24 PRC CABINET: 64 PSF
 25 LIVE LOAD (PLATFORUGRATING): 100 PSF

30 GENERAL NOTES
 31 STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW.
 32 NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
 33 THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR SHALL FURNISH ALL TEMPORARY BRACINGS AND/OR SUPPORTS REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
 34 DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
 35 THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ENGINEER'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC. UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ENGINEER OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
 36 ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS AND AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.

40 STRUCTURAL STEEL NOTES
 41 ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", 1989 EDITION, THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION.
 42 ALL STRUCTURAL STEEL PLATES, SQUARES AND BARS SHALL CONFORM TO ASTM A36 OR A992, UNLESS NOTED OTHERWISE. COLD FORMED TUBING SHALL CONFORM TO ASTM A575 GRADE 50. PIPES SHALL CONFORM TO ASTM A53 TYPE E OR S. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 OR ASTM A325.
 43 ALL BOLTS (OTHER THAN ANCHOR BOLTS), NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325. ALL BOLTS SHALL BE 3/4 INCH DIAMETER FINISH. BOLTS USED IN LATERAL LOAD RESISTING CONNECTIONS SHALL BE FRICTION TYPE, DESIGNED FOR INDICATED FORGED WITHOUT STRESS INCREASES.
 44 ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AISC D1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
 45 ALL BEAMS SHALL BE FABRICATED WITH THE NATURAL CURVE UP.
 46 THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
 47 GRATING SHALL BE CAPABLE OF SUPPORTING INDICATED LOADS. USE STANDARD JOISTS AND GUTS FOR ATTACHMENT. USE THE SINGLE LIFT FASTENERS SHALL BE ASTM A575 GRADE 50 WITH MIN THICKNESS OF 14 GA. SELF TAPPING GRATING FASTENERS BOLTS MIN THICKNESS OF 14 GA. SELF TAPPING GRATING FASTENERS BOLTS SHALL BE STAINLESS STEEL PER ASTM A325 TYPE A16.
 48 GUARD RAILS, LADDERS/STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA AND LOCAL REQUIREMENTS.
 49 A. ALL STEEL SHALL BE HOT DIPPED GALVANIZED.
 B. FIELD TOUCH UP ALL PAINTED AND GALVANIZED SURFACES.
 C. GRIND ALL WELDS TO A SMOOTH FINISH.
 410 MINIMUM SHEAR CAPACITIES: PROVIDE AT LEAST ONE HALF OF THE UNIFORM LOAD CARRYING CAPACITY OF THE BEAM WITH THE ASSUMPTION OF FULLY BRACED COMPRESSION FLANGE.
 411 THE DEPTH OF A SINGLE SHEAR CONNECTION SHALL NOT BE LESS THAN ONE HALF OF THE NOMINAL DEPTH OF THE BEAM. THE MINIMUM NUMBER OF BOLTS PER CONNECTION SHALL BE TWO (2).



FOR REFERENCE ONLY

NOTE:
 ALL EXISTING DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION.

NOTES:
 * COLUMNS ARE W40X13, UNLESS OTHERWISE NOTED
 * VERTICAL & HORIZONTAL BRACING ARE L3X3X1/4
 * GUSSET PLATES FOR BRACING ARE 1/4" THICK PLATE

PLATFORM PLAN
 SCALE: 3/32"=1'-0"

T-Mobile

8840 Skel Blvd, Rosemont, IL 60018
 Office: (708) 444-9400
 Fax: (708) 444-9921

Fullerton
 Engineering Consultants

7100 S. Higgins Rd., Suite 600
 Rosemont, Illinois 60018
 Tel: 847-732-0100
 Fax: 847-732-0100

PREPARED BY: AG
 CHECKED BY: JG
 APPROVED BY: HTD

#	DATE	REVISIONS
1	5/5/16	SDA REVIEW
2	5/25/16	PERMIT/CONSTRUCTION

Michael J. Robert

DATE SIGNED: 5/28/16

SITE NAME:
DOWNERS GROVE WATER TANK

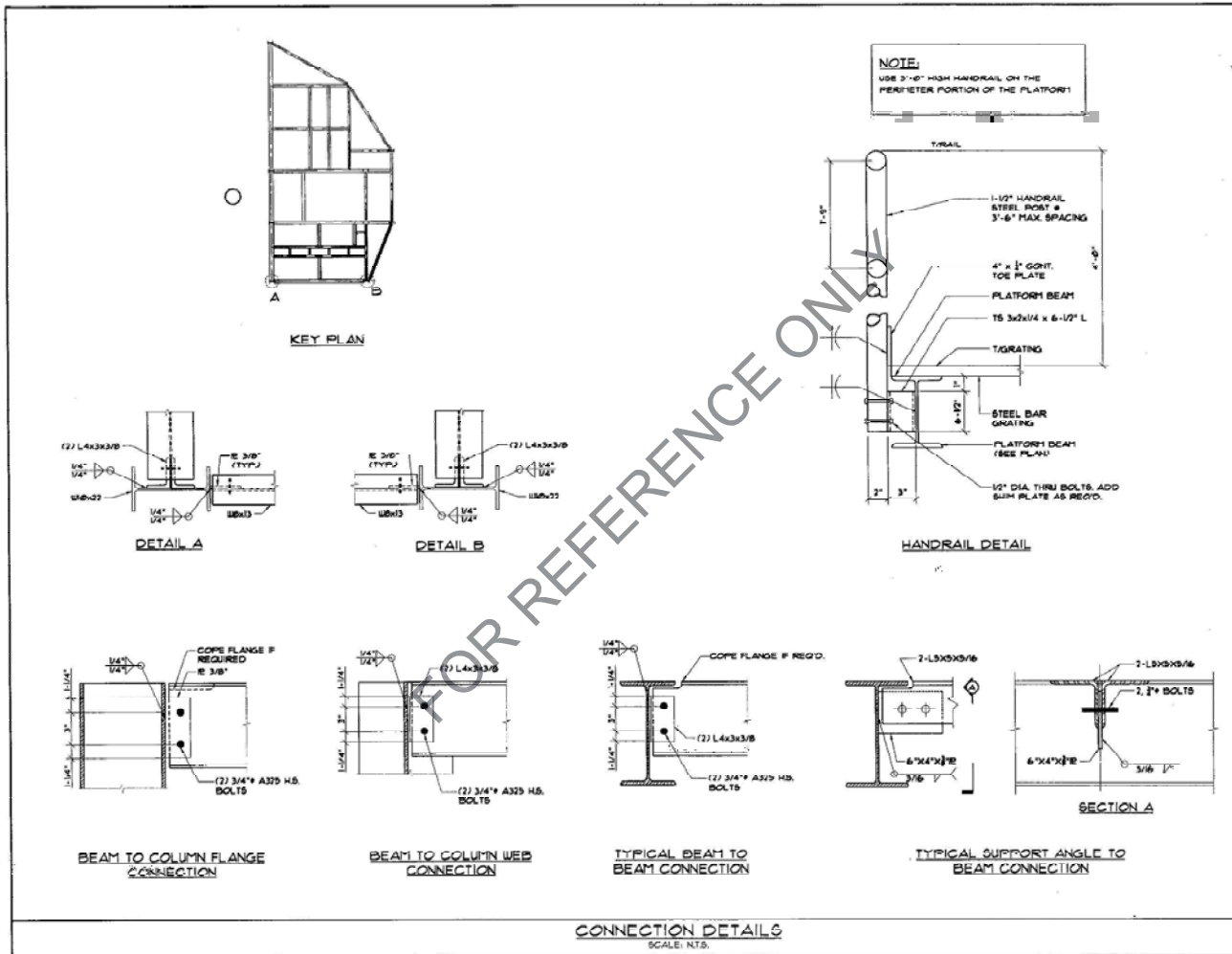
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CH45-023A

SITE ADDRESS:
 3801 WASH AND AVE
 DOWNERS GROVE, IL 60419

SHEET TITLE:
PLATFORM PLAN & NOTES

SHEET NUMBER:
5-1

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Rosemont, Illinois 60018
Tel: 847-732-0200
Fax: 847-732-0205

PREPARED BY: AG
CHECKED BY: AG
APPROVED BY: HFB

NO.	DATE	REVISIONS
1	03/20/18	ISSUE FOR PERMITTING

STATE OF ILLINOIS
Professional Engineer
Date Signed: 3/28/18

SITE NAME
DOWNERS GROVE WATER TANK

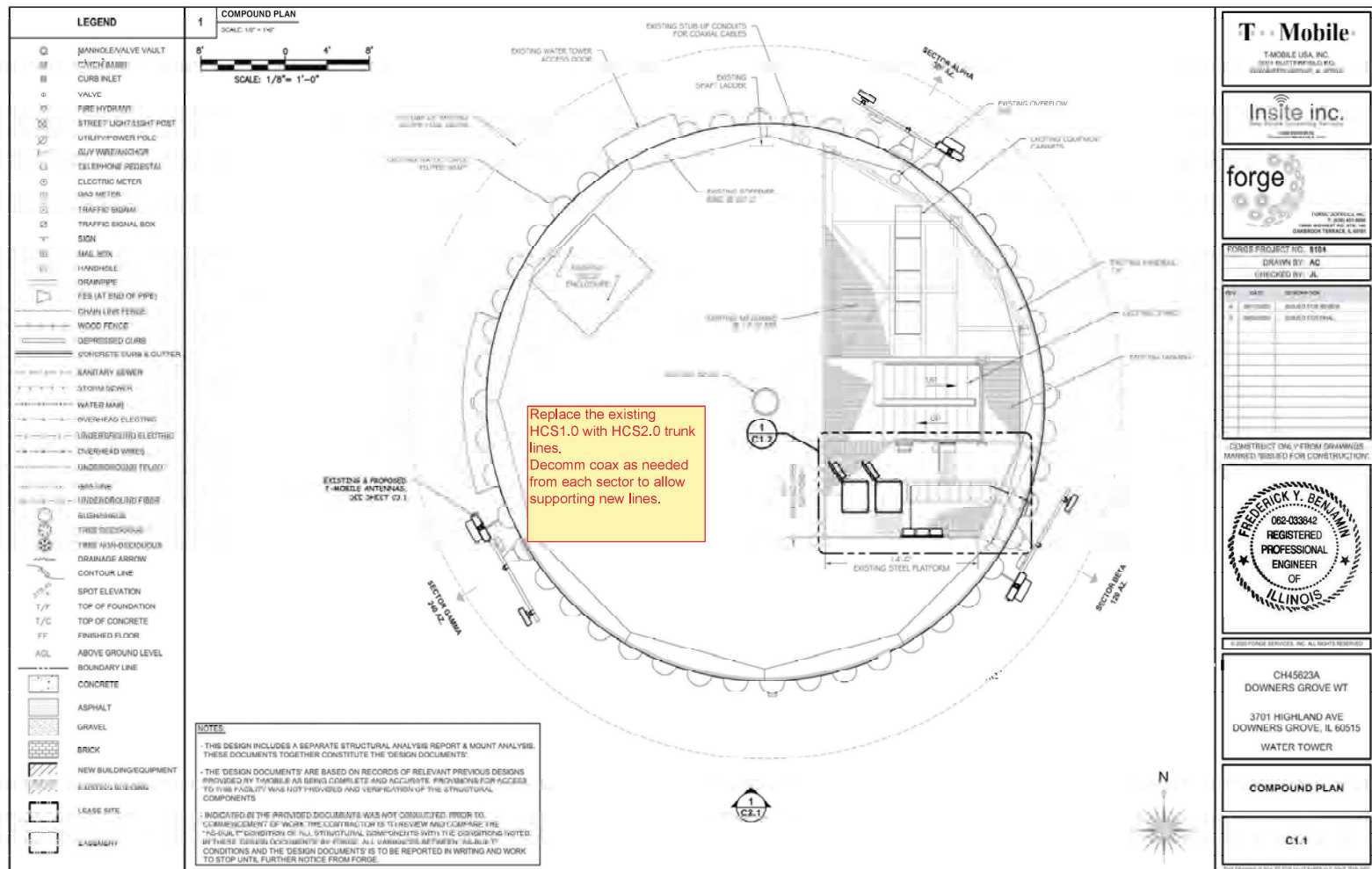
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CH45-023A

SITE ADDRESS
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DOWNERS GROVE, IL 60515

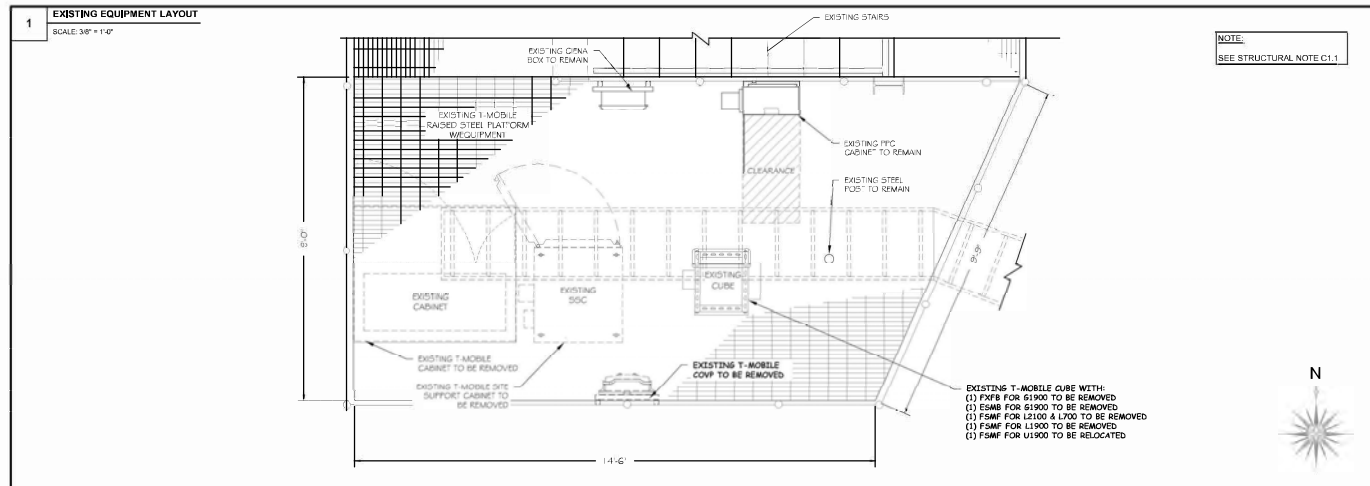
SHEET TITLE
CONNECTION DETAILS

SHEET NUMBER
6-3

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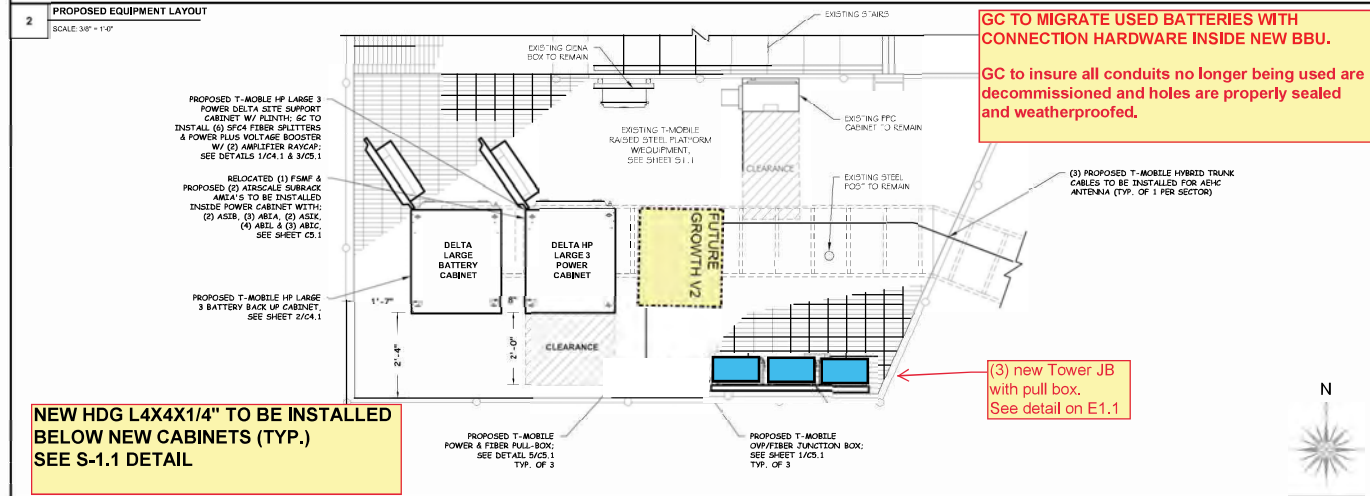
T-Mobile
T-MOBILE USA, INC.
2001 BUTTERFIELD RD.
DOWNERS GROVE, IL 60515

Insite inc.
INSITE SERVICES
COMMERCIAL SERVICE GROUP

forge
FORGE SERVICES, INC.
7-2020 841-1100
15846 MONROE RD. STE. 140
DANBROOK TERRACE, IL 60511

FORGE PROJECT NO. 8104
DRAWN BY: AC
CHECKED BY: JL

REV	DATE	DESCRIPTION
1	08/11/2022	ISSUED FOR PERMITS
2	10/30/2023	ISSUED FOR FINAL



CONSTRUCT ONLY FROM DRAWINGS MARKED "ISSUED FOR CONSTRUCTION"

FREDERICK Y. BENJAMIN
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

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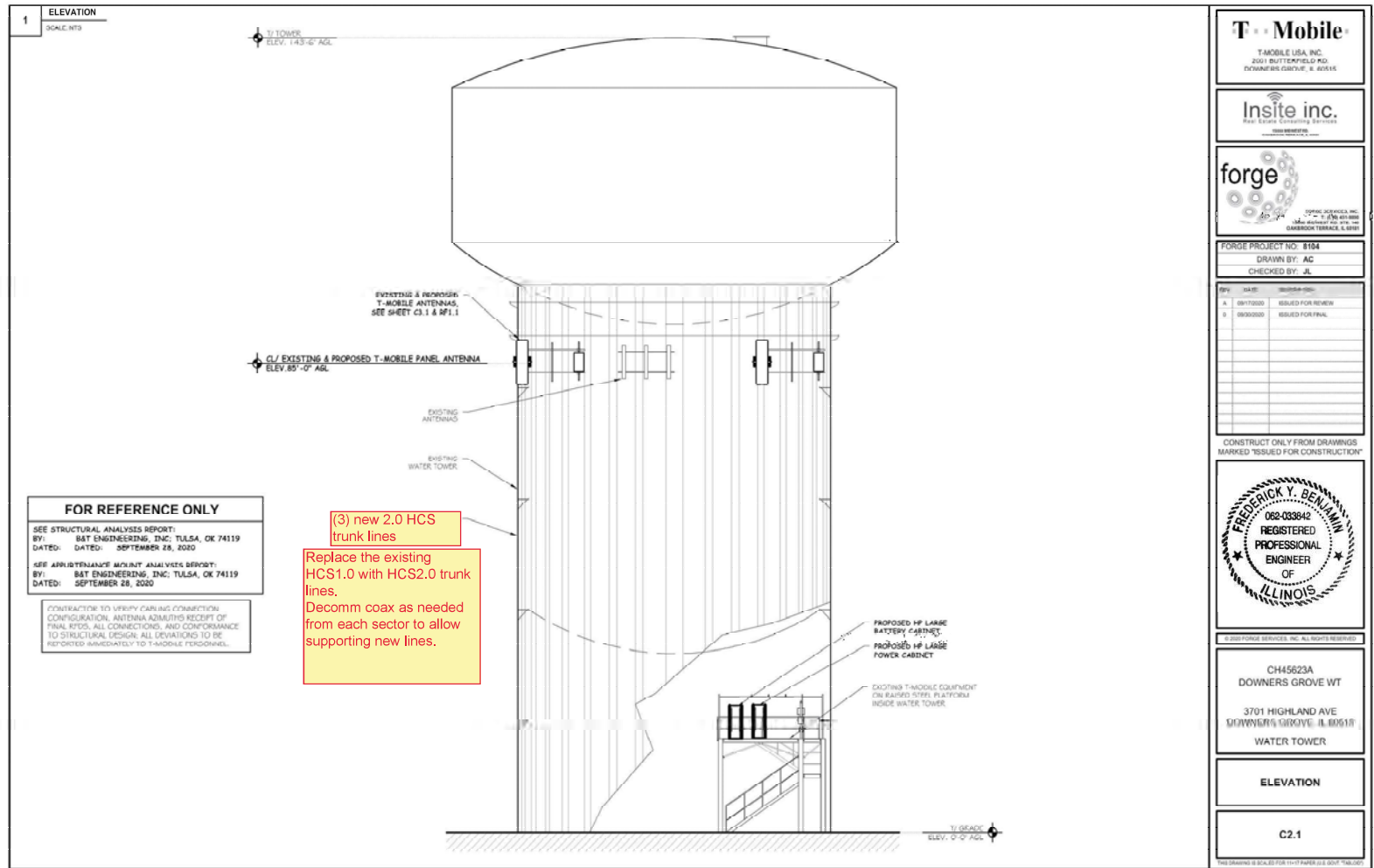
CH45623A
DOWNERS GROVE WT
3701 HIGHLAND AVE
DOWNERS GROVE, IL 60515
WATER TOWER

EQUIPMENT LAYOUT

C1.2

THIS DRAWING IS SEPARATED FROM THE PROJECT'S BIDDING DOCUMENTS

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FOR REFERENCE ONLY

SEE STRUCTURAL ANALYSIS REPORT:
 BY: BAT ENGINEERING, INC, TULSA, OK 74119
 DATED: SEPTEMBER 28, 2020

SEE APPLICANT'S MOUNT ANALYSIS REPORT:
 BY: BAT ENGINEERING, INC, TULSA, OK 74119
 DATED: SEPTEMBER 28, 2020

CONTRACTOR TO VERIFY CABLE CONNECTION CONFIGURATION, ANTENNA ADMITS RECEIPT OF FINAL PEGS, ALL CONNECTIONS, AND COMPLIANCE TO STRUCTURAL DESIGN. ALL DEVIATIONS TO BE REPORTED IMMEDIATELY TO T-MOBILE PERSONNEL.

(3) new 2.0 HCS trunk lines
 Replace the existing HCS1.0 with HCS2.0 trunk lines.
 Decomm coax as needed from each sector to allow supporting new lines.

T-Mobile
 T-MOBILE USA, INC.
 2001 BUTTERFIELD RD.
 DOWNERS GROVE, IL 60515

Insite inc.
 888-888-8888

forge
 FORGE SERVICES, INC.
 1700 W. 17TH AVENUE
 SUITE 200
 GARDEN GROVE, IL 60131

FORGE PROJECT NO: 8104
 DRAWN BY: AC
 CHECKED BY: JL

REV	DATE	DESCRIPTION
A	09/28/20	ISSUED FOR REVIEW
B	09/28/20	ISSUED FOR FINAL

CONSTRUCT ONLY FROM DRAWINGS MARKED "ISSUED FOR CONSTRUCTION"

FREDERICK Y. BENJAMIN
 062-033842
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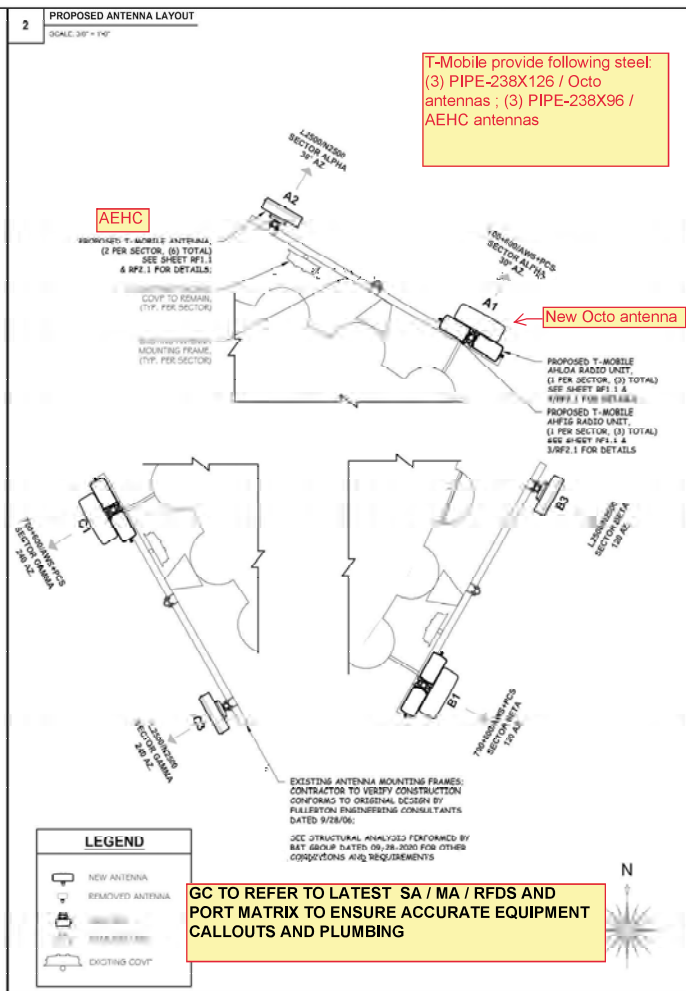
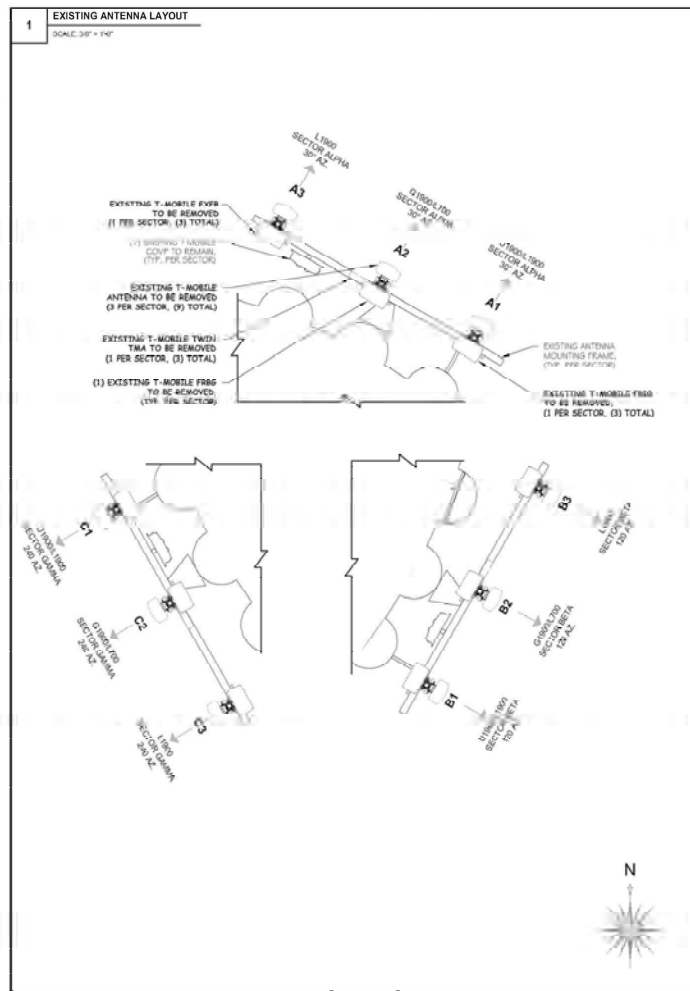
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 DOWNERS GROVE, IL 60518
 WATER TOWER

ELEVATION

C.2.1

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T-Mobile provide following steel:
 (3) PIPE-238X126 / Octo antennas ; (3) PIPE-238X96 / AEHC antennas

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 FULLERTON ENGINEERING CONSULTANTS, INC.
 1000 W. 11TH ST.
 GARDEN GROVE, IL 60131

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ANTENNA LAYOUT

C3.1

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1 NEMA 4 OVP/FIBER JUNCTION BOX
SCALE: NTS

RAYCAP OVP
MODEL #: RTMDC-5895-PF-48

WEIGHT: 33.85 LBS
DIMENSIONS: 14.1" X 14.4" X 8.0"

FOR REFERENCE ONLY, SEE MANUF. DRAWINGS

2 AIRSCALE SM INDOOR AMIA
SCALE: NTS

Nokia AirScale SM Indoor Technical Datasheet

Capacity Multi-RAT capable platform: Per Capacity plug-in unit in LTE LSA & LTE cells (FDD)

Minimum configuration: 1 Common PU (transport and control), 1 Capacity PU (baseband processing)

Maximum configuration: 2 Common PU, 6 Capacity PU

Installation options: LA floor-standing rack, pole and wall (with mounting options), In-Rack, Outdoor Enclosure

Dimensions: 13U H 128 mm x W 447 mm x D 400 mm

Installation depth: 400mm + cooling air space 50mm

Weight: Minimum (1 Common PU + 6 Capacity PU): 10.1kg
Maximum (2 Common PU + 6 Capacity PU): 23.3kg

Ingress protection: IP20

Operational Temperature Range: -5°C to 55°C

Supply Voltage / Voltage Range: Nominal: -48V DC / -40.5V to -57V

Power consumption:
1 Common PU & 1 Capacity PU: typ 210W
1 Common PU & 3 Capacity PU: typ 420W
2 Common PU & 6 Capacity PU: typ 840W

Minimum configuration (1x BTS)

Minimum configuration (2x BTS, 1 BTS per half subrack)

Maximum AirScale SM Indoor configuration (2x 16S, 1 BTS per half subrack)

FOR REFERENCE ONLY, SEE MANUF. DRAWINGS

NOKIA

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T-MOBILE USA, INC.
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ROSEMONT, ILLINOIS 60018

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Site Data Collection Services

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3 SFC4 - FIBER SPLITTER
SCALE: NTS

FRONT **SIDE**

ACCOMPANY BRACKET (SEE SUPPORT CABINET)

SFC4
MOUNTING (SEE SUPPORT CABINET)

3 POWER PLUS VOLTAGE DOOSTER
SCALE: NTS

RAYCAP POWER TRANSMISSION
MODEL #: POWER PLUS # 100-3-1U

WEIGHT (RACK): 11.24 LBS
WEIGHT (MODULE): 2.15 LBS
DIMENSIONS (RACK): 1.72" H X 17.6" W X 13.52" D

FOR REFERENCE ONLY, SEE MANUF. DRAWINGS

4 BOTTOM OVP MOUNTING DETAIL
SCALE: NTS

POWER + FIBER (SEE SPEC.)

NEW SITE SUPPORT CABINET TO NEW WIRE TROUGH FOR DC POWER

FREDERICK Y. BENJAMIN
062-033842
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

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DOWNERS GROVE WT
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DOWNERS GROVE, IL 60515
WATER TOWER

EQUIPMENT DETAILS

CS.1

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1 ANTENNA & CABLE SCHEDULE
SCALE: NTS

SECTOR	POL.	ANTENNA MANF.	ANTENNA MODEL NO.	TECHNOLOGY	ANTENNA SIZE	ANTENNA WEIGHT	AZIMUTH	RAD.	ANTENNA GAIN	MIN. DOWN TILT	MAX. DOWN TILT	RRM MODEL	CABLE LENGTH	CABLE TYPE	NOTES
ALPHA	A1	COMMSCOPE	(1) FVVV-6SC-R3-V1 (N)	LTE 700+800AWS+PCS	95.9"H X 33.2"W X 9.3"D	124.56 LBS	30°	85 FT	-	0	-	(1) AHLOA (N) (1) AHF16 (N)	150'		New 2.0 HCS w/ pendant
	A2	NOKIA	(1) AENC (N)	N2500/LTE 2500	38.2"H X 21.5"W X 5.9"D	108 LBS	30°	85 FT	-	0	-	-	150'		
BETA	B1	COMMSCOPE	(1) FVVV-6SC-R3-V1 (N)	LTE 700+800AWS+PCS	95.9"H X 25.2"W X 9.3"D	124.56 LBS	120°	85 FT	-	0	-	(1) AHLOA (N) (1) AHF16 (N)	150'		New 2.0 HCS w/ pendant
	B2	NOKIA	(1) AENC (N)	N2500/LTE 2500	38.2"H X 21.5"W X 5.9"D	108 LBS	120°	85 FT	-	0	-	-	150'		
GAMMA	C1	COMMSCOPE	(1) FVVV-6SC-R3-V1 (N)	LTE 700+800AWS+PCS	95.9"H X 25.2"W X 9.3"D	124.56 LBS	240°	85 FT	-	0	-	(1) AHLOA (N) (1) AHF16 (N)	150'		New 2.0 HCS w/ pendant
	C2	NOKIA	(1) AENC (N)	N2500/LTE 2500	38.2"H X 21.5"W X 5.9"D	108 LBS	240°	85 FT	-	0	-	-	150'		

THIS SCHEDULE IS BASED ON RFDS V1.0 (DATE CREATED 06/27/2020, DATE UPDATED 06/27/2020)

LEGEND

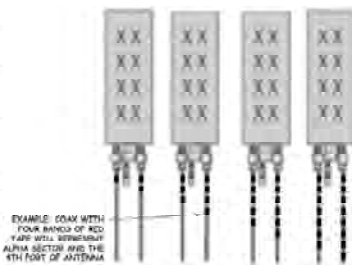
(N) NEW
(E) EXISTING

GC TO REFER TO LATEST SA / MA / RFDS AND PORT MATRIX TO ENSURE ACCURATE EQUIPMENT CALLOUTS AND PLUMBING

GC TO CALL OUT HCS 2.0 LENGTHS REQUIRED TO EACH SECTOR ON SCOPE WALK - GET ON RFDS - GET MATERIALS ON ORDER THROUGH T-MOBILE ON BOM - CONFIRM PRIOR TO START

2 COLOR CODING
SCALE: NTS

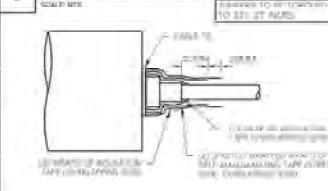
Section	Radio Port #	First Ring	Second Ring	Third Ring
Alpha	1	Black	No Tape	No Tape
	2	Black	No Tape	No Tape
	3	Black	No Tape	No Tape
	4	White	No Tape	No Tape
	5	Black	No Tape	No Tape
	6	Gray	No Tape	No Tape
	7	Orange	No Tape	No Tape
	8	Orange	No Tape	No Tape
Beta	1	Green	Green	No Tape
	2	Black	No Tape	No Tape
	3	Black	No Tape	No Tape
	4	White	White	No Tape
	5	Gray	Gray	No Tape
Gamma	1	Orange	Orange	No Tape
	2	Black	No Tape	No Tape
	3	Black	No Tape	No Tape



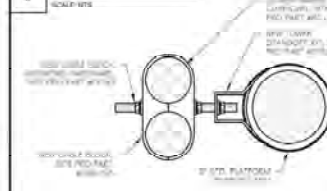
ANTENNA & COAXIAL CABLE SCHEDULE NOTES:

- ALL ANTENNAS SHALL BE FURNISHED WITH DOWNTILT BRACKETS. CONTRACTOR SHALL CONSULTANTS REQUIRED MECHANICAL DOWNTILT FOR EACH ANTENNA WITH SE ENGINES. ANTENNA DOWNTILT SHALL BE SET AND VERIFIED BY A SMART LEVEL.
- ANTENNA DOWNTILT HEIGHT IS REFERENCE TO ELEVATION 0'-0"
- CONTRACTOR SHALL INSTALL COLOR CODE RINGS ON EACH OF THE WINDING CABLES AND JUMPER CABLES WITH UV RESISTANT TAPE. ALL CABLES SHALL BE MARKED AT TOP AND BOTTOM WITH 2" COLOR TAPE OR STENCIL TAP. COLOR TAPE MAY BE OBTAINED FROM BAYVEAS ELECTRONICS.

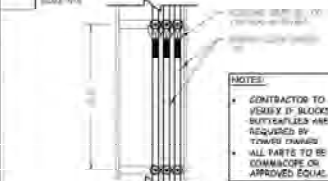
3 RF JUMPER CONNECTION DETAIL
SCALE: NTS



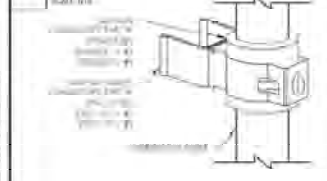
5 RF JUMPER MOUNTING DETAIL
SCALE: NTS



4 CABLE / APPLICATION DETAIL
SCALE: NTS



6 CABLE HANGER DETAIL
SCALE: NTS



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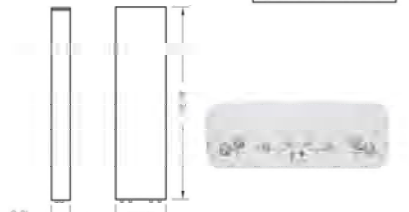
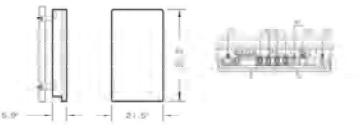
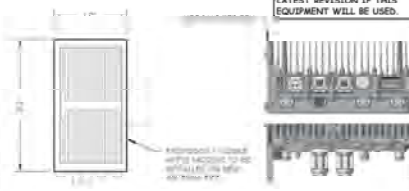
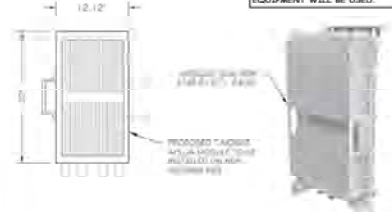
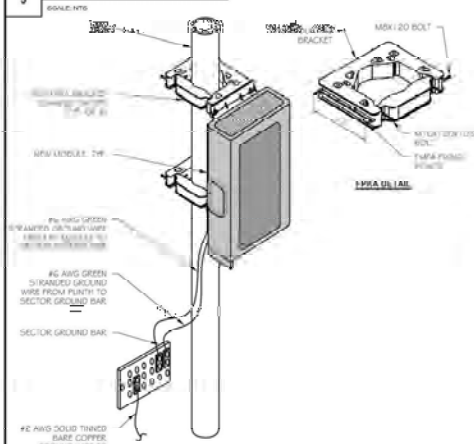
FREDERICK Y. BENJAMIN
062-033842
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

CH5623A
DOWNERS GROVE W/T
3701 HIGHLAND AVE.
DOWNERS GROVE, IL 60515
WATER TOWER

ANTENNA SCHEDULE

RF1.1

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<p>1 ANTENNA DETAILS SCALE: NTS</p> <p>NOTE: VERIFY WITH T-MOBILE RFDS, LATEST REVISION IF THIS EQUIPMENT WILL BE USED.</p>  <p>COMMSCOPE FFVV-65C-R3-V1</p> <p>WEIGHT: 124.5G LBS DIMENSIONS: 35.21W X 21.2W X 5.2H CONNECTORS: 1.3 1.0 (FEMALE)</p> <p><small>FOR REFERENCE ONLY, SEE MANUF. DRAWINGS</small></p>	<p>2 ANTENNA DETAILS SCALE: NTS</p> <p>NOTE: VERIFY WITH T-MOBILE RFDS, LATEST REVISION IF THIS EQUIPMENT WILL BE USED.</p>  <p>NOKIA AEHC-MASSIVE MIMO</p> <p>WEIGHT: 100 LBS DIMENSIONS: 35.21W X 21.2W X 5.2H</p> <p><small>FOR REFERENCE ONLY, SEE MANUF. DRAWINGS</small></p>	<p>T-Mobile T-MOBILE USA, INC. 2001 BUTTERFIELD RD. DOWNERS GROVE, IL 60515</p> <p>inside inc. INSIDE COMMUNICATIONS SERVICES</p> <p>forge FORGE COMMUNICATIONS, INC. T. 2020 451-8888 10000 WOODBURN RD. #100 DANBROOK TERRACE, IL 60119</p> <p>FORGE PROJECT NO. 8104 DRAWN BY: AC CHECKED BY: JL</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>08/17/2020</td> <td>ISSUED FOR REVIEW</td> </tr> <tr> <td>B</td> <td>08/03/2020</td> <td>ISSUED FOR FINAL</td> </tr> </tbody> </table>	REV.	DATE	DESCRIPTION	A	08/17/2020	ISSUED FOR REVIEW	B	08/03/2020	ISSUED FOR FINAL
REV.	DATE	DESCRIPTION									
A	08/17/2020	ISSUED FOR REVIEW									
B	08/03/2020	ISSUED FOR FINAL									
<p>3 AHFIG DETAILS SCALE: NTS</p> <p>NOTE: VERIFY WITH T-MOBILE RFDS, LATEST REVISION IF THIS EQUIPMENT WILL BE USED.</p>  <p>NOKIA - AHFIG AIRSCALE BTS RRH</p> <p>WEIGHT: 66.14 LBS, APPROX. W/ NO COVERS OR BRACKETS DIMENSIONS: 22.1W X 12.1W X 5.2H ANTENNA PORTS: 4 PORTS, 4.3 - 10+ SUPPLY VOLTAGE: DC-40 V</p> <p><small>FOR REFERENCE ONLY, SEE MANUF. DRAWINGS</small></p>	<p>4 AHLOA DETAIL SCALE: NTS</p> <p>NOTE: VERIFY WITH T-MOBILE RFDS, LATEST REVISION IF THIS EQUIPMENT WILL BE USED.</p>  <p>NOKIA - AHLOA AIRSCALE DUAL RRH 4T4R B12/71240W</p> <p>WEIGHT: 83.77 LBS, APPROX. W/ NO COVERS OR BRACKETS DIMENSIONS: 22.1H X 12.1W X 7.44D ANTENNA PORTS: 4 PORTS, 4.3 - 10+ SUPPLY VOLTAGE: DC-40 V OUTPUT POWER: 60W PER TX SHARED BETWEEN PORTS</p> <p><small>FOR REFERENCE ONLY, SEE MANUF. DRAWINGS</small></p>	<p>5 TYPICAL RRU UNIT MOUNTING DETAIL SCALE: NTS</p>  <p><small>CONSTRUCT ONLY FROM DRAWINGS MARKED "ISSUED FOR CONSTRUCTION"</small></p>									



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ANTENNA DETAILS:

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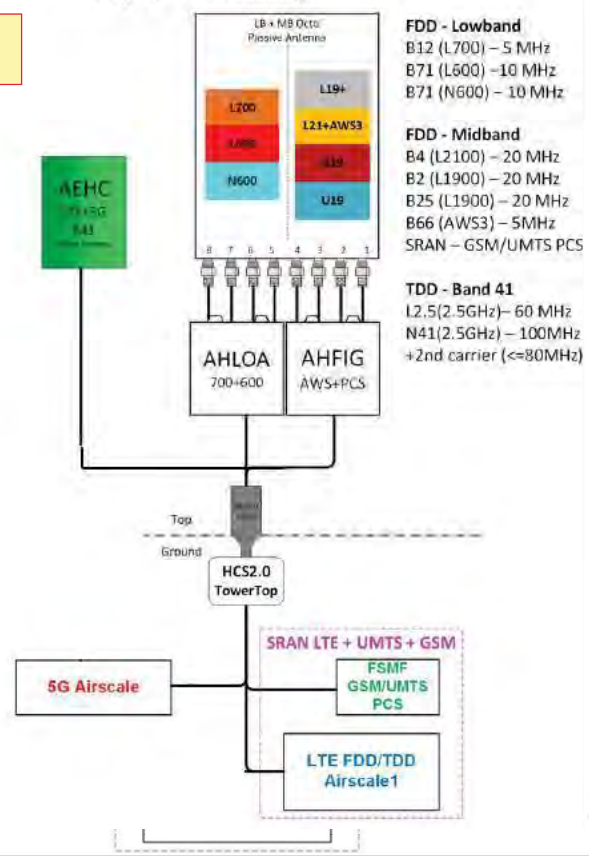
1 RFDS DIAGRAM
SCALE: NTS

GC TO REFER TO LATEST SA / MA / RFDS AND PORT MATRIX TO ENSURE ACCURATE EQUIPMENT CALLOUTS AND PLUMBING

ALPHA NEW 150' 2.0 Trunk -> 1 AHFIG + 1 AHLOA + AEHC + 1 Tower JB
 BETA NEW 125' 2.0 Trunk -> 1 AHFIG + 1 AHLOA + AEHC + 1 Tower JB
 GAMMA NEW 175' 2.0 Trunk -> 1 AHFIG + 1 AHLOA + AEHC + 1 Tower JB

Custom Configuration 56792EZ_SR_3xHCS2.0

* For 5G and LTE Airscale BB dimensioning refer to Fiber Port matrices.
 (Alpha, Beta & Gamma)



Notes:

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 T-MOBILE USA, INC.
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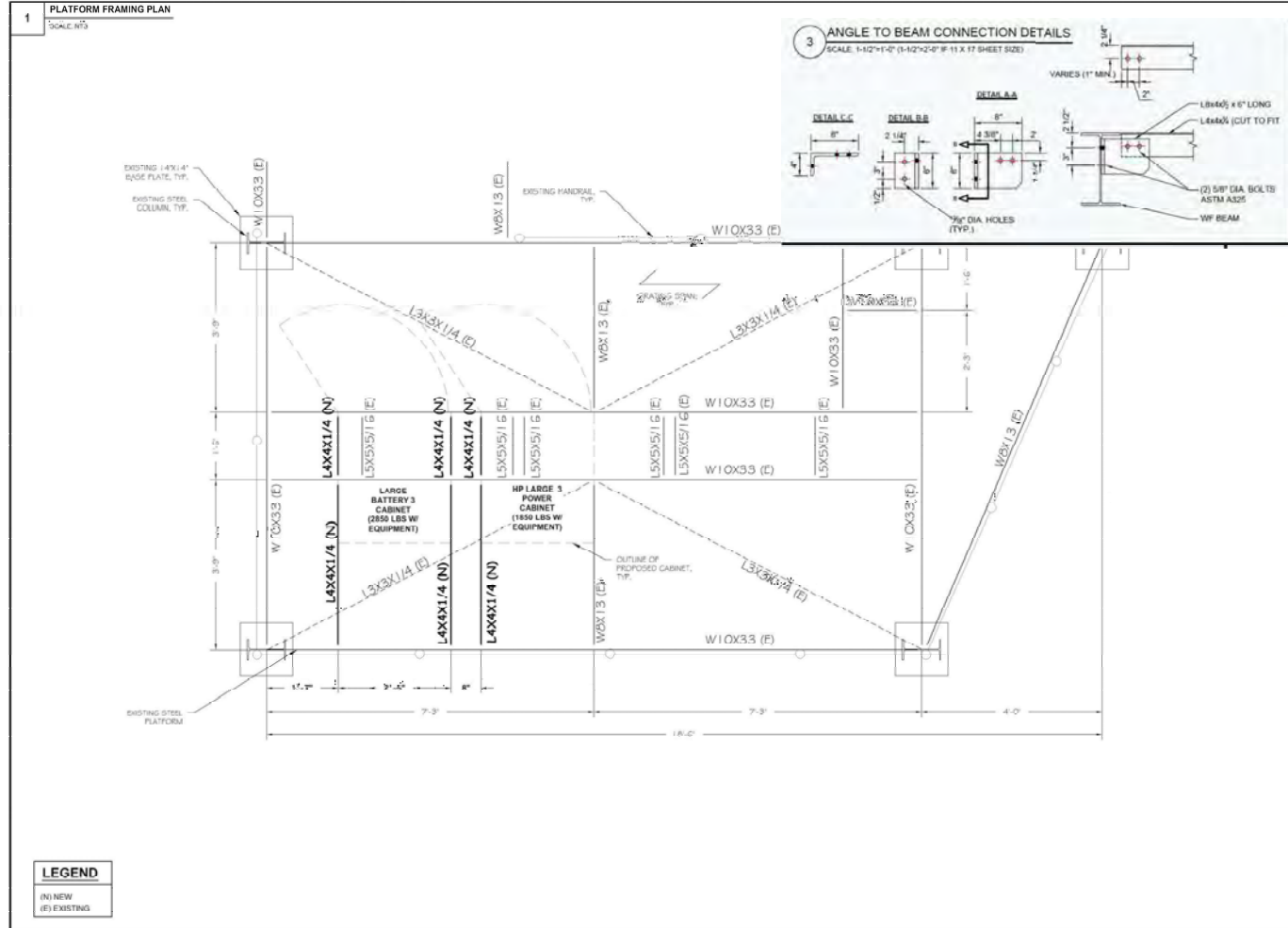
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NSN CONFIGURATION DIAGRAM

RF3.1

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DOWNERS GROVE, IL 60515

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Real Estate Consulting Services

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GARDEN GROVE, IL 60131

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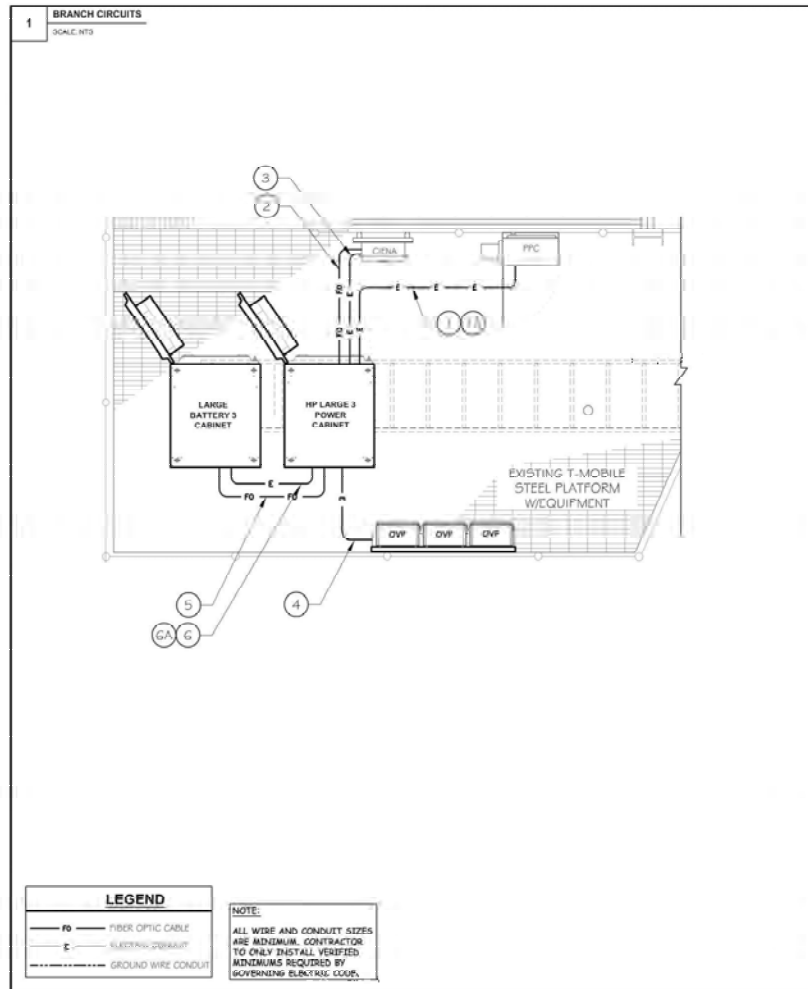
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WATER TOWER

STRUCTURAL DETAILS

S1.1

THIS DRAWING IS SCALE TO THE 11X17 PAPER. SEE 2007 "AISC 305"

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UTILITY LEGEND					
NO.	FROM	WIRE QTY & TYPE	GROUND	CONDUIT SIZE	FUNCTION
1	PPG	HP LARGE 55G	(2) 3/8"	(1) 3/8" FOR GROUND & (1) #4 NEUTRAL WIRES	ELECTRIC CONDUIT
1A	PPG	HP LARGE 55C	1 PAIR OF BELDEN 27915A #18 AWG	N/A	ELECTRIC CONDUIT
2	CIENA DELIVERY SWITCH/IDOCR DOX	HP LARGE 55C	(1) CAT-5 CABLE	N/A	FIBER CONDUIT
3	CIENA POWER JUNCTION BOX	HP LARGE 55C	(1) #12	(1) #12	ELECTRIC CONDUIT
4	HP LARGE 55C	QUIRFIBER JUNCTION BOX	2 PAIRS OF #2	N/A	ELECTRIC CONDUIT
5	HP LARGE 55C	BATTERY CABINET	(2) CAT-5 CABLES	N/A	FIBER CONDUIT (FOR BATTERY ALARM)
6	BATTERY CABINET	HP LARGE 55C	3 PAIRS OF #18 TELCO FLEX POWER CABLES (2) #12	N/A	ELECTRIC CONDUIT
6A	BATTERY CABINET	HP LARGE 55C	(1) #12	(1) #12	ELECTRIC CONDUIT

GENERAL NOTES:

- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EXISTING AND/OR WIKED PRIOR TO TAKING ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- UTILITY RACK AND CONDUIT SIZES TO BE FIELD DETERMINED BY CONTRACTOR IN ACCORDANCE WITH THE LOCAL JURISDICTION.
- CONTRACTOR TO VERIFY IN FIELD AND PRIOR TO BID THAT EXISTING PULL BOXES, METER SOCKETS, CONDUITS, ROUTING, AND FACILITIES ARE ARE OF SUFFICIENT CONDITION.
- ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS WITH OWNER. PLACEMENT AND ROUTING OF ALL COMPONENTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ALL ELECTRICAL EQUIPMENT, CONDUITS, AND SUPPORT SHALL BE ABLE TO WITHSTAND 80 M.P.H. WIND SPEED. EXPOSURE C.
- ALL ELECTRICAL EQUIPMENT SHALL HAVE 4 AFFIXED WEATHER-RESISTANT PLASTIC LABELS - BLACK (IN WHITE LETTER HEIGHT SHALL BE 1/4") ALL NAMPLATED TO BE FASTENED WITH (2) STAINLESS STEEL SCREWS, NON ADHESIVE.
- ALL WIRING SHALL BE COPPER WITH THIRTYFOUR (34) BATTERY CABLES, COLOR CODED, #12 AWG UNARMED UNLESS NOTED OTHERWISE.
- WIRE CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS, OR EXPOSED ON BUILDING EXTERIOR.
- ELECTRICAL METALLIC TUBING SHALL BE U.L. LABEL. FITTING SHALL BE GLAND RING COMPRESSION TYPE.
- CORING THROUGH FLOORS AND WALLS SHALL NOT BE DONE WITHOUT FINAL APPROVAL OF BUILDING OWNER OR OWNER REPRESENTATIVE.
- CORING SHALL NOT BE PERFORMED DURING WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER.
- SUBMITTAL OF BID INDICATED CONTRACTOR IS FAMILIAR WITH ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED AS DETAILED AND OUTLINED IN THESE DRAWINGS.
- THE ELECTRICAL PORTION OF THESE DRAWINGS IS ONLY A PART OF THE OVERALL DESIGN. IT IS NECESSARY FOR THE ELECTRICAL CONTRACTOR TO VERIFY ALL ASPECTS OF THIS PROJECT WHEN BIDDING AND PLANNING THE WORK.
- IN THE EVENT OF A CONFLICTING DESIGN OR NOTATION, THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OR RESTRICTIVE METHOD UNTIL A CLARIFICATION IS MADE.
- ALL THINGS, WHICH IN THE OPINION OF THE CONTRACTOR ARE DEFICIENCIES, OMISSIONS, CONTRADICTIONS OR AMBIGUITIES IN THESE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE SUBMISSION OF BID. ALL CLARIFICATIONS MUST BE RECEIVED IN WRITING IN ORDER FOR THE MATTER TO BE CONSIDERED RESOLVED.
- ELECTRICAL WORK SHALL INCLUDE BUT NOT LIMITED TO ALL MATERIALS AND LABOR TO COMPLETE ALL ELECTRICAL SYSTEMS INCLUDING LIGHTING, LOW VOLTAGE SYSTEMS, PANELS, POWER, AND TELEPHONE DATA SERVICE, CONTROL WIRING, AND GROUNDING.
- ALL WORK TO BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT, UNIFORM, AND WELL INSTALLED APPEARANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROTECTION, CLEAN-UP AND RESTORATION OF OWNER FACILITIES ASSOCIATED WITH THE WORK.
- SUBMITTAL OF BID REQUIRES CONTRACTOR IS AWARE AND WILL COMPLY WITH ALL CORING AND UNDERGROUND RESTRICTIONS, ELEVATOR RESTRICTIONS, AND UNDERSTANDS OWNER EXPECTATION REGARDING THE SCHEDULE OF CORING AND OTHER TENANT IMPACTING ACTIVITIES.
- CONTRACTOR TO VERIFY OWNER APPROVAL OF ANY PLANNED OUTAGES PRIOR TO SUBMITTAL OF BID.

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FREDERICK Y. BENJAMIN
062-033842
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

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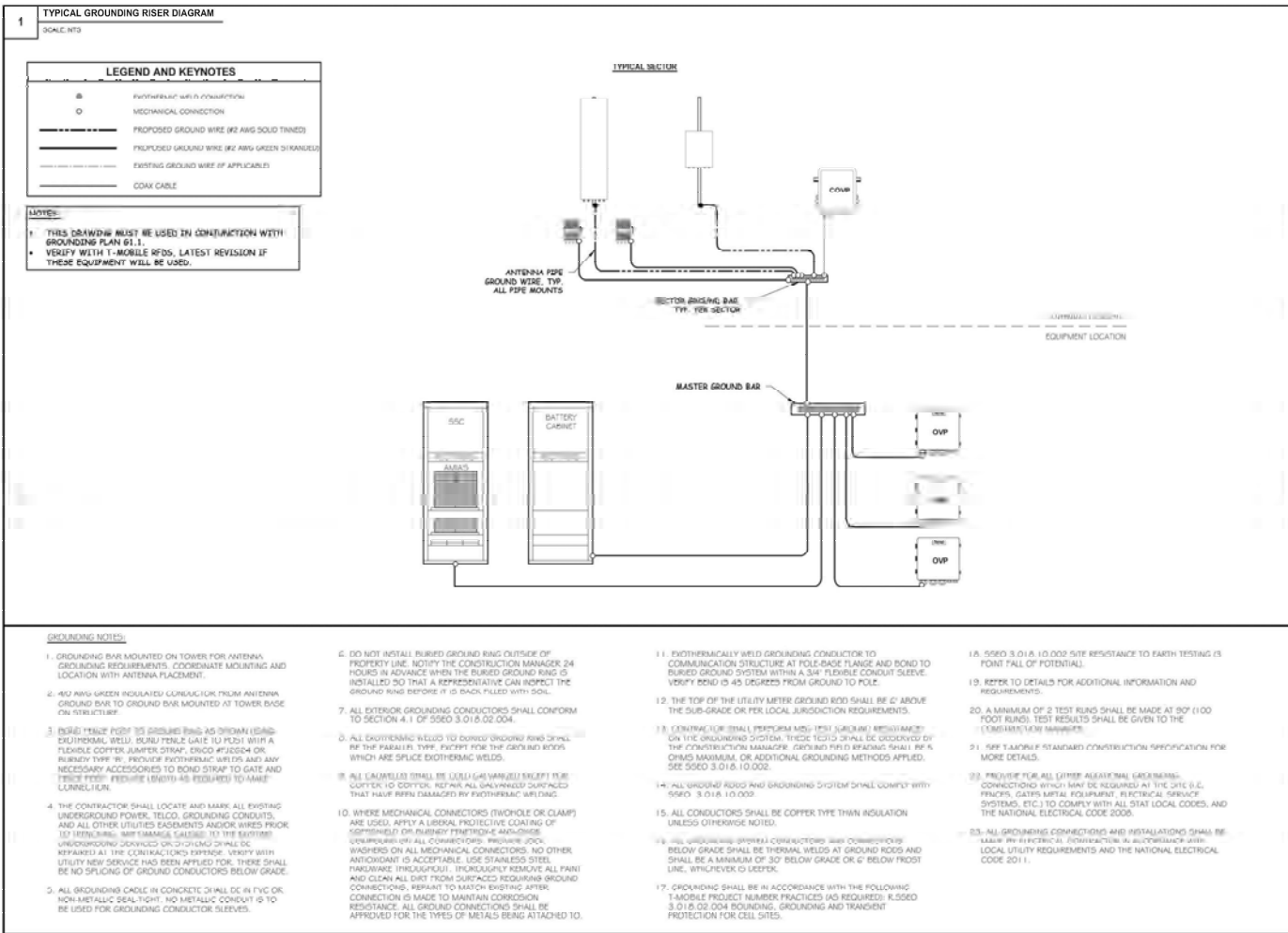
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WATER TOWER

BRANCH CIRCUITS

E1.1

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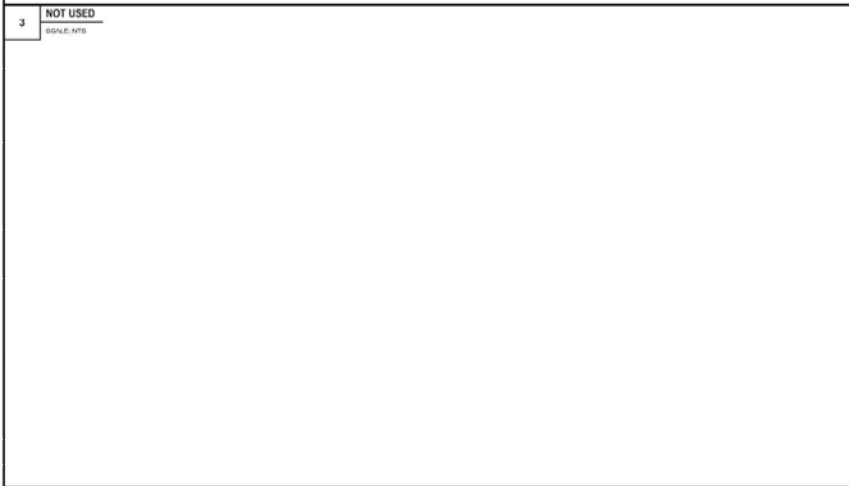
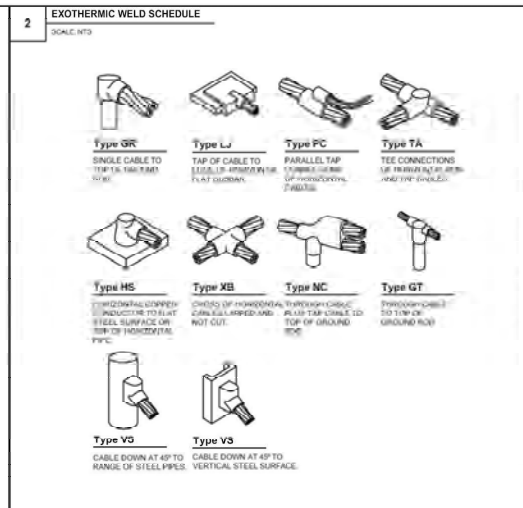
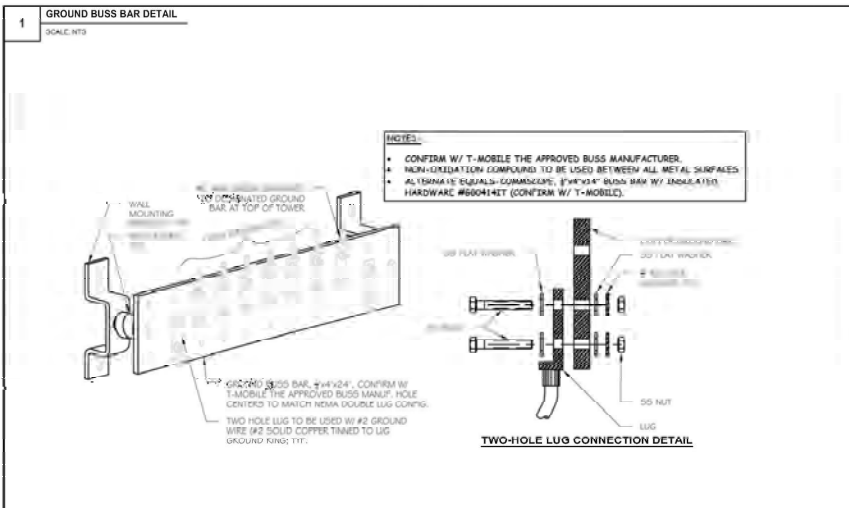
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GROUNDING DIAGRAM

G1.1

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GROUNDING DETAILS

G2.1

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GENERAL SCOPE:

GC TO REMOVE PLINTH AND EXISTING SSC - EXERCISE CAUTION IF AAV FIBER RUNS THROUGH THE PLINTH - GC TO PIPE IN THE AAV FIBER IF THAT BE THE CASE

INSTALL NEW HPL3 & BBU CABINETS PER INSTALLATION GUIDELINES

FSMF / FSEB / CSR TO BE RELOCATED INTO NEW HPL3

SSC USED BATTERIES TO BE RELOCATED INSIDE NEW BBU - (with connection hardware)

GC TO REPLACE AREA WHERE PLINTH ONCE WAS WITH GRATING TO MATCH EXISTING

GC TO ENSURE NEW CABINETS ARE PLACED OVER IBEAMS/ANGLE IRON/OR STRUCTURAL CHANNELS ON A MINIMUM OF TWO SIDES FOR ANCHORING

100AMP AC DUAL POLE BREAKER FOR EXISTING SSC TO BE SWAPPED FOR A QUAD POLE 200AMP AC BREAKER IN PPC

OLD BREAKERS RELATED TO DECOMMED EQUIPMENT TO BE REMOVED AND PLUGGED TO BE WITHIN CODE

TRANSPORT FIBER TO REROUTE DIRECTLY FROM CIENA TO HPL3 IN CONDUIT

GC TO INSTALL NEW AIRSCALE MODULES IN AMIAS WITHIN THE HPL3

GC TO REFER TO UTILITY LEGEND ON SP-1 WHEN APPLICABLE

GC TO REFER TO LATEST SA, RFDS AND PORT MATRIX TO ENSURE ACCURATE EQUIPMENT CALL OUTS AND PLUMBING

GC needs to make sure the fans are flipped on the flexi modules prior to installing in the HPL3 to allow proper cooling of the module.

FSEB to be relocated into the HPL3 cabinet GC to verify there is a 10" Gap between the HPL3 and BBU to allow proper access to the cabinet.

GC needs to ensure that there is 21" minimum clearance from the back of the HPL3 to allow for future servicing of the filters in the back of the cabinet.

GPS cable to be rerouted through the COVP into conduit for the HPL3 cabinet to not have another hole in the cabinet.

GC to reference the HPL3 installation guidelines and Manual when installing the HPL3 & BBU cabinets.

GC to verify that the COVP is properly wired with the correct gauge wire and breaker from the HPL3 to the COVP.

· if it is HCS 1.0 the GC will need to pull (4) #6 blue & (4) #6 wires going from the 200A DC breaker in the SSC to the COVP.

· If it is the HCS 2.0 the GC will need to pull (3) #2 blue wires & (3) #2 black wires going from the SSC to the COVP.

There should be a pair of blue & black wires going to a 100A DC breaker per sector installing a total of (3) 100A breakers.

GC to insure all conduits no longer being used are decommissioned and holes are properly sealed and weatherproofed.

(2) NEW 4" RIGID RMC ELECTRIC AND TELCO CONDUITS TO BE ROUTED FROM NEW BATTERY CABINET TO NEW HPL3 SSC

(1) NEW 1" AC RIGID RMC CONDUIT TO BE ROUTED FROM NEW BATTERY CABINET TO NEW HPL3 SSC

(1) NEW 1" AC RIGID RMC CONDUIT TO BE ROUTED FROM NEW BATTERY CABINET TO NEW HPL3 SSC

(1) NEW 2" RIGID UNDERGROUND PVC CONDUIT W/2" THREADED LL TYPE RIGID CONDUIT BODY AT SSC FOR POWER, (1) 3/0 GROUND, (2) 3/0 POWER, (1) #4 NEUTRAL WIRES FROM EXISTING PPC TO NEW HPL3 SSC

(1) NEW 2" RIGID UNDERGROUND PVC RMC ELECTRIC CONDUIT TO BE ROUTED FROM NEW HPL3 SSC TO EXISTING/NEW COVP

(1) NEW 1" RIGID UNDERGROUND RMC CONDUIT TO BE ROUTED FROM EXISTING CIENA TO HPL3 SSC

REMOVE SHADED PORTION OF ICE- BRIDGE, GRIND SMOOTH AND COLD GALVANIZE ALL EFFECTED SURFACES- RE-TERMINATE & WEATHERSEAL LINES TO INDUSTRY STANDARDS

REMOVE ICE BRIDGE BEHIND HPL3 FOR 21" SPACE TO REMOVE REAR DOOR AND MAINTAIN FILTERS

RETERMINATE AND SUPPORT EXISTING LINES

(2) NEW HCS 2.0 JUNCTION BOXES

FOLLOW LATEST RFDS

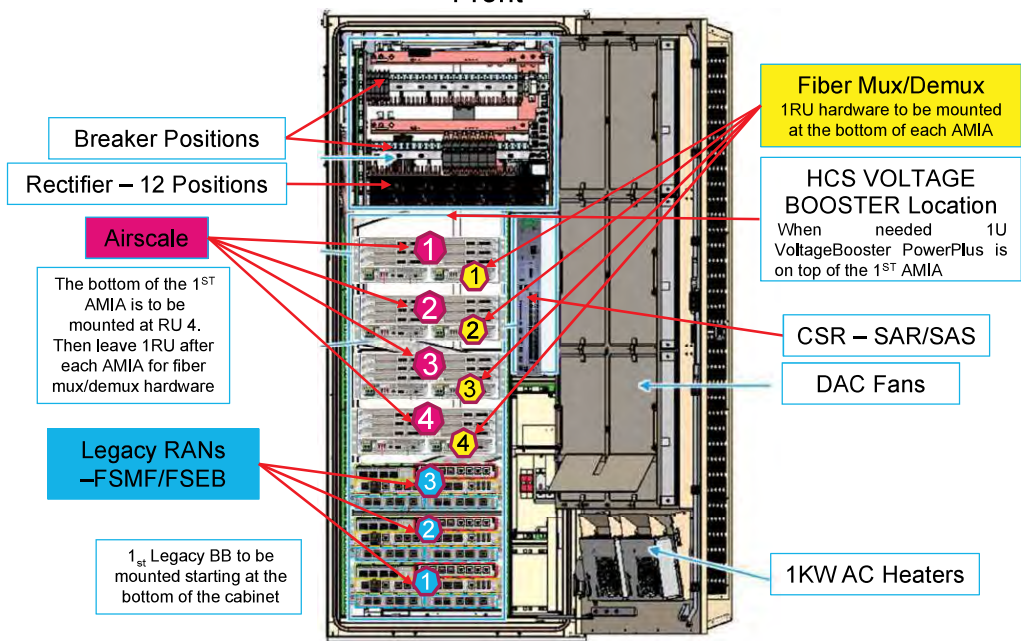
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UTILITY LEGEND						
NO.	FROM	TO	WIRE QTY. & TYPE	GROUND	CONDUIT SIZE	FUNCTION
1	PPC	HP LARGE SSC	(2) 3/0	(1) 3/0 FOR GROUND & (1) #4 NEUTRAL WIRES	2" RIGID RMC W/ 2" THREADED LL TYPE RIGID CONDUIT BODY	ELECTRIC CONDUIT
1A	PPC	HP LARGE SSC	1 PAIR OF BELDEN 27916A #18 AWG	N/A	1" RIGID RMC	ELECTRIC CONDUIT
2	CIENA DELIVERY SWITCH	HP LARGE SSC	(1) CAT-6 CABLE	N/A	1" RIGID RMC	FIBER CONDUIT
3	CIENA POWER JUNCTION BOX	HP LARGE SSC	(2) #12	(1) #6	1" RIGID RMC	ELECTRIC CONDUIT
4	HP LARGE SSC	OVPI FIBER JUNCTION BOX	3 PAIRS OF #2	N/A	2" RIGID RMC	ELECTRIC CONDUIT
5	HP LARGE SSC	BATTERY CABINET	(2) CAT-5 CABLES	N/A	4" RIGID RMC	TELCO CONDUIT (FOR BATTERY ALARM)
6	BATTERY CABINET	HP LARGE SSC	4 PAIRS OF 4/0 TELCO FLEX POWER CABLES, (2) #12	N/A	4" RIGID RMC	ELECTRIC CONDUIT
6A	BATTERY CABINET	HP LARGE SSC	(3) #12	(1) #10	1" RIGID RMC	ELECTRIC CONDUIT
7	PPC	(2) NEW 15W LED SERVICE LIGHTS	(3) #12	(1) #12	1/2" RIGID RMC	ELECTRIC CONDUIT
8	EXISTING TRANSFORMER	METER W/ NEW 200A DISCONNECT	(3) 3/0	(1) #4	2" RIGID RMC (ABOVE GROUND); EMT (INSIDE BUILDING); SCH. 40 GREY PVC RMC (UNDERGROUND)	ELECTRIC CONDUIT
9	METER W/ NEW 200A DISCONNECT	PPC	(3) 3/0	(1) #4	2" RIGID RMC (ABOVE GROUND); EMT (INSIDE BUILDING)	ELECTRIC CONDUIT
10	EXISTING FIBER BOX	CIENA DELIVERY SWITCH	BY FIBER PROVIDER	N/A	2" RIGID RMC (ABOVE GROUND); EMT (INSIDE BUILDING)	FIBER CONDUIT
11	WATER MAIN	GROUND BAR	N/A	#2 AWG GREEN JACKETED	1" RIGID RMC (ABOVE GROUND); EMT (INSIDE BUILDING)	GROUND CONDUIT
12	WATER MAIN	METER	N/A	#2 AWG GREEN 3 STRANDED	1" EMT	GROUND CONDUIT

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CABINET LAYOUT

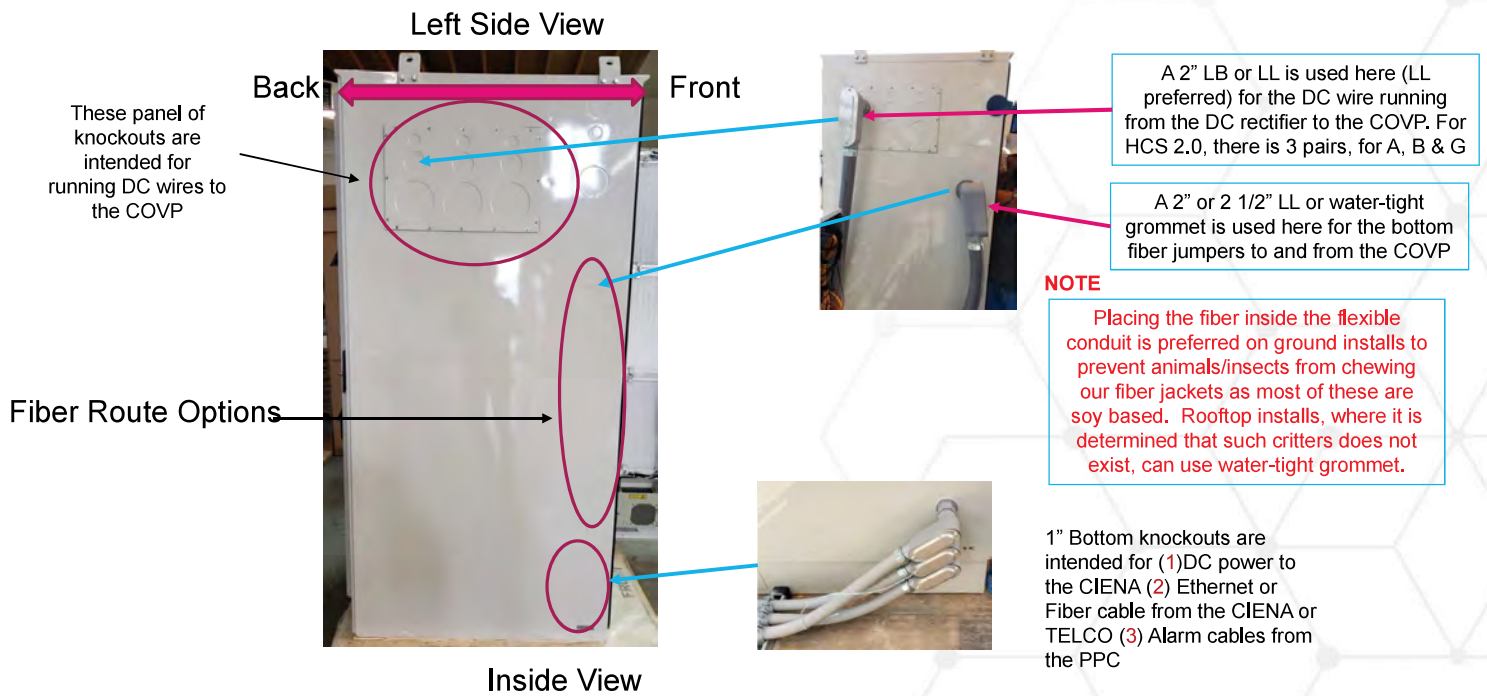
HPL3
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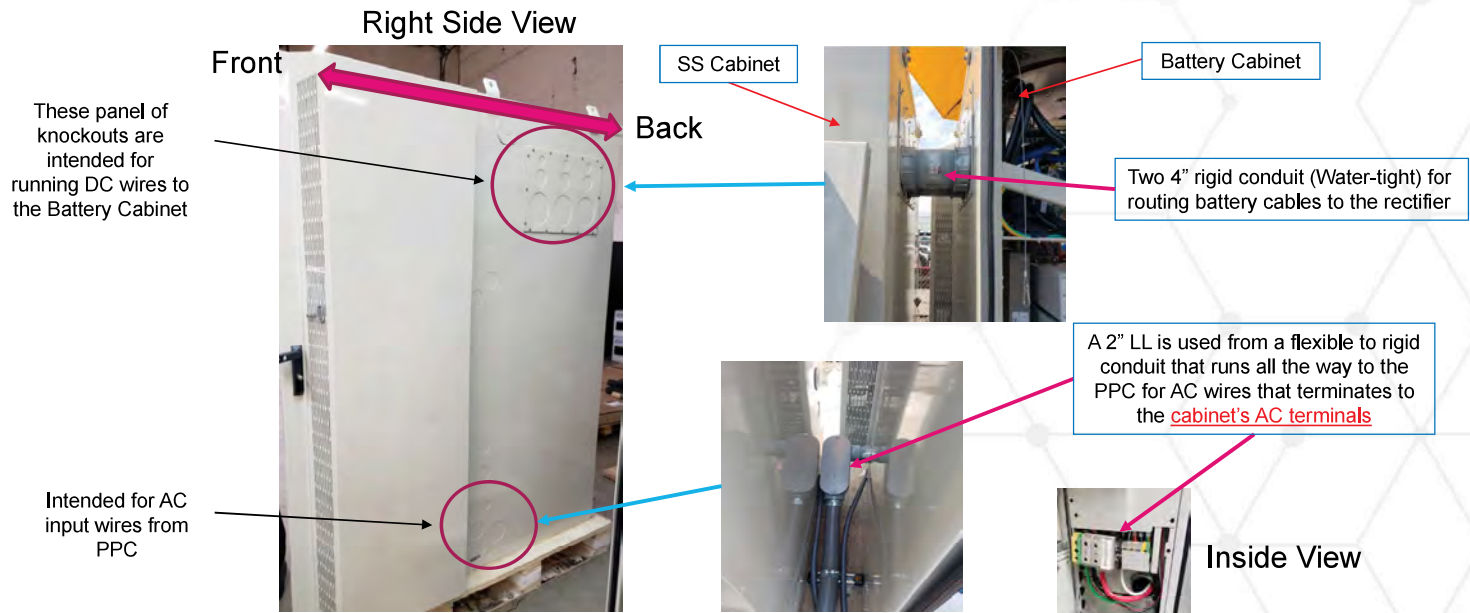
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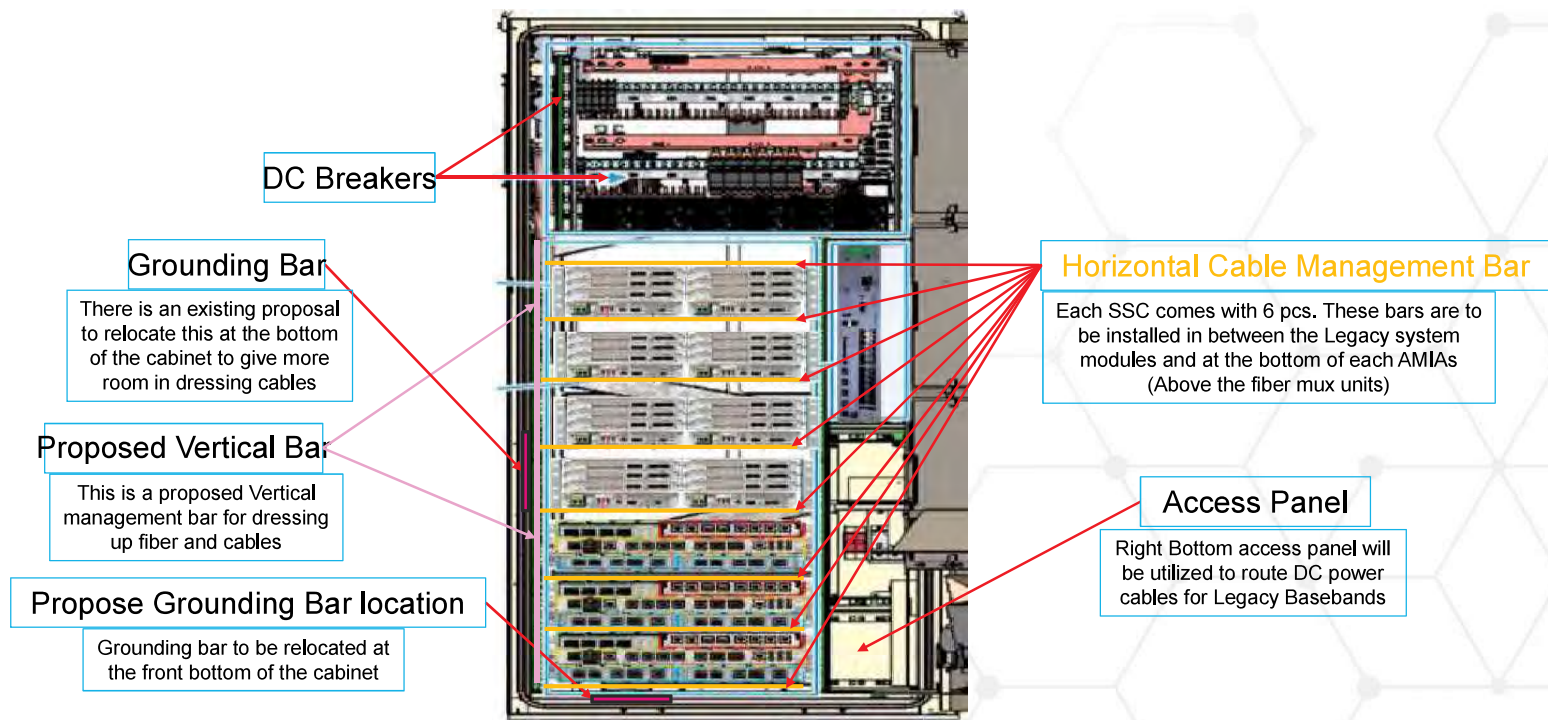


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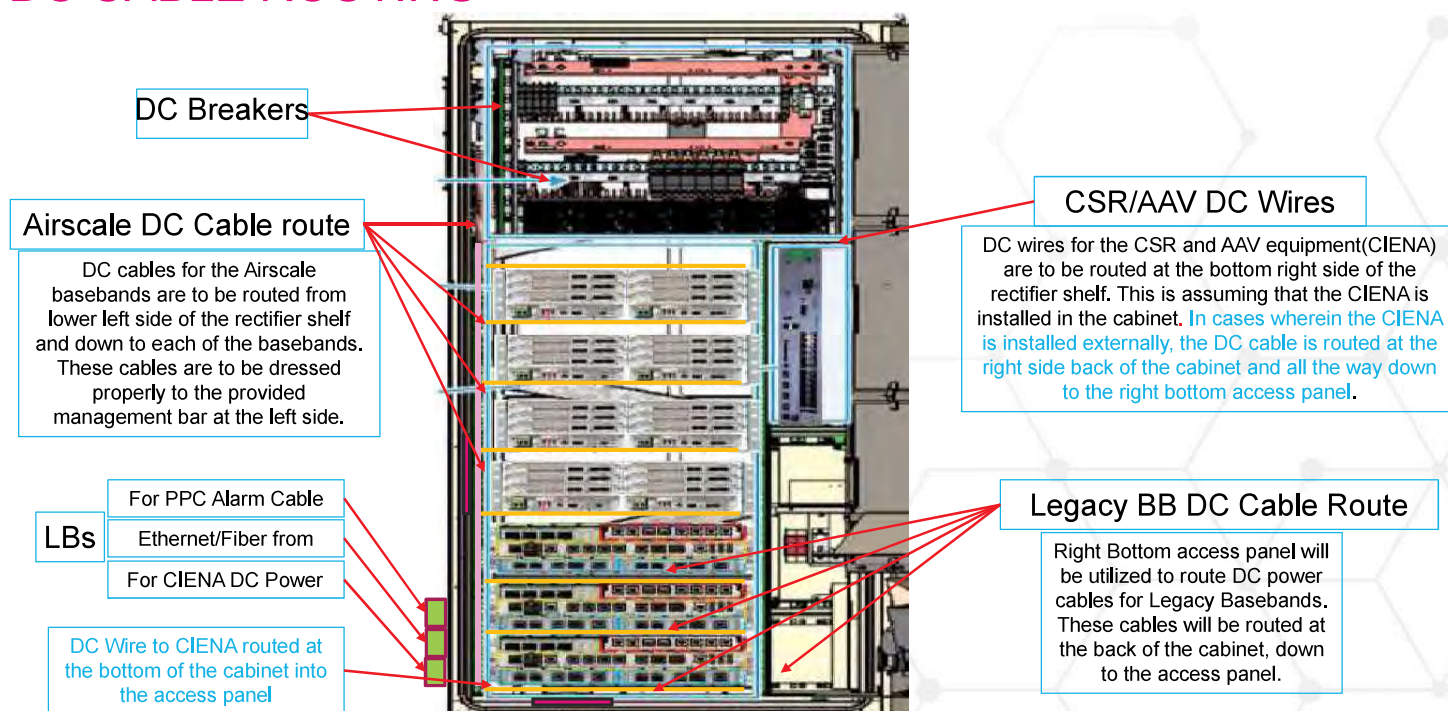
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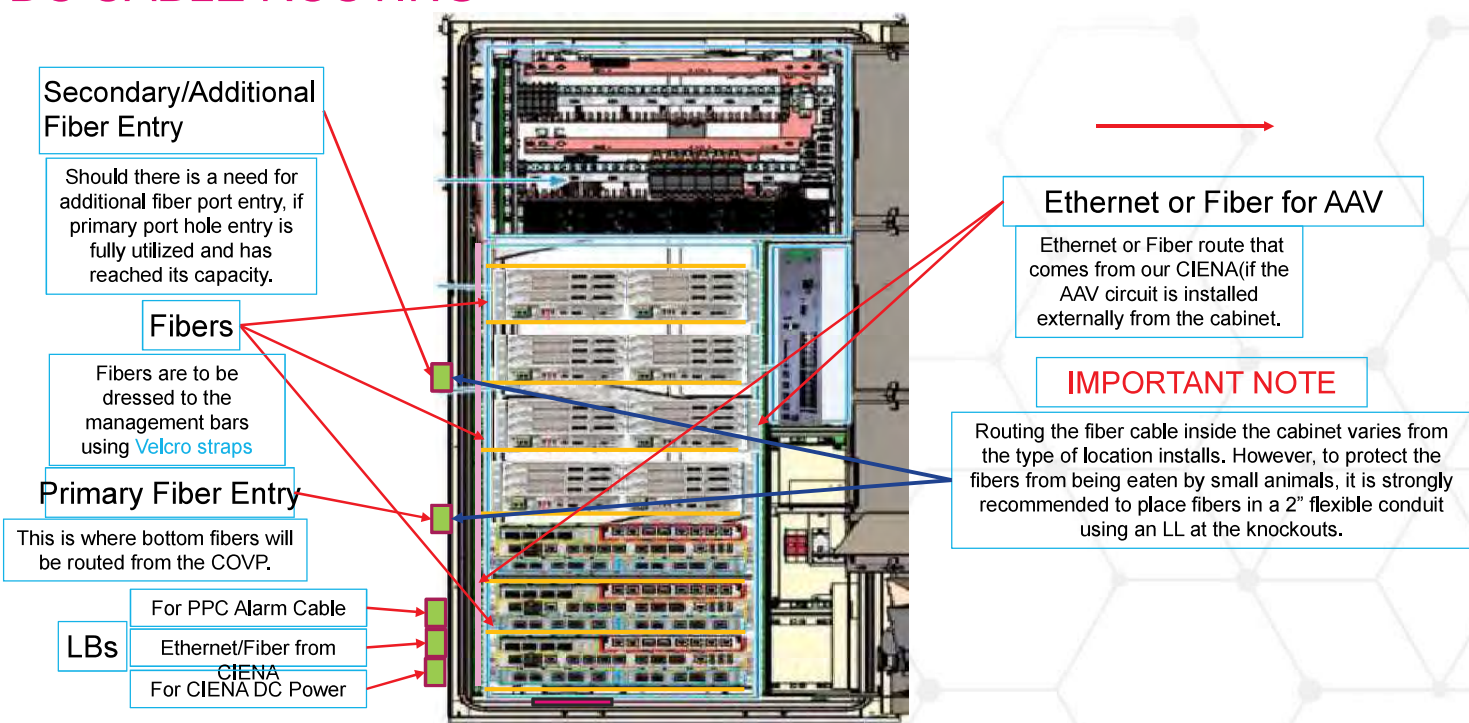
DC CABLE ROUTING



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PART I - GENERAL

1.01 CARRIER REPRESENTATIVE

A. THE SITE DEVELOPMENT MANAGER (SDM) OF HIS DESIGNS INCLUDING BUT NOT LIMITED TO THE ARCHITECT/ENGINEER, OR CONSTRUCTION MANAGER SHALL SERVE AS THE SINGLE POINT OF CONTACT.

B. BETWEEN THE CONTRACTOR AND OWNER, NOT WITHSTANDING THE REQUIREMENTS SPECIFIED HEREIN, THE SDM OR DESIGNATED REPRESENTATIVE IS EMPOWERED TO DIRECT THE CONTRACTOR TO MAKE OR CHANGE FROM THE PLANS AND SPECIFICATIONS AND CONSTRUCTION OF CONSTRUCTION PERMITS.

C. CONTRACTOR SHALL VERIFY ALL CHANGES ARE ACCEPTED BY THE ENGINEER OF RECORD.

1.02 INTENT

A. THE EMPLOYER AND SPECIFICATIONS ARE INTENDED TO BE FULLY COMPLIANT AND COMPLIMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED ON BOTH.

B. THESE SPECIFICATIONS AND DESIGN DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE PERFORMED AND THE MATERIALS TO BE UTILIZED FOR THE CONSTRUCTION OF THE STRUCTURE.

C. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS.

D. THE PURPOSE OF THE SPECIFICATIONS IS TO SUPPLEMENT THE INTENT OF THE DRAWINGS AND TO PRESENT A PROGRESSIVE, TIME, OR QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

E. WORK DEVIATIONS FROM THE DESIGN LAYOUT ARE APPROVED AND SHALL BE CONSIDERED AS PART OF THE WORK. HOWEVER, NO CHANGES THAT ALTER THE CHARACTER, INTENT OR THE DESIGN WILL BE MADE UNLESS APPROVED THROUGH A CHANGE ORDER FROM THE OWNER.

1.03 COMPLIANCE

A. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR PERFORMING ANY WORK. NO EXTRA CHARGE OR CONFIRMATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE SDM OR DESIGNATED REPRESENTATIVE FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH WORK IN THE AFFECTED AREA.

B. THE CONTRACTOR, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING WHICH THE CONTRACTOR MIGHT NOT HAVE FULLY ANTICIPATED HIMSELF PRIOR TO BIDDING.

C. NO FEE OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED WILL BE ACCEPTED AS A REASON FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

1.04 BIDDING PROCESS -- INSTRUCTIONS TO BIDDERS

A. OWNER REQUESTS A FIRM LUMP SUM BID FOR ALL WORK DESCRIBED IN THE CONTRACT, AS INDICATED IN THESE CONSTRUCTION DRAWINGS/SPECIFICATIONS, APPARENT WITH FIELD VISIT, AND ACCORDING TO ANY OTHER AGREEMENTS AND DIRECTIONS.

B. BIDDER WILL GUARANTEE BIDS FOR 90 DAYS FROM BID DUE DATE. BIDS SHALL INCLUDE ALL APPLICABLE STATE AND FEDERAL TAXES.

C. PROPOSAL (AS OUTLINED IN BID DOCUMENTS) IT IS UNDERSTOOD BY OWNER, THAT THE BIDDER IN SUBMITTING HIS BID, WARRANTS THAT HE HAS:

1. CAREFULLY EXAMINED THE SITE OF THE PROJECT TO ACQUAINT HIMSELF WITH:

1. SURROUNDING PROPERTIES;
2. MEANS OF APPROACH TO THE SITE;
3. CONDITIONS OF THE ACTUAL JOB SITE;
4. FACILITIES FOR DELIVERING, STORING, PLACING, HANDLING AND REMOVAL OF MATERIALS AND EQUIPMENT;
5. ANY AND ALL DIFFICULTIES THAT MAY BE ENCOUNTERED DURING THE EXECUTION OF ALL WORK IN ACCORD WITH THE CONTRACT DOCUMENTS.

1.05 CONTRACTS AND WARRANTIES

A. UNDESIGNED PORTION OF AGREEMENT BETWEEN OWNER REPRESENTATIVE AND CONTRACTOR MAY BE USED AND WILL BE ENFORCED FOR CONTRACT AGREEMENTS.

B. UNLESS ARRANGED OTHERWISE, EACH CONTRACTOR IS RESPONSIBLE FOR FILING THE BUILDING PERMIT AT THE LOCAL JURISDICTION AS THE CONTRACTOR OF RECORD, AND PROVIDE JURISDICTION WITH ALL PROOF REQUIRED TO OPERATE AS A CONTRACTOR IN THAT JURISDICTION.

C. THE CONTRACTOR SHALL BE RESPONSIBLE, AT HIS OWN RISK, FOR THE AMOUNT OF ANY FEE AS FOLLOWS:

1. PLAN REVIEW FEE;
2. BUILDING PERMIT FEE;
3. CONNECTIONS AND INSPECTION FEES.

EACH CONTRACTOR IS RESPONSIBLE FOR APPLICATION & PAYMENT OF CONTRACT LICENSES & BONDS.

1.06 STORAGE

A. DO NOT USE THE CARRIER EQUIPMENT SPACE FOR STORAGE OF TOOLS OR MATERIALS WITHOUT WRITTEN SDM APPROVAL.

B. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY LOCATION AND IN A MANNER THAT WILL NOT OBSTRUCT THE FLOW OF OTHER WORK. ANY EQUIPMENT OR MATERIAL STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE MANUFACTURER.

1.07 PROTECTION

A. PROTECT FINISHED SURFACES, INCLUDING JAMBS AND WALLS USED AS PASSAGeways THROUGH WHICH EQUIPMENT AND MATERIALS WILL PASS.

B. PROVIDE PROTECTION FOR EQUIPMENT ROOM SURFACES PRIOR TO ALLOWING EQUIPMENT OR MATERIALS TO BE MOVED OVER/UPON SURFACES.

C. MAINTAIN FINISHED SURFACES CLEAN, UNHARMED AND SUITABLY PROTECTED UNTIL JOB SITE IS ACCEPTED BY THE SDM.

1.08 REPAIRS AND REPLACEMENTS

A. IN EVENT OF DAMAGES, THE CONTRACTOR SHALL NOTIFY OWNER SDM, THEN PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AT NO ADDITIONAL COST TO OWNER.

B. ADDITIONAL TIME THAT IS REQUIRED TO SECURE REPLACEMENTS AND TO MAKE REPAIRS WILL NOT BE CONSIDERED BY OWNER TO JUSTIFY EXTENSION IN THE CONTRACT TIME FOR COMPLETION.

1.09 TEMPORARY FACILITIES

A. WATER: WATER IS NOT AVAILABLE TO THE CONTRACTOR ON SITE.

B. LIGHT AND POWER ARE AVAILABLE ON SITE.

C. TELEPHONE.

D. EACH CONTRACTOR TO PROVIDE HIS OWN TELEPHONE ACCESS IF REQUIRED.

E. CONTRACTORS ARE NOT TO USE COMMON AREAS.

F. IF PERMANENT POWER IS COMPLETED, ALL CONTRACTORS MAY USE THE SERVICE CONNECTION FOR PRODUCTION WORK ONLY, PROVIDED THAT ELECTRICAL CORDS AND CONNECTIONS ARE FINISHED BY CONTRACTORS AND ARE DISCONNECTED AND PROPERLY STORED DURING NON-WORKING HOURS.

1.10 WASTE

A. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK, AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING, INCLUDING ALL TOOLS, SCRAPWOOD AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK AREA CLEAN AND READY FOR USE.

B. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, DUST, SMUDGES, AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPILLED MATERIALS FROM ADJACENT SURFACES.
2. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.

C. INTERIOR: VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, SMUDGES AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPILLED MATERIALS FROM ADJACENT SURFACES.
2. REMOVE PAINT DRIPPINGS, SPILLS, STAINS AND DIRT FROM FINISHED SURFACES.

D. CONTRACTOR SHALL WASH AND WAX FLOOR PRIOR TO FINAL ACCEPTANCE FROM SDM. WAX SHALL BE THE ANTI-STATIC TYPE.

1.11 CHANGE ORDER PROCEDURE

A. CHANGE ORDERS MAY BE INITIATED BY THE OWNER AND/OR THE CONTRACTOR. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE SDM, SHALL PREPARE WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS, AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT IT TO THE SDM FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPE OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE SDM SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

1.12 RELATED DOCUMENTS AND COORDINATION

A. GENERAL CARPENTRY, ELECTRICAL, AND ANTENNA DRAWINGS ARE INTERRELATED, IN PERFORMANCE OF THE WORK EACH CONTRACTOR MUST REFER ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

1.13 SHOP DRAWINGS

A. CONTRACTOR TO SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS AND THROUGH THE GENERAL CONTRACTOR TO THE SDM FOR APPROVAL.

B. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL NOT FABRICATE STEEL UNTIL DRAWINGS HAVE BEEN RECEIVED BY OWNER.

C. ALL SHOP DRAWINGS TO BE REVISED, CHECKED AND CORRECTED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE SDM.

1.14 PRODUCTS AND SUBSTITUTIONS

A. SUBMIT A COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST IDENTIFY THE PRODUCT FABRICATOR OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION, INCLUDE RELATED INSPECTIONS AND DRAWING NUMBERS, AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.

B. ALL NECESSARY PRODUCT DATA AND CUT SHEETS SHOULD PROMPTLY BE OBTAINED AND DESCRIBE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF OBTAINED NECESSARY BY THE SDM, SUBMIT ANALYTICAL SAMPLES TO THE SDM FOR APPROVAL IN LIEU OF CUT SHEETS.

1.15 COMPLIANCE

A. ALL MATERIALS, DESIGN AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES (SOME ARE LISTED HEREIN) ORDINANCES, AND AUTHORITIES HAVING JURISDICTION OVER THE WORK. PRIOR TO THE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL PROVIDE CARRIER WITH THE CERTIFICATES OF OCCUPANCY (IF REQUIRED), JOB-SITE PERMITS (IF ANY) AND INSPECTION CHECK WITH ALL FINAL INSPECTION SIGNATURES AND OTHER LEGAL DOCUMENTS TO VERIFY FULL COMPLIANCE. WHERE NO CODES EXIST, THE WORK SHALL CONFORM TO THE UNIFORM BUILDING CODE AND/OR THE SPECIFICATIONS HEREIN, WHICHEVER IS MORE PRESCRIPTIVE AND DOCUMENTS SUBMITTED SHALL BE FURNISHED TO THE OWNER.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH THE GOVERNING CODES AND TO NOTIFY THE SDM OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.

C. REFERENCES TO ANY STANDARD OR CODE OF PRACTICES IN THIS SPECIFICATION SHALL BE DEEMED TO MEAN THE EDITION CURRENT AT THE TIME OF AWARD OF THE CONTRACT.

D. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE APPLICABLE SPECIAL REGULATIONS AS OUTLINED IN THE JOB SPECIFICATIONS, OR AS DIRECTED BY THE SDM.

1. ANNOTA - 222 - G
2. INTERNATIONAL BUILDING CODE (IBC)
3. NATIONAL ELECTRICAL CODE (NEC) WITH ALL AMENDMENTS
4. AMERICAN INSTITUTE FOR STEEL CONSTRUCTION OF SPECIFICATIONS (AISC)
5. 1989-BUILDING CODE (IBC)
6. FEDERAL AVIATION REGULATIONS

E. CONTRACTOR EMPLOYEES AND THEIR EMPLOYEES SHALL OBSERVE AND PRACTICE ALL CITY'S SAFETY REGULATIONS WHILE PERFORMING SERVICE.

F. TOWER PLATFORM AND ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EMPLOYED IN THE ASSEMBLY AND DELIVERY OF TOWER MATERIALS. TRANSPORTATION UNITS AND SUPPORT STRUCTURES.

G. WHERE A TOWER DOES NOT HAVE A PERMANENT FALL PROTECTION SYSTEM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SUITABLE SYSTEM FOR ITS EMPLOYEES.

H. GENERAL CONTRACTOR WILL HAVE A QUALIFIED PERSON WITH TOOLS AT THE TIME OF INSTALLATION OF EQUIPMENT.

1.16 ADMINISTRATION

A. THE CONTRACTOR SHALL FURNISH TO THE SDM WITH THE NAME AND CONTACT TELEPHONE NUMBERS (PHONE, FAX AND RESOURCE PAGE) OF THE CARRIER ATTACHED ON-SITE SUPERVISOR. ANY CHANGES IN SUPERVISION MUST BE REPORTED TO THE SDM IMMEDIATELY AND BE SUBJECT TO CARRIER APPROVAL.

1.17 PERMIT AND LICENSES

A. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, STATE, FEDERAL, COUNTY CONSTRUCTION PERMITS AND LICENSES. COPIES OF ALL PERMITS SHALL BE SUBMITTED TO THE SDM FOR APPROVAL FROM RELEVANT PLANNING BOARD, ENVIRONMENTAL BOARD, ANOTHER OTHER COMMITTEE WILL BE SUPPLIED BY OTHERS, BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE APPLICATIONS CONSTRUCTION PERMITS.

B. PERMITS WILL BE OBTAINED BY OTHERS BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE ERECTING OF TOWER IF APPLICABLE.

C. FOR CONSTRUCTION SCHEDULING REFER TO THE INSTRUCTIONS PROVIDED BY THE SDM ITEMS TO BE INCLUDED:

1. CLEARING AND GRUBBING
2. BUILDING PERMIT
3. SITE DELIVERY AND FACTURING
4. BUILDING FOUNDATION EXCAVATION
5. ACCESS ROAD
6. COMMERCIAL AC POWER
7. BUILDING FOUNDATION FORMING
8. INSPECTIONS
9. LANDSCAPING
10. GROUNDING SYSTEM
11. ANTENNA INSTALLATION

D. PRIOR TO COMMENCING THE WORK, THE GENERAL CONTRACTOR SHALL SCHEDULE AN ON-SITE MEETING WITH ALL SUBSIDIARIES TO THE PROCESS. THIS MEETING SHOULD INCLUDE (THOUGH NOT LIMITED TO) THE FOLLOWING REPRESENTATIVES OF EACH SUB-CONTRACTOR:

E. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY & VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR QUESTIONS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REFERRED TO THE ARCHITECT/ENGINEER FOR RESOLUTION & INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS IDENTIFIED & CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL ALL APPROPRIATE UTILITY COMPANIES 48 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE UNDERGROUND UTILITIES LOCATED & MARKED.

F. THE CONTRACTOR SHALL BE EQUIPPED WITH A MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A CELLULAR PHONE, AND BE AVAILABLE IN A REASONABLE AMOUNT OF TIME TO TAKE DIRECTION FROM THE SDM.

G. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY INCLUDING BUT NOT LIMITED TO PROTECTION OF ALL SITE PERSONNEL AND THE GENERAL PUBLIC DURING THE ENTIRE SITE CONSTRUCTION PERIOD. HE SHALL TAKE ALL REASONABLE PRECAUTIONS TO PLACE AND MAINTAIN BARRICADES, LAMPS, SIGNS, AND THE LINE IN ACCORDANCE WITH OSHA SAFETY ACT AND ANY OCCUPATIONAL GUIDELINES.

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2001 BUTTERFIELD RD.
DOWNS GROVE, IL 60515

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FREDERICK Y. BENJAMIN
062-033842
REGISTERED
PROFESSIONAL
ENGINEER
OF
ILLINOIS

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DOWNS GROVE, IL 60515
WATER TOWER

GENERAL NOTES

GN.1

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11. PROVIDE DAILY UPDATES ON SITE PROGRESS, EITHER VERBAL OR WRITTEN TO SOM.

1. COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.

2. SOM SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS AND SHEET PACEMENTS.

1.10 NOTICES UNDER THE CONTRACT:

A. ALL NOTICES, APPLICATIONS, INQUIRIES AND REQUESTS TO BE GIVEN TO THE CONTRACTOR UNDER THIS CONTRACT MAY BE GIVEN PERSONALLY OR BY REGISTERED MAIL OR REGISTERED MAIL TO THE CONTRACTOR'S OFFICE AND MUST BE RECEIVED BY THE CONTRACTOR'S OFFICE.

1.11 COORDINATION WITH PUBLIC UTILITY COMPANIES:

A. THE CONTRACTOR SHALL COORDINATE WITH RELEVANT COMPANIES REGARDING WHICH PARTY IS RESPONSIBLE FOR THE PROTECTION OF SUCH FACILITIES AND STRUCTURES DURING CONSTRUCTION OF THE SITE.

B. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROTECTION OF SUCH FACILITIES AND STRUCTURES DURING CONSTRUCTION OF THE SITE.

1.12 USE OF PUBLIC ROADS AND TRAFFIC CONTROL:

A. THE CONTRACTOR SHALL MAINTAIN ALL ROADS FREE OF ANY EARTH, ROCK OR OTHER MATERIAL THAT MAY FALL FROM HIS EQUIPMENT OR OTHERWISE BE DEPOSITED ON THE ROADS. ALL SUCH MATERIAL DEPOSITED ON THE ROADS SHALL BE PROMPTLY REMOVED AND THE ROAD CLEANED TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

B. ANY DAMAGE TO PUBLIC ROAD CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE RELEVANT AUTHORITY AND SOM.

C. THE CONTRACTOR IS TO ARRANGE HIS USE OF PUBLIC AND PRIVATE ROADS IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REGULATIONS. HE SHALL MAKE SURE ALLOWANCES FOR ANY RESTRICTIONS THAT MAY BE APPLICABLE. THIS INCLUDES, BUT IS NOT LIMITED TO, LANE CLOSURES FOR STAKE PLACING, MATERIAL PLACEMENT, THE CONTRACTOR'S EQUIPMENT MATERIALS, PUBLIC TRAFFIC CONTROL FOR ACCESS OR EGRESS OF CONSTRUCTION TRAFFIC, AND PROVISION OF ANY REQUIRED TEMPORARY CONSTRUCTION ACCESS.

D. THE CONTRACTOR SHALL MAKE ALLOWANCES FOR THE PROCEDURES AND AIDS NECESSARY TO MAINTAIN NORMAL TRAFFIC FLOW TO A STANDARD ACCEPTABLE TO THE RELEVANT AUTHORITY. THIS INCLUDES, BUT IS NOT LIMITED TO, STREET PLACING, BARRIERS, LIGHTS AND TRAFFIC DIRECTIONS.

1.21 INSPECTIONS:

A. THE CONTRACTOR SHALL NOTIFY THE SOM AT LEAST 48 HOURS IN ADVANCE OF REQUIRED SUBSTRUCTURE INSPECTIONS AND INSPECTIONS THAT WILL BE PERFORMED BY THE SOM OR OTHER DESIGNATED CARRIER REPRESENTATIVE ARE:

- INSPECTION OF GROUNDING SYSTEM PRIOR TO COVER UP
- TRAFFIC CONTROL PLAN

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND INSPECTIONS ARE CARRIED OUT IN A TIMELY MANNER. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF ALL INSPECTIONS.

C. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH CARRIER DESIGNATED INSPECTOR PRIOR TO OBTAIN ALL REQUIRED INSPECTIONS AND TESTING. REQUIRED INSPECTIONS AND TESTING ARE:

- SOIL BEARING CAPACITY
- BUILDING FOUNDATION REINFORCING
- CONCRETE CYLINDER TESTS, SLUMP TEST AIR CONTENT, BATCH TICKETS
- CONCRETE PLACEMENT

1.22 EXPLOSIVES AND DISTURBANCES:

A. THE USE OF EXPLOSIVES OR OTHER DEVICES WHICH MAY DISTURB LOCAL RESIDENCES WILL NOT BE PERMITTED WITHOUT PRIOR WRITTEN CONSENT FROM THE SOM AND WRITTEN CONSENT OF THE PROPERTY OWNER. WHEN APPROVED BY THE SOM, WORK OF THIS TYPE SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REGULATIONS OF ALL APPLICABLE AGENCIES AND INSPECTION DURING THE WORK. PROPERTY OWNERS LIKELY AFFECTED BY THE WORK SHALL BE NOTIFIED IN ADVANCE, IN WRITING. ALL SUCH NOTIFICATIONS SHALL BE COPIED TO THE SOM. CONTRACTOR RESPONSIBLE FOR ANY AND ALL CLAIMS AS A RESULT OF THIS ACTIVITY.

1.23 ENVIRONMENTAL PROTECTION:

A. NOISE LEVEL: THE CONTRACTOR SHALL ENSURE THAT STATE AND LOCAL REGULATIONS ARE COMPLIED WITH IN REGARD TO NOISE LEVELS PRODUCED BY HIS OR HIS SUBCONTRACTOR'S EQUIPMENT OR METHODS OF CONSTRUCTION.

B. DUST CONTROL: THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO LIMIT THE CREATION OF ANY DUST OR MIST WHICH MIGHT AFFECT PUBLIC CONSTRUCTION TO THE SATISFACTION OF THE LOCAL AUTHORITIES AND THE PROPERTY OWNER. IF NECESSARY, THE CONTRACTOR SHALL REGULARLY WATER ALL TRACKS AND CONSTRUCTION AREAS. THE SOM MAY DIRECT THAT WORK BE DONE IN A SUCH MANNER AS ANY PARTICULAR DUST NUISANCE IS CONTRIBUTED TO THE SATISFACTION OF THE SOM, LOCAL AUTHORITIES, AND PROPERTY OWNER.

C. PRESERVATION OF TREES AND SHRUBS: THE CONTRACTOR AND HIS EMPLOYEES AND SUBCONTRACTORS SHALL REFRAIN FROM DESTROYING, REMOVING, OR CLEARING TREES AND SHRUBS UNLESS SPECIFICALLY ORDERED ON THE CONSTRUCTION PLANS OR APPROVED BY THE SOM.

1.24 RESTRICTIONS:

A. ANY FURNISHED EQUIPMENT OR UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR. ANY DAMAGE TO OR LOSS OF EQUIPMENT OR UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE SOM. RESTRICTIONS SHALL BE RESTRICTED TO A CONDITION AT LEAST EQUAL TO THAT EXISTING BEFORE COMMENCEMENT OF CONSTRUCTION.

2.01 WORK INCLUDED:

REFER TO THE LAND DEVELOPMENT PLAN AND SPEC PLAN FOR WORK INCLUDED

1.25 AS-BUILTS DRAWINGS:

A. THE CONTRACTOR SHALL PREPARE A RED LINED SET OF AS-BUILT DRAWINGS. THE FORM OF MARKED UP CONSTRUCTION PLANS SHALL BE OF A STANDARD ACCEPTABLE TO THE SOM. SUCH DRAWINGS SHALL BE SUBMITTED TO THE SOM TOTAL OF THREE (3) COPIES OF AS-BUILTS WITHIN ONE WEEK FROM PRACTICAL COMPLETION AND PRIOR TO APPROVAL OF THE CONTRACTOR'S FINAL INVOICE.

1.26 PRACTICAL COMPLETION:

A. DOCUMENTATION BY CARRIER BEFORE COMPLETION CAN BE ISSUED INCLUDE:

- ALL CONCRETE TEST RESULTS ARE OBTAINED IN THESE SPECIFICATIONS
- ALL QUALITY ASSURANCE CHECKLISTS AS OBTAINED IN THE PREVIOUS SECTION
- INSPECTION AND MAINTENANCE MANUALS IF APPLICABLE OF EXISTING UTILITIES
- AS-BUILT SURVEY AND ELEVATION DATA
- CERTIFICATE OF OCCUPANCY

B. MARKED UP DRAWINGS SUBMITTED TO PRODUCE AS-BUILTS WILL BE REQUIRED WITHIN ONE WEEK FOLLOWING PRACTICAL COMPLETION AND BEFORE FINAL PAYMENT. THESE DRAWINGS SHALL BE SUBMITTED TO THE SOM FOR APPROVAL AND FURTHER PROCESSING.

C. UNPAID WORKS AS OUTLINED IN THE PAYMENT TERMS OF THE CONTRACT WILL BE REQUIRED PRIOR TO APPROVAL OF FINAL INVOICE.

1.27 RECEIVABLE AND DEBIT:

A. EACH CONTRACTOR SHALL AS HIS OWN EXPENSE CARRY AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCES AS REQUIRED AND LISTED AND SHALL NOT COMMENCE WITH HIS WORK UNTIL HE HAS PRESENTED A CERTIFICATE OF INSURANCE STATING ALL COVERAGES OF THE GENERAL CONTRACTOR WHO SHALL, IN TURN, FORWARD A COPY OF ALL CERTIFICATES TO THE SOM.

B. CARRIED SPECIFIC PROJECT SITE SHALL BE NAMED AS AN INDIVIDUAL INSURED ON ALL POLICIES.

C. THE FOLLOWING ITEMS ARE QUALIFICATIONS THAT CARRIER WILL REQUIRE FROM THE CONTRACTOR WHO IS AWARDED THE CONTRACT:

- CONTRACTOR MUST PROVIDE PROOF OF INSURANCE COVERING GENERAL LIABILITY REQUIREMENTS FOR THE PROJECT AS A LIST OF MINIMUM AND MAXIMUM REQUIREMENTS MUST BE SUBMITTED TO THE SOM. WORKERS' COMPENSATION, INCLUDING \$500,000.00 EMPLOYER'S LIABILITY
- COMPREHENSIVE GENERAL LIABILITY INCLUDING PERSONAL INJURY, BROAD FORM PROPERTY DAMAGE, INDEPENDENT CONTRACTOR, "VICU", AND PRODUCTS/COMPLETED OPERATIONS, WITH LIMITS NOT LESS THAN \$2,000,000.00 PER OCCURRENCE
- ADDITIONAL INSURANCE REQUIREMENTS: AUTOMOBILE LIABILITY, AND PRODUCTS/COMPLETED OPERATIONS ON THE LIABILITY POLICIES OF THE CONTRACTOR
- AUTOMOBILE LIABILITY NOT LESS THAN \$1,000,000.00 PER OCCURRENCE
- EXCESS LIABILITY "UMBRELLA" POLICY OF \$1,000,000.00 PER OCCURRENCE

PART 2 SITE WORK, EARTHWORK AND DRAINAGE

2.00 SITE PREPARATION:

A. SITE PREPARATION:

- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, FENCEMENTS, AND OTHER FACILITIES FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
- SAFETY MEASURES WILL BE REQUIRED OF THE CONTRACTOR TO PROTECT ALL PERSONAL DURING FOUNDATION EXCAVATION AND SHEET PILING. THIS MAY INCLUDE, BUT IS NOT LIMITED TO, TEMPORARY CONNECTION OF OVERHEAD POWER LINES.

B. GEOTECHNICAL INFORMATION:

- A PROFESSIONAL GEOTECHNICAL INVESTIGATION OF THE SITE MAY BE CARRIED OUT BY OTHERS AND FURNISHED TO THE CONTRACTOR AS PART OF THE SITE SPECIFIC PLANS AND SPECIFICATIONS FOR REFERENCE ONLY AND DOES NOT LIMIT HIS LIABILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN INTERPRETATIONS OF THE SUBSURFACE CONDITIONS DOCUMENTED IN THE GEOTECHNICAL REPORT IF HE CONSIDERS THIS INFORMATION AND/OR SAMPLES TO BE LACKING OR INADEQUATE. HE SHALL CARRY OUT FURTHER INVESTIGATIONS, AT HIS EXPENSE, TO SATISFY HIMSELF OF THE SUBSURFACE CONDITIONS.
- SURVEYING AND LAYOUT

C. PROFESSIONAL LAND SURVEY OF THE SITE MAY BE FURNISHED TO THE CONTRACTOR AS PART OF THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL USE A REGISTERED LAND SURVEYOR AT HIS OWN EXPENSE. FOR ALL CONSTRUCTION SURVEYING THAT MAY BE REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS:

- WHERE THE CONTRACTOR BELIEVES THAT NECESSARY DIMENSIONS ARE NOT SHOWN ON THE CONSTRUCTION PLANS, HE MUST REQUEST THESE DIMENSIONS FROM THE SOM IN WRITING BEFORE STARTING THE JOB. HE SHALL MAKE ADEQUATE PROVISIONS, IN TIME, FOR THE SOM TO DETERMINE SUCH DIMENSIONS WITHOUT CAUSING DELAY OF WORKS.
- EXISTING UTILITIES

D. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION ACTIVITY. TRENCHES IN PUBLIC ROADS, RIGHT OF WAYS AND PRIVATE PROPERTY SHALL BE EXCAVATED IN SUCH A MANNER THAT NO DAMAGE TO A UTILITY IS LIKELY TO OCCUR. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY REPAIR OF ALL PUBLIC UTILITY SERVICES SUCH AS GAS, ELECTRICITY, WATER, TELEPHONE, AND THE LIKE. CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL FEES ASSOCIATED WITH INTERRUPTION OF EXISTING UTILITIES.

- DO NOT INTERRUPT EXISTING UTILITIES SERVING THE PROPERTY OWNER OR OTHERS WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER AND APPROVAL FROM THE SOM. PROVIDE 48 HOUR NOTIFICATION TO THE PROPERTY OWNER AND THE SOM PRIOR TO INTERRUPTION OF EXISTING UTILITIES AND ONLY AFTER MAKING PROVISION FOR TEMPORARY UTILITY SERVICES, RELOCATE EXISTING UTILITIES AS DIRECTED ON THE CONSTRUCTION PLANS.
- WHERE INACTIVE SEWER, WATER, GAS, ELECTRICAL, OR OTHER UTILITIES ARE ENCOUNTERED WITHIN THE SITE THAT INTERFERE WITH THE PROTECTION OF THE CONSTRUCTION WORK, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, REMOVE/TERMINATE SUCH UTILITIES IN ACCORDANCE WITH THE UTILITY COMPANY'S RECOMMENDATION, AS REQUIRED BY LOCAL ORDINANCES AND CARRIED OUT BY SITE CONTRACTOR.

E. TEMPORARY CURBLINE:

- PROTECT CURBLINE MEASURES SUCH AS SET BACKS AND/OR BARRIERS SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, WALKWAYS, AND ROADS.

2.01 WORK INCLUDED:

REFER TO THE LAND DEVELOPMENT PLAN AND SPEC PLAN FOR WORK INCLUDED

2.02 RELATED WORK:

A. CONSTRUCTION OF BUILDING FOUNDATION

B. INSTALLATION OF ANTENNA SYSTEM

2.03 DISCLOSURES:

A. ACCESS ROAD, TURNAROUND AREAS, AND SITES ARE CONTRACTED TO PROVIDE:

- 4 MPH TRAFFIC, FULLY MAINTAINED, PAVED SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.

2.04 QUALITY ASSURANCE:

A. APPLY SOIL STABILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION, USE AS REQUIRED.

B. GRASS SEED SHALL BE APPLIED AND MAINTAINED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).

C. VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, WILL BE PLANTED AND MAINTAINED AS RECOMMENDED BY BLACKSBY INDUSTRY (IF REQUIRED).

2.05 SCHEDULING (WHERE APPLICABLE):

A. CONFORM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.

B. THE COMPLETE ROAD AND SITE AREA WILL BE CARRIED FROM TO CONSTRUCTION CONSTRUCTION OR PLACEMENT OF BACKFILL OR SUBGRADE MATERIAL.

C. CONSTRUCT TEMPORARY CONSTRUCTION ZONE ALONG ACCESS DRIVE.

D. THE SITE AREA WILL BE BROUGHT TO SUB-BASE COURSE ELEVATION AND THE ALBERTS ROAD TO BASE COURSE ELEVATION FROM TO (TYPICAL) ELEVATIONS.

E. APPLY 1/2" POLYESTER FIBER FIBERGLASS FIBER (FIBERGLASS) TYPE "A" GEOTEXTILE FABRIC OVER HERBICIDE TREATED SOIL PRIOR TO PLACING BASE MATERIALS.

F. GRADE, SET, FERTILIZE, AND MULCH DISTURBED AREAS IMMEDIATELY AFTER BRINGING THE SITE AND ACCESS ROADS TO BASE COURSE ELEVATION. WATER SITE TO BE 1/2" DEEP WITH:

- REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE.

G. AFTER COMPLETION OF CONSTRUCTION BUT PRIOR TO THE FINAL PUNCH LIST INSPECTION, APPLY 6" INCHES OF FOOT BY CRUSHED STONE.

I. AFTER APPLICATION OF FINAL SURFACES, APPLY SOIL STABILIZER TO THE STONE SURFACES.

2.06 SUBMITTALS:

A. BEFORE CONSTRUCTION:

- MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STABILIZER.
- MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER.
- LANDSCAPING WARRANTY STATEMENT.

B. AFTER CONSTRUCTION:

- MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STABILIZER.
- MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER.
- LANDSCAPING WARRANTY STATEMENT.

2.07 WARRANTY:

- IN ADDITION TO THE WARRANTY AND AS FURNISHED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO CARRIER PROPERTY OR SURROUNDING PROPERTY CAUSED BY CONSTRUCTION.
- SOIL STABILIZER APPLICATION WILL GUARANTEE VEGETATION TREE GROWTH AND THE AREA FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- DISTURBED AREAS WILL PREVENT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION.
- LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL SITE ACCEPTANCE.

PART 3 PRODUCT

3.00 MATERIALS:

A. SOIL STABILIZERS

- TOTAL KILL PHOSCAR CORPORATION PRODUCT 5 (G) PG 5 (1) 2 (3) EPA AGENCY REGISTRATION # 451-103 (S) S 163-1000
- AMBUSH HERICIDE FARMER INDUSTRIAL PRODUCTS - EPA REGISTERED 1435 MORRIS AVENUE UNION, MO 65003 (800) 526-4924

B. ROAD AND SITE MATERIALS SHALL CONFORM TO ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT) SPECIFICATIONS. IF THE SITE IS LOCATED IN ANOTHER STATE, ROAD AND SITE MATERIALS SHALL CONFORM TO THE STANDARDS OF THAT STATE.

C. FILL MATERIAL - ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH DOT STANDARD SPECIFICATION FOR HIGHWAYS AND PUBLIC TRANSPORTATION. IF THE SITE IS LOCATED IN ANOTHER STATE, FILL MATERIAL SHALL CONFORM TO THE STANDARDS OF THAT STATE.

D. SOIL STABILIZER SHALL BE EPA REGISTERED OF LIQUID COMPOSITION AND OF PRE EMERGENCE DESIGN.

E. SOIL STABILIZER FABRIC SHALL BE 60 MIL THICK "TERRASODD TYPE II"

3.01 EQUIPMENT:

A. COMPACTION SHALL BE ACCOMPLISHED BY MECHANICAL MEANS.

- LARGER AREAS SHALL BE COMPACTED BY STEEP FOOT, VIBRATORY, OR RUBBER TIRE ROLLERS WITHIN 6" OF THE TOP.
- SMALLER AREAS SHALL BE COMPACTED BY POWER BRUSH PAVED FIELD TAMPERS.

PART 4 EXCAVATION:

4.00 INSPECTIONS:

A. LOCAL BUILDING INSPECTION SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.

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THE INSITE CONNECTION

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FREDERICK Y. BENJAMIN
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

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WATER TOWER

GENERAL NOTES

GN2.1

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6.01 PREPARATION:

A. **GRUB OR CLEAR:** GRUB OR CLEAR FROM SITE AREA AND REMOVE TO BEYOND THE LIMITS OF ALL NEIGHBORING PROPERTIES.

B. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION EFFORTS GRUB OR CLEAR TO A MIN. OF 3/4 INCHES BELOW ORIGINAL GROUND LEVEL.

C. UNLESS OTHERWISE INDICATED BY PLAN, REMOVE TREES, BRUSH, AND WEEDS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.

D. ALL EXCESSIVE SOIL TO BE REMOVED FROM SITE.

E. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, THE SOIL IS TO BE BOLDED.

F. WHERE UNDESIRABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE OF THE GRUBBED AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.

G. **SOIL TESTING:**

1. PREVENT SURFACE WATER FROM ENTERING EXCAVATIONS, FROM ACCUMULATING ON PREPARED SUBGRADES AND FROM FLOODING THE SITE AND ADJACENT PROPERTIES DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL TAKE ADDITIONAL MEASURES, IF REQUIRED, TO PREVENT SURFACE WATER FROM SOFTENING THE SUBGRADES AND FOUNDATION SOILS PRIOR TO PLACEMENT OF LOOSE FILL.

2. **SOIL TESTING AND CORRECTIONS OF EXCAVATIONS:**

A. THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE, STOPPING, BRACING AND/OR SHIELDING FOR EXCAVATIONS TO PROTECT ADJACENT STRUCTURES AND COMPLY WITH RELEVANT LOCAL CODES, ORDINANCES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO OSHA AND AEC REGULATIONS.

6.02 REPAIRS:

A. THE SITE AND SURROUNDING AREAS SHALL BE AT THE SUBGRADE COURSE ELEVATION PRIOR TO FORMING FOUNDATIONS. GRADE OR FILL THE SITE AND ACCESS ROAD IN ORDER THAT EVEN DISTRIBUTION OF SPILLS FROM FOUNDATION EXCAVATIONS PRODUCE A RESULTING GRADE TO CORRESPOND WITH SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM FINISHED GRADES OR SLOPED INDICATED.

B. EXCESS SPILLS WILL BE CLEARED FROM JOB SITE AND NOT SPREAD BEYOND THE LIMITS OF CARRIER LEASE PROPERTY UNLESS AUTHORIZED BY SOA.

C. THE ACCESS ROAD SHALL BE RESTORED TO BASE COURSE ELEVATION PRIOR TO REMEDIATION OR PRIOR TO PERMIT LOG. COMPACT AND RECONSTRUCT DURING CONSTRUCTION OF THE SITE.

D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POOL.

E. THE CONTRACT SHALL INCLUDE GRADING, BANKING, EROSION AND UNLESS OTHERWISE SPECIFIED, COVERING TWO INCHES OF SURFACE COURSE. ALL ROADS OR ROUTES UTILIZED FOR ACCESS TO THE CARRIER SITE COMMENCING AT THE POINT OF INTERSECTION WITH THE NEAREST PUBLIC THROUGHWAY.

F. WHEN NECESSARY FOR EXISTING ACCESS ROAD, GRADE THE EXISTING ROAD TO MAINTAIN ANY DRAINAGE WATER AND BRING IT TO THE SURFACE BEFORE PLACING FILL OR DRIVE.

G. PLACE FILL OR STUMP IN SIX INCH MAXIMUM AND COMPACT PRIOR TO PLACING NEXT LIFT.

H. THE FINISH GRADE, INCLUDING TOP SURFACE COURSE, SHALL EXCEED A MINIMUM OF ONE FOOT BEYOND THE SITE PERCH AND SHALL COVER THE AREA AS INDICATED.

I. RIPRAP SHALL BE APPLIED TO THE SIDE SLOPES OF ALL FINISHED SITE AREAS, PARKING AREAS, AND DRIVEWAYS.

J. RIPRAP SHALL BE APPLIED TO THE SIDES OF DITCHES OR CHANNELS.

K. RIPRAP ENTIRE DITCH FOR SIX FEET IN ALL DIRECTIONS AT CULVERT OPENINGS.

L. SOIL, FERTILIZER, AND STRAW COVER SHALL BE APPLIED TO ALL OTHER DISTURBED AREAS, AND UNLESS OTHERWISE SPECIFIED, NOT OTHERWISE SPECIFIED.

M. ALL DITCHES AND CIRCUMFERENCES WILL BE COVERED. SPILLS OF CULVERTS BE PLACED AS THEY DIRECT WATER TOWARDS OR FROM EXISTING WATER WITHIN THE SITE, IF SUCH CULVERTS ARE DISCOVERED DURING CONSTRUCTION, THE CARRIER IS TO BE NOTIFIED IMMEDIATELY.

N. IF DITCH LIES WITH SLOPES GREATER THAN TEN PERCENT, MOUND OVERSIZING HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. THE HEADWALL SHALL BE POSITIONED AT AN ANGLE NO GREATER THAN 60 DEGREES OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX FEET ABOVE THE CULVERT ENTRANCE.

O. SOIL AND FERTILIZER SHALL BE APPLIED TO SURFACE CONDITIONS WHICH WILL PROMOTE ROOTING. MAKE AREAS TO BE SEED TO EVEN THE SURFACE AND LOOSEN THE SOIL.

P. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE GROWTH OF SEEDS AND LANDSCAPED AREAS, BY WATERING, UP TO THE POINT OF RELEASE FROM THE CONTRACT, CONTINUE TO WATER, MAKE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.

6.03 FILL QUALITY CONTROL:

A. COMPACT SHALL BE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE DENSIFIED AND REFIELD AT CONTRACTOR'S EXPENSE. PERCENTAGE OF COMPACT SHALL BE NOTED ON THE DRAWINGS.

6.04 PROTECTION:

A. PROTECT SLOOED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL, MESH OR MESH NET, WILL BE AN ACCEPTABLE ALTERNATE.

B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WATERED, TIED WITH HOSE PROTECTED WITH WAF, AND SURVEYED TO 3 INCH V 3 INCH V 4 FOOT WOODEN STAKES PLACING TWO FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.

C. ALL EXPOSED AREAS SHALL BE PROTECTED AGAINST WASHINGS AND SOIL EROSION. STRAW BALS WILL BE PLACED AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS WHERE THE SITE OR ROAD ARE TO BE BUILT IMMEDIATELY ADJACENT TO THE TAIL LINE. EROSION CONTROL FABRIC WILL BE STAKED FULL LENGTH IN THE SWALE BETWEEN THE SITE AND THE ROAD TO PREVENT CONTAMINATION OF THE ROAD DRAINAGE.

PART 5 SPECIALTY ITEMS

5.00 READY-MIX CONCRETE

A. UNLESS OTHERWISE NOTED ON THE CONSTRUCTION PLANS, READY-MIX CONCRETE SHALL BE 4,000 PSI STRENGTH CONFORMING TO THE ASTM C 94 STANDARDS. SUBMIT DESIGN TO SOA FOR APPROVAL ONE WEEK PRIOR TO POURING CONCRETE. EACH BATCH OF CONCRETE DELIVERED TO THE SITE MUST BE ACCOMPANIED BY A DELIVERY TICKET, PREPARED BY THE READY-MIX SUPPLIER STATING THE TICKET NUMBER, DELIVERY DATE, TIME OF ARRIVAL AT SITE, QUANTITY DELIVERED, AMOUNT OF WATER ADDED ON SITE, MIXING, AND TRAVEL TIME TO THE SITE, AND TIME THAT BATCH FULFILL WAS COMPLETED.

B. CEMENT SHALL BE PORTLAND TYPE I OR II AS PER ASTM C 150 STANDARDS. AGGREGATES SHALL BE EVENLY GRADED BETWEEN 1/4 AND 3/4 INCHES AS PER ASTM C 33 STANDARDS. WATER SHALL BE PORTABLE WATER (MILWAUKEE) AS PER ACI 308. AIR ENTRAINING IN EXISTING EXPOSED CONCRETE SHALL BE 6% PROPORTION FOR TYPE II. THE USE OF IMPROVED CEMENTS OR ADMIXTURES IS FORBIDDEN UNLESS THE SOA IN ADVANCE OF WORKING DOCUMENTS.

C. WHERE THE CLIMATE/WEATHER REQUIRES REINFORCEMENT TO THE CONCRETE USING AIR THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE SOA IN ADVANCE OF SUBMITTING THE REINFORCEMENT.

D. COVER THE REINFORCING STEEL WITH WATEROUS COATED BURAP TO PREVENT THE STEEL FROM EXCEEDING THE AMBIENT AIR TEMPERATURE. KEEP SUBGRADE EVENLY MOISTENED TO OPTIMUM MOISTURE CONTENT. THE USE OF WATER-REDUCING ADMIXTURES IS PERMITTED.

E. UNLESS OTHERWISE NOTED ON THE CONSTRUCTION PLANS, ALL EXPOSED SURFACES SHALL RECEIVE A BROOM FINISH PERPENDICULAR TO THE PRIMARY TRAFFIC PATH OR LONGEST DIMENSION OF THE SURFACE. EXPOSED EDGES OF ALL TOWER FOUNDATIONS SHALL RECEIVE A 3/4" BY 3/4" INCH, 45 DEGREE CHAMFER. OTHER EXPOSED EDGES SHALL RECEIVE A TOOLED MASONRY FINISH.

F. PROTECT ALL CONCRETE DURING CURING PERIODS FROM EXCESSIVE LOSS OF MOISTURE AND EXTREME TEMPERATURES (AS OUTLINED ABOVE). IF NECESSARY SPRAY CONCRETE WITH A CONCRETE CURING COMPOUND TO MAINTAIN OPTIMUM MOISTURE CONTENT FOR A 7 DAY PERIOD. MINIMUM CURING - 28 DAYS STRENGTH.

G. A MINIMUM OF 28 HOURS CURING OF 100% HUMIDITY CEMENTS TO BE REQUIRED BEFORE FINISHING FOR FORMERS AND COATINGS.

5.01 TESTING AND INSPECTIONS

A. ALL TESTS, AIR CONTENT TEST, TEMPERATURE READINGS, AND THE SECURING OF CONSTRUCTION TEST CYLINDERS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IN THE PRESENCE OF AN APPROVED LABORATORY REPRESENTATIVE. ONE (1) EACH TEST AND TEST RESULT AND THREE TEST CYLINDERS FOR PER ASTM C 308 SHALL BE TAKEN ON EACH CONCRETE BATCH AT THE BEGINNING OF POURING. TESTING RESULTS TO BE SUBMITTED TO CARRIER COMMUNICATIONS.

5.02 SLUMP:

A. THE SLUMP TEST SHALL BE PERFORMED ACCORDING TO ASTM C 143. THE ALLOWABLE SLUMP SHALL BE FOUR INCHES PLUS OR MINUS ONE INCH UNLESS OTHERWISE APPROVED BY THE SOA.

5.03 TEMPERATURE:

A. NORMAL POURING CONDITIONS THE TEMPERATURE OF THE CONCRETE SHALL NOT EXCEED 90 DEGREES FAHRENHEIT (32 DEGREES CELSIUS) OR GO BELOW 45 DEGREES FAHRENHEIT (7 DEGREES CELSIUS).

B. FOR PROPER RECORD KEEPING, EACH SET OF TEST CYLINDERS SHALL BE MARKED OR TAGGED WITH THE DATE AND TIME OF DAY THE CYLINDERS WERE MADE. THE SITE NAME AND LOCATION OF THE SAMPLED CONCRETE, THE DELIVERY TRUCK OR BATCH NUMBER, THE AIR CONTENT AND THE SLUMP.

C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DELIVERY OF ALL CONSTRUCTION TEST CYLINDERS TO CARRIER APPROVED TESTING LABORATORY.

D. THE MINIMUM ACCEPTABLE COMPRESSIVE STRENGTHS AS DETERMINED BY ASTM C 39 SHALL BE 70 PERCENT OF FULL DESIGN STRENGTH AT 7 DAYS AND 100 PERCENT OF FULL DESIGN AT 28 DAYS. RESULT OF THE 7-DAY CYLINDER BREAK TEST MUST BE CONFIRMED BY THE CONTRACTOR PRIOR TO PLACING THE BUILDING OR ERECTING THE TOWER. WRITTEN CONFIRMATION OF THE 7-DAY AND 28-DAY CYLINDER RESULTS WILL BE REQUIRED BY THE PRACTICAL COMPLETION DOCUMENTATION.

5.04 CONCRETE REINFORCEMENT:

A. ALL CONCRETE REINFORCING BARS SHALL BE GRADE 60, UNCOATED BARS CONFORMING TO ASTM A615 STANDARDS, UNLESS OTHERWISE SPECIFIED, AND SHALL BE FREE OF LOOSE FLUX AND SCALE. BENDING AND WELDING OF REINFORCING BARS, AS SHOWN BY DRAWINGS, A MINIMUM MINIMUM CLEAR SPACE IS REQUIRED BETWEEN ALL REINFORCING AND ALL CONCRETE SURFACES.

B. WELDED WIRE FABRIC SHALL BE PER ASTM A 185 STANDARDS. STEEL WIRE SHALL BE PLAIN, COLD DRAWN WIRE AS PER ASTM A 62.

C. ALL REINFORCING RODS, CHAIRS, SPACERS, AND OTHER ACCESSORIES FOR FASTENING BARS AND WELDED WIRE FABRIC IN PLACE SHALL BE ACCURATELY POSITIONED AND SECURED WHILE CONCRETE IS BEING POURED. ALL REINFORCEMENT SHALL HAVE A MINIMUM CONCRETE COVER OF 3 INCHES, UNLESS OTHERWISE NOTED ON THE CONSTRUCTION PLANS.

5.05 FORMWORK:

A. PLACE, ERECT, SUPPORT, AND BRACE FORMS TO PROVIDE HARDENED INDICATED ON THE DRAWINGS. FOUNDATIONS SHALL BE FORMED TO A DEPTH OF 12" BELOW THE FROST OR IN ACCORDANCE WITH THE CONSTRUCTION PLAN, WHICHEVER IS GREATER. EXPOSED CONCRETE SURFACES SHALL BE CONSIDERED ARCHITECTURAL CONCRETE FORMED TO THE TOLERANCES 0.75 INCHES OVER ENTIRE DIMENSION AND HAVING SURFACE CONSIDERED AS PER ASTM 947 STANDARDS.

B. FABRICATE FORMS TO ALLOW FOR EASY REMOVAL AFTER CONCRETE CURING WITHOUT THE NEED FOR PRYING AND HAMMERS AGAINST CONCRETE SURFACES. FORM MATERIALS SHALL BE SUFFICIENTLY TIGHT TO PREVENT LEAKAGE OF CEMENT PASTE. PROVIDE SUFFICIENT WALL THICKNESS OF TUBES TO PREVENT DEFORMATION DUE TO FORCES OF EXTERNAL PRESSURE.

6.06 WET CURING:

A. BEFORE ANY FOUNDATION EXCAVATION BEGINS, THE CONTRACTOR SHALL VERIFY ALL SHELTER TOWER BASE AND GUY ANCHOR LOCATIONS AS SHOWN ON THE SITE DRAWINGS. UNDESIRABLES SHALL BE REPELLED TO THE SOA AS SOON AS POSSIBLE AND BEFORE EXCAVATION COMMENCED.

5.07 EXCAVATIONS:

A. EXCAVATE FOOTINGS AND FOUNDATIONS TO THE ELEVATIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION PLANS. EXTEND THE WIDTH OF EXCAVATIONS AT LEAST THREE FEET, OR IN ACCORDANCE WITH OSHA REGULATIONS IN ORDER TO GRADE, TO ALLOW FOR SPILL PLACING AND REMOVAL OF FORMWORK, INSTALLATION OF SERVICES AND PERFORMING REPAIRS.

B. EXCAVATIONS CARRIED OUT BELOW THE DEPTHS INDICATED ON THE CONSTRUCTION PLANS OR AUTHORIZED BY THE SOA SHALL BE CONSIDERED UNAUTHORIZED. AT NO ADDITIONAL EXPENSE TO CARRIER THE UNAUTHORIZED EXCAVATIONS SHALL BE FILLED TO THE ELEVATIONS INDICATED ON THE CONSTRUCTION PLANS WITH FOUNDATION CONCRETE. A LEAN CONCRETE MIX, OR ADEQUATELY COMPACTED 7.0 (0.21) CRUSHED STONE AS APPROVED BY THE SOA. C. RESULTS AS APPROVED BY THE SOA. EXPENSE FOR SUCH WORK SHALL BE REIMBURSED TO THE CONTRACTOR.

D. UTILITY TRENCHES SHALL BE EXCAVATED AS REQUIRED BY THE CONSTRUCTION PLANS OR LOCAL LOCALS, WHICHEVER IS GREATER TO ALLOW INSTALLATION OF THE TOP OF THE PIPE OR CABLES TO BE BELOW THE FROST LINE. PROVIDE ADEQUATE SHIELDING AND SUPPORT ALONG THE FULL LENGTH OF THE CARRIER PIPES, FIBER OPTIC AND OTHER SERVICE FROM THE EXCAVATION THAT WOULD OTHERWISE CAUSE POINT LOADING DAMAGE.

6.07 FILL MATERIAL:

A. ALL MATERIALS SHALL BE CONFORMED TO THE MINIMUM CRUSH PROFILES. FRESH EXCAVATIONS ON SITE AND SHALL BE APPROVED BY THE SOA. THE FILL MATERIAL SHALL CONTAIN NO ORGANICS OR ROCKS LARGER THAN 6 INCHES, NOR SHALL CONTAIN OBJECTIONABLE MATERIALS AND/OR MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE FILL MATERIAL SHALL CONTAIN FINED SUFFICIENT TO FILL ALL Voids IN THE MATERIAL. MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN 2 PERCENT OF OPTIMUM. MOISTURE CONTENT PRIOR TO COMPACTING. UNLESS OTHERWISE SPECIFIED, FULLY COMPACTED DRAINAGE FILL CONSISTING OF A WASHED 5/16" STONE TO THE REQUIRED THICKNESS AND ELEVATIONS INDICATED ON THE CONSTRUCTION PLANS.

5.08 EROSION MATERIAL:

A. UNLESS OTHERWISE SPECIFIED, PROVIDE FULLY COMPACTED DRAINAGE FILL CONSISTING OF CRUSHED STONES TO THE REQUIRED THICKNESS AND THE FILL MATERIAL SHALL CONTAIN NO ORGANIC MATERIAL.

5.09 BACKFILL AND COMPACT:

A. BACKFILL OPERATIONS SHALL ONLY COMMENCE AFTER ALL CONSTRUCTION BELOW FINISH GRADE HAS BEEN INSPECTED BY THE RELEVANT AUTHORITIES AND APPROVED BY THE SOA. ALL EXCESS FORMWORK, EXCESS MATERIAL, AND TRASH SHALL BE REMOVED FROM THE EXCAVATION PRIOR TO BACKFILL.

B. PLACE AND COMPACT FILL MATERIAL EVERY FOUR FEET FULL DEPTH OF FULL FOUNDATIONS, UTILITY CONDUITS AND PIPES AND EVERY UNDER ALL SLABS AND PAVEMENTS TO THE REQUIRED ELEVATIONS. COMPACTION OF BACKFILL OR BORROW SOIL SHALL BE PERFORMED IN 12 INCH LIFTS OF LOOSE MATERIAL WHEN UTILIZING HEAVY COMPACTOR EQUIPMENT OR 6 INCH LIFTS OF LOOSE WHEN UTILIZING HAND OPERATED TAMPERS.

C. SUBSTITUTION OF ALL BACKFILL SHALL ACHIEVE THE PROPORTION OF MAXIMUM TEST DEPTH AT OPTIMUM MOISTURE CONTENT. IN ACCORDANCE WITH ASTM D 1557 STRUCTURAL BACKFILL SHALL HAVE A MINIMUM COMPACTION WEIGHT OF 100 FOUNDED (75% ELONG 95%).

D. FOR ALL FILLS AND REPAIRMENTS, DO NOT PLACE ON MUD OR FROZEN SURFACES, OR SURFACES THAT CONTAIN ORGANIC MATERIAL, SUCH AS LEAVES, GRASS, ROOTS, OR BRUSH, ON SLOPES STEEPER THAN 25 PERCENT GRADE. FLOW STOP OR EROSION CONTROL MAT SHALL BE PLACED TO STOP FILL SPREADING WITH THE EXISTING SURFACE.

5.11 VAPOR BARRIERS AND FILTER FABRICS:

A. PROVIDE 6 MIL POLYETHYLENE VAPOR BARRIER WHERE INDICATED ON THE CONSTRUCTION PLANS. FILTER FABRIC SHALL BE A PERVIOUS GEOTEXTILE FABRIC OF POLYPROPYLENE, POLYESTER, POLYESTER WITH A 100 TO 200 PORE DENSITY, 100 APPROPRIATE OPENING SIZE AND A PERMEABILITY OF 1.00 GALLONS/MINUTE/FOOT.

PART 6 EQUIPMENT SHELTER (IF APPLICABLE)

6.00 DELIVERY AND PLACEMENT

A. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE SHELTER MANUFACTURER FOR THE TOWER DELIVERY OF THE SHELTER. THE SHELTER MANUFACTURER WILL FURNISH THE TRANSPORTATION OF THE SHELTER TO THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR THE CRANE AND NECESSARY RIGGING EQUIPMENT TO PROPERLY PLACE THE SHELTER ON THE FOUNDATION.

6.01 ANCHORS:

A. FOR STANDARD FOUNDERS WITH TIE INS OR AN ON GRADE OR PRECASTER REINFORCED FOUNDATION, THE CONTRACTOR SHALL ANCHOR THE SHELTER AS RECOMMENDED BY THE SHELTER MANUFACTURER. THE CONTRACTOR SHALL ALSO PROVIDE LABOR AND SUPERVISION NECESSARY TO ASSEMBLE SHELTER COMPONENTS REMOVED FOR SHIPPING PURPOSES. ALL SUCH WORK PERFORMED BY THE CONTRACTOR ON THE SHELTER SHALL BE IN ACCORDANCE WITH THE SHELTER MANUFACTURER.

6.02 MISCELLANEOUS ASSEMBLY:

A. TO OBTAIN TIGHT RESTRICTIONS, SOME ON-SITE ASSEMBLY OF SHELTER COMPONENTS, PERFORMED BY THE CONTRACTOR, MAY BE REQUIRED. THESE ITEMS INCLUDE, BUT NOT LIMITED TO, THE DOOR CANNOPY AND MAIN DISCONNECT SWITCH. THE CONTRACTOR WILL BE RESPONSIBLE FOR THIS ASSEMBLY AND COORDINATION WITH THE SHELTER MANUFACTURER.

6.03 WALL, FLOOR, AND ROOF PENETRATIONS:

A. TO OBTAIN TIGHT PENETRATIONS PROVIDED OR APPROVED BY THE SHELTER MANUFACTURER WILL BE PERMITTED. ALL PENETRATIONS FOR UTILITY SERVICES, ELECTRICAL CABLES, AND GROUNDING LEADS MUST BE SEALED WITH A SUITABLE WEATHER TIGHT COMPOUND SUCH AS DUCT SEAL OR APPROVED EQUIVALENT.

6.04 SHELTER CLEANUP:

A. THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP OF THE SHELTER UNTIL THE DATE OF PRACTICAL COMPLETION. THE SHELTER IS NOT TO BE USED FOR STORING THE CONTRACTOR'S OR SUB-CONTRACTORS' TOOLS, EQUIPMENT OR PERSONAL PROPERTY. ON-SITE PERSONNEL SHALL LIMIT THEIR ACCESS TO THE BUILDING FOR THE PURPOSE OF PERFORMING THE WORK.

B. AT ALL TIMES, THE AMOUNT OF DIRT, DUST, AND DEBRIS INSIDE THE SHELTER SHALL BE KEPT TO AN ACCEPTABLE MINIMUM. GRAVEL FOR THE SITE COMPOUND SHALL BE PLACED, AS SPECIFIED, AT THE EARLIEST POSSIBLE TIME AND PRIOR TO THE COMPLETION OF WORK INSIDE THE SHELTER.

C. DUE TO THE SITE AND WEATHER CONDITIONS AND AS DIRECTED BY THE SOA, IT MAY BECOME NECESSARY FOR THE CONTRACTOR TO PROTECT THE SHELTER FLOOR WITH PAPER, PLASTIC OR PLYWOOD FROM FOOT TRAFFIC AND MUD.

6.05 SHELTER SECURITY:

A. THE CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THE SHELTER AND ALL ITS COMPONENTS UNTIL THE DATE OF PRACTICAL COMPLETION. MAINTAIN A SECURE OR BARRICADE LOCK. IN ACCORDANCE WITH THE SHELTER DESIGN AND AS REQUIRED BY THE SOA FOR CARRIER USE PRIOR TO PRACTICAL COMPLETION.

T-Mobile
 T-MOBILE USA, INC.
 2001 BUTTERFIELD RD.
 DOWNERS GROVE, IL 60515

Insite inc.
 Insite Consulting Services
 3701 HIGHLAND AVE
 DOWNERS GROVE, IL 60515

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 FORGE PROJECT NO. 8104
 DRAWN BY: AC
 CHECKED BY: JL

REV.	DATE	DESCRIPTION
A	08/20/20	ISSUED FOR REVIEW
B	08/20/20	ISSUED FOR PERM.

CONSTRUCT ONLY FROM DRAWINGS MARKED ISSUED FOR CONSTRUCTION

FREDERICK Y. BENJAMIN
 082-033842
 REGISTERED
 PROFESSIONAL
 ENGINEER
 OF
 ILLINOIS

CH45623A
 DOWNERS GROVE WT
 3701 HIGHLAND AVE
 DOWNERS GROVE, IL 60515
 WATER TOWER

GENERAL NOTES

GN3.1

THIS DRAWING IS SCALE FOR THE PARTS IS 1/8" = 1'-0"

Site CH45623A

EXHIBIT 3