

**VILLAGE OF DOWNERS GROVE**  
**Report for the Village**  
**12/6/2022**

<b>SUBJECT:</b>	<b>SUBMITTED BY:</b>
4226 Venard Road - Zoning Map Amendment	Stan Popovich, AICP Director of Community Development

**SYNOPSIS**

The petitioner is requesting a Zoning Map Amendment from R-2 (Residential Detached House 2) to B-3 (General Services and Highway Business) for 4226 Venard Road to permit an addition and site improvements for the existing Community High School District 99 Transition Center located at 4232 Venard Road.

**STRATEGIC PLAN ALIGNMENT**

The goals for 2021-2023 include a *Strong, Diverse Local Economy, Continual Innovation and Exceptional Municipal Services*.

**FISCAL IMPACT**

N/A

**RECOMMENDATION**

Approval on the December 13, 2022 active agenda per the Plan Commission's unanimous 6:0 positive recommendation. The Plan Commission found that the proposal is compatible with the Comprehensive Plan, and complies with the Map Amendment approval standards, respectively, in Sections 28.12.030(i).

**BACKGROUND**

Property Information & Zoning Request

The petitioner is requesting approval for a Zoning Map Amendment for 4226 Venard Road from R-2 (Residential Detached House 2) to B-3 (General Services and Highway Business). Currently the lot is occupied by a single family home. The proposal includes demolition of the existing single family home to provide room for a new parking lot and a one-story building addition to the existing Transition 99 Center at 4232 Venard Road, located immediately south of the subject property. The 4232 Venard property is currently zoned B-3.

This facility serves the District's Transition program with a focus on teaching the life skills necessary to perform a specific life/job skill. The new building addition will be connected to the north side of the existing building and will add additional space for offices, classrooms and multipurpose rooms. Construction materials for the addition include composite siding with aluminum framed windows. The east side of the addition will include a new canopy built over the entrance.

The new larger parking lot will replace the small parking lot that is currently located on the north side of the existing building. All proposed landscaping, parking lot lighting and signage will meet the standards of the Zoning Ordinance. Furthermore, the site will include a trash enclosure and an 8-foot solid fence along the northern lot line

#### Comprehensive Plan

The Future Land Use Map designates the parcel as Single-Family Detached. However, the Comprehensive Plan Community Facilities Policy recommends that the Village:

- Continue to promote the continued operation and improvement of both public and private school facilities.
- Ensure they do not impact residential neighborhoods.
- Cooperate with the various organizations to maintain high quality school sites and facilities.
- Public sites and buildings should be viewed as potential catalysts for improvement and/or redevelopment of an area. New facilities should be located, designed, and developed as focal points and “signature” projects within the community

#### Compliance with the Zoning Ordinance

The property at 4226 Venard Road is currently zoned R-2, while 4232 Venard Road, located immediately south of the subject property is zoned B-3. The petitioner is requesting a Map Amendment for 4226 Venard from R-2 to B-3, in order construct the addition, parking lot and related site improvements. Per Section 28.5.010 of the Zoning Ordinance, trade schools are permitted in the B-3 zoning district. All of the Zoning Ordinance requirement are met.

#### Compliance with the Subdivision Ordinance

Section 28.11.020 of the Zoning Ordinance requires the construction of a principal structure to occur on a single lot of record. Should the proposed zoning map amendment be approved, the petitioner will be required to administratively consolidate the two lots pursuant to Section 20.507 of the Subdivision Ordinance prior to building permit issuance.

#### Engineering\Public Improvements

The improvements will result in a net reduction of approximately 3,000 SF impervious area. This is due to the installation of permeable pavers that will be installed as part of the parking lot improvements. The petitioner will be required to meet all Village engineering standards and comply with all applicable codes when formally submitting for a permit. The existing site drains to the storm sewer on Venard Road. The entrance on Venard Road will change to allow traffic to enter along the north side and then exit along the south side of the property

#### Traffic and Parking

The existing use does have a drop-off and pick up operation in place. The proposed site improvements will create additional space for the 6 - 7 minibuses excepted to arrive on the site. Increased area for drop-off and pick up will allow buses to enter the site instead of queuing on Venard Road. Furthermore, the proposed parking meets the required parking for a maximum occupancy of 200.

#### Public Comment

Prior to and during the Plan Commission meeting, staff did not receive any inquiries regarding this proposal.

**ATTACHMENTS**

Ordinance

Aerial Map

Staff Report with attachments dated November 7, 2022

Draft Minutes of the Plan Commission Hearing dated November 7, 2022

**ORDINANCE NO. \_\_\_\_\_****AN ORDINANCE REZONING CERTAIN PROPERTY  
LOCATED AT 4226 VENARD ROAD**

WHEREAS, the real estate located at 4226 Venard Road, located 185 feet north of the northwest corner of Ogden Avenue and Venard Road, hereinafter described has been classified as “R-2, Residential Detached House 2”, under the Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the owner or owners of said real estate have requested that such property be rezoned as hereinafter provided; and

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing respecting said petition on November 7, 2022 and has made its findings and recommendations respecting said requested rezoning in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and

WHEREAS, making due allowance for existing conditions, the conservation of property values, the development of the property in conformance to the official Comprehensive Plan of the Village of Downers Grove, and the current uses of the property affected, the Council has determined that the proposed rezoning is for the public good.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

**SECTION 1.** The Zoning Map of the Village, pursuant to Section 28.12.030 of the Downers Grove Municipal Code, is hereby further amended by rezoning to “B-3, General Services and Highway Business” zoning classification of the following described real estate, to wit:

LOTS 25 IN ARTHUR T. MCINTOSH AND CO'S DOWNERS GROVE ACRES, BEING A SUBDIVISION OF PART OF THE EAST HALF OF SECTION 6, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 26, 1924 AS DOCUMENT 179451, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 4226 Venard Road, Downers Grove, IL 60515  
PIN: 09-06-213-026

**SECTION 2.** The official zoning map shall be amended to reflect the change in zoning classification effected by Section 1 of this ordinance, subject to the following conditions:

1. Any changes to the conditions represented by the Petitioner as the basis for this petition, whether those changes occur prior to or after Village approval, shall be promptly reported to the Village. The Village reserves the right to re-open its review process upon receipt of such information; and
2. It is the Petitioner's obligation to maintain compliance with all applicable Federal, State, County and Village laws, ordinances, regulations, and policies.

SECTION 3. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

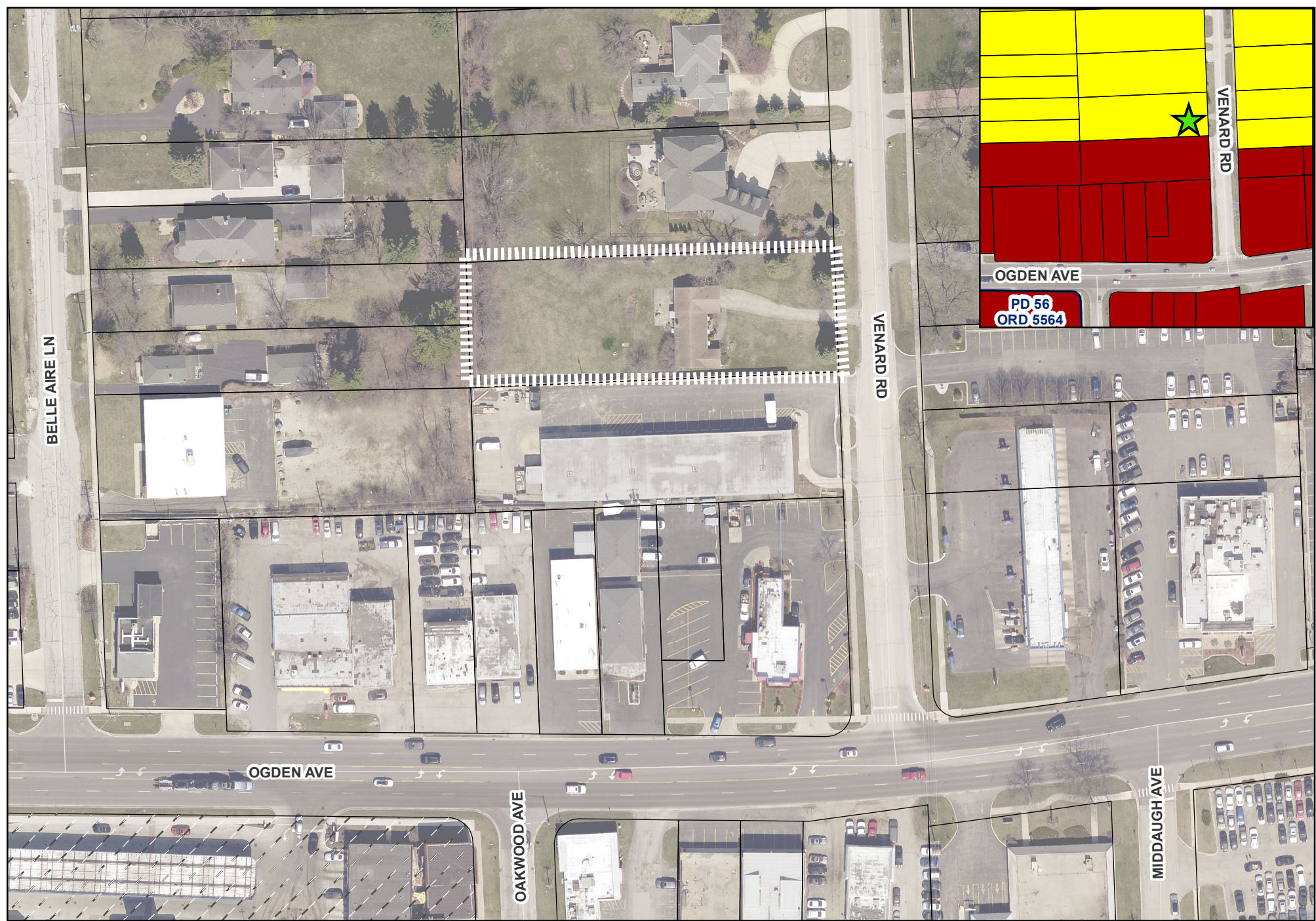
SECTION 4. This ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

\_\_\_\_\_  
Mayor

Passed:

Published:

Attest: \_\_\_\_\_  
Village Clerk





OGDREN AVE  
 PD 56  
 ORD 5564



0 25 50 100  
 Feet

4226 and 4232 Venard Road - Location Map

 Subject Property  
 Project Location



**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE PLAN COMMISSION  
NOVEMBER 7, 2022 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
22-PLC-0028 4226 Venard Road	Zoning Map Amendment	Flora Leon, AICP Senior Planner

### REQUEST

The petitioner is requesting a Map Amendment from R-2 (Residential Detached House 2) to B-3 (General Services and Highway Business) for 4226 Venard Road to permit an addition and site improvements for the existing Community High School District 99 Transition Center located at 4232 Venard Road.

### NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

### GENERAL INFORMATION

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**OWNER/APPLICANT:** Community School District 99  
6301 Springside Avenue  
Downers Grove, IL 60516

### PROPERTY INFORMATION

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**EXISTING ZONING:** R-2, Residential Detached House 2  
**EXISTING LAND USE:** Single Family Residence  
**PROPERTY SIZE:** 0.68 acres (29,468 square feet)  
**PINS:** 09-06-213-026

### SURROUNDING ZONING AND LAND USES

	<b>ZONING</b>	<b>FUTURE LAND USE</b>
<b>NORTH:</b>	R-2, Residential Detached House 4	Single Family Residential
<b>SOUTH:</b>	B-3, General Services and Highway Business	Corridor Commercial
<b>EAST:</b>	R-2, Residential Detached House 4	Single Family Residential
<b>WEST:</b>	R-2, Residential Detached House 4	Single Family Residential

### ANALYSIS

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#### SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Application/Petition for Public Hearing
2. Plat of Survey
3. District 99 Project Narrative
4. Map Amendment Criteria
5. Proposed Site Plan and Elevations

## 6. Neighborhood Meeting Summary

### PROJECT DESCRIPTION

The petitioner is requesting approval for a Zoning Map Amendment for 4226 Venard Road from R-2 (Residential Detached House 2) to B-3 (General Services and Highway Business). Currently the lot is occupied by a single family home. The proposal includes demolition of the existing single family home to provide room for a new parking lot and a one-story building addition to the existing Transition 99 Center at 4232 Venard Road, located immediately south of the subject property. The 4232 Venard property is currently zoned B-3.

This facility serves the District's Transition program with a focus on teaching the life skills necessary to perform a specific life/job skill. The new building addition will be connected to the north side of the existing building and will add additional space for offices, classrooms and multipurpose rooms. Construction materials for the addition include composite siding with aluminum framed windows. The east side of the addition will include a new canopy built over the entrance.

The new larger parking lot will replace the small parking lot that is currently located on the north side of the existing building. All proposed landscaping, parking lot lighting and signage will meet the standards of the Zoning Ordinance. Furthermore, the site will include a trash enclosure and an 8-foot solid fence along the northern lot line.

### COMPLIANCE WITH ZONING ORDINANCE

The property at 4226 Venard is currently zoned R-2, while 4232 Venard, located immediately south of the subject property is zoned B-3. The petitioner is requesting a Map Amendment for 4226 Venard from R-2 to B-3, in order construct the addition, parking lot and related site improvements. Per Section 28.5.010 of the Zoning Ordinance, trade schools are permitted in the B-3 zoning district.

The proposed site plan and addition will comply with the applicable bulk and parking requirements of the Zoning Ordinance, as highlighted in the table below:

**Table 1: Zoning Requirements**

4226 & 4232 Venard*	Required	Proposed
Side Setback – North property line	10 feet	14 feet
Side Setback – South property line	0 feet	2.57 feet (existing)
Rear Setback – West property line	20 feet	30 feet
Open Space	10% (5,894 SF)	19.51% (11,498 SF)
Building Height	60 feet (max)	15.67 feet
Floor Area Ratio	0.75 (max)	0.26
Parking Spaces	50	54

\* Note that the request for the map amendment only applies to 4226 Venard, and the information provided is for the entire development site, which also includes 4232 Venard.

### Signage

Signage is not part of this petition, and any signage proposed for the development will comply with the Zoning Ordinance requirements through a separate sign permit application.

### COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Future Land Use Map designates the parcel as Single-Family Detached. However, the Comprehensive Plan Community Facilities Policy recommends that the Village:



- Continue to promote the continued operation and improvement of both public and private school facilities.
- Ensure they do not impact residential neighborhoods.
- Cooperate with the various organizations to maintain high quality school sites and facilities.
- Public sites and buildings should be viewed as potential catalysts for improvement and/or redevelopment of an area. New facilities should be located, designed, and developed as focal points and “signature” projects within the community

#### **COMPLIANCE WITH THE SUBDIVISION AND DEVELOPMENT ORDINANCE**

Section 28.11.020 of the Zoning Ordinance requires the construction of a principal structure to occur on a single lot of record. Should the proposed zoning map amendment be approved, the petitioner will be required to administratively consolidate the two lots pursuant to Section 20.507 of the Subdivision Ordinance prior to building permit issuance.

#### **ENGINEERING/PUBLIC IMPROVEMENTS**

Although not subject to Plan Commission review, the improvements will result in a net reduction of approximately 3,000 SF impervious area. This is due to the installation of permeable pavers that will be installed as part of the parking lot improvements. The petitioner will be required to meet all Village engineering standards and comply with all applicable codes when formally submitting for a permit. The existing site drains to the storm sewer on Venard Road. The entrance on Venard Road will change to allow traffic to enter along the north side and then exit along the south side of the property.

#### **TRAFFIC AND PARKING**

The existing use does have a drop-off and pick up operation in place. The proposed site improvements will create additional space for the 6-7 minibuses expected to arrive on the site. Increased area for drop-off and pick up will allow buses to enter the site instead of queuing on Venard Road. Furthermore, the proposed parking meets the required parking for a maximum occupancy of 200.

#### **PUBLIC SAFETY REQUIREMENTS**

The Fire Prevention Division of the Fire Department has reviewed the application and determined that there is sufficient access for emergency vehicles to access the site. The building addition will be equipped with fire alarms and will be sprinkled, as required by Village regulations.

#### **NEIGHBORHOOD COMMENT**

Notice was provided to all property owners 250 feet or less from the property in addition to posting the public hearing notice sign and publishing the legal notice in *The Daily Herald*. Staff received has not received any questions regarding the petition. Additionally, the petitioner held one neighborhood meeting in accordance with Section 12.010.F.3 of the Zoning Ordinance. While there were no residents present at the meeting a summary of the prepared content for the meeting is attached.

#### **STANDARDS OF APPROVAL**

The petitioner is requesting approval to a rezone 4226 Venard Road from R-2 (Residential Detached House 2) to B-3 (General Services and Highway Business) to permit an addition, parking lot and other site improvements to the existing Community High School District 99 Transition Center located at 4232 Venard Road. The review and approval criterion for each request is listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Plan Commission should consider the petitioner’s documentation, the staff report and the discussion at the Plan Commission meeting in determining whether the standards for approval have been met.

#### ***Zoning Map Amendment***

***Section 12.030.I. Zoning Map Amendment Review and Approval Criteria***

The decision to amend the zoning map is a matter of legislative discretion that is not controlled by any single standard. In making recommendations and decisions about zoning map amendments, review and decision-making bodies must consider at least the following factors:

1. *The existing use and zoning of nearby property.*
2. *The extent to which the particular zoning restrictions affect property values.*
3. *The extent to which any diminution in property value is offset by an increase in the public health, safety and welfare.*
4. *The suitability of the subject property for the zoned purposes.*
5. *The length of time that the subject property has been vacant as zoned, considering the context of land development in the vicinity.*
6. *The value to the community of the proposed use.*
7. *The comprehensive plan.*

**DRAFT MOTION**

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Staff will provide a recommendation at the November 7, 2022 meeting. Should the Plan Commission find that the request meets the standards for approval for a Map Amendment, staff has prepared draft motions that the Plan Commission may make for the recommended approval of 22-PLC-0028:

Based on the petitioner's submittal, the staff report, and the testimony presented, I find that the petitioner has met the standards of approval for a Rezoning as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 22-PLC-0028, subject to the following conditions:

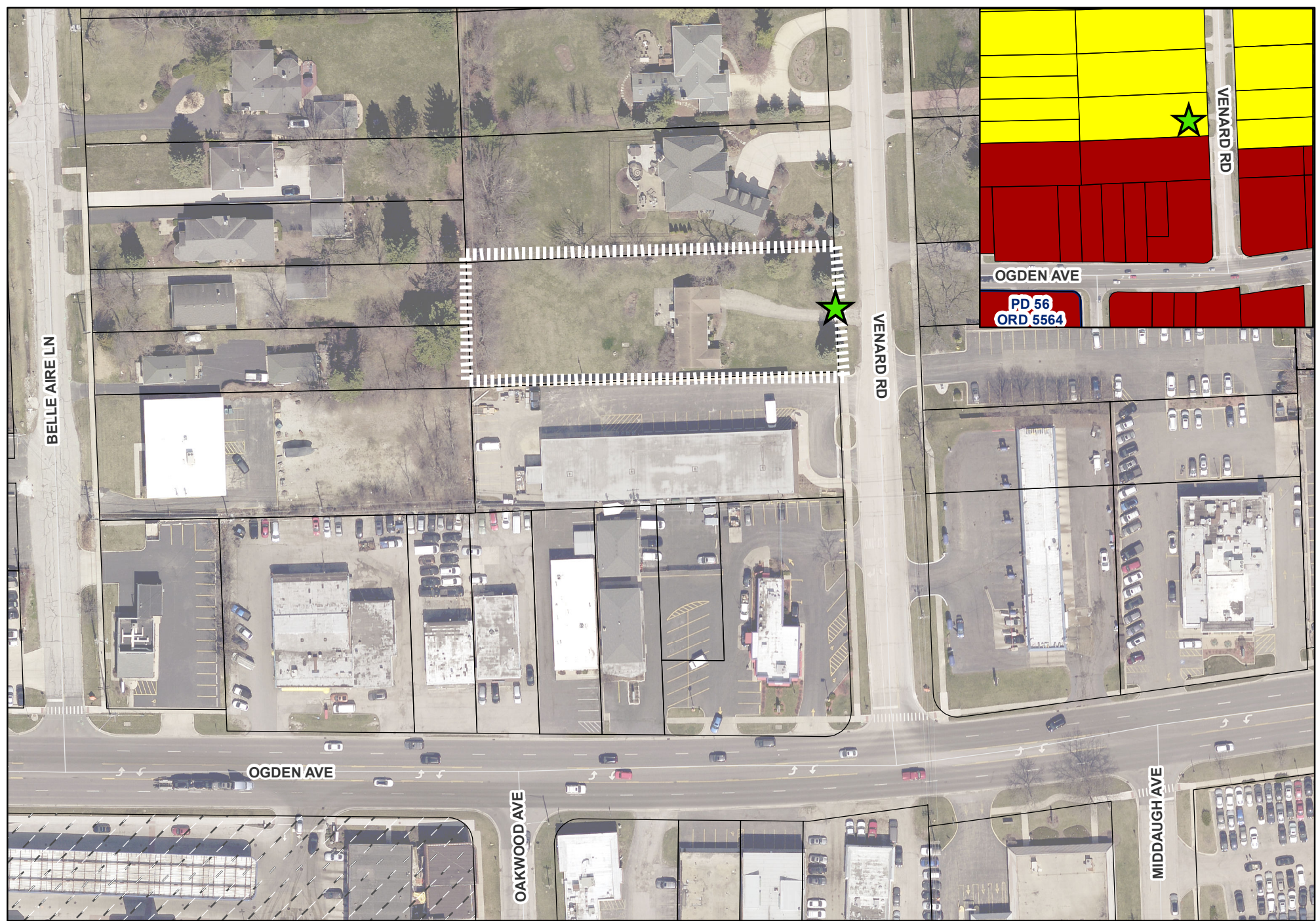
1. The Map Amendment shall substantially conform to the staff report, renderings, architecture/engineering/landscape plans prepared by Wight & Company, dated September 30, 2022 and the photometric plans prepared by PG Enlighten dated September 20, 2022 except as such plans may be modified to conform to the Village codes and ordinances.
2. The petitioner shall consolidate the two lots into a single lot of record pursuant to Section 20.507 of the Subdivision Ordinance prior to the issuance of any site development or building permits.
3. All signage shall conform to the Village's Sign Ordinance.

Staff Report Approved By:



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Stanley Popovich, AICP  
Community Development Director





OGDEN AVE  
 PD 56  
 ORD 5564



0 25 50 100 Feet

4226 and 4232 Venard Road - Location Map

 Subject Property  
 Project Location



## **Transition Center Community High School District 99 Plan Commission Narrative**

### **INTRODUCTION**

Community High School District 99 is planning an addition and site improvements to the Transition Center located at 4232 Venard Road in Downers Grove. This facility currently serves the District's Transition program serving kids 18-22 years old with a focus on teaching the skills needed to perform specific life/job skills. These improvements are needed to accommodate anticipated future growth of the program. It is anticipated that for the 2023/2024 school year the student enrollment will be 85 students with 40 staff members for a total of 125 occupants. The maximum occupancy will not exceed 200 people.

4232 Venard Road is zoned B-3 General services and Highway Business. The District recently purchased the adjacent property, 4226 Venard Road, zoned R-2 Residential. As part of this project the school district is requesting for rezoning of 4226 Venard Road and consolidation of two lots to B-3.

The following paragraphs summarize the scope of work for the proposed improvements. At this time, no requested relief from the B-3 zoning requirements are anticipated.

### **SITE/CIVIL DESIGN**

#### **Traffic**

Existing student drop-off and pick-up operations currently take place in the morning and the afternoon. There are 6-7 minibuses that typically arrive on site, but there is room for only two of them to stack in front of the main entrance on site. The rest of the buses will line up on northbound Venard Rd and wait for one of the buses onsite to leave before entering the site. The proposed operations will keep the same drop-off and pick-up lane at the main entrance, but all of the minibuses will now be able to enter the site and line up along the north side of the addition. This expanded drop-off and pick-up lane will allow for buses to enter the site instead of queuing on Venard Rd.

#### **Stormwater Management System**

The proposed improvements will be in compliance with DuPage County Stormwater Ordinance and the Village of Downers Grove Storm Water Ordinance. The proposed improvements to the Transition 99 Center include a building addition, new hardscape improvements, construction of a new permeable pavers parking lot, site utilities, and overall site improvements. Per DuPage

Transition Center – D99  
Plan Commission – Narrative  
09.20.2022  
Page 2 of 2

County Stormwater Ordinance and Village of Downers Grove, stormwater detention is required when there is 25,000 SF of net new impervious area. Post Construction Best Management Practices (PCBMP's) are required when there is 2,500 SF of net new impervious area since April 23, 2013 per the DuPage County Storm Water Ordinance and when there is 700 SF of net new impervious area since January 1, 2015 per the Village of Downers Grove. The current improvements will result in a net reduction of approximately 3,000 SF; therefore, no stormwater detention or PCBMP's are required. The permeable pavers will act as a PCBMP providing stormwater volume within the stone base and water quality benefits. The site currently drains to the storm sewer within Venard Rd, and the proposed drainage will also drain to the storm sewer within Venard Rd.

### **Parking Lot Lighting**

Parking lot lighting is proposed for site safety and security. However, being mindful of the adjacent residential properties full cut off fixtures are specified with the light poles on the North aimed to the south of the property. Additionally proposed, is a perimeter 8ft high PVC fence to separate visually the adjacent residential property from the site. A photometric lighting study has been conducted and is included in the attached exhibit.

### **Signage**

Proposed building-mounted signage and free-standing monument sign is provided as identifiable visual cues to entrances and provide branding for the facility.

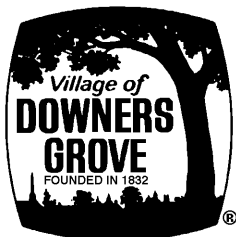
The building mounted signage and free-standing monumental sign will be within the interior of the site beyond the transitional area, providing an appropriate buffer to any current or future residences. The free-standing monumental sign shall be landscaped to meet village ordinance.

The school district is not requesting relief for the signage at the Transition Center and intends to design within the village requirements.

### **BUILDING ADDITION**

The new building addition will be connected to the North side of the existing building. The addition will be a single-story building constructed of a composite siding material with aluminum framed windows to allow daylight to enter the office, classrooms, and multipurpose spaces. The East side of the addition will have a canopy built over the entrance. The existing building is currently 15'-4". The addition will be 13'-7" in height both existing and new comply with current regulations.

The school district is not requesting relief for the building addition at the Transition Center and intends to design within the B-3 zoning requirements.



Review and Approval Criteria  
**ZONING MAP AMENDMENTS**

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Plan Commission Number & Title: \_\_\_\_\_

**A DETAILED RESPONSE TO ALL OF THE STANDARDS SHALL BE PROVIDED, SPECIFYING HOW EACH STANDARD IS OR IS NOT MET.**

***Section 28.12.030.I. Review and Approval Criteria (Zoning Map Amendments - Rezonings)***

*The decision to amend the zoning map is a matter of legislative discretion that is not controlled by any single standard. In making recommendations and decisions about zoning map amendments, review and decision making bodies must consider at least the following factors.*

- (1) The existing uses and zoning of nearby property.*
  
  
  
  
  
  
  
  
  
  
- (2) The extent to which the particular zoning restrictions affect property values.*
  
  
  
  
  
  
  
  
  
  
- (3) The extent to which any diminution in property value is offset by an increase in the public health, safety and welfare.*
  
  
  
  
  
  
  
  
  
  
- (4) The suitability of the subject property for the zoned purposes.*
  
  
  
  
  
  
  
  
  
  
- (5) The length of time that the subject property has been vacant as zoned, considering the context of land development in the vicinity.*
  
  
  
  
  
  
  
  
  
  
- (6) The value to the community of the proposed use.*
  
  
  
  
  
  
  
  
  
  
- (7) The Comprehensive Plan.*



*Department Of Physical Plant & Operations*

September 2, 2022

Dear Neighbor,

As a resident who lives near Transition 99 (T99) located at 4232 Venard Road, Downers Grove, IL 60515, you are invited to attend a neighborhood meeting where we will share information about the build out currently underway at District 99.

**Please mark your calendar:**

**Transition 99 Informational Meeting  
4232 Venard Road  
Downers Grove, IL 60515**

**Wednesday, September 21  
Presentation and Q&A - 6 to 7 p.m.**

District leaders and representatives from our architectural firm will join me in presenting at the meeting. We will share architectural drawings, a tentative construction timeline, and we will respond to your questions.

While we are required by the Village of Downers Grove to hold this meeting, we are happy and open to answering your questions about the plan at any time. Please don't hesitate to contact me with any questions you may have.

Sincerely,

A handwritten signature in black ink, appearing to read "Jim Kolodziej". The signature is stylized with large, sweeping loops.

Jim Kolodziej  
Director, Physical Plant & Operations  
Community High School District 99  
630-795-7100



## NEIGHBORHOOD MEETING MINUTES

PROJECT NAME: T99 Addition

MTG. DATE, TIME: 9/21/2022 6pm

MEETING LOCATION: T99

CLIENT: Community High School District 99

WIGHT PROJECT NUMBER: 220081/ 220082

Hank Thiele – D99	Jim Kolodziej – D99	Mark Staehlin – D99	Scott Wuggazer – D99
Carolina Schoenbeck – T99	Jeree Ethridge – D99	Amy Tiberi – Wight	Michelle Cannan – DGN
Donata Aukstuolis – Wight			

### MEETING OVERVIEW:

The goal for this meeting is to inform the community about the general project scope. The District mailed the attached invitation notice to neighbors within 250 feet of the property on September 2<sup>nd</sup>, 2022.

**Nobody from the community attended the event and the District has not received any questions regarding the project.** Following was the meeting agenda:

#### 1. General Comments/ Opening remarks

- a. Introduction of key players
- b. History leading to the project
  - i) Program serves kids 18-22 years old with focus on teaching life skills

#### 2. Design

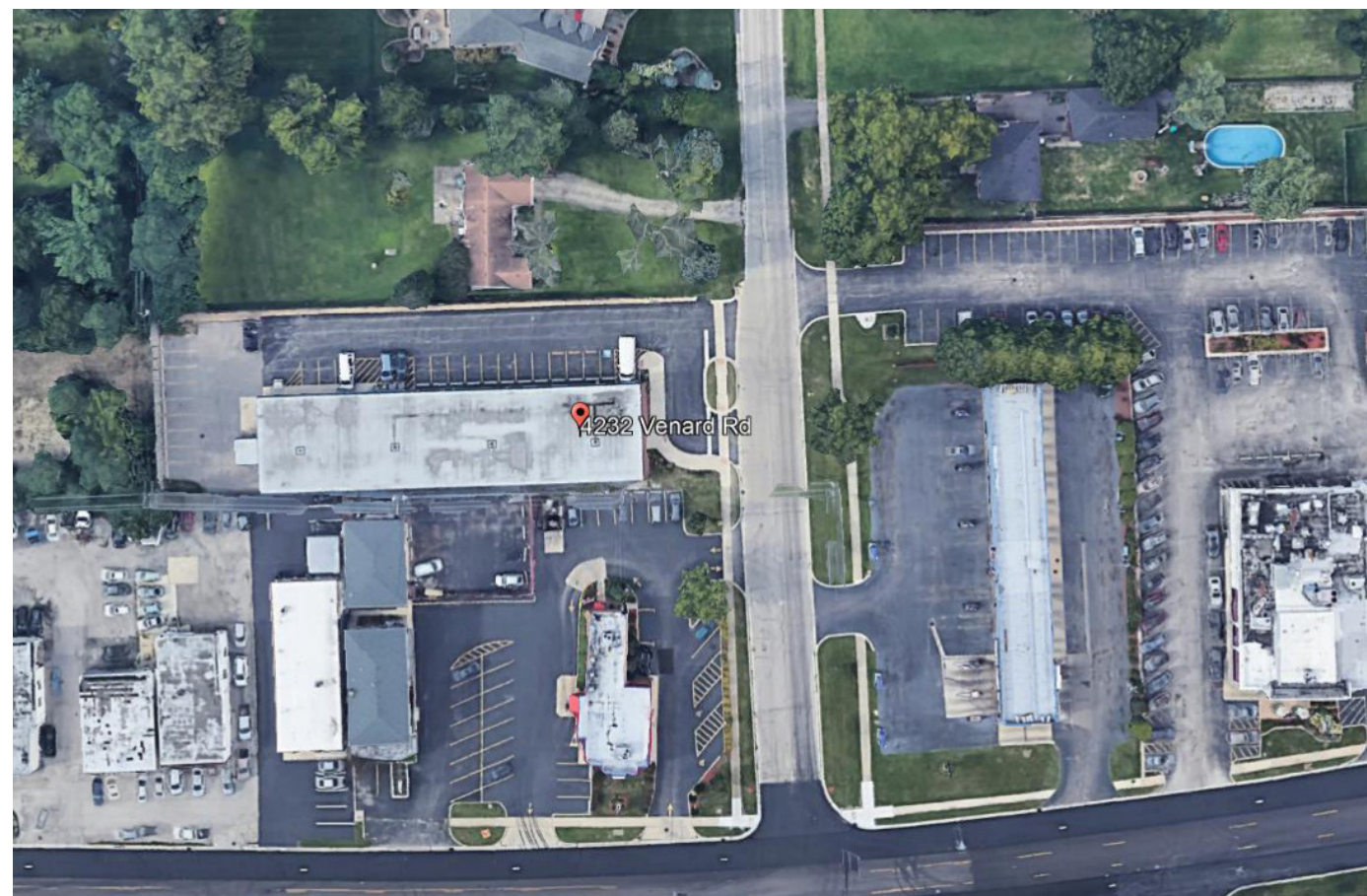
- a. Goal – provide space to accommodate future growth of the transition program
- b. Existing Conditions/ Proposed new addition location
  - i) Reviewed existing site plan
  - ii) Discussed acquisition of the adjacent residential property
  - iii) Review new site plan: parking lot and proposed building addition.
    - (1) Reviewed parking lot layout and traffic
      - (a) Stormwater/ permeable pavers
      - (2) Review proposed signage locations
      - (3) Reviewed building addition and program requirements

#### 3. Review Project schedule.

- a. Bidding -October for Board approval in November
- b. Plan Commission Meeting 11/7/2022 at Village Hall
  - (1) Consolidation of both lots to B-3
- c. Construction Schedule
  - i) Construction Commencement: March 2023
  - ii) Targeted Substantial Completion: August 2023 (PENDING)

#### 4. Q&A



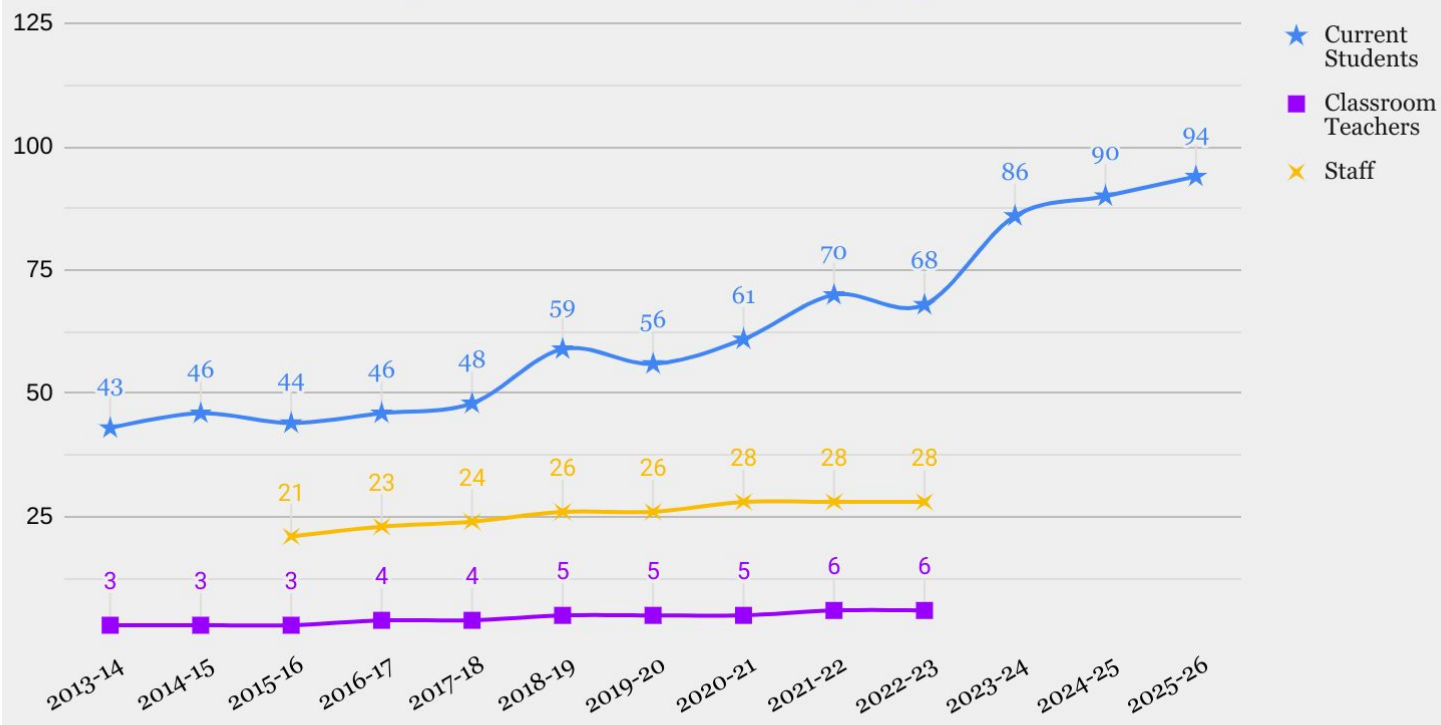


# Community High School District 99 | **T99 ADDITION**

NEIGHBORHOOD MEETING 09.21.2022

# T99 Enrollment Trends

## T99 Students Attending by Year



# Recent/Future T99 Expansion



- Expanded within the current property last year
- Purchased next lot North of the current property
- Expanding building and parking next year

# T99 Expansion Funding Plan

MFP Fund Balance \$ 264,845

MFP Interest Balance \$ 783,500

Total Available Funds \$ 1,048,345

Working Cash Fund Abatement \$3,900,000

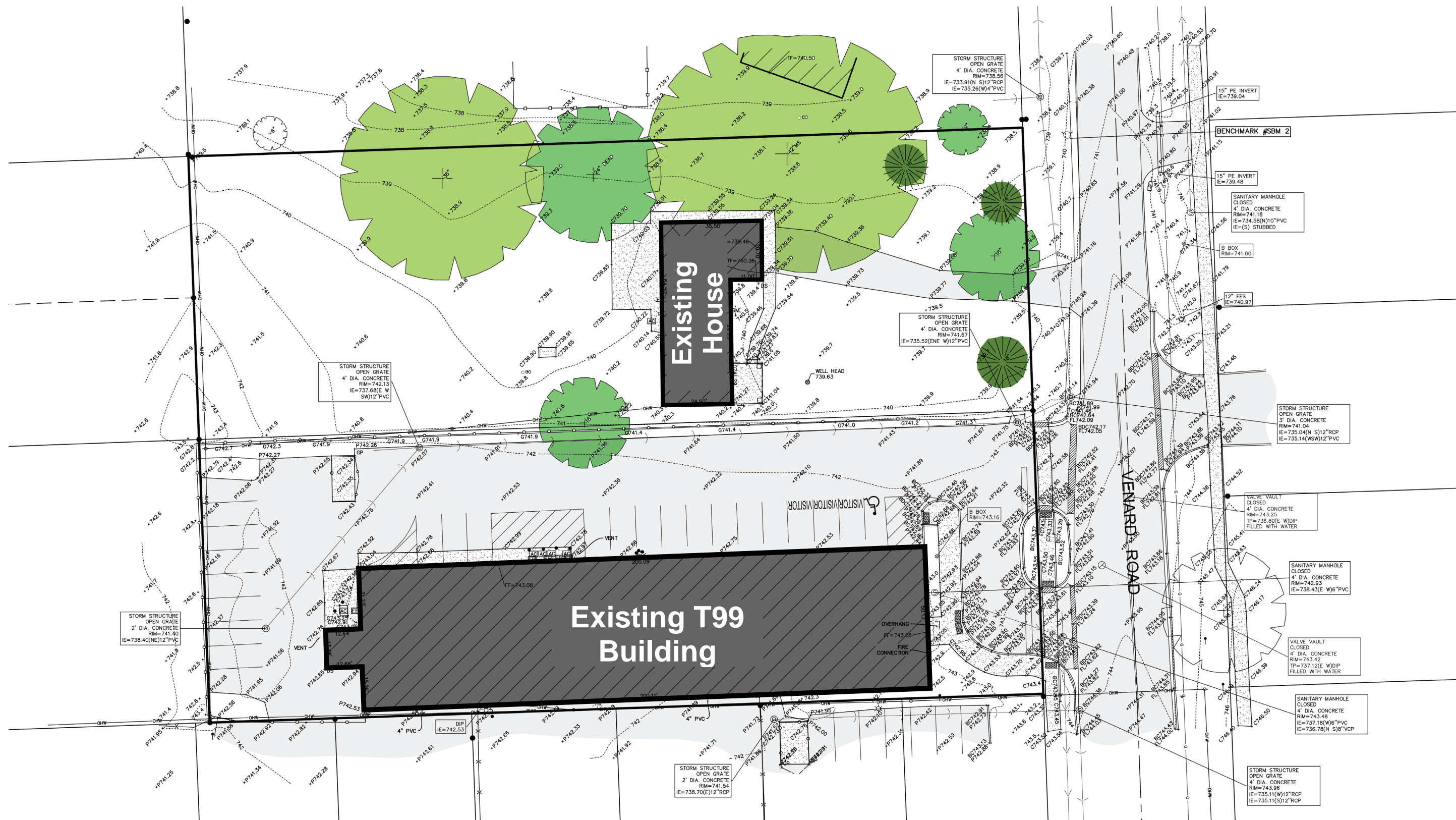
Total T99 Expansion Funding \$4,948,345



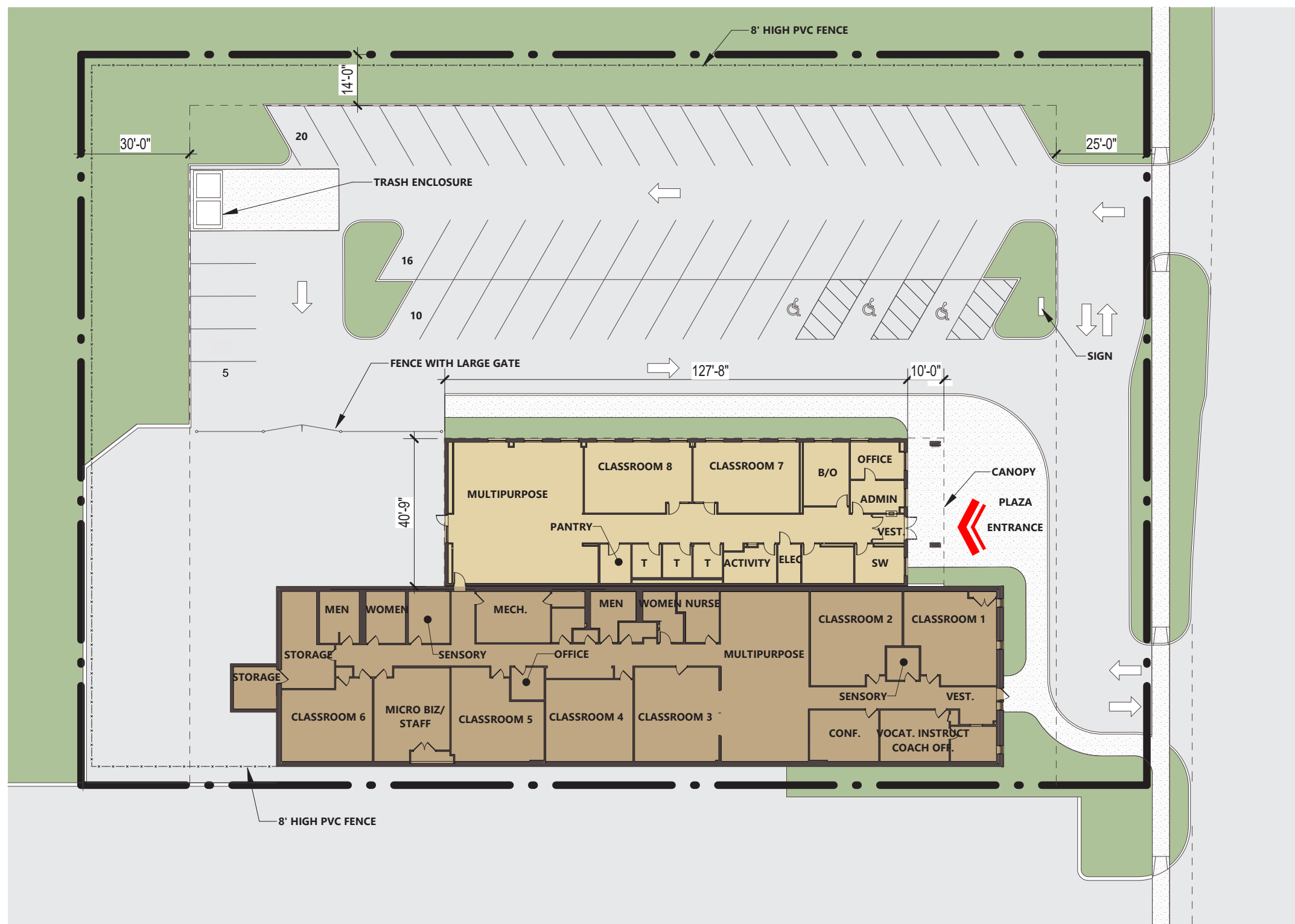
# DESIGN DRAWINGS EXISTING PLAN



# EXHIBIT TREE REMOVAL



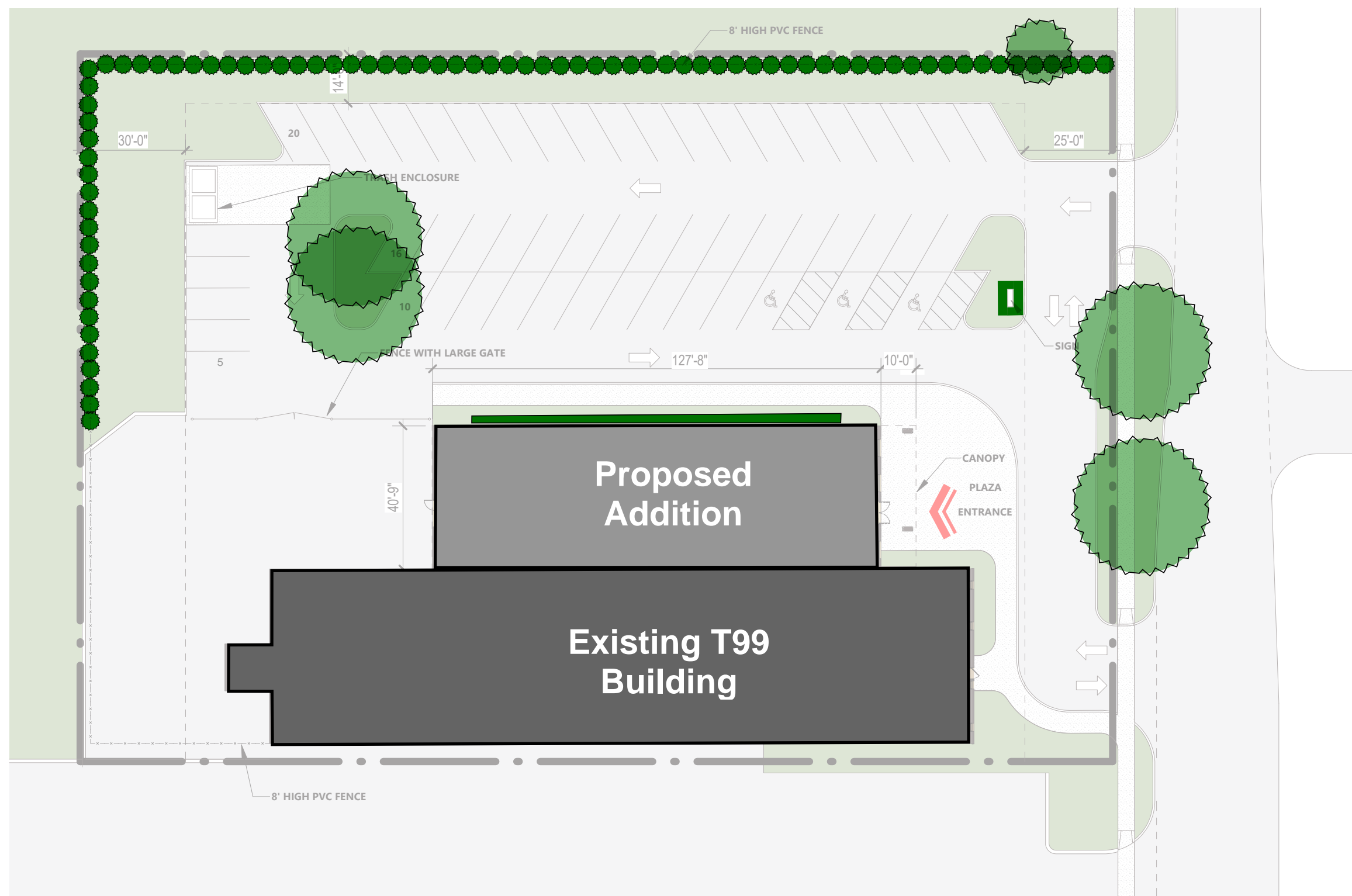
# DESIGN DRAWINGS PROPOSED SITE PLAN



EXISTING	10,150 SF
ADDITION	5,200 SF
<b>TOTAL</b>	<b>15,350 SF</b>

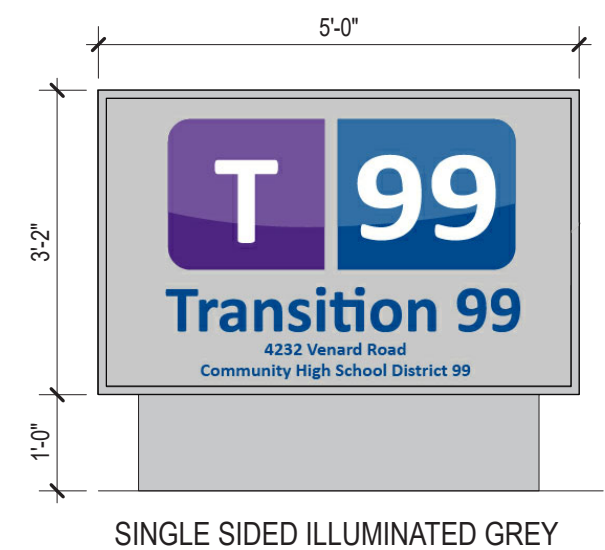
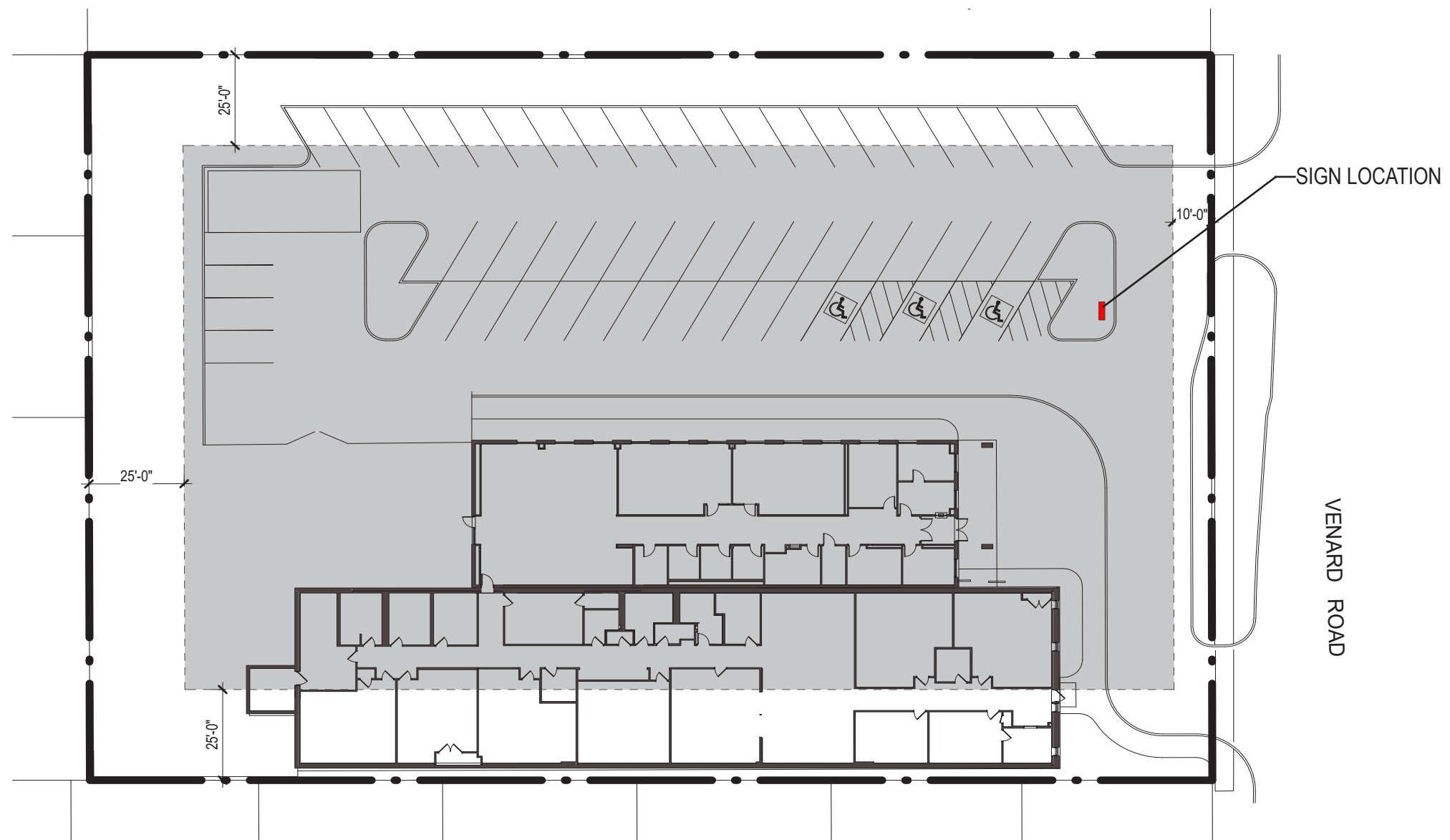
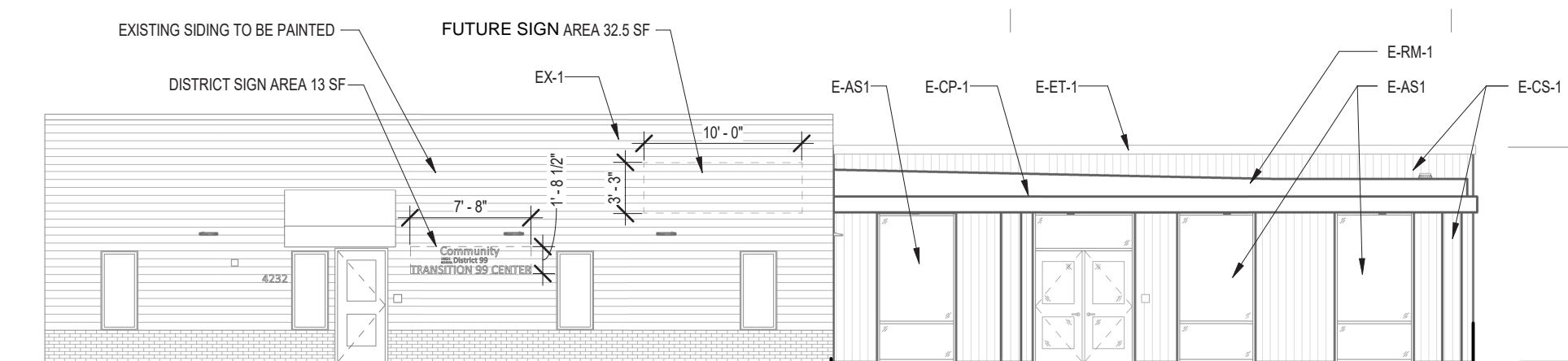
PARKING SPACES	51
HANDICAP	3
<b>TOTAL</b>	<b>54</b>

# DESIGN DRAWINGS PROPOSED LANDSCAPE PLAN





# MONUMENT SIGN SITE PLAN & SIGN ELEVATION



# DESIGN DRAWINGS



S:\Darien\Downers Grove SD99\INT\_T99 Addition\220081 Design\01\11 Drawings\02 CD\220081 C2.00 SITE PLAN.dwg devans Nov 01, 2022 11:05:32 am  
Wight & Company  
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### ZONING ANALYSIS

PROJECT NAME:	T99 BUILDING ADDITION				
ADDRESS:	4232 VENARD ROAD				
PIN(S):	09-06-402-002 & 09-06-213-026				
ZONING DISTRICT:	B3				
EXISTING USE:	TRADE SCHOOL / RESIDENTIAL				
PROPOSED USE:	TRADE SCHOOL				
PETITION TYPE:	ZONING MAP AMENDMENT				
DEVIATIONS:	NONE				
REQUIREMENT	FACTOR	REQUIRED	PROPOSED / EXISTING	MEETS REQUIREMENTS?	DIFFERENCE
LOT FRONTAGE	MINIMUM	N/A	200'	YES	N/A
LOT AREA	MINIMUM	7,500	58,935 SF	YES	N/A
LOT WIDTH	MINIMUM	75'	200'	YES	N/A
STREET YARD	MINIMUM	25'	25'	YES	0
REAR YARD	MINIMUM	20'	30'	YES	10'
SIDE YARD	MINIMUM	10'	14'	YES	4'
HEIGHT	MAXIMUM	60'	15'-8"	YES	44'-4"
OPEN SPACE	MINIMUM	10% (5,894 SF)	11,498 SF	YES	5,604 SF
FAR	MAXIMUM	0.75 (.75 X 58,935 = 44,201)	15,344 / 58,935 = 0.26	YES	0.49
PARKING	MINIMUM	1 SPACE / 4 OCCUPANTS (MAX CAPACITY) = 200 200 OCCUPANTS / 4 = 50 SPACES	54 SPACES	YES	4 SPACES

### LEGEND

	FULL DEPTH HMA PAVEMENT AND STONE BASE
	HEAVY DUTY CONCRETE PAVEMENT AND STONE BASE
	PCC SIDEWALK AND STONE BASE
	PERMEABLE PAVERS
	STONE INFILTRATION TRENCH
	PARKING COUNT
	LIGHT POLE
	PROPERTY LINE

### SITE KEY NOTES

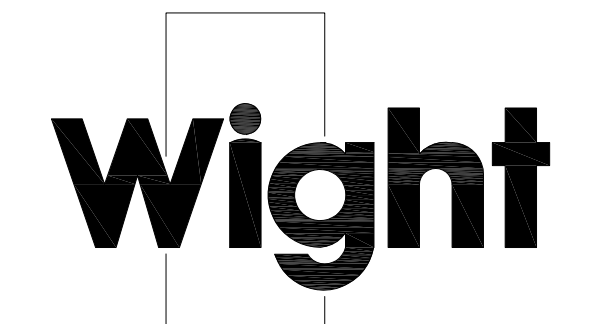
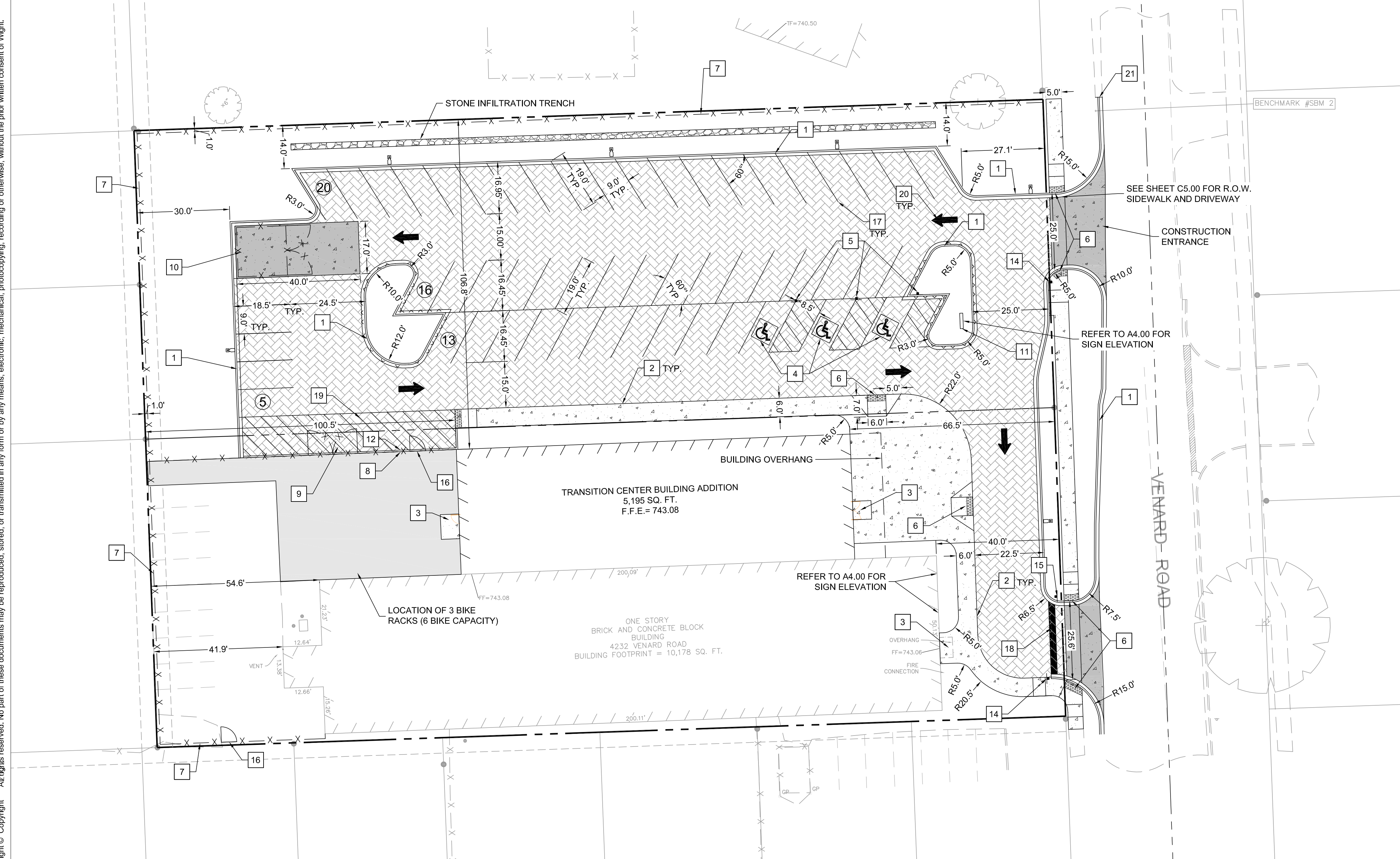
1	B6.12 CURB AND GUTTER
2	INTEGRAL CURB AND SIDEWALK
3	FROST STOOP
4	ADA PARKING STRIPING, TYP.
5	ADA SIGN
6	ADA RAMP AND DETECTIBLE WARNINGS
7	8 HEIGHT PVC FENCE
8	6' HEIGHT CHAIN-LINK FENCE, BLACK VINYL COATED
9	6' HEIGHT CHAIN-LINK FENCE, BLACK VINYL COATED 16' WIDE DOUBLE SWING GATE
10	TRASH ENCLOSURE, 6' HEIGHT SOLID WOOD FENCE
11	MONUMENT SIGN, REFER TO ARCHITECTURAL PLANS
12	FLUSH CONCRETE CONTAINMENT CURB
13	NOT USED
14	STOP SIGN
15	DO NOT ENTER SIGN
16	5' WIDE SINGLE SWING GATE
17	4" SOLID PARKING STRIPE, TRAFFIC WHITE PAINT
18	24" STOP BAR, TRAFFIC WHITE PAINT
19	4" SOLID PARKING STRIPE, 4" O.C., 45° ANGLE, YELLOW
20	TRAFFIC ARROW, TRAFFIC WHITE PAINT
21	TRANSITION FROM CURB TO STONE SHOULDER

### SITE PLAN NOTES

- ALL EXISTING CURB TO BE REMOVED UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
- ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.
- ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.
- CONTRACTOR TO COORDINATE WITH SCHOOL ON FINAL LOCATIONS OF SIGNS.
- AREAS TO BE GRADED AND PREPARED FOR SEEDING OR SOD WITHIN THE RIGHT-OF-WAY SHALL INDICATE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL.
- ANY CHANGES MADE TO THE SITE PLAN OR IN THE FIELD DURING CONSTRUCTION MUST BE SUBMITTED IN WRITING TO THE VILLAGE OF DOWNERS GROVE.

### LAYOUT NOTE:

- LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.



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wightco.com  
2500 North Frontage Road  
Darien, IL 60561  
P 630.969.7000  
F 630.969.7979

**NOT FOR CONSTRUCTION**

ADDENDUM 3	10-31-22	
PLAN COMMISSION COMMENTS	09-30-22	
ISSUE FOR BID	09-28-22	
ISSUE FOR OWNER REVIEW	09-14-22	
ISSUE FOR PLAN COMMISSION	08-16-22	
ISSUE FOR DESIGN DEVELOPMENT	08-10-22	
REV	DESCRIPTION	DATE

**COMMUNITY HIGH SCHOOL DISTRICT 99  
TRANSITION 99  
CENTER ADDITION**  
4232 VENARD ROAD  
DOWNERS GROVE, IL 60515

### SITE PLAN

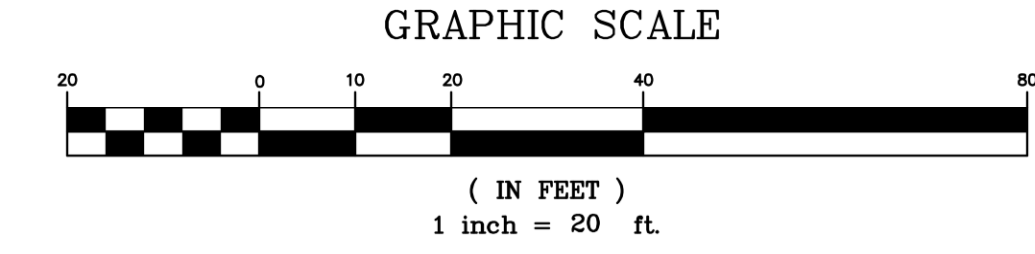
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220081  
Drawn By:  
DE  
Sheet:

# C2.00

**LEGAL DESCRIPTIONS**

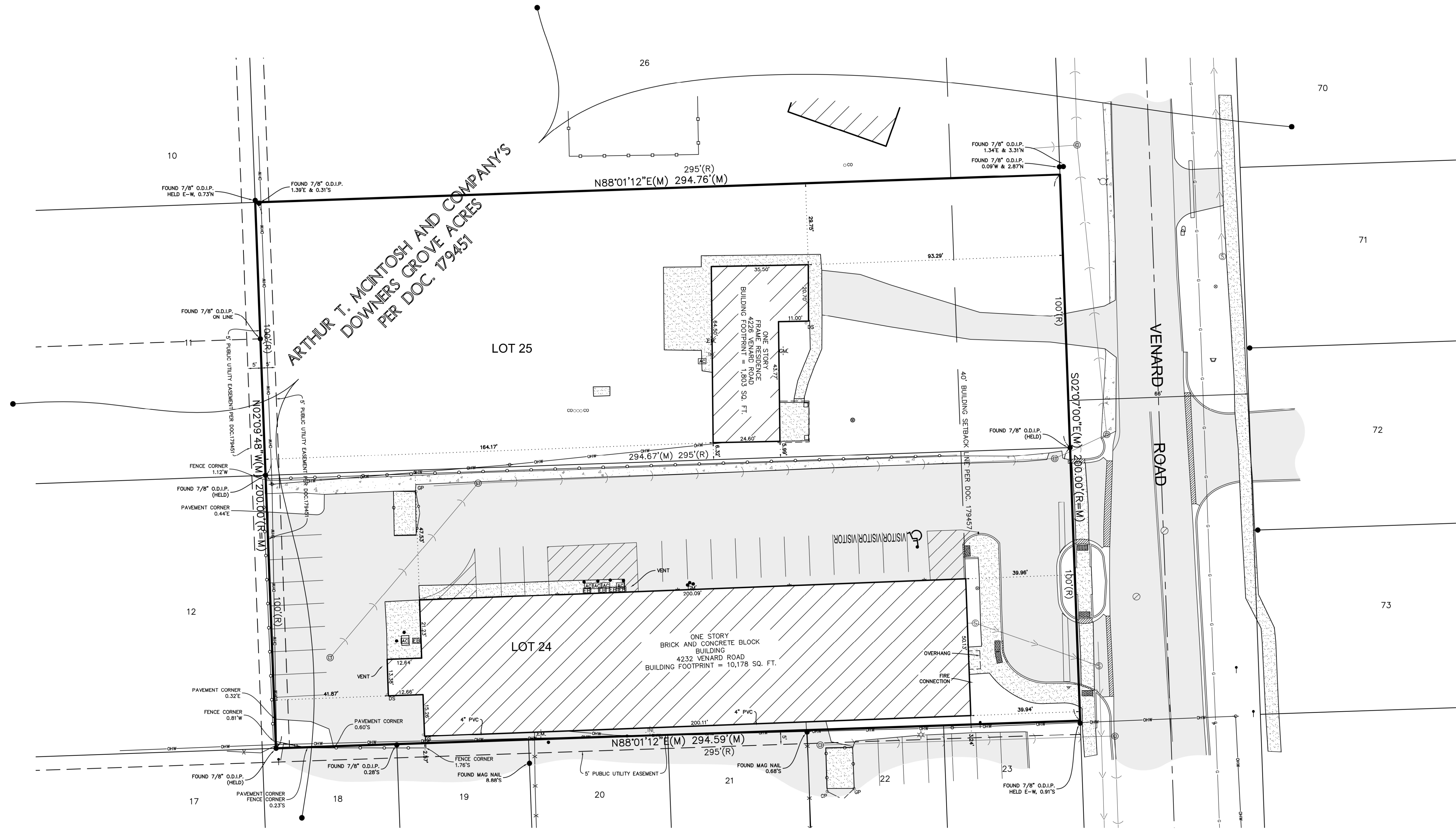
LOTS 24 AND 25 IN ARTHUR T. MCINTOSH AND CO'S DOWNERS GROVE ACRES, BEING A SUBDIVISION OF PART OF THE EAST HALF OF SECTION 6, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 26, 1924 AS DOCUMENT 179451, IN DUPAGE COUNTY, ILLINOIS.

# BOUNDARY AND TOPOGRAPHIC SURVEY



Know what's below.  
Call before you dig.

**UTILITY STATEMENT**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS. THE SURVEYOR HAS MADE A REASONABLE ATTEMPT TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED IS COMPLETELY ACCURATE. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED IS COMPLETELY ACCURATE. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED IS COMPLETELY ACCURATE. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED IS COMPLETELY ACCURATE.



ARTHUR T. MCINTOSH AND COMPANY'S  
DOWNERS GROVE ACRES  
PER DOC. 179451

**LEGEND**

- FOUND 7/8" O.D.I.P. (HELD LOCATION)
- CONCRETE MONUMENT
- ⊕ CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- ⊙ FLARED END SECTION
- ⊙ TRANSFORMER PAD
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC MARKER
- ⊙ ELECTRIC METER
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/LIGHT
- ⊙ UTILITY POLE W/TSF
- ⊙ GUY POLE
- ⊙ OVERHEAD TRAFFIC SIGNAL
- ⊙ TRAFFIC SIGNAL MANHOLE
- ⊙ LIGHT
- ⊙ LIGHT POLE
- ⊙ HAND HOLE
- ⊙ VALVE VAULT
- ⊙ FIRE HYDRANT
- ⊙ IRRIGATION CONTROL VALVE
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- ⊙ B/BOX
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- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE NETWORK INTERFACE
- ⊙ TELEPHONE MARKER
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE TELEVISION PEDESTAL
- ⊙ CONTROL BOX
- ⊙ WETLAND FLAG
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ GAS MARKER
- ⊙ DOWN SPOUT
- ⊙ BORING HOLE
- ⊙ MONITORING WELL
- ⊙ GATE POST
- ⊙ BOLLARD POLE
- ⊙ SIGN
- ⊙ FLAG POLE
- ⊙ MAILBOX
- ⊙ SANITARY SEWER
- ⊙ STORM SEWER
- ⊙ WATER MAIN
- ⊙ GAS MAIN
- ⊙ ELECTRIC LINE
- ⊙ OVERHEAD WIRES
- ⊙ TELEPHONE LINE
- ⊙ CONIFEROUS TREE W/APPROX. DIAMETER
- ⊙ DECIDUOUS TREE W/APPROX. DIAMETER
- ⊙ MS=MULTI-STEM (RIP LINE SHOWN IS APPROXIMATE)
- ⊙ TREE LINE
- ⊙ BITUMINOUS PAVEMENT
- ⊙ CONCRETE SURFACE
- ⊙ DEPRESSED CURB
- ⊙ GRAVEL SURFACE
- ⊙ LANDSCAPE AREA
- ⊙ STONE SURFACE
- ⊙ DETECTABLE TACTILE WARNING SURFACE
- ⊙ BRICK PAVERS
- ⊙ WOOD FENCE
- ⊙ CHAIN LINK FENCE
- ⊙ METAL FENCE
- ⊙ METAL GUARDRAIL
- ⊙ OVERHEAD TRAFFIC ARM

**ABBREVIATIONS**

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- TF = TOP OF FOUNDATION
- FF = FINISHED FLOOR
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- VCP = VITRIFIED CLAY PIPE
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- R = RADIUS
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- B.S.L. = BUILDING SETBACK LINE
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- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

**LINE LEGEND**

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND
- PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE

**BENCHMARKS**

- REFERENCE BENCHMARK #1:**  
DUPAGE COUNTY GEODETIC SURVEY MONUMENT PID: DK3214  
LOCATED ALONG THE EAST SIDE OF FINLEY ROAD AT THE OVERPASS FOR INTERSTATE 88.
- REFERENCE BENCHMARK #2:**  
DUPAGE COUNTY GEODETIC SURVEY MONUMENT PID: DK3225  
LOCATED AT THE INTERSECTION OF ROUTE 34 (OSGEND AVE) AND FAIRVIEW AVENUE.
- SITE BENCHMARK #1:**  
SOUTHWEST TAG BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF OGDEN AVENUE AND VENARD ROAD  
ELEVATION = 746.68
- SITE BENCHMARK #2:**  
SOUTHWEST TAG BOLT ON 2ND FIRE HYDRANT NORTH OF OGDEN AVENUE ON THE WEST SIDE OF VENARD ROAD.  
ELEVATION = 741.68

**UTILITY CONTACTS**

- CABLE  
COMCAST - MARTHA GIERAS  
224-229-5862  
MARTHA\_GIERAS@COMCAST.COM
- ELECTRIC  
COMED  
630-576-7094
- GAS  
NICOR GAS  
GASMAPS@NICOR.COM
- COMMUNICATIONS  
AT&T  
C11829@ATT.COM
- MG / VERIZON  
ASG.INVESTIGATIONS@MGSINC.US  
CC: INVESTIGATIONS@VERIZON.COM
- CROWN CASTLE  
888-632-0931  
FIBER.DIG@CROWNCASTLE.COM
- WATER / SANITARY / STORM  
DOWNERS GROVE SANITARY DISTRICT  
KEITH SHAFFNER  
630-353-3610  
KSHAFFNER@DGDSD.ORG
- VILLAGE OF DOWNERS GROVE  
JOHN WELCH  
630-434-5494  
JWELCH@DOWNERS.US

**NOTES**

- THIS SURVEY IS BASED ON THE LEGAL DESCRIPTIONS CONTAINED IN TITLE COMMITMENTS PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY (WHEATLAND TITLE COMPANY) FOR FILE NUMBERS CPS-2022DP-5388.0 AND CPS-2022DP-5389.0, AND ADDRESSES THE EASEMENTS OF RECORD AS IDENTIFIED IN SCHEDULE B OF THE TITLE COMMITMENTS.
- BUILDING SANITARY SERVICE ACCESS AGREEMENT RECORDED AS DOCUMENT R2015-102775 GRANTS THE DOWNERS GROVE SANITARY DISTRICT THE RIGHT TO INSPECT, TEST, MEASURE FLOWS OR OTHERWISE MONITOR EACH UNDERGROUND BUILDING SANITARY SERVED AND THE RIGHT OF ACCESS THERETO, IN, UPON, UNDER, OVER, THROUGH AND ACROSS LOT 24, WHICH IS BLANKET IN NATURE.
- THE SURVEYOR CONTACTED J.U.L.I.E. (JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS) FOR A DESIGN STAGE REQUEST FOR THIS SITE WHICH WAS ASSIGNED A DIG NUMBER OF A221 294 699. INQUIRIES WERE SENT OUT TO THE VARIOUS UTILITY COMPANIES REQUESTING MAPS AND/OR ATLASES OF THEIR RESPECTIVE FACILITIES. THE INFORMATION RECEIVED TO DATE IS SHOWN HEREON.

**CERTIFICATION**

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON MAY 27, 2022. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

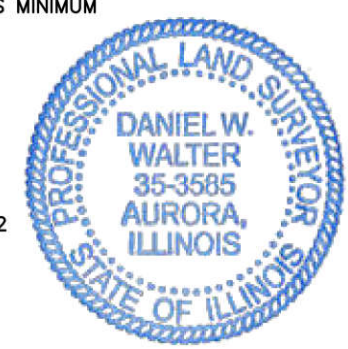
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

COMPASS SURVEYING LTD.  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184.002778  
LICENSE EXPIRES 11/30/2023

Daniel W. Walsh  
DATE: MAY 31, 2022

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585  
LICENSE EXPIRES 11/30/2022



NO.	DATE	BY	REVISIONS

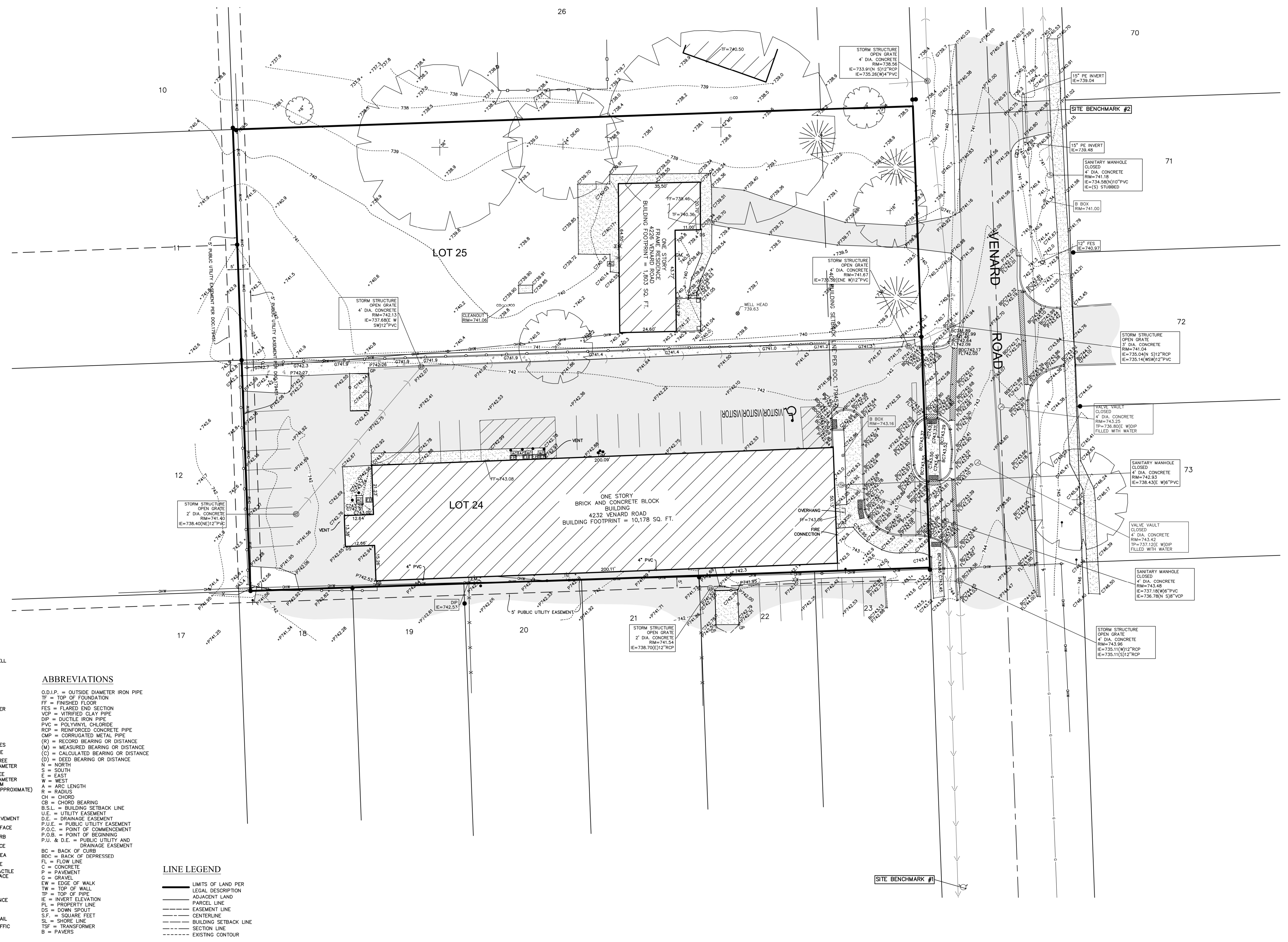
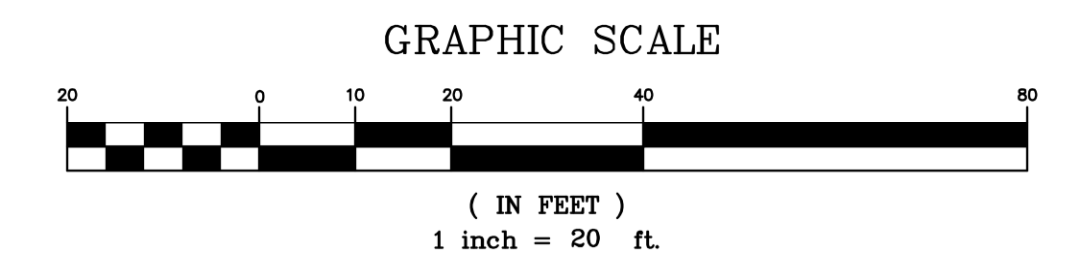
PROJECT	4226 & 4232 VENARD ROAD DOWNERS GROVE, IL
CLIENT	Community High School District 99 2051 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 Downers Grove, IL 60515

**COMPASS SURVEYING LTD**  
ALTA SURVEYS & TOPOGRAPHY • CONSTRUCTION STAKING  
2051 GINGER WOODS PARKWAY, STE. 100  
AURORA, IL 60502  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

SCALE: 1" = 20'

**1 OF 2**

# BOUNDARY AND TOPOGRAPHIC SURVEY



- LEGEND**
- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
  - CONCRETE MONUMENT
  - + CROSS IN CONCRETE
  - ⊙ MANHOLE
  - ⊕ STORM STRUCTURE
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  - ⊕ POST INDICATOR VALVE
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  - ⊕ VALVE BOX
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  - P.O.C. = POINT OF COMMENCEMENT
  - P.O.B. = POINT OF BEGINNING
  - P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
  - BC = BACK OF CURB
  - BDC = BACK OF DEPRESSED CURB
  - FL = FLOW LINE
  - C = CONCRETE
  - P = PAVEMENT
  - G = GRAVEL
  - EW = EDGE OF WALK
  - TW = TOP OF WALL
  - TP = TOP OF PIPE
  - IE = INVERT ELEVATION
  - PL = PROPERTY LINE
  - DS = DOWN SPOUT
  - S.F. = SQUARE FEET
  - SL = SHANK LINE
  - TSF = TRANSFORMER
  - B = PAVERS
- LINE LEGEND**
- LIMITS OF LAND PER LEGAL DESCRIPTION
  - ADJACENT LAND
  - PARCEL LINE
  - EASEMENT LINE
  - CENTERLINE
  - BUILDING SETBACK LINE
  - SECTION LINE
  - EXISTING CONTOUR

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS. COMPASS SURVEYING LTD. DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. COMPASS SURVEYING LTD. IS NOT A UTILITY COMPANY AND DOES NOT GUARANTEE THAT THE INFORMATION SHOWN IS CURRENT OR ACCURATE. THE SHOWN UTILITIES DOES NOT WARRANT THAT ANY UTILITIES NOT SHOWN ARE NOT PRESENT. COMPASS SURVEYING LTD. IS NOT RESPONSIBLE FOR ANY DAMAGE TO OR DESTRUCTION OF UTILITIES OR PERSONAL INJURY OR PROPERTY DAMAGE CAUSED BY ANY UTILITIES NOT SHOWN OR PHYSICALLY LOCATED THE UNDERGROUND LINES.

NO.	DATE	BY	REVISIONS

PROJECT	4226 & 4232 VENARD ROAD DOWNERS GROVE, IL
CHECKED BY	DW BOOK 625 PG 66-68
DRAWN BY	BT
DATE	5-31-22
PC	TK
NO.	

**COMPASS SURVEYING LTD**

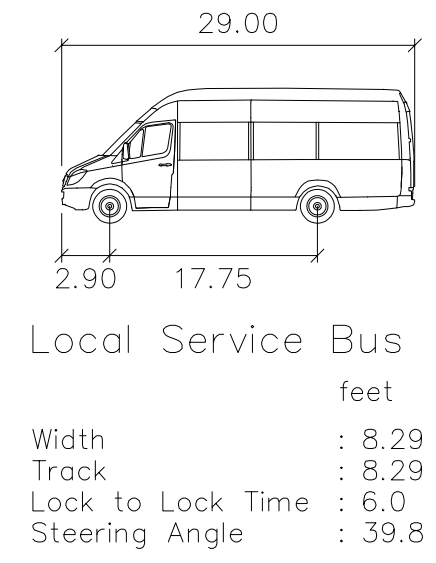
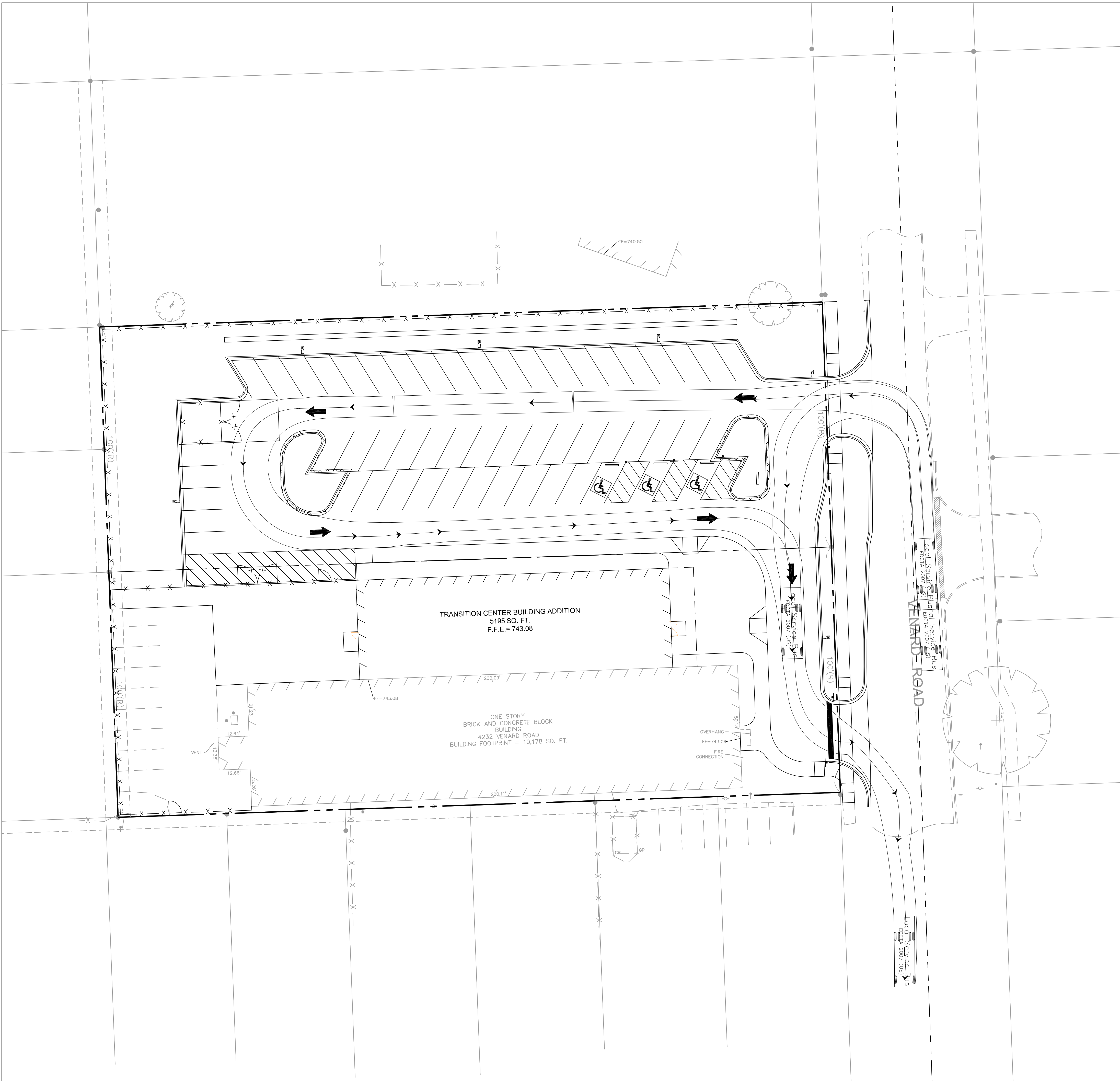
ALTA SURVEYS & TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100  
AURORA, IL 60502

PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

S:\Darien\Downers Grove SD99\INT\_T99 Addition\220081 Drawings\01\11 Drawings\02 CD\EXHIBITS\220081 AUTOTURN EXHIBIT.dwg devans Sep 28, 2022 3:14:03 pm

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 2500 North Frontage Road  
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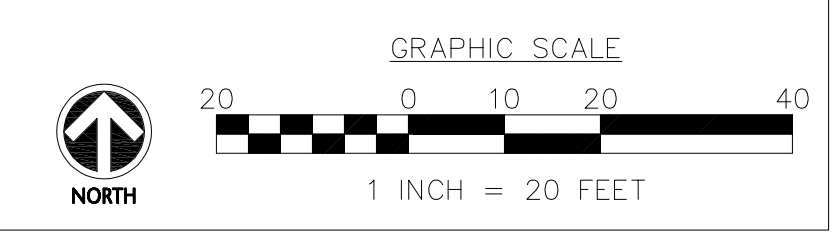
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REV	DESCRIPTION	DATE
	PLAN COMMISSION COMMENTS	09-30-22
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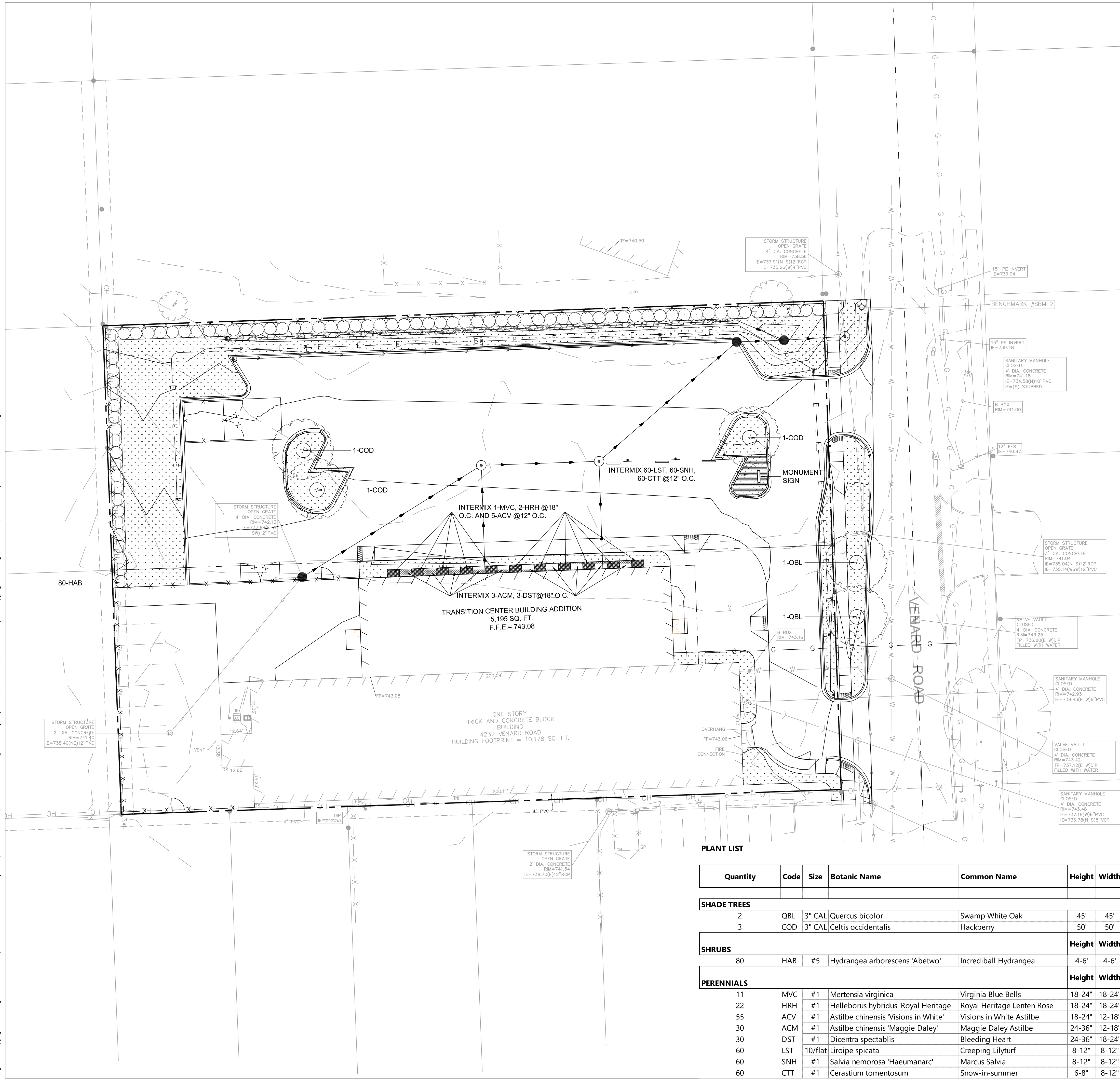
**COMMUNITY HIGH SCHOOL DISTRICT 99**  
**TRANSITION 99**  
**CENTER ADDITION**  
 4232 VENARD ROAD  
 DOWNERS GROVE, IL 60515

**AUTOTURN EXHIBIT**

Project Number:  
 220081  
 Drawn By:  
 DE  
 Sheet:



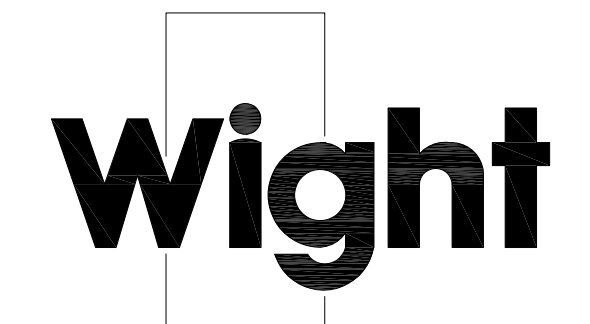
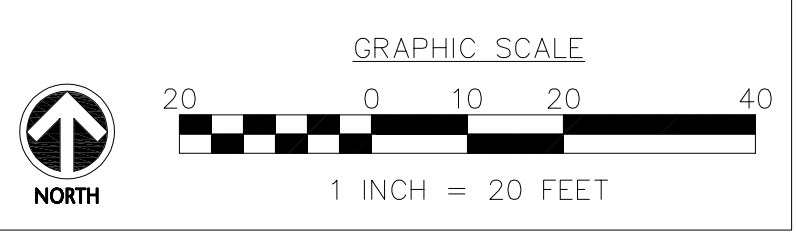
S:\Darien\Downers Grove SD99\INT\_T99 Addition\220081 Design\01\11 Drawings\02 CD\220081 L1.00 LANDSCAPE PLAN.dwg devans Sep 28, 2022 4:16:53 pm  
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- LANDSCAPE NOTES**
- SOD LIMIT LINE IS APPROXIMATE. RESTORE TO LIMITS OF DISTURBANCE. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH), FERTILIZER, AND SOD AS SHOWN.
  - CONTRACTOR RESPONSIBLE TO RESTORE ALL AREAS DISTURBED BY CONSTRUCTION, OUTSIDE SCOPE LIMIT, TO EXISTING CONDITION.
  - THE CONTRACTOR SHALL PROTECT ALL TREES SHOWN ON THE PLANS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS SHOWN ON PLANS AND DETAILS PRIOR TO BEGINNING WORK.
  - THE CONTRACTOR WILL MAKE NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT.
  - ALL PLANTING TECHNIQUES AND METHODS SHALL BE CONSISTENT WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AND AS DETAILED ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
  - TREES PLACED IN TURF AREAS WILL HAVE 6" DIA. MULCH RING WITH 3" DEEP SPADE CUT EDGE.
  - TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM NEAREST LIGHT POLE.
  - TREES SHALL BE INSTALLED A MINIMUM OF 5' HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES.
  - TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO MANHOLES, VALVE VAULTS, VALVE BOXES, AND FIRE HYDRANTS.
  - ANY AREA COMPACTED BY CONSTRUCTION TRAFFIC SHALL BE TILLED OR RESTORED TO ALLOW FOR SUITABLE PLANTING CONDITIONS.
  - THE CROWNS AND ROOTS OF TREES WHICH ARE TO BE PRESERVED IN THE PROJECT AREA, BUT WHICH COULD BE NEGATIVELY AFFECTED DURING THE CONSTRUCTION PROCESS, SHALL BE PRUNED BY A QUALIFIED ARBORIST ACCORDING TO THE TREE PRUNING STANDARDS SET BY ANSI 2100 CODE.
  - USE MWRD BIOSOLIDS FOR AMENDING TOPSOIL.
  - CONTRACTOR SHALL INCLUDE DAILY WATERING FOR ALL SOD, FOR A 3-WEEK DURATION.
  - CONTRACTOR RESPONSIBLE FOR MAINTAINING EXISTING AND NEW TURF TO VILLAGE ORDINANCE STANDARDS DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES MOWING, WEED WHIPPING & TRASH REMOVAL.
  - EXISTING TREES TO REMAIN SHALL HAVE A 6" DIAMETER MULCH RING INSTALLED WITH 3" DEEP SPADE CUT EDGE.

**PLANT LIST**

Quantity	Code	Size	Botanic Name	Common Name	Height	Width
<b>SHADE TREES</b>						
2	QBL	3" CAL	Quercus bicolor	Swamp White Oak	45'	45'
3	COD	3" CAL	Celtis occidentalis	Hackberry	50'	50'
<b>SHRUBS</b>						
80	HAB	#5	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	4-6'	4-6'
<b>PERENNIALS</b>						
11	MVC	#1	Mertensia virginica	Virginia Blue Bells	18-24"	18-24"
22	HRH	#1	Helleborus hybridus 'Royal Heritage'	Royal Heritage Lenten Rose	18-24"	18-24"
55	ACV	#1	Astilbe chinensis 'Visions in White'	Visions in White Astilbe	18-24"	12-18"
30	ACM	#1	Astilbe chinensis 'Maggie Daley'	Maggie Daley Astilbe	24-36"	12-18"
30	DST	#1	Dicentra spectabilis	Bleeding Heart	24-36"	18-24"
60	LST	10/flat	Liriope spicata	Creeping Lilyturf	8-12"	8-12"
60	SNH	#1	Salvia nemorosa 'Haeumanarc'	Marcus Salvia	8-12"	8-12"
60	CTT	#1	Cerastium tomentosum	Snow-in-summer	6-8"	8-12"



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**NOT FOR CONSTRUCTION**

REV	DESCRIPTION	DATE
	PLAN COMMISSION COMMENTS	09-30-22
	ISSUE FOR BID	09-28-22
	ISSUE FOR OWNER REVIEW	09-14-22
	ISSUE FOR PLAN COMMISSION	08-16-22
	ISSUE FOR DESIGN DEVELOPMENT	08-10-22

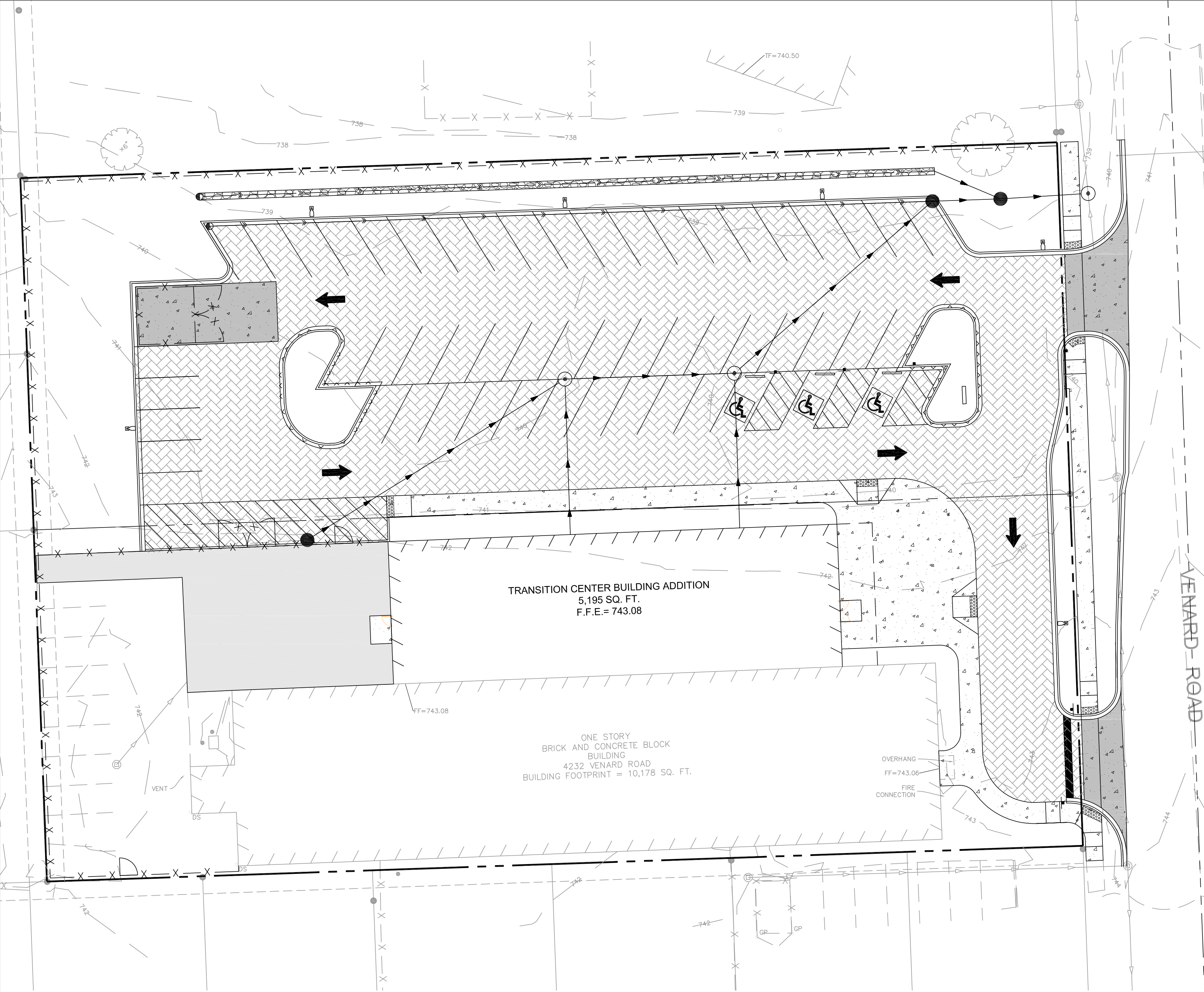
**COMMUNITY HIGH SCHOOL DISTRICT 99  
 TRANSITION 99  
 CENTER ADDITION**  
 4232 VENARD ROAD  
 DOWNERS GROVE, IL 60515

**LANDSCAPE PLAN**

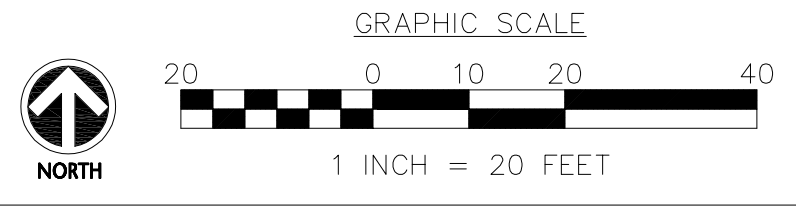
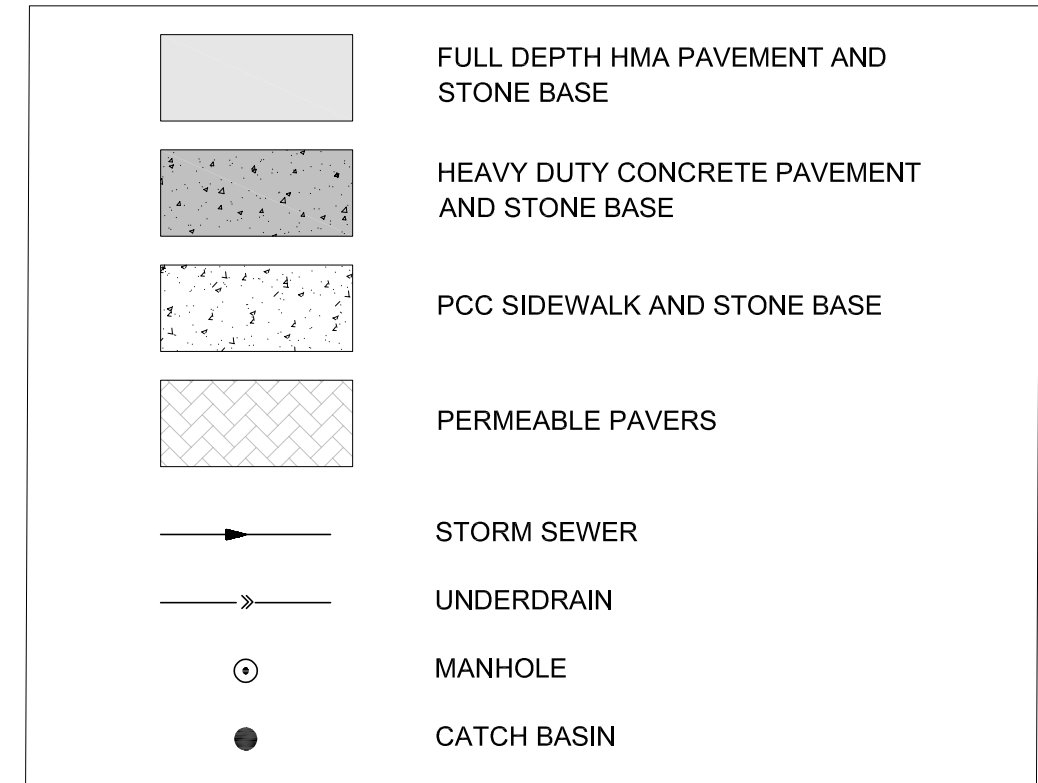
Project Number:  
 220081  
 Drawn By:  
 LL  
 Sheet:

**L1.00**

S:\Darien\Downers Grove SD99\INT\_T99 Addition\220081 Design\01\11 Drawings\02 CD\220081 OM1.0 OPERATION AND MAINTENANCE PLAN.dwg devans Sep 28, 2022 4:14:52 pm



LEGEND



OWNER INFORMATION & EMPLOYEE TRAINING:

THE PEOPLE REPRESENTED BELOW ARE INVOLVED WITH AND RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE (O&M) OF THE STORMWATER DETENTION, LANDSCAPE PLANTINGS AND IRRIGATION FACILITIES AS OUTLINED HEREIN.

- 1. PROPERTY OWNER LISTED BELOW SHALL BE RESPONSIBLE FOR OVERSEEING AND ENSURING PROPERTY O&M IS CARRIED OUT AND PERFORMED AS DOCUMENTED HEREIN.
JIM KOLODZIEJ
COMMUNITY SCHOOL DISTRICT 99
6301 SPRINGSIDE AVENUE
DOWNERS GROVE, IL 60516
2. THE HEAD OF FACILITIES LISTED BELOW SHALL BE RESPONSIBLE FOR PERFORMING THE O&M DOCUMENTED HEREIN...

O&M PRACTICES AND IMPLEMENTATION SCHEDULE:

THE VILLAGE REQUIRES THAT PROPERTY OWNERS KEEP AN O&M INSPECTION AND MAINTENANCE LOGBOOK. IN GENERAL, THE LOGBOOK SHOULD NOTE ALL INSPECTION DATES, FACILITY COMPONENTS INSPECTED, AND ANY MAINTENANCE PERFORMED AND REPAIRS MADE...

- EACH BMP WILL REQUIRE A SPECIFIC INSPECTION AND MAINTENANCE REGIMEN. IN ADDITION, THE MINIMUM REQUIREMENTS BELOW SHALL BE INCORPORATED INTO THE INSPECTION AND MAINTENANCE REGIMEN.
\* O&M PLAN PROCEDURES AND PRACTICES MUST BE REVIEWED AND ASSESSED ANNUALLY.
\* ACCESS ROUTES INCLUDING ROADWAYS AND SIDEWALKS SHALL BE INSPECTED ANNUALLY AND MAINTAINED AS NEEDED.

PEST CONTROL

- 1. ALL TRASH SHALL BE KEPT IN A WELL MAINTAINED DUMPSTER/TRASH ENCLOSURE AREA ON SITE AS LOCATED ON THE SITE PLAN. TRASH AREAS SHALL HAVE SECURE LIDS ON THE DUMPSTERS/BINS.
2. TRASH ENCLOSURES SHALL HAVE SCREENS OR WALLS TO MINIMIZE THE TRANSPORT OF TRASH AND LITTER BY WIND OR WATER.

ACCESS ROUTES

REGULAR SWEEPING AND REMOVAL OF DEBRIS. VEHICLE PARKING LOT WILL BE SWEEPED ON A REGULAR BASIS. SEDIMENT AND DEBRIS (LITTER, LEAVES, PAPERS, CANS, TRASH ETC.) WITHIN THE AREAS ESPECIALLY AROUND DRAINAGE INLETS WILL BE COLLECTED AND REMOVED...

DRAINAGE STRUCTURES, RESTRICTORS AND BACKFLOW PREVENTERS

- 1. AS NEEDED/ONGOING
1.1. KEEP ADJACENT LANDSCAPED AREAS WELL-MAINTAINED TO PREVENT SOIL FROM BEING TRANSPORTED AND DEPOSITED INTO THE DRAINAGE STRUCTURE.
1.2. MONITOR REGULARLY TO ENSURE THAT THE SURFACE DRAINS PROPERLY. RE-GRADE AREAS WHERE PONDING OCCURS IN ORDER TO PROVIDE POSITIVE PITCH TOWARDS THE STRUCTURE.

PERMEABLE PAVER AREAS

- 1. INSPECTION OF THE SITE SHOULD OCCUR MONTHLY FOR THE FIRST 6 MONTHS AFTER CONSTRUCTION. THEN CAN OCCUR ON AN ANNUAL BASIS, PREFERABLY AFTER RAIN EVENTS WHEN VISUAL INSPECTION OF POSSIBLE CLOGGING CAN BE OBSERVED. FOLLOW ALL MANUFACTURER'S SPECIFIC RECOMMENDATIONS.
2. CONVENTIONAL STREET SWEEPERS EQUIPPED WITH VACUUMS, WATER, AND BRUSHES SHALL BE USED TO RESTORE PERMEABILITY. VACUUM SWEEPING SHALL OCCUR QUARTERLY (4 TIMES PER YEAR). REMOVED MATERIAL SHALL BE DISPOSED OF PROPERLY. FOLLOW STREET SWEEPING WITH HIGH PRESSURE HOSE OF THE SURFACE PORES, AS NECESSARY ADD ADDITIONAL AGGREGATE FILL MATERIAL AS SPECIFIED IN THE CONSTRUCTION DETAIL OR MANUFACTURER'S RECOMMENDATIONS.

LANDSCAPE MAINTENANCE PRACTICES:

- TREES
AERATION
• SOME TREE ROOT ZONES IN LAWN AREAS CAN BECOME COMPACTED DUE TO HEAVY PEDESTRIAN OR VEHICULAR TRAFFIC. THE LAWN AREAS WITHIN THE TREE DRIP ZIP SHOULD BE AERATED AT LEAST ONCE A YEAR.
FERTILIZATION
• TREES GENERALLY REQUIRE SUPPLEMENTAL FEEDING ANNUALLY. PROVIDE TWO POUNDS OF ACTUAL NITROGEN PER 1000 SQUARE FEET OF PLANTING AREA. NITROGEN SHALL BE IN A SLOWLY SOLUBLE FORM SUCH AS POLYMER COATED, SULFUR COATED UREA.
MULCHING
• USE 3 INCHES OF SHREDDED HARDWOOD BARK MULCH AT LEAST 4 FEET IN DIAMETER AROUND THE TRUNK. ADD MULCH AS REQUIRED. MULCH SHALL NOT BE PLACED AGAINST THE TREE TRUNK.

- PERENNIALS
PERENNIALS ARE A DIVERSE ASSORTMENT OF PLANTS. TYPICALLY, PERENNIALS HAVE ONE BLOOMING PERIOD EACH YEAR. AFTER BLOOMING, THE PLANTS MAY CONTINUE TO GROW, MAY DIE BACK AND VIRTUALLY DISAPPEAR, OR MAY RETAIN THE SAME APPEARANCE THROUGHOUT THE YEAR. MOST PERENNIALS ARE GROWN FOR THEIR FLOWER COLOR OR INTERESTING FOLIAGE.
MULCHING
• MULCH ALL PERENNIALS WITH 2 INCHES OF COMPOSTED LEAF MULCH. REPLENISH AS REQUIRED.
TRIMMING
• IN LATE MARCH REMOVE ALL PERENNIAL STEMS AND LEAVES TO 3/32" HEIGHT.
INERT MATERIAL
• MAINTENANCE REQUIREMENTS FOR INERT MATERIAL IN THE LANDSCAPE ARE FOCUSED ON WEED CONTROL. REGULAR AND TIMELY APPLICATION OF PRE-EMERGENT AND NON-SELECTIVE SYSTEMIC HERBICIDES WILL KEEP INERT MATERIAL AREAS LARGELY FREE OF WEEDS. PERIODIC RAKING AND LITTER REMOVAL ALSO CONTRIBUTE TO THEIR ATTRACTIVENESS.

OPERATION AND MAINTENANCE PLAN OWNER'S CERTIFICATION STATEMENT:

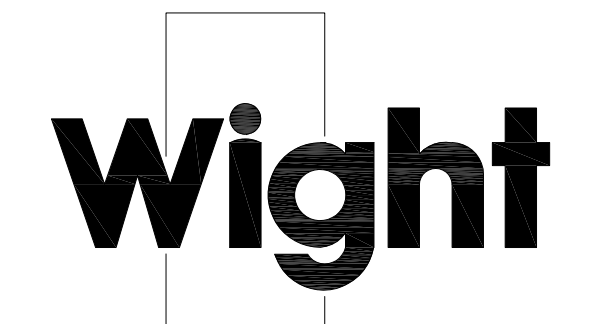
PROPERTY NAME: DOWNERS GROVE NORTH HIGH SCHOOL MFP IMPLEMENTATION
PROPERTY ADDRESS: 4436 MAIN STREET, DOWNERS GROVE, IL 60516
AS THE OWNER(S) OF THE SUBJECT PROPERTY, BY SIGNING THIS DOCUMENT, I/WE ACKNOWLEDGE THAT I/WE HAVE RECEIVED AND REVIEWED THE OPERATION AND MAINTENANCE PLAN, DATED MARCH 4TH, 2019 AND UNDERSTAND ITS CONTENTS.

I/WE FURTHER AGREE TO ADHERE TO THE MAINTENANCE SCHEDULE OF BEST MANAGEMENT PRACTICES STIPULATED IN THE PLAN. I/WE ALSO ACKNOWLEDGE THAT IF I/WE DON'T MAINTAIN THE MEASURES AS SHOWN IN THE PLAN, UPON VILAGE INSPECTION, I/WE COULD BE LIABLE FOR A VIOLATION OF THE VILLAGE'S MUNICIPAL CODE.

Signature lines for Initial Owner(s), 2nd Owner(s), and 3rd Owner(s) with fields for Name, Signature, Date, and Notary Public.

NOTES:

- 1. THE SITE MAP HEREIN OUTLINES THE LOCATION OF ALL BMP'S (BEST MANAGEMENT PRACTICES), STORMWATER MANAGEMENT FACILITIES, AND IRRIGATION LINES THAT SHALL BE PROPERLY MAINTAINED AS OUTLINED HEREIN.



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NOT FOR CONSTRUCTION

Table with 2 columns: Description and Date. Includes entries for Plan Commission Comments, Issue for Bid, Issue for Owner Review, Issue for Plan Commission, and Issue for Design Development.

COMMUNITY HIGH SCHOOL DISTRICT 99
TRANSITION 99 CENTER ADDITION
4232 VENARD ROAD
DOWNERS GROVE, IL 60515

OPERATION AND MAINTENANCE PLAN

Project Number: 220081
Drawn By: NKH
Sheet:

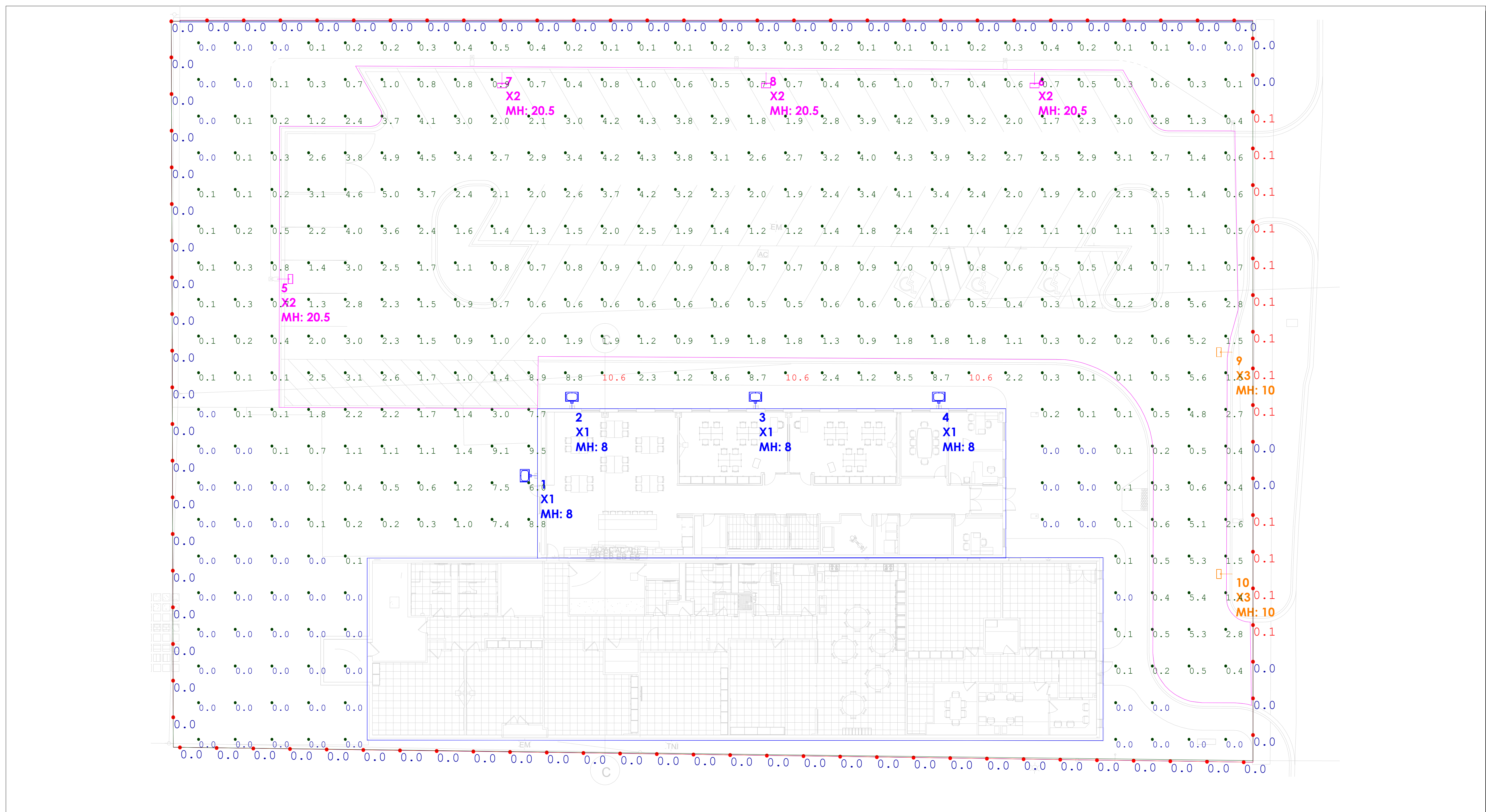
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Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.										
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Arr. Lum. Lumens	Luminaire Watts	Arr. Watts	LLF	Manufacturer	Description
	4	X1	WALL	6646	6646	46.1	46.1	0.900	HUBBELL OUTDOOR	RWL2-160L-45-4K7-4-U
	4	X2	Single	11015	11015	132.2	132.2	0.900	HUBBELL OUTDOOR	VP-1-160L-135-4K7-4W-BC
	2	X3	Single	3843	3843	50.5	50.5	0.900	HUBBELL OUTDOOR	VP-1-160L-50-4K7-4W-BC

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description	
OVERALL AREA_AT GRADE	ILLUMINANCE	Fc	1.55	10.6	0.0	N.A.	N.A.	READINGS TAKEN @ GRADE LEVEL	
PROPERTY LINE	ILLUMINANCE	Fc	0.02	0.1	0.0	N.A.	N.A.	READINGS TAKEN @ GRADE LEVEL	
PARKING AREA_AT GRADE	ILLUMINANCE	Fc	1.95	8.9	0.1	89.00	19.50	READINGS TAKEN @ GRADE LEVEL	

Luminaire Location Summary						
LumNo	Tag (Qty)	Label	Mtg Ht	Orient	Tilt	
1	X1 (1)	RWL2-160L-45-4K7-4-U	8	180	0	
2	X1 (1)	RWL2-160L-45-4K7-4-U	8	90	0	
3	X1 (1)	RWL2-160L-45-4K7-4-U	8	90	0	
4	X1 (1)	RWL2-160L-45-4K7-4-U	8	90	0	
5	X2 (1)	VP-1-160L-135-4K7-4W-BC	20.5	0	10	
6	X2 (1)	VP-1-160L-135-4K7-4W-BC	20.5	270	10	
7	X2 (1)	VP-1-160L-135-4K7-4W-BC	20.5	270	10	
8	X2 (1)	VP-1-160L-135-4K7-4W-BC	20.5	270	10	
9	X3 (1)	VP-1-160L-50-4K7-4W-BC	10	180	0	
10	X3 (1)	VP-1-160L-50-4K7-4W-BC	10	180	0	



Scale: 1 inch= 15 Ft.

PARKING LOT DESIGN GUIDE	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	

SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.

NOTES
PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.
ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.
THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.
FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.
CALCULATION GRID VALUES 10'-0" O.C.



DRAWN BY:  
Chris Collins  
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847.228.1199

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Randy Dana  
randy.dana@pg-enlighten.com  
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REVISIONS
1
2
3

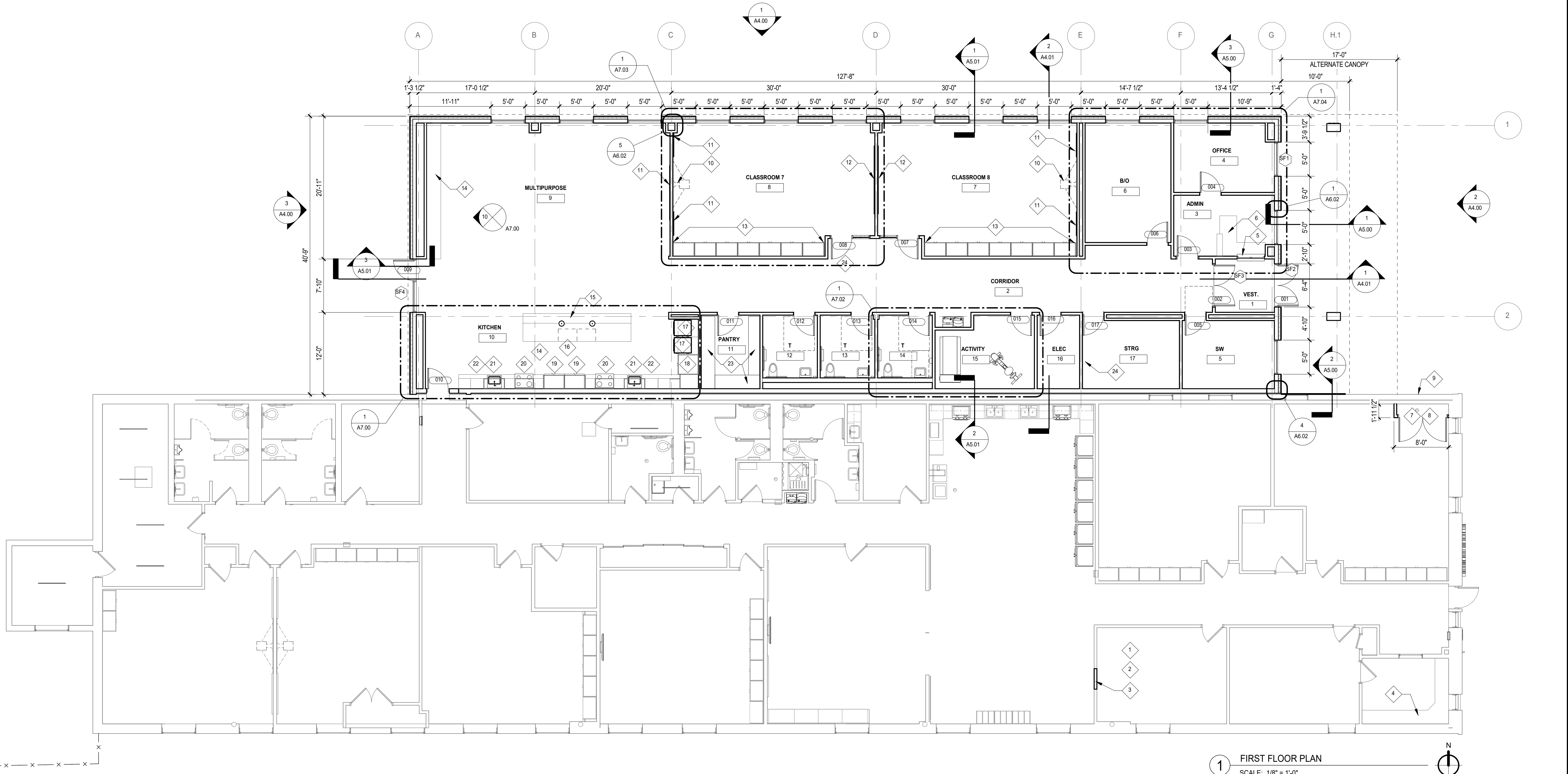
PROJECT NAME:  
**Downers Grove SD99 Transition BLDG Addition - PKG LOT**

CLIENT NAME:  
**Wight & Company**

#	KEY NOTES	FLOOR PLAN LEGEND	GENERAL NOTES
1	NEW FLOOR FINISH. PREP EXISTING FLOOR TO RECEIVE NEW FINISH. PROVIDE FLOOR LEVELER AND UNDERLAYMENT AS REQUIRED. REFER TO FINISH PLANS.	EXISTING WALL	1. ALL ITEMS THAT ARE TO BE REMOVED AND REINSTALLED OR SAVED ARE TO BE TAGGED AND CAREFULLY STORED (SEE OWNER FOR LOCATION). 2. ALL AREAS AFFECTED BY DEMOLITION TO BE PATCHED, REPAIRED, & LEVELED TO MATCH EXISTING ADJACENT SURFACE (MATCH EXISTING CONDITION AT DOOR JAMBS) VERIFY IN FIELD. 3. THE CONSTRUCTION DOCUMENTS INDICATE THE OVERALL AREAS OF WORK. INCIDENTAL WORK ASSOCIATED BUT NOT SHOWN ON THE CONSTRUCTION DOCUMENTS MAY BE REQUIRED OUTSIDE THE PROJECT AREAS. THIS WORK IS PART OF THE CONSTRUCTION CONTRACT AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER. 4. ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED & REPAIRED OR REPLACED AS REQUIRED TO MATCH ADJACENT LEVEL OF FINISH AND CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER. 5. WHEN THE REMOVAL OF EXISTING SURFACE MATERIAL IS REQUIRED TO COMPLETE CONTRACT WORK AND A NEW FINISH IS NOT SCHEDULED, PATCH/REPAIR AND PRIME THE AFFECTED SURFACE TO RECEIVE NEW FINISH. 6. NEW SLEEVES AND OPENINGS IN THE EXISTING FLOOR, WALL & CEILING CONSTRUCTION ARE TO BE SEALED WITH FIRE SAFETY MATERIAL. 7. ALL MISC. ITEMS (CHALKBOARDS, PENCIL SHARPENERS, ETC.) THAT INTERFERE WITH THE COMPLETION OF CONTRACT WORK BUT ARE NOT SHOWN TO BE REMOVED ARE TO BE REMOVED, STORED, AND REINSTALLED. AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THAT ITEMS CANNOT BE REINSTALLED IN ITS ORIGINAL LOCATION COORDINATE NEW LOCATION WITH ARCHITECT/OWNER. 8. U.N.O. CONTRACTOR TO REMOVE EXISTING FLOORING AND BASE AS REQUIRED TO ACCOMMODATE DOOR ASSEMBLIES. PATCH/REPAIR AS NECESSARY TO MATCH ADJACENT SURFACES. 9. REFER TO MEP-FP DRAWINGS FOR DEMOLITION / REMOVAL / RELOCATION AND INSTALLATION OF FIXTURES AND DEVICES. 10. REFER TO SHEET A0.1 FOR TYPICAL FIXTURE MOUNTING HEIGHTS AND ADA COMPLIANT PLANS, ELEVATIONS, AND DETAILS. 11. UPON REMOVAL OF DOORS, SHORE OPENINGS AS REQUIRED. SECURE ALL NEW FRAMES PER MANUFACTURERS RECOMMENDATIONS. PROVIDE LINTELS AS REQUIRED. SEE STRUCTURAL DRAWINGS. 12. ON DOORS THAT ARE TO BE REMOVED RETURN ALL DOOR HARDWARE TO OWNER PRIOR TO DISPOSAL. 13. ALL ELECTRICAL DEVICES & ASSEMBLIES BEING AFFECTED BY DEMO OF DOORS TO BE REINSTALLED AND RECONNECTED AT NO ADDITIONAL COST TO THE OWNER. 14. ALL DIMENSIONS ARE TO OUTSIDE FACE OF WALL MATERIAL (GYPSUM BOARD OR MASONRY) UNLESS NOTED OTHERWISE. 15. PATCH ROOF AS REQUIRED FOR ANY NEW PENETRATIONS.
2	ROOM SHALL RECEIVE ALL NEW WALL, BASE, WALL FINISH, AND CEILING FINISHES. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.	NEW WALL	
3	FILL IN OPENING WITH METAL STUD AND GYP. BD. PARTITION. PATCH & PAINT WALL AS REQUIRED.	NEW DOOR. REFER TO SHEET A8.03 FOR DOOR SCHEDULE	
4	NEW COUNTER, REFER TO CASEWORK AND ELECTRICAL PLANS.	EXISTING DOOR TO REMAIN. REFER TO SHEET A8.03 FOR DOOR SCHEDULE FOR REQUIRED MODIFICATIONS	
5	SECURITY WINDOW, PROVIDE INTERCOM ON BOTH SIDES OF THE WINDOW, REFER TO ELECTRICAL PLANS.	METAL LOCKER- 5% OF TOTAL PROVIDED QUANTITY SHALL BE ACCESSIBLE. COORDINATE ADA COMPLIANT LOCKER LOCATIONS WITH ARCHITECT/OWNER PRIOR TO PROCUREMENT	
6	SECURITY COUNTER, REFER TO CASEWORK DETAILS	11- PARTITION TYPE. REFER TO A8 SERIES	
7	MODIFY EXISTING CLOSED TO DIMENSIONS SHOWN	11- ALUMINUM STOREFRONT/WINDOW TYPE. REFER TO A8 SERIES	
8	NEW WATER HEATER, REFER TO PLUMBING	101.1- DOOR TAG. REFER TO SHEET A8.03 FOR DOOR SCHEDULE	
9	NEW GAS SERVICE	(DIMENSION) DIMENSION IS CRITICAL. HOLD DIMENSION FACE TO FACE OF WALL.	
10	WALL MOUNTED SHORT THROW PROJECTOR.	HOLD DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
11	MARKER BOARD, SEE INTERIOR ELEVATIONS FOR SIZES.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
12	TACK BOARD, SEE INTERIOR ELEVATIONS FOR SIZES.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
13	TALL CASEWORK CABINETS WITH ADJUSTABLE SHELVING, REFER TO ENLARGED PLANS AND CASEWORK DETAILS.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
14	CASEWORK CABINETS, REFER TO ENLARGED PLANS AND CASEWORK DETAILS.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
15	KITCHEN ISLAND WITH BUILT-IN ELECTRICAL FOR OUTLETS.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
16	2 MICROWAVES, FURNISHED AND INSTALLED BY OWNER.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
17	2 STACKABLE WASHERS AND DRYERS, FURNISHED AND INSTALLED BY OWNER. REFER TO MECHANICAL AND ELECTRICAL.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
18	TALL CASEWORK CABINET WITH PULL OUT SHELVES, REFER TO ENLARGED PLANS AND CASEWORK DETAILS.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
19	2 REFRIGERATORS, FURNISHED AND INSTALLED BY OWNER.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
20	2 RANGES, FURNISHED AND INSTALLED BY OWNER.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
21	2 SINKS, REFER TO PLUMBING	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
22	2 DISHWASHERS, FURNISHED AND INSTALLED BY OWNER.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
23	ADJUSTABLE SHELVING ON METAL STANDARDS.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	
24	ROOF HATCH AND LADDER.	ALIGN DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.	



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REV	DESCRIPTION	DATE
	PLAN COMMISSION COMMENTS	09/30/2022
	ISSUE FOR BID	09/28/2022
	ISSUE FOR PLAN COMMISSION	08/16/2022
	ISSUE FOR DESIGN DEVELOPMENT	08/12/2022

### TRANSITION BUILDING ADDITION

4232 VENARD ROAD  
DOWNERS GROVE, IL 60516

### FLOOR PLAN

Project Number:  
200191  
Drawn By:  
D. Aukstulolis  
Sheet:

# A2.01

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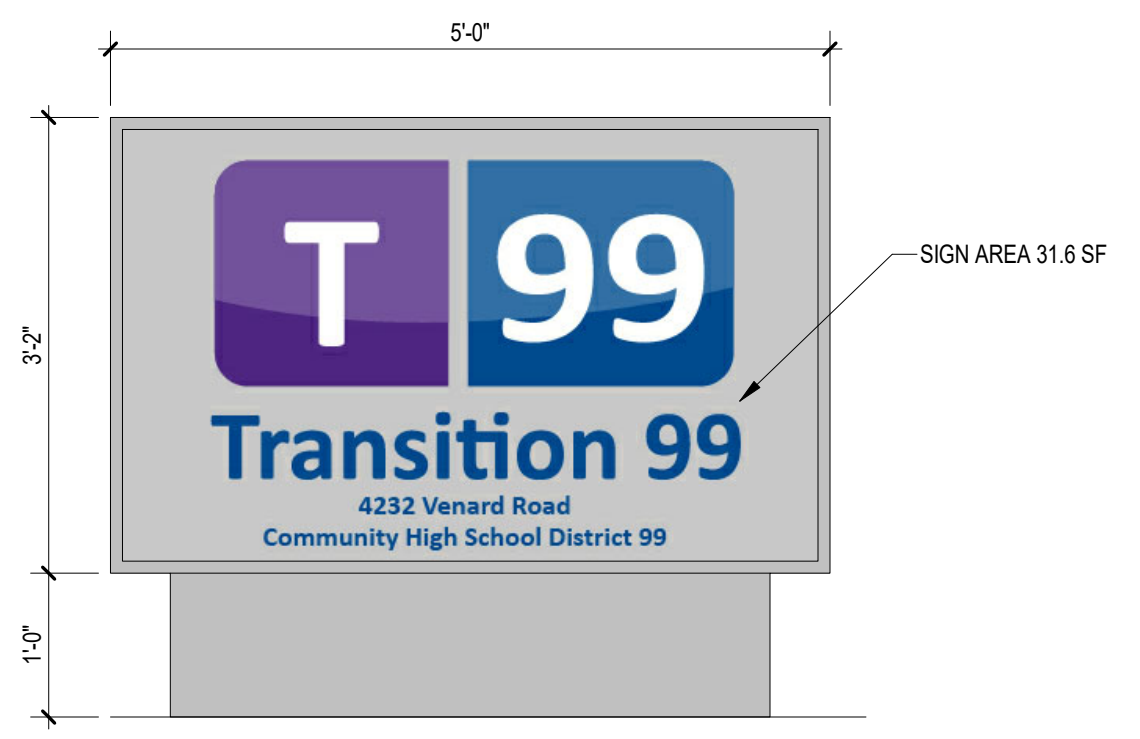


9/23/2022 2:24 PM C:\Users\aukstuois\Documents\Revit\_tmp\22081\_199 Addition\_ARCH\_2021\_dakstuois.rvt Wight & Co. © Copyright 2016 All rights reserved. No part of these documents may be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight & Co.

LEGEND - FINISH - EXTERIOR			
SYMBOL	MATERIAL	DESCRIPTION	SPECIFICATION
E-AS1	ALUMINUM STOREFRONT	ALUMINUM ANODIZED	-
E-CP-1	COMPOSITE PANELS	REYNOLBOND COMPOSITE ALUMINUM	-
E-CS-1	COMPOSITE WOOD SIDING	RESYSTA 6", VERTICAL SIDING	-
E-ET-1	PREFINISHED ALUMINUM PERIMETER EDGE TRIM WITH CONTINUOUS CLEAT ON TAPERED SHIM	COLOR TO MATCH ADJACENT SIDING	-
E-RM-1	1 PLY ROOF MEMBRANE	EPDM	-
E-WB-1	WEATHER BARRIER	DUPONT TYVEK COMMERCIAL WRAP	-
EX-1	EXISTING SIDING	BASE BID - PAINT EXISTING SIDING, COLOR TO MATCH E-CS-1 ALTERNATE BID - REPLACE EXISTING SIDING WITH E-CS-1	-

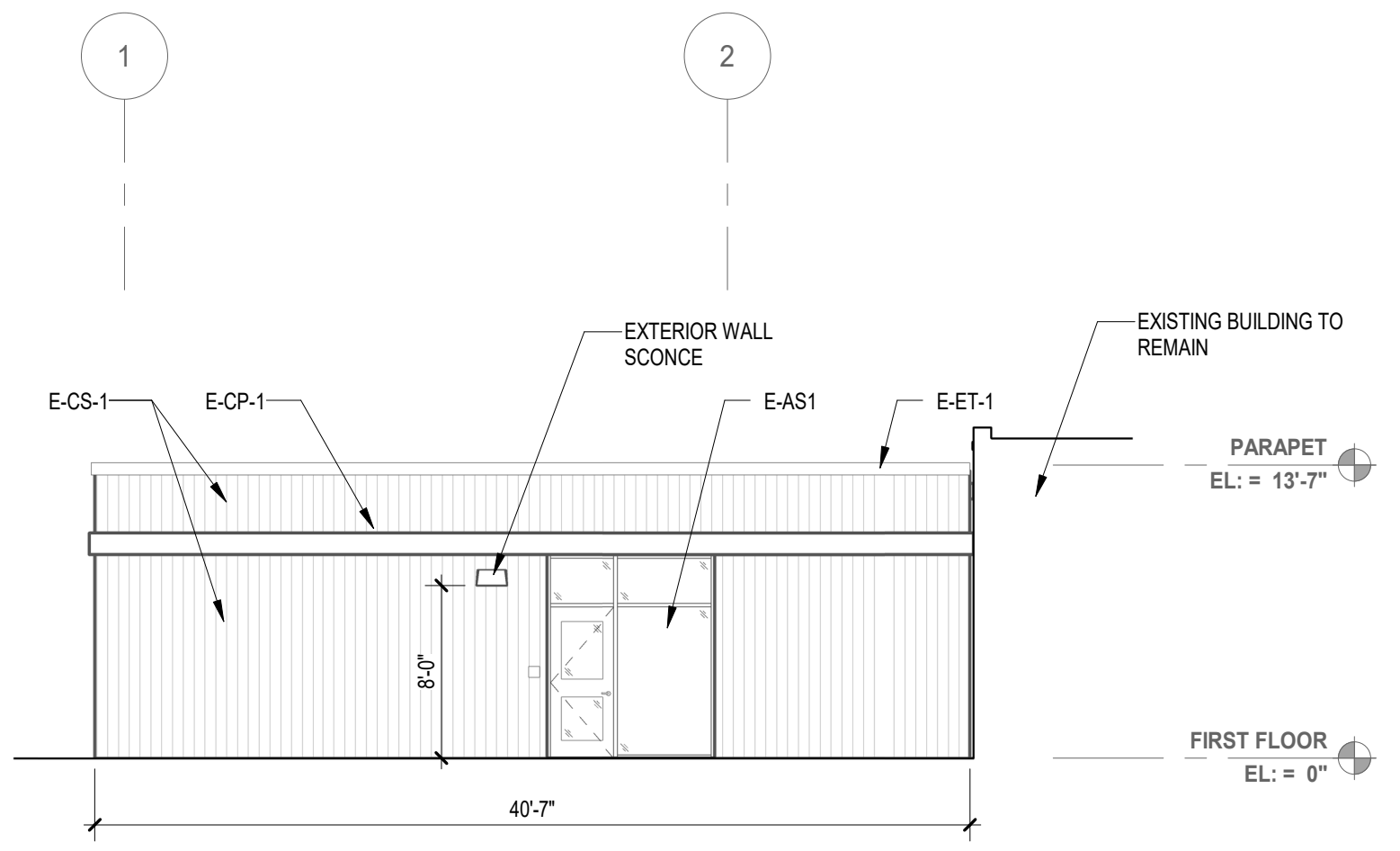
  

SIGNAGE CODE DATA	
1. MAXIMUM SIGN AREA	SEC 28.9.050 a
FORMULA:	1.5 SF x TENANT FRONTAGE
FRONTAGE:	90.54 LF
	1.5 x 90.54 = 135.81 SF
	<b>TOTAL: 135.81</b>
2. MONUMENT SIGN	SEC 28.9.050 b
MAX HEIGHT:	8 FT
MAX AREA:	36 SF
2. TOTAL SIGNAGE	
MONUMENT SIGN:	31.6 FT
SIGN AREA FOR FUTURE DISTRICT SIGNAGE:	32.5 SF
	13 SF
<b>TOTAL:</b>	<b>77.1</b>

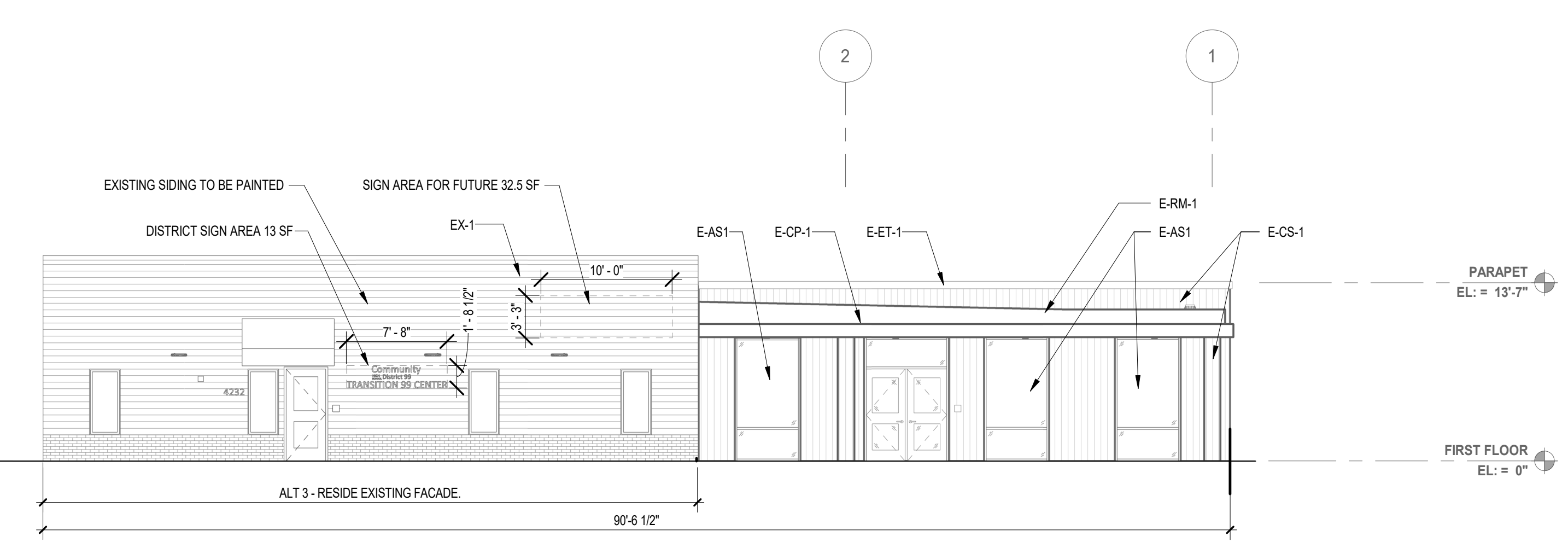


SINGLE SIDED ILLUMINATED SIGN

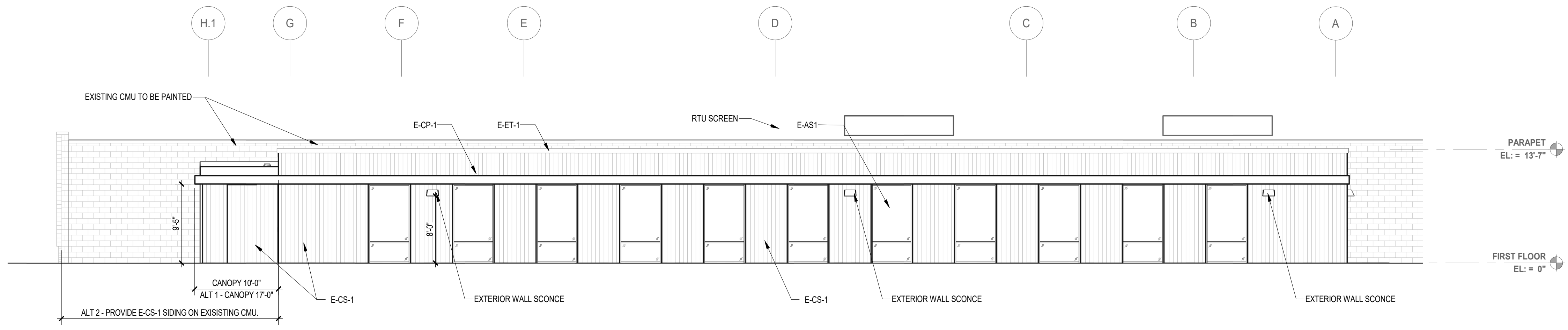
4 MONUMENTAL SIGN  
SCALE: 3/4" = 1'-0"



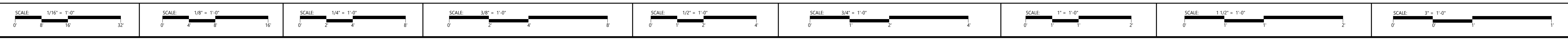
3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



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REV	DESCRIPTION	DATE
	PLAN COMMISSION COMMENTS	09/30/2022
	ISSUE FOR BID	09/28/2022
	ISSUE FOR PLAN COMMISSION	08/16/2022
	ISSUE FOR DESIGN DEVELOPMENT	08/12/2022

### TRANSITION BUILDING ADDITION

4232 VENARD ROAD  
DOWNERS GROVE, IL 60516

### EXTERIOR ELEVATIONS

Project Number:  
200191  
Drawn By:  
D. Aukstuois  
Sheet:

# A4.00

VILLAGE OF DOWNERS GROVE  
PLAN COMMISSION MEETING

November 7, 2022, 7:00 P.M.

**FILE 22-PLC-0028: A petition seeking a Zoning Map Amendment. The property at 4226 Venard is currently zoned R-2: Residential Detached House and a map amendment for B-3: General Services and Highway Business is requested. (09-06-402-002 and 09-06-213-026), Community High School District 99, Petitioner and Owner.**

Appearing on behalf of Community High School District 99, Ms. Amy Tiberi, with Wight & Company, discussed the District's transition building, located at 4232 Venard Rd. She stated that the property was District owned and served as a transition program that served 18-22-year-olds learning life skills. Ms. Tiberi explained that the District recently purchased the adjacent lot, 4226 Venard Rd, a single family residential home, and said they were looking to consolidate the R-2 and B-3 properties into one single lot and have it be rezoned to B-3 to accommodate for the potential growth of the program. She shared the proposed addition to the existing building and talked about the various changes that would be made, including a new entrance, expansion of the parking lot with permeable pavers, and additional parking that would make it easier and safer for bus pick up and drop off. Ms. Tiberi further stated that they would be adding two classrooms, office space, and a multipurpose room.

Ms. Tiberi stated the District held a neighborhood meeting in September in preparation to discuss the plans in detail, but no one attended. She explained that they were requesting a map amendment change and not looking for any deviations from the village ordinance.

Chairman Rickard invited questions from the commissioners.

Commissioner Patel asked if there were any proposed changes to hours of operation. Ms. Tiberi answered there were no proposed changes.

Commissioner Boyle asked if the permeable pavers would improve drainage in the neighborhood. Ms. Tiberi answered yes, and that they would not have a net increase because of the permeable pavers.

Chairman Rickard opened the public hearing to public comment. No one from the public was present to comment. Chairman Rickard clarified it was strictly rezoning and not approval of the site plan, landscaping, etc.

Senior Planner, Flora Leon, reviewed the staff report and provided an overview of the rezoning. She provided location maps and photographs of the site. She stated that they mailed out notification letters to neighbors and received no questions from the public. She provided the existing land use photo, demolition plan, proposed site plan, and highlighted improvements that would be proposed, including the reworking of the entrance, trash enclosure, landscaping, and additional space for the buses. Ms. Leon said it was important to note the future land use plan designated the parcel as single family detached, but also included a section for community facilities policies which recommended that the Village continue to improve public and private school facilities that would

not impact residential neighborhoods. Ms. Leon said the rezoning criteria was provided for review and staff did find the criteria had been met for the rezoning.

Chairman Rickard asked if the additional information was necessary since rezoning was what they were making a motion on. It was answered that it was an appropriate condition to be consistent with how they had addressed other map amendments that have occurred. Chairman Rickard asked if the Commissioner had any questions.

Commissioner Boyle asked about existing trees. He stated it looked like some of the trees were overlapping and growing on top of each other. He added the existing trees did a good job of buffering the neighborhood. Amy Tiberi stated it was reviewed by the landscape architect and said they would be adding shrubs along the entire perimeter of the fence. She stated landscaping was limited due to drivers being able to see around the loop they would be driving through.

Commissioner Frankovic made a recommendation to consider working with some native plants in the landscaping for the community in the long term.

Chairman Rickard move onto Planned Commission deliberation.

Commissioner Roche stated it would be a nice addition to expand services and to allow buses to come in, which would benefit the kids using the building.

Commissioner Frankovic stated she drove through there that day and the parking lot was tight to get through, so it was definitely needed.

**WITH RESPECT TO FILE 22-PLC-0017 AND BASED ON THE PETITIONER'S SUBMITTAL, THE STAFF REPORT, AND THE TESTIMONY PRESENTED, IT IS FOUNDED THE PETITIONER HAS MET THE STANDARDS OF APPROVAL FOR REZONING AS REQUIRED BY THE VILLAGE OF DOWNERS GROVE ZONING ORDINANCE AND IS IN THE PUBLIC INTEREST, AND THEREFORE, COMMISSIONER BOYLE MADE A MOTION THAT THE PLAN COMMISSION RECOMMEND TO THE VILLAGE COUNCIL APPROVAL OF FILE 22-PLC-0028, SUBJECT TO THE THREE CONDITIONS LISTED IN THE STAFF REPORT.**

**MOTION BY COMMISSIONER BOYLE. SECOND BY COMMISSIONER PATEL.**

**ROLL CALL:**

**AYE: BOYLE, PATEL, FRANKOVIC, TOTH, ROCHE, CHAIRMAN RICKARD**

**NAY: NONE**

**MOTION PASSED. VOTE: 6-0**

(As transcribed by Ditto Transcripts)