

**VILLAGE OF DOWNERS GROVE**  
**Report for the Village**  
**2/13/2024**

<b>SUBJECT:</b>	<b>SUBMITTED BY:</b>
Special Use for a second drive through lane at 1204 75th Street	Stan Popovich, AICP Director of Community Development

**SYNOPSIS**

The petitioner is requesting approval for a Special Use for a second drive through lane at 1204 75<sup>th</sup> Street.

**STRATEGIC PLAN ALIGNMENT**

The goals for 2023-2025 include *Strong and Diverse Local Economy*.

**FISCAL IMPACT**

N/A

**RECOMMENDATION**

Approval on the February 20, 2024 Active Agenda per the Plan Commission's unanimous 7:0 positive recommendation. The Plan Commission found that the proposal is compatible with the Comprehensive Plan and meets all standards for a Special Use found in Section 28.12.050.

**BACKGROUND**Property Information & Zoning Request

The subject property is zoned B-2/PUD, General Retail Business/Planned Unit Development (PUD #9). The White Castle restaurant was constructed in 1987 with a single drive through lane. The petitioner is requesting a modification of the existing drive through by adding a second drive through lane. There are also proposed interior and exterior renovations to the building which will be reviewed for building code and zoning compliance through the building permit process. The expansion of the drive through requires a Special Use pursuant to Section 28.5.010 of the Zoning Ordinance where a drive through is listed as a permitted Special Use in the B-2 zoning district.

Compliance with the Comprehensive Plan

The current Comprehensive Plan's Future Land Use Map designates this property as Corridor Commercial. Corridor Commercial uses include a blend of neighborhood oriented commercial retail that provide services and retail opportunities to the nearby neighborhoods and the surrounding region. The current Comprehensive Plan specifically identifies that the 75th Street corridor should continue to contain a range of these types of uses. These commercial areas have a "unique character" and should serve the daily needs of local residents while providing goods and services to the larger region.

The proposed development also meets the Comprehensive Plan's recommendations for a Corridor Commercial area: Implements the recommendations of the economic development plan to enhance the Sales Tax, proposes a high level of design and proposes no new curb cuts.

#### Compliance with the Zoning Ordinance

The property is zoned B-2/PUD, General Retail Business/Planned Unit Development #9. The proposed second drive through lane is listed as an allowable Special Use in this district. The proposed development meets all of the bulk requirements in the General Services and Highway Business District. A total of six parking spaces will be removed with the construction of a second lane and the parking lot improvements. Parking is still sufficient for the site, as the total number of spaces will be reduced to 57 where only 12 required.

#### Public Comment

Prior to and during the Plan Commission meeting, staff did not receive any inquiries regarding this proposal.

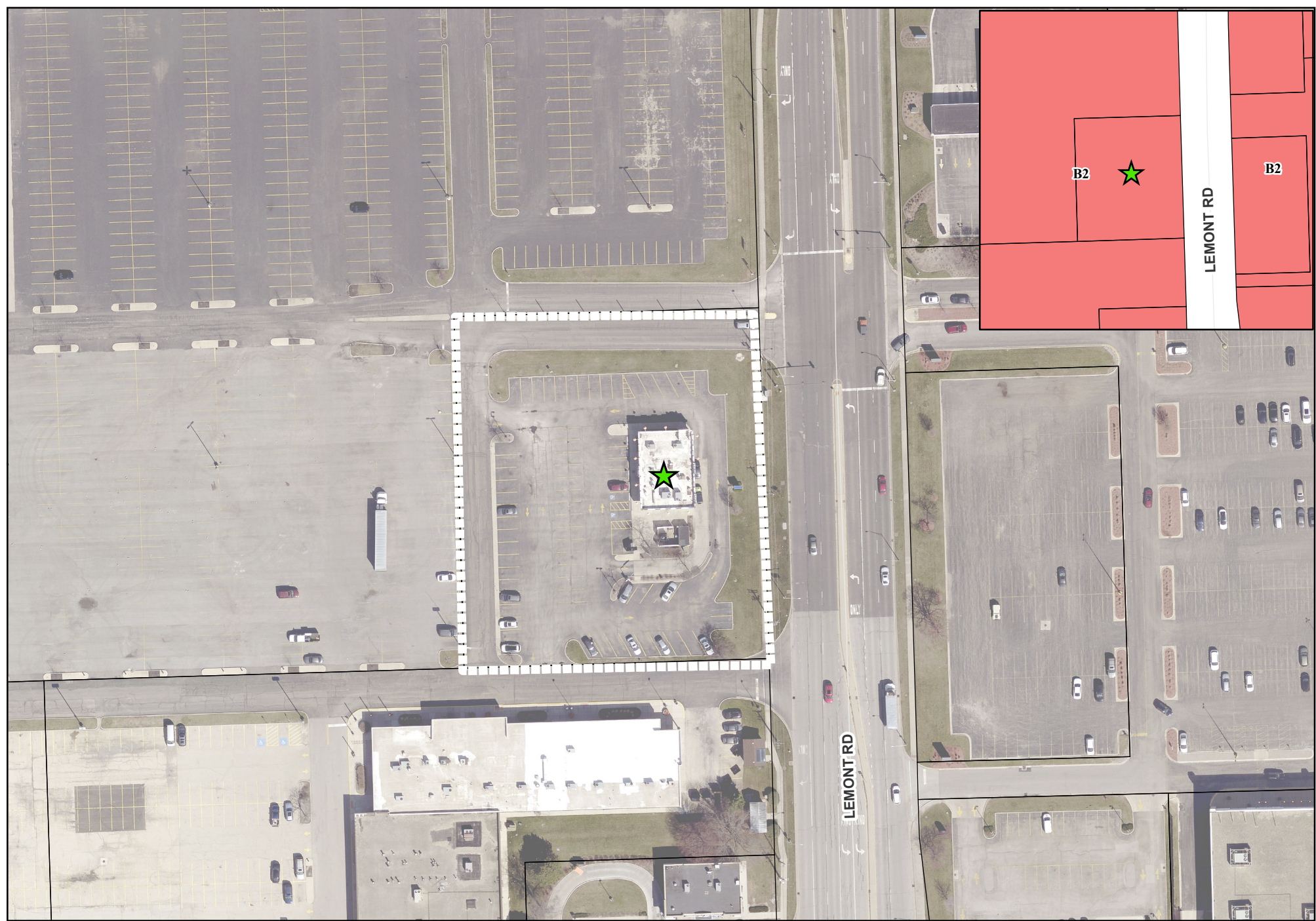
#### **ATTACHMENTS**

Aerial Map

Ordinance



Staff Report with attachments dated January 22, 2024

Approved Minutes of the Plan Commission Hearing dated January 22, 2024



0 55 110 220 Feet

### 1204 75th Street - Location Map

-  Subject Property
-  Sign Location

**ORDINANCE NO. \_\_\_\_\_****AN ORDINANCE AUTHORIZING A SPECIAL USE FOR  
1204 75<sup>th</sup> STREET TO PERMIT A SECOND DRIVE-THROUGH**

WHEREAS, the following described property, to wit:

LOT 5 IN THE GROVE, IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 31, 1984, AS DOCUMENT NUMBER R84-88043, AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 19, 1984, AS DOCUMENT NUMBER R84-101150, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as: 1204 75<sup>th</sup> Street, Downers Grove, IL 60516  
PIN: 09-30-201-021

(hereinafter referred to as the "Property") is presently zoned in the "*B-2/PUD, General Retail Business, Planned Unit Development #9*" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, Planned Unit Development #9 allowed for the construction of a restaurant with a single lane drive-thought on the subject property; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28.12.050 of the Zoning Ordinance be granted to modify the existing drive through by adding a second drive-through lane.

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing for the petition on January 22, 2024 and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the Special Use, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located;
2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
3. That the proposed use will not, in the particular case, be detrimental to the health, safety or



general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

SECTION 1. That Special Use of the Property is hereby granted to modify the existing drive through by adding a second drive-through lane.

SECTION 2. This approval is subject to the following conditions:

1. The proposed drive through lanes shall substantially conform to the plans and specifications attached to the staff report dated January 22, 2024 except as such plans may be changed to conform to Village codes, ordinances, and policies.

SECTION 3. The above conditions are hereby made part of the terms under which the Special Use is granted. Violation of any or all of such conditions shall be deemed a violation of the Village of Downers Grove Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and/or revocation of the Special Use granted herein.

SECTION 4. It is the Petitioner's obligation to maintain compliance with all applicable Federal, State, County and Village laws, ordinances, regulations, and policies.

SECTION 5. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

\_\_\_\_\_  
Mayor

Passed:

Published:

Attest: \_\_\_\_\_

Village Clerk

I:\mw\ord.22\SU-1204-75th--23-PCE-0037



**VILLAGE OF DOWNERS GROVE  
REPORT FOR THE PLAN COMMISSION  
JANUARY 22, 2024 AGENDA**

<b>SUBJECT:</b>	<b>TYPE:</b>	<b>SUBMITTED BY:</b>
23-PCE-0037 1204 75 <sup>th</sup> Street	Special Use for a second drive through lane	Emily Hepworth, AICP Development Planner

### REQUEST

The petitioner is requesting approval for a Special Use for a second drive through lane for a restaurant.

### NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

### GENERAL INFORMATION

---

**OWNER:** White Castle System Inc.  
555 W Goodale St.  
Columbus, OH 43215

**PETITIONER:** Kevin McKenna  
111 W Washington St.  
Chicago, IL 60602

### PROPERTY INFORMATION

---

**EXISTING ZONING:** B-2, General Retail Business, P.D. #9  
**EXISTING LAND USE:** Eating and Drinking Establishment  
**PROPERTY SIZE:** 68,270 square feet (1.57 acres)  
**PINS:** 09-30-201-021

### SURROUNDING ZONING AND LAND USES

	<b>ZONING</b>	<b>FUTURE LAND USE</b>
<b>NORTH:</b>	B-2, General Retail Business, P.D. #9	Corridor Commercial
<b>SOUTH</b>	B-2, General Retail Business, P.D. #9	Corridor Commercial
<b>EAST:</b>	B-2, General Retail Business, P.D. #18	Corridor Commercial
<b>WEST:</b>	B-2, General Retail Business, P.D. #9	Corridor Commercial

### ANALYSIS

---

#### SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Location Map

1204 75th Street, 23-PCE-0037  
January 22, 2024

Page 2

2. Project Summary/Narrative
3. Plat of Survey
4. Engineering Plans
5. Architectural Plans
6. Landscaping Plan
7. Review and Approval Criteria
8. Certification of Public Notification

### **PROJECT DESCRIPTION**

The subject property commonly known as 1204 75<sup>th</sup> Street is located near the northwest intersection of Lemont Road and 75th Street. The subject property is zoned B-2/PUD, General Retail Business/Planned Unit Development #8, part of The Grove Shopping Center. Constructed in 1987, a White Castle restaurant with a single drive-through is located on the subject property. The existing single lane drive-through is located south and east of the building.

The petitioner is requesting a modification of the existing drive through by adding a second drive through lane. As part of the petitioner's proposal, they are also planning to make renovations to the interior and exterior of the building. The new drive-through lane will result in the removal of six parking spaces, bringing the total number of parking spaces to 57. The petitioner will also improve the site with a new pedestrian connection to Lemont Road. Additional landscaping will be placed on the site in the form of landscape islands in the western portion of the parking lot, in addition to landscape screening that will be provided immediately east of the drive-through.

The petitioner is requesting a special use for the expansion of the existing drive-through, pursuant to Section 28.5.010 of the Zoning Ordinance where a drive-through is listed as a permitted Special Use in the B-2 zoning district.

### **COMPLIANCE WITH THE COMPREHENSIVE PLAN**

The current Comprehensive Plan's Future Land Use Map designates this property as Corridor Commercial. Corridor Commercial uses include a blend of neighborhood oriented commercial retail that provide services and retail opportunities to the nearby neighborhoods and the surrounding region. The current Comprehensive Plan specifically identifies that the 75th Street corridor should continue to contain a range of these types of uses. These commercial areas have a "unique character" and should serve the daily needs of local residents while providing goods and services to the larger region.

The proposed development also meets the Comprehensive Plan's recommendations for a Corridor Commercial area:

- Implements the recommendations of the Economic Development Plan to Enhance the Sales Tax
- Proposes a high level of design
- Proposes no new curb cuts

The proposed development meets the goals of the Comprehensive Plan.

### **COMPLIANCE WITH THE ZONING ORDINANCE**

The property is zoned B-2/PUD, General Retail Business/Planned Unit Development #9. The proposed additional drive through is an available Special Use in the B-2 district. The bulk requirements of the proposed drive-through are summarized in the following table:

Proposed White Castle Drive-Through	Required	Proposed
Stacking Spaces	8	11
Side Setback (south)	N/A	45 ft.
Rear Setback (west)	N/A	121 ft.
Street Setback (east)	25 ft.	44 ft.
Side Setback (north)	N/A	45 ft.

### Parking and Site Circulation

The site circulation for vehicles, with the exception of the additional drive-through lane, will remain unchanged. The two site entrances currently provided on the south and west sides of the property will remain. The additional drive-through lane will result in the removal of six existing parking spaces. A total of 12 parking spaces are required per the Zoning Ordinance; with 57 parking spaces still provided. The required number of stacking spaces for the drive through lanes is also exceeded, with a minimum of 8 stacking spaces required with 11 spaces provided.

### **ENGINEERING/PUBLIC IMPROVEMENTS**

The property is primarily impervious with the parking lot and building taking up the majority of the property. The proposal calls for a new green space between the drive-through lanes, in addition to the installation of landscape islands in the western portion of the parking lot, resulting in a decrease in the impervious surface area on the property. All engineering provisions including stormwater regulations have been reviewed for compliance with the Stormwater and Floodplain Ordinance. The proposed development will meet the Village Ordinance.

Currently, no pedestrian connection is provided from the existing sidewalk along Lemont Road, to the building. The proposed improvements includes a pedestrian connection incorporated on the north side of the property. Public improvements are not required. As noted above, the existing access points internal to the shopping center will remain. Existing public sidewalks are currently located along Lemont Road. The petitioner is proposing no new utilities to the building.

### **PUBLIC SAFETY REQUIREMENTS**

The Fire Prevention Division has reviewed the proposed plans and has no concerns. There are no proposed interior or exterior modifications to the building so there are no additional fire safety requirements for the building itself.

### **NEIGHBORHOOD COMMENT**

Notice was provided to all property owners 250 feet or less from the property line in addition to posting two public hearing signs and publishing a legal notice in the *Daily Herald*. Staff has not received any neighborhood comment regarding the proposal at this time.

### **STANDARDS OF APPROVAL**

#### Special Use

The petitioner is requesting approval for a Special Use to construct a second drive through lane. The review and approval criteria is listed below.

#### ***Section 28.12.050.H Approval Criteria – Special Uses***

*No special use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:*



1204 75th Street, 23-PCE-0037  
January 22, 2024

Page 4

1. *That the proposed use is expressly authorized as a Special Use in the district in which it is to be located;*
2. *That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
3. *That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.*

## DRAFT MOTION

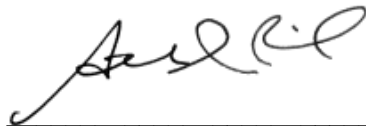
---

Staff will provide a recommendation at the January 22, 2024 meeting. Should the Plan Commission find that the request meets the standards of approval for the Special Use, staff has prepared a draft motion that the Plan Commission may make for the recommended approval of 23-PCE-0037:

Based on the petitioner's submittal, the staff report, and the testimony presented, I find that the petitioner has met the standards of approval for the Special Uses as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 23-PCE-0037, subject to the following conditions:

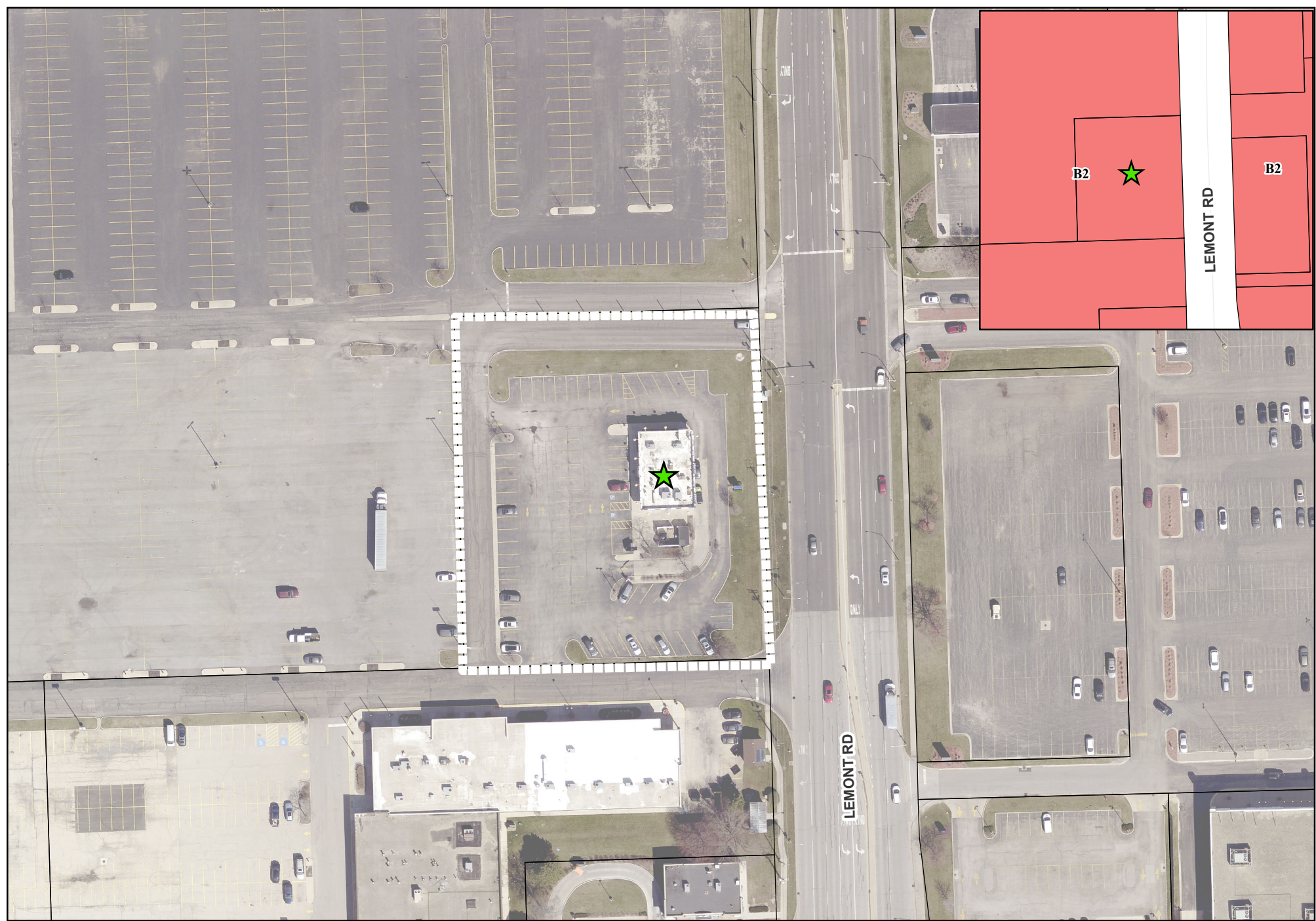
1. The proposed drive through lane shall substantially conform to the plans and specifications attached to this report except as such plans may be changed to conform to Village codes, ordinances, and policies.

Staff Report Approved By:



Stanley J. Popovich, AICP  
Community Development Director

SP:eh  
-att





0

55

110

220

Feet

### 1204 75th Street - Location Map

Subject Property

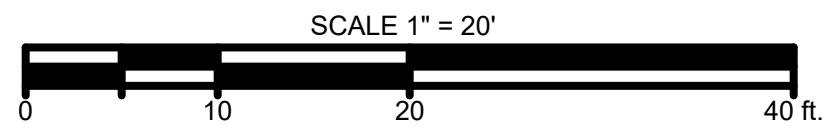
★

Sign Location

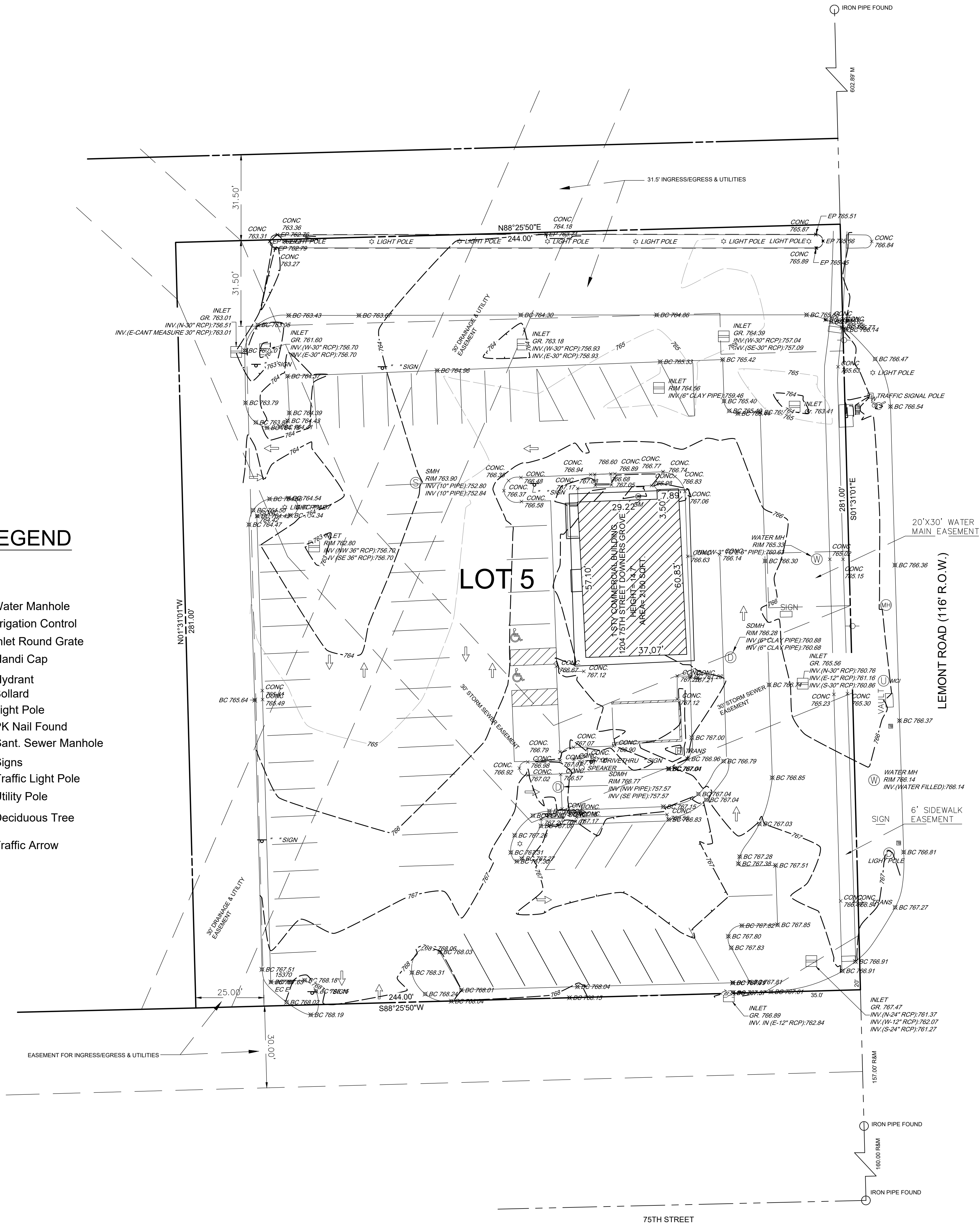


# ALTA/NSPS LAND TITLE SURVEY

LOT 5 N THE GROVE, IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 30,  
TOWNSHIP 38 NORTH, RAGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING  
TO THE PLAT THEREOF RECORDED OCTOBER 31, 1984, AS DOCUMENT NUMBER  
R84-88043, AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 19, 1984, AS  
DOCUMENT NUMBER R84-101150, IN DUPAGE COUNTY, ILLINOIS.



- |   |                     |
|---|---------------------|
|  | Water Manhole       |
|  | Irrigation Control  |
|  | Inlet Round Grate   |
|  | Handi Cap           |
|  | Hydrant             |
|  | Bollard             |
|  | Light Pole          |
|  | PK Nail Found       |
|  | Sant. Sewer Manhole |
|  | Signs               |
|  | Traffic Light Pole  |
|  | Utility Pole        |
|  | Deciduous Tree      |
|  | Traffic Arrow       |



BENCH MARK:  
REFERENCE DISK 3151 ELEV= 774.81  
SITE BM = WATER MANHOLE  
AT SOUTHEAST CORNER OF  
PROPERTY  
ELEVATION= 766.14  
PIN: 09-30-201-021  
TABLE "A" ITEMS

3. THIS PROPERTY IS LOCATED WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD,  
AS DELINEATED ON ON FEMA MAP PANEL NO. 17043C0169J WITH AN EFFECTIVE DATE OF 8/1/2019
4. AREA: 68.563.97 S.F. 1.57 A.C.
5. CONTOURS SHOWN HEREON
- 6A. ZONING: C
- 7ABC. SHOWN HEREON
8. SHOWN HEREON
9. HANDICAP PARKING SPACES = 2  
REGULAR PARKING SPACES= 64
10. NO PARTY WALLS
11. UTILITIES SHOWN HEREON
16. NO RECENT EARTH MOVING OR CONSTRUCTION OBSERVED
17. NO EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION
18. NO TITLE PROVIDED AT TIME OF SURVEY. NO RECORDED EASEMENTS FOUND

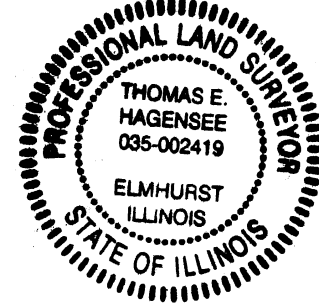
**BASIS OF BEARINGS:**  
COORDINATES AND BEARINGS ARE BASED UPON THE ILLINOIS EAST STATE PLANE COORDINATE GRID SYSTEM (NAD 83), ADJUSTED TO GROUND VALUES, AS ESTABLISHED BY REAL-TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) UTILIZING GPS OBSERVATIONS

[illegible]

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSP LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 3-5, 6A, 7A,B,C, 8-10, 11A,B, 16-18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON JULY 19, 2023.  
GIVEN UNDER MY HAND AND SEAL AT LISLE, ILLINOIS, THIS 27TH DAY OF JULY A.D., 2023.

BY: THOMAS E HAGENSEE  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO.2419  
LICENSE EXPIRES NOVEMBER 30, 2024  
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



SHEET No.

ALTA/NSPS LAND TITLE SURVEY  
WHITE CASTLE

1204 75TH ST  
DOWNERS GROVE, ILLINOIS

**Bowman Consulting Group Ltd**  
311 S. Wacker Drive, Suite 1950  
Chicago, IL 60606  
[www.bowman.com](http://www.bowman.com)

Phone: 312-614-0360  
FAX: 877-433-0797

Illinois Professional Design Firm \_\_\_\_\_  
License Expiration: --/------

PROJ.: 040082-01-006  
DATE: 7/26/23

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF BOWMAN CONSULTING GROUP, LTD.

© 2023 BOWMAN CONSULTING GROUP, LTD. ALL RIGHTS RESERVED

6			
5			
4			
3			
2			
1			
	REVISION	DATE	CHKD



December 6, 2023

**Village of Downers Grove  
801 Burlington Ave.  
Downers Grove, IL 60515**

**White Castle CH 52  
1204 75<sup>th</sup> St.  
Downers Grove, IL 60634**

**CP:20230298**

Re: Special Use Application for Double Drive-Through

This narrative will address the proposed modification of the drive-through arrangement at the White Castle store located at 1204 75<sup>th</sup> St. in Downers Grove. This site is zoned as B-2 General Retail Business.

Project Description:

The existing drive-through features a single menu board/ordering location on a single drive-through lane about 5 car lengths before the final order fulfillment window. There are two windows for processing payments and delivering orders, but often only the second window is in use. The first window is only used during peak hours of business.

The proposed change will add another menu board/ordering location parallel to the existing one with its own lane. But these two lanes will merge back into one lane immediately after ordering location and the rest of the drive-through layout will remain unchanged.

Traffic

The new menu board/ordering location will be parallel to the existing one so as drivers approach, they will be able to choose whichever lane is open for fastest service. The new configuration results in 5 fewer parking spaces so the total number of spaces will be reduced from 66 to 61. The dining room seats 48 persons so the minimum required parking for this use is 12 spaces. Available parking has never been an issue at this White Castle location.

The existing layout meets the requirements for parking as well as drive-through queue and stacking requirements. Eight stacking spaces are required with at least 3 of those between the ordering location and the pickup window. The proposed arrangement will be able to stack up to 6 cars between the order and pickup.

The new layout will improve circulation within the parking lot by replacing under-utilized parking spaces with a new menu board and ordering location. This creates an additional lane for drive-through queueing and reduces stacking in the drive aisles.

Bicycle parking is not required by 28.7.060 Table 7.3 which states that for commercial eating and drinking establishments, no bike parking is required for uses that require 19 or fewer parking spaces. This use requires only 12 parking spaces.





# Special Uses

## Review and Approval Criteria

**Form #PC02**

**Address of Project Site:** 1204 75th St. Downers Grove IL

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

### Section 28.12.050.H. Approval Criteria (Special Uses)

No special use may be recommended for approval or approved unless the respective review or decision making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located.

Per Table 5.1, listed under "Other," a Drive-through Facility in a B-2 zone is listed as "Special use approval required."

2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

White Castle has been serving customers at this location for over 30 years, demonstrating that this use is desirable to the community, and is a public convenience. The proposed change to the drive through will reduce wait times for customers and improve the flow of traffic related to the drive-through.

3. That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.

White Castle's history in this neighborhood has demonstrated that this use is not detrimental to the health, safety or general welfare of the community. And the proposed change to the menu board/ordering location is intended to further increase the safety at the drive-through and the areas where the cars stack in queue for ordering.







12/3/2023 9:49:12 AM

Q:\2023\20230298\Drawings\BIM\20230298 WC-CH-62-CH.rvt

1

2

3

4

5

6

7

8

9

10

11

12

13

14

15

16

17

18

19

20

Q

P

N

M

L

K

J

I

H

G

F

E

D

C

B

A

ABBREVIATIONS

A/C

AB

AC

ACT

ADDL

ADJ

AFF

ALUM

ANOD

AOR

ARCH

ASSY

ATR

BD

BLDG

BLKG

BM

BOF

BRG

BSMT

BTM

BTWN

BUR

BW

C

CAB

CB

CH

CIP

CJ

CJP

CL

CLG

CLR

CMP

CMTX

CMU

COL

COMP

CONC

CONN

CONT

CONTR

CPT

CT

CUST

DBA

DBL

DEMO

DEPT

DF

DFL

DIA

DIAG

DIM

DISP

DIST

DL

DN

DR

DS

DTL

DW

DWG

(E)

EA

EF

EIFS

EL

ELEC

EN

ENGR

EOF

EOR

EOS

EQ

EQUIV

ESD

ETR

EW

EX

EXSTG

EXT

FD

FE

FEC

FIC

FIN

FIO

FLR

FN

FNDN

FOF

FRP

FRR

FRTW

FS

FT

FTG

GA

GALV

GB

GLB

GRAN

GW

GWB

HC

HDG

HDR

HDWR

HF

HM

HORIZ

HR

HSA

HSS

HT

ID

IN

INCL

INSUL

INT

IT

JAN

JST

JT

K

KB

KD

KSI

L

LF

LLH

LLV

LONG

LTG

LVL

LWC

MANUF

MATL

MAX

MBS

MDF

MECH

MIN

MIR

MKR BD

MTD

MTL

(N)

NA

NIC

NOM

NTE

NTS

OC

OD

OCFI

OH

OPH

OPNG

OPP

OPT

OTS

OWJ

P LAM

PAF

PEMB

PERP

PJP

PL

PLBG

PSF

PSI

PT

PTD

PWD

QTY

R

RAD

REC

REF

REINF

REQD

RESTL

REV

RO

S&V

SC

SCD

SD

SF

SFNT

SHEET

SHTG

SIM

SLDG

SMS

SOG

SPKR

SPRK

SQ

SS

STD

STL

STOR

SUSP

SV

T

T&B

T&G

TEMP

TOF

TOPO

TPD

TRANS

TYP

UNO

VB

VCT

VERT

VIF

W/

W/O

WC

WD

WDW

WF

WH

WWR

HOLLOW STRUCTURAL SECTION

HEIGHT

INSIDE DIAMETER

INCH

INCLUDED, INCLUDING

INSULATED, INSULATION

INTERIOR

INFORMATION TECHNOLOGY

JANITOR

JOIST

JOINT

KIP(S)

KEYBOARD

KNOCK DOWN

KIPS PER SQUARE INCH

ANGLE

LINEAR FOOT

LONG LEG HORIZONTAL

LONG LEG VERTICAL

LONGITUDINAL

LIGHTING

LAMINATED VENEER LUMBER

LIGHT WEIGHT CONCRETE

MANUFACTURER

MATERIAL

MAXIMUM

METAL BUILDING SUPPLIER

MEDIUM DENSITY FIBERBOARD

MECHANICAL

MINIMUM

MIRROR

MARKER BOARD

MOUNTED

METAL

NEW

NOT APPLICABLE

NOT INCLUDED IN CONTRACT

NOMINAL

NOT TO EXCEED

NOT TO SCALE

ON CENTER

OUTSIDE DIAMETER

OWNER FURNISHED CONTRACTOR INSTALLED

OVERHEAD

OPPOSITE HAND

OPENING

OPPOSITE

OPTIONAL

OPEN TO STRUCTURE

OPEN WEB JOIST

PLASTIC LAMINATE

POWER ACTUATED FASTENER

PRE-ENGINEERED METAL BUILDING

PERPENDICULAR

PARTIAL JOINT PENETRATION

PLATE

PLUMBING

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

PRESSURE TREATED

PAPER TOWEL DISPENSER

PLYWOOD

QUANTITY

RISER(S)

RADIUS

RECESSED

REFERENCE

REINFORCE, REINFORCEMENT

REQUIRED

STEEL REINFORCEMENT, REINFORCING

STEEL BARS

REVISED, REVISION

ROUGH OPENING

STAIN & VARNISH

SLIP CRITICAL

SEAT COVER DISPENSER

SOAP DISPENSER

STOREFRONT, SQUARE FEET

STOREFRONT

SHEET

SHEATHING

SIMILAR

SLIDING

SHEET METAL SCREW

SLAB ON GRADE/GROUND

SPEAKER

SPRINKLER

SQUARE

STAINLESS STEEL

STANDARD

STEEL

STORAGE

SUSPENDED

SHEET VINYL

TREAD(S)

TOP & BOTTOM

TONGUE & GROOVE

TEMPERED

TOP OF

TOPOGRAPHY

TOILET PAPER DISPENSER

TRANSVERSE, TRANSITION

TYPICAL

UNLESS NOTED OTHERWISE

VAPOR BARRIER

VINYL COMPOSITION TILE

VERTICAL

VERIFY IN FIELD

WITH

WITHOUT

WATER CLOSET

WOOD

WINDOW

WIDE FLANGE

WATER HEATER

WELDED WIRE REINFORCING

SYMBOLS

EXISTING WALL

NEW WALL

WALL TO BE REMOVED

DOOR TO BE REMOVED

WINDOW TO BE REMOVED

ROOM NUMBER

FLOOR ASSEMBLY

ROOF ASSEMBLY

WALL TYPE

NOTE: WHERE CONTIGUOUS WALL CONSTRUCTION IS OF THE SAME TYPE, INDIVIDUAL WALL SEGMENTS MAY NOT BE TAGGED.

WALL TYPE & HEIGHT  
(SEE WALL SYMBOL LEGEND)

WINDOW TYPE

DOOR TYPE NUMBER

KEYED NOTE

CEILING TYPE

NORTH ARROW

BUILDING SECTION

WALL SECTION

DETAIL SECTION

BUILDING ELEVATION

INTERIOR ELEVATIONS CALLOUT

SPOT ELEVATION

CHANGE IN ELEVATION

GRID LINES

DETAIL CALLOUT

DRAWING/DETAIL NUMBER

SHEET CALLED OUT FROM (WHEN USED)

DRAWING/DETAIL TITLE

DRAWING SCALE

TYP DIMENSION TO GRIDLINE OR FACE OF FINISH UNO

DIMENSION TO CENTERLINE UNO

CODE SUMMARY

Construction Type: VB  
Fully Sprinklered?: Not Sprinklered  
Height/Stories: 20/1 story  
Occupancies: A-2

ALLOWABLE AREA (PER STORY)

No change to existing building area. Bldg area is 2,185 sf. Tabular allowable area for a 1-story Type VB, A-2 occupancy is 6,000 sf.

PLUMBING FIXTURE REQS

PLUMBING FIXTURE CALCULATION AT BOTTOM OF PAGE

PLBG FIXTURES REQ'D/PROVIDED					
	WC REQ'D	* WC PROVIDED	LAVS REQ'D	LAVS PROVIDED	
M	1	1	1	1	
F	1	1	1	1	

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

705 EXTERIOR WALLS  
All exterior walls are unrated per Table 601 & Table 602

705.11 PARAPETS  
Parapets SHALL be provided on exterior walls of buildings.  
Exception 1. Parapet is not required where wall is not required to be fire resistance rated per Table 602 based on Fire Separation Distance.  
Several other exceptions.  
All exterior wall ratings for this project are '0' per Table 602. No parapets required.

FIRE SEPARATION DISTANCES

TABLE 601 SUMMARY FOR CONS TYPE VB

Building Element	Fire Resistance Rating Requirements
Structural Frame	0
Exterior Bearing Walls	Not Less than Table 602
Interior Bearing Walls	0
Exterior Nonbearing Walls	Not Less than Table 602
Interior Nonbearing Walls	0
Floors & Supporting Beams & Joists	0
Roofs & Supporting Beams & Joists	0

TABLE 602 & TABLE 705.8(1) SUMMARY

WALL FACING	OCCUPANCY GROUP	CONSTRUCTION TYPE VB		NON-SPRINKLERED BUILDING	
		FIRE SEPARATION DISTANCE	FIRE-RESISTANCE RATING PER TABLE 602	UNPROTECTED/ PROTECTED OPENING LIMITS PER TABLE 705.8	UNPROTECTED/ PROTECTED OPENINGS PROPOSED
NORTH	A-2	63'	0	No Limit/ Not Req'd	16% / 0
EAST	A-2	PUBLIC WAY	0	No Limit/ Not Req'd	11% / 0
SOUTH	A-2	152'	0	No Limit/ Not Req'd	10% / 0
WEST	A-2	126'	0	No Limit/ Not Req'd	26% / 0

EGRESS PLAN

3/16" = 1'-0"

PLUMBING FIXTURE CALCULATION

PLBG USE	OCCS	M	F	WC RATIO		WC REQ'D		LAV RATIO		LAVS REQ'D	
				M	F	M	F	M	F	M	F
A-2 ASSEMBLY	78	39	39	1:75	1:75	39/75 = 0.52	39/75 = 0.52	1:200	1:200	39/200 = 0.19	39/200 = 0.19
TOTALS:						1 WC REQ'D	1 WC REQ'D			1 LAV REQ'D	1 LAV REQ'D

EGRESS PLAN LEGEND

EGRESS LIMITS THIS PROJECT (NON-SPRINKLERED BLDG).  
COMMON PATH @ A-2: 75'  
EXIT ACCESS TRAVEL DISTANCE @ A-2: 200'  
SUM OF ALL OCCUPANT LOADS TO THIS POINT:  
12  
2 1/2  
REQ'D EGRESS WIDTH FOR DOORS CALCULATED AT 0.2" PER OCCUPANT  
EXIT WIDTH (INCHES) REQ'D / PROVIDED  
ROOM NAME & NUMBER  
OCCUPANCY (IF USED)  
101 - OFFICE (B)  
500sf | 100g | 5 | (1)  
# OF EXITS REQ'D  
# OF OCCUPANTS  
OCCUPANT LOAD FACTOR (pg. GROSS, INNET)  
AREA OF ROOM OR SPACE  
EGRESS PATH  
COMMON PATH OF TRAVEL  
COMMON PATH OF EGRESS TRAVEL  
EXIT ACCESS TRAVEL DISTANCE  
END OF COMMON PATH  
EXIT INTERNALLY ILLUMINATED EXIT SIGN  
T-X ADA COMPLIANT TACTILE EXIT SIGN  
90M EXTERIOR EGRESS LANDING ILLUMINATION W/ 90min BATTERY BACKUP (PERFORMANCE PER SECTION 1006.4)  
PROVIDE EMERGENCY POWER FOR ILLUMINATION AT ALL AREAS CONTAINED WITHIN THIS BORDER

NOTE: EGRESS PLAN PROVIDED FOR REFERENCE ONLY. NO CHANGES PROPOSED TO EXISTING EXITS OR EXIT ACCESS ARRANGEMENT

CUHACI PETERSON

2600 Maitland Center Parkway  
Suite #200  
Maitland, FL 32751  
P (407) 661-9100  
F (407) 661-9101  
c-p.com  
Florida Corporate Certificate #AA C000526

COPYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE PREPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREON. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM CP IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.

ARCHITECT/ENGINEER SEAL  
JOSHUA E. KIMM  
091-025231  
STATE OF ILLINOIS  
09/27/2023  
EXPIRES: 11/30/2024

White Castle

INTERIOR & EXTERIOR REMODEL  
WHITE CASTLE CH 52  
1204 75TH ST  
DOWNERS GROVE, IL 60516

0' - 3"  
Line is 3 inches at Full Scale  
(If Not 3 Inches Then Scale Accordingly)

REVISIONS:

No.	Date	Description

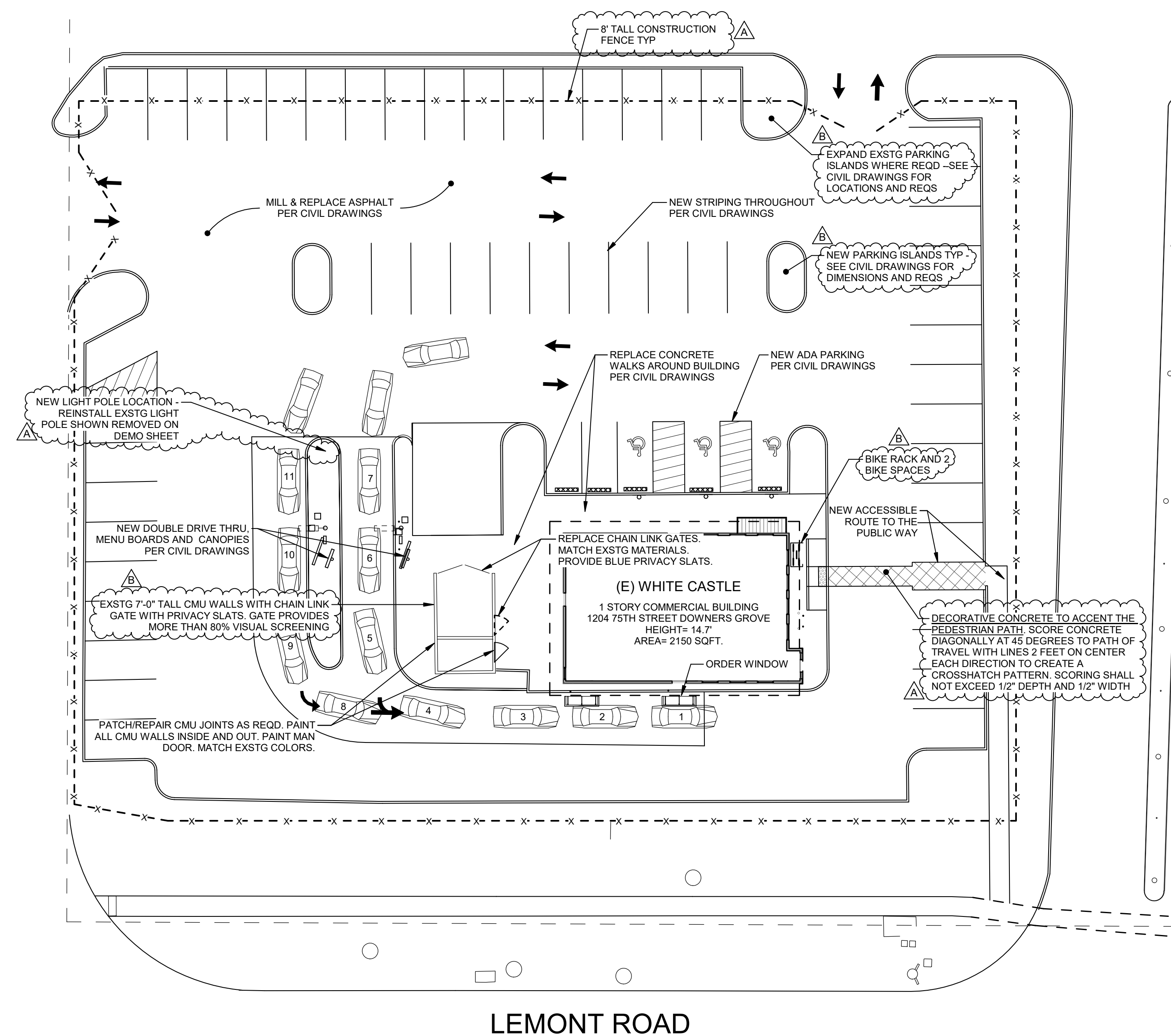
PROJECT NUMBER: 20230298  
DATE: 09-28-2023  
DRAWN BY: CN  
CHECKED BY: DC

PERMIT SUBMITAL

SHEET TITLE:  
EGRESS, SYMBOLS, ABBREVIATIONS

SHEET NUMBER:  
A-002





## SITE PLAN NOTES

- A. SEE CIVIL DRAWINGS FOR ADDL SCOPE, GRADING AND DETAILS  
B. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE IMPROVEMENTS

09-28-2023  
JURISDICTION USE

20230298

AS100

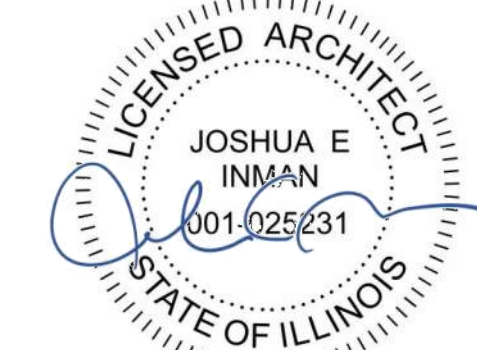


2600 Maitland Center Parkway  
Suite #200  
Maitland, FL 32751

P (407) 661-9100  
F (407) 661-9101  
c-p.com  
Florida Corporate Certificate #

COPYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE PREPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM CP IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.

ARCHITECT/ENGINEER SEAL



12/29/2023  
EXPIRES: 11/30/2024



## INTERIOR & EXTERIOR REMODEL

WHITE CASTLE CH 52  
1204 75TH ST  
DOWNERS GROVE, IL 60516

0' - 3"

Line is 3 Inches at Full Scale  
(If Not 3 Inches Then Scale Accordingly)

REVISIONS:

[illegible]

PROJECT NUMBER:	2023020
-----------------	---------

DATE: 09-28-2012

DRAWN BY: C

CHECKED BY: \_\_\_\_\_

SPECIAL USE APPLICATION

SHEET TITLE:

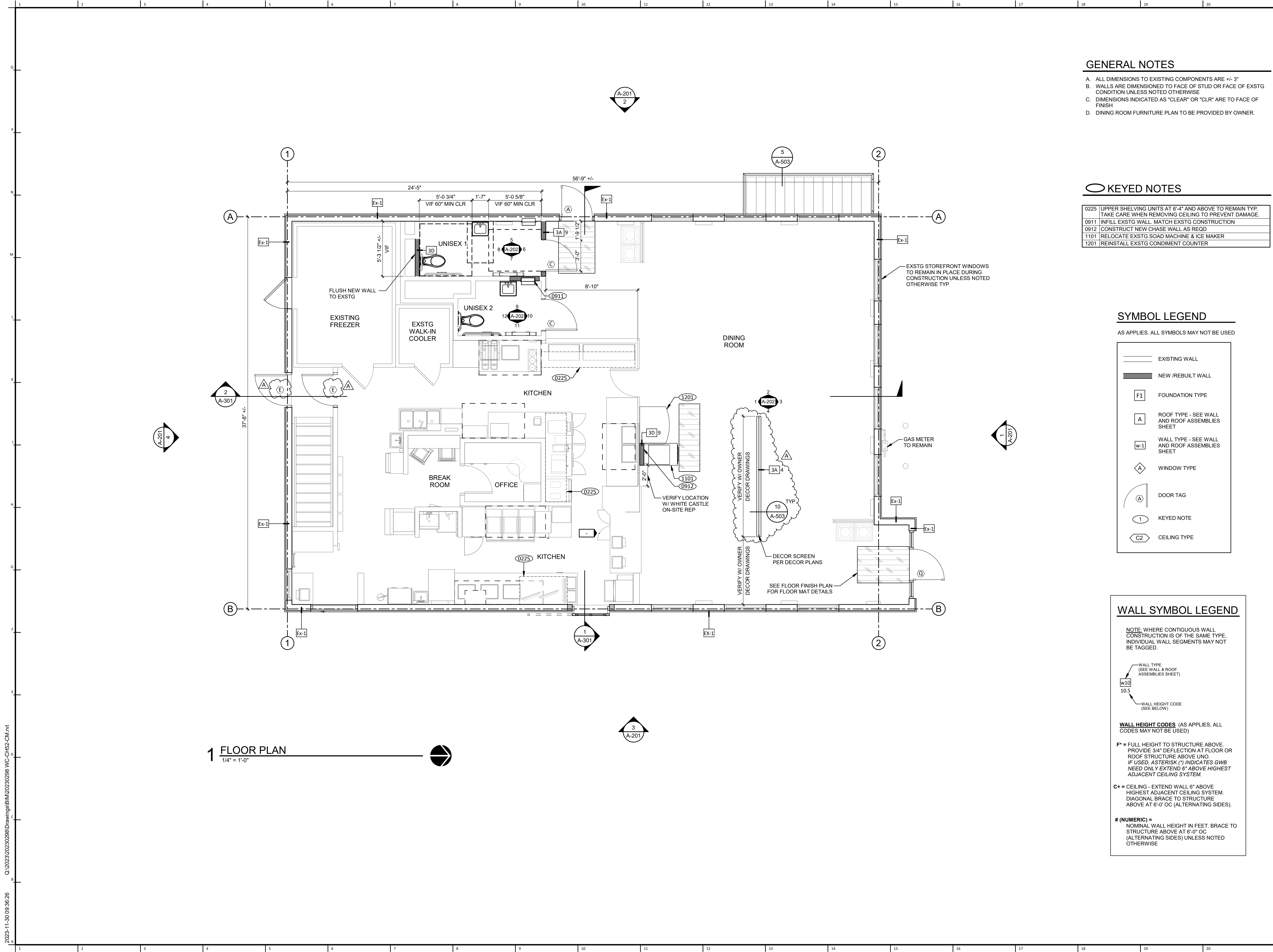
## SITE PLAN

SHEET NUMBER:

# AS100

2023-12-29 10:28:29 Q:\2023\20230298\Drawings\BIM\20230298 WC-CH52-CM.rvt





GENERAL NOTES

- A. ALL DIMENSIONS TO EXISTING COMPONENTS ARE +/- 3"  
B. WALLS ARE DIMENSIONED TO FACE OF STUD OR FACE OF EXSTG CONDITION UNLESS NOTED OTHERWISE  
C. DIMENSIONS INDICATED AS "CLEAR" OR "CLR" ARE TO FACE OF FINISH  
D. DINING ROOM FURNITURE PLAN TO BE PROVIDED BY OWNER.

KEYED NOTES

0225	UPPER SHELVING UNITS AT 6'-4" AND ABOVE TO REMAIN TYP. TAKE CARE WHEN REMOVING CEILING TO PREVENT DAMAGE.
0911	INFILL EXSTG WALL. MATCH EXSTG CONSTRUCTION
0912	CONSTRUCT NEW CHASE WALL AS REQD
1101	RELOCATE EXSTG SOAD MACHINE & ICE MAKER
1201	REINSTALL EXSTG CONDIMENT COUNTER

SYMBOL LEGEND

AS APPLIES. ALL SYMBOLS MAY NOT BE USED

	EXISTING WALL
	NEW /REBUILT WALL
	FOUNDATION TYPE
	ROOF TYPE - SEE WALL AND ROOF ASSEMBLIES SHEET
	WALL TYPE - SEE WALL AND ROOF ASSEMBLIES SHEET
	WINDOW TYPE
	DOOR TAG
	KEYED NOTE
	CEILING TYPE

WALL SYMBOL LEGEND

NOTE: WHERE CONTIGUOUS WALL CONSTRUCTION IS OF THE SAME TYPE, INDIVIDUAL WALL SEGMENTS MAY NOT BE TAGGED.

	WALL TYPE (SEE WALL & ROOF ASSEMBLIES SHEET)
	WALL HEIGHT CODE (SEE BELOW)

WALL HEIGHT CODES (AS APPLIES, ALL CODES MAY NOT BE USED)

F\* = FULL HEIGHT TO STRUCTURE ABOVE. PROVIDE 3/4" DEFLECTION AT FLOOR OR ROOF STRUCTURE ABOVE UNO. IF USED, ASTERISK (\*) INDICATES GWB NEED ONLY EXTEND 6" ABOVE HIGHEST ADJACENT CEILING SYSTEM.

C+ = CEILING - EXTEND WALL 6" ABOVE HIGHEST ADJACENT CEILING SYSTEM. DIAGONAL BRACE TO STRUCTURE ABOVE AT 6'-0" OC (ALTERNATING SIDES).

# (NUMERIC) = NOMINAL WALL HEIGHT IN FEET. BRACE TO STRUCTURE ABOVE AT 6'-0" OC (ALTERNATING SIDES) UNLESS NOTED OTHERWISE

JURISDICTION USE



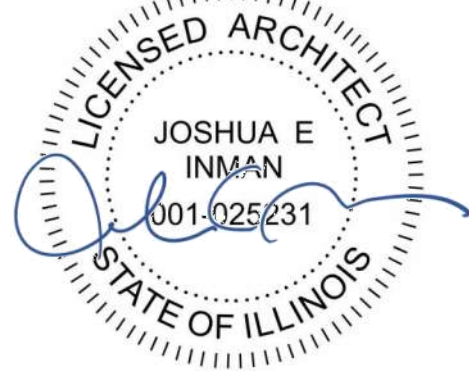
2600 Maitland Center Parkway  
Suite #200  
Maitland, FL 32751

P (407) 661-9100  
F (407) 661-9101  
c-p.com

Florida Corporate Certificate #AA C000526

COPYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE PREPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM CP IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.

ARCHITECT/ENGINEER SEAL

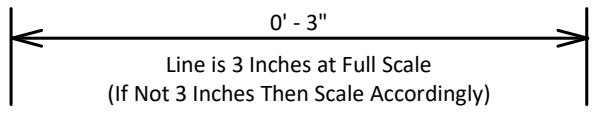


09/27/2023  
EXPIRES: 11/30/2024



INTERIOR & EXTERIOR  
REMODEL

WHITE CASTLE CH 52  
1204 75TH ST  
DOWNERS GROVE, IL 60516



REVISIONS:

No.	Date	Description
A	2023-11-29	City Comments

PROJECT NUMBER: 20230298

DATE: 09-28-2023

DRAWN BY: CN

CHECKED BY: DC

PERMIT SUBMITAL

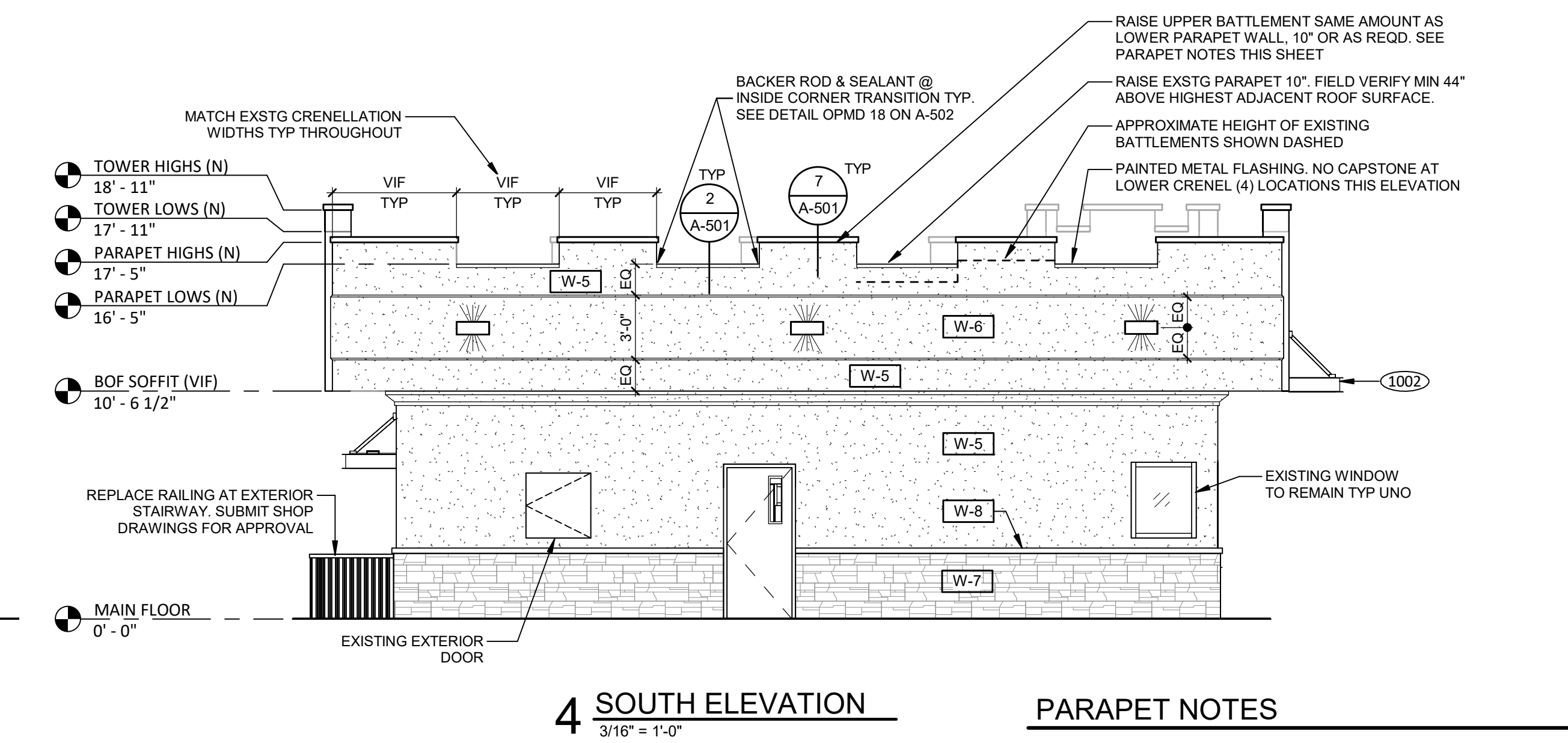
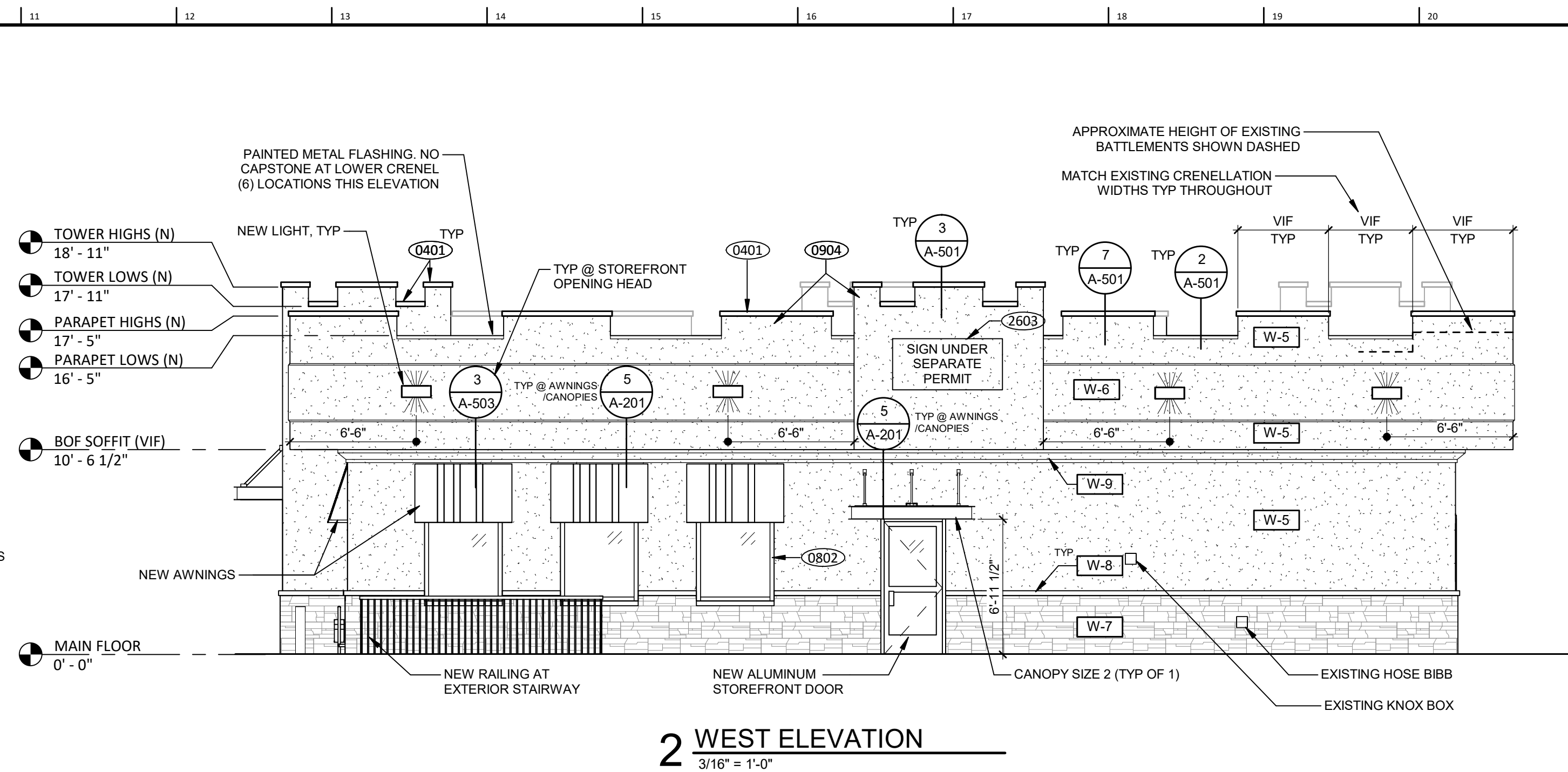
SHEET TITLE:

FLOOR PLAN

SHEET NUMBER:

A-101





NO.	DESCRIPTION
0401	NEW WHITE PRECAST CONCRETE CAPSTONE TYP. FURNISHED AND INSTALLED BY CONTRACTOR. ON UPPER MERLONS, CAPSTONE SHALL OVERHANG 2' TO THE FRONT, 1' ON ALL OTHER SIDES. ON LOWER CRENELS, CAPSTONE SHALL OVERHANG 2' TO THE FRONT, 1' TO THE BACK, AND SHALL FIT TIGHT AGAINST ADJACENT FINISH WITHOUT INTERFERING CAPSTONE AT CORNERS.
0802	ALUMINUM STOREFRONT W/ 1" INSULATED GLAZING UNIT (EXISTING)
0904	EXTEND HEIGHT OF EXSTG BATTLEMENTS TYP THROUGHOUT. SEE DETAILS
1002	ALUMINUM CANOPY OWNER FURNISHED CONTRACTOR INSTALLED. CENTER OVER WINDOW TYP (4) LOCATIONS. SEE BLDG ELEVATIONS
2601	NEW LIGHT FIXTURE PER ELECTRICAL DRAWINGS (TYP). FURNISHED CONTRACTOR INSTALLED
2603	WHITE CAST IN GROUND SIGN APPROX 41 SF. OWNER FURNISHED CONTRACTOR INSTALLED. VERIFY EXIST POWER AND ROUTE TO NJ JUNCTION BOX

# CONSTRUCTION NOTES

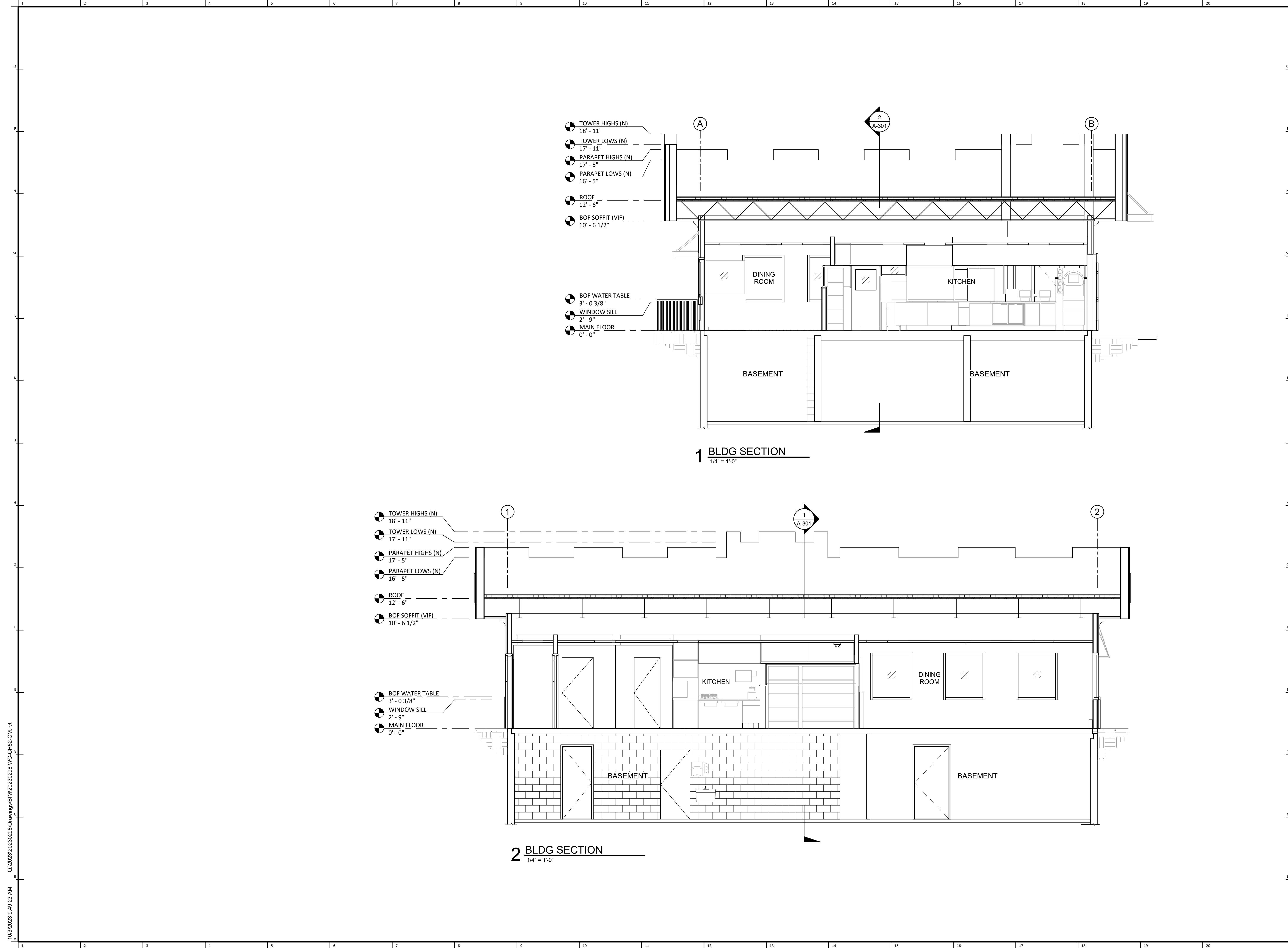
1. PARAPET DIMENSIONS ARE FROM FINISH TO FINISH.
2. 3.4 LB. 30YD CORROSION RESISTANT WIRE LATH IS TO BE APPLIED DIRECTLY OVER EPS INSULATION. LATH IS TO BE INSTALLED HORIZONTALLY.
3. OVERLAP THE LATH A MINIMUM OF 6" ON THE VERTICAL SEAMS AND A MINIMUM OF 2' ON HORIZONTAL SEAMS. WIRE LATH ATTACHMENT: 2 1/2" x 410 CORROSION RESISTANT, SELF-TAPPING WAFER OR PANCAKE HEAD SCREWS WITH MINIMUM 5/16" DIAMET HEAD INSTALLED 6" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY INTO FRAMING MEMBERS.
4. A SCRATCH COAT IS TO BE APPLIED OVER THE LATH FOLLOWED BY SETTING BED PER MANUFACTURER'S INSTRUCTIONS.
5. AWNINGS OVER DOORS SHALL NOT INTERFERE WITH FREE SWING OF DOORS. AWNINGS SHALL BE CENTERED OVER DOORS AND WINDOWS.

## 5 AWNING SCHEDULE

<u>CONTACTS</u>		
HAMILTON PARKER: BILL REED, 614.358.7833 MEGAN LYONS, 614.403.2227	KOROSEAL INTERIOR PRODUCTS GROUP NATIONAL ACCOUNTS DESK, 866.628.2280	SHERWIN WILLIAMS: MARTIN FISHER, 614.206.5031

10/3/2023 9:49:20 AM  
Q:\2023\20230298\Drawings\BIM\20230298 WC-CH5Z-CM.M





10/3/2023 9:49:23 AM Q:\2023\20230298\Drawings\BIM\20230298 VC-CH52-CN.rvt

09-28-202320230298A-301

JURISDICTION USE



CUHACI  
PETERSON

2600 Maitland Center Parkway  
Suite #200  
Maitland, FL 32751  
  
P (407) 661-9100  
F (407) 661-9101  
c-p.com  
Florida Corporate Certificate #AA C000526

COPYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE PREPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREON. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM CP IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.

ARCHITECT/ENGINEER SEAL



JOSHUA E.  
NMMA  
001-026231  
STATE OF ILLINOIS

09/27/2023  
EXPIRES: 11/30/2024



White  
Castle

INTERIOR & EXTERIOR  
REMODEL

WHITE CASTLE CH 52  
1204 75TH ST  
DOWNERS GROVE, IL 60516

0' - 3"  
Line is 3 inches at Full Scale  
(If Not 3 Inches Then Scale Accordingly)

REVISIONS:

No.	Date	Description

PROJECT NUMBER:20230298

DATE:09-28-2023

DRAWN BY:CN

CHECKED BY:DC

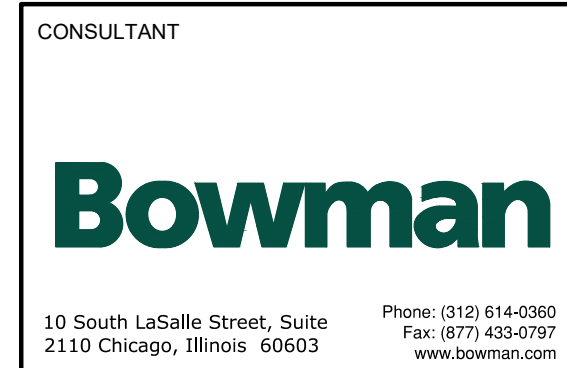
PERMIT SUBMITAL

SHEET TITLE:

BLDG SECTIONS

SHEET NUMBER:

A-301

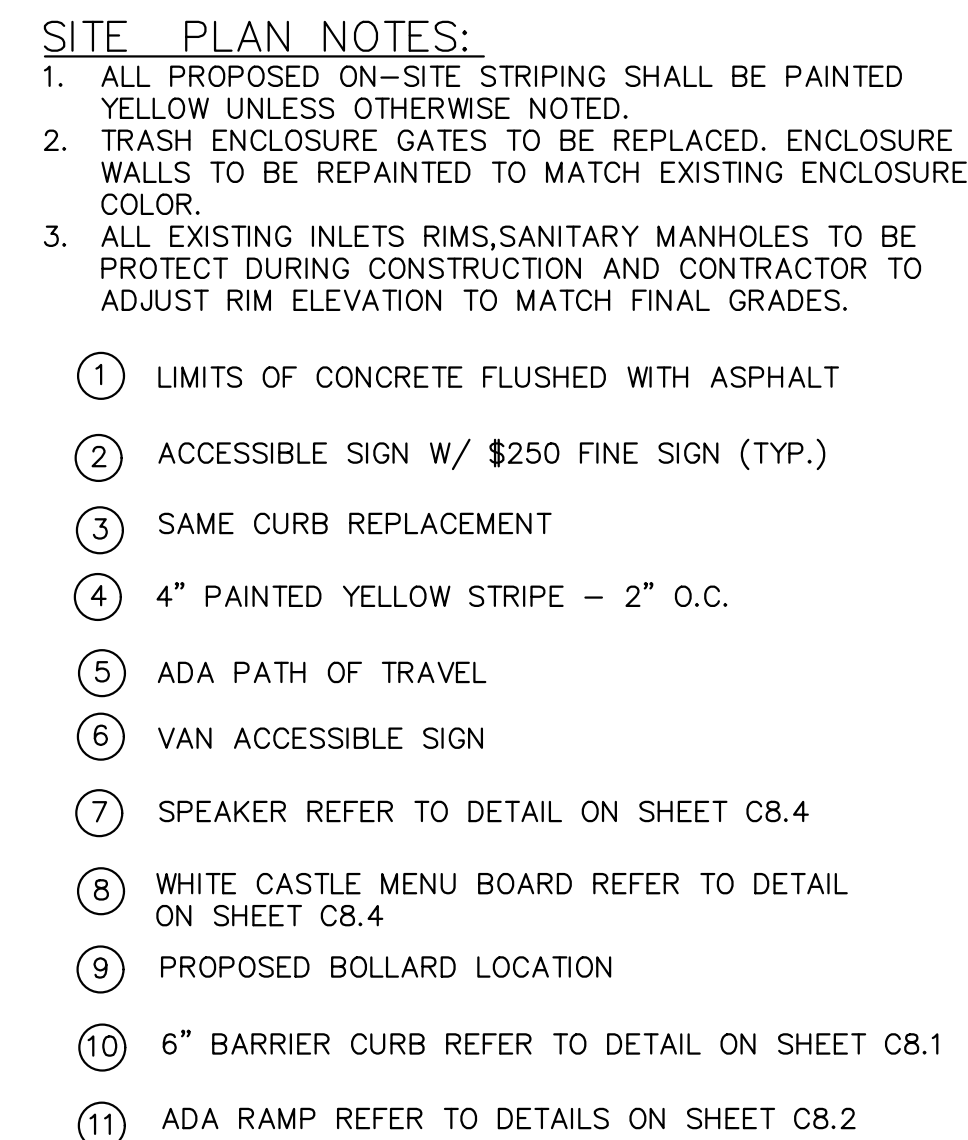


<b>PERMIT SUBMITTAL</b>	
SHEET TITLE:	
EXISTING CONDITIONS	
SHEET NUMBER:	
C2.0 3 OF 13	












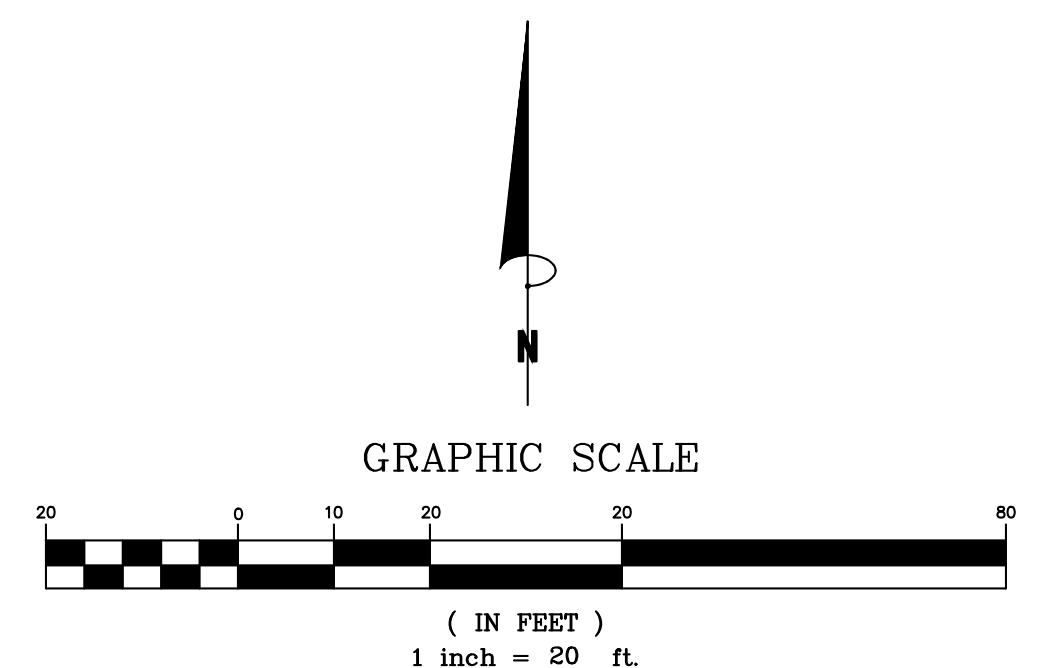




SITE INFORMATION	
ADDRESS	1204 75TH ST, DOWNERS GROVE, IL 60516
ZONING	(B2) GENERAL RETAILS BUSINESS
PROPERTY AREA	+68,563 SQ. FT.
MINIMUM SETBACKS	
FRONT	20 FEET
SIDE	25 FEET
REAR	20 FEET
PARKING INFORMATION	
EXISTING PARKING STALLS	66 SPACES
PROPOSED PARKING STALLS	57 SPACES
EXISTING ACCESSIBLE STALLS	2 SPACES
PROPOSED ACCESSIBLE STALLS	3 SPACES
AREA INFORMATION	
EXISTING PVIOUS AREA	+12,400 SQ. FT.
EXISTING IMPERVIOUS AREA	+42,119 SQ. FT.
PROPOSED PVIOUS AREA	+12,366 SQ. FT.
PROPOSED IMPERVIOUS AREA	+42,153 SQ. FT.
NEW IMPERVIOUS AREA	+34 SQ. FT.

PAVING LEGEND	
	5" P.C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE - C46
	DECORATIVE 6" CONCRETE TO ACCENT THE PEDESTRIAN PATH. SCORE CONCRETE DIAGONALLY AT 45° TO PATH OF TRAVEL WITH LINES 2" ON CENTER EACH DIRECTION TO CREATE A CROSS HATCH PATTERN. SCORING SHALL NOT EXCEED 1/2" DEPTH AND 1/2" WIDTH
	
	CONCRETE PAVEMENT SECTION, PER SPECIFICATION BASED ON GEOTECH REPORT
	ASPHALT FULL DEPTH REPLACEMENT TO MATCH EXISTING PAVEMENT SECTION
	1.5" MILL AND OVERLAY RESURFACE
	NEW 6" CONCRETE DRIVE THRU PER SPECIFICATION BASED ON GEOTECH REPORT

NOTE: PLEASE REFER TO THE GEOTECHNICAL REPORT  
FOR PROPOSED PAVEMENT SECTION.  
PLEASE NOTIFY ENGINEER IF THERE ARE ANY  
DISCREPANCIES.



VERTICAL CONTROL:

BENCH MARK: REFERENCE DISK 3151 ELEV= 744.53

SITE BM = WATER MANHOLE AT SOUTHEAST CORNER OF PROPERTY ELEVATION= 766.14

BASIS OF BEARINGS:

COORDINATES AND BEARINGS ARE BASED UPON THE ILLINOIS EAST STATE PLAN COORDINATE GRID SYSTEM (NAD 83), ADJUSTED TO GROUND VALUES, AS ESTABLISHED BY REAL-TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) UTILIZING GPS OBSERVATIONS. THE TOPOGRAPHIC SURVEY IS TIED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

CONSULTANT

**Bowman**

10 South LaSalle Street, Suite  
2110 Chicago, Illinois 60603

Phone: (312) 614-0360  
Fax: (877) 433-0797  
[www.bowman.com](http://www.bowman.com)

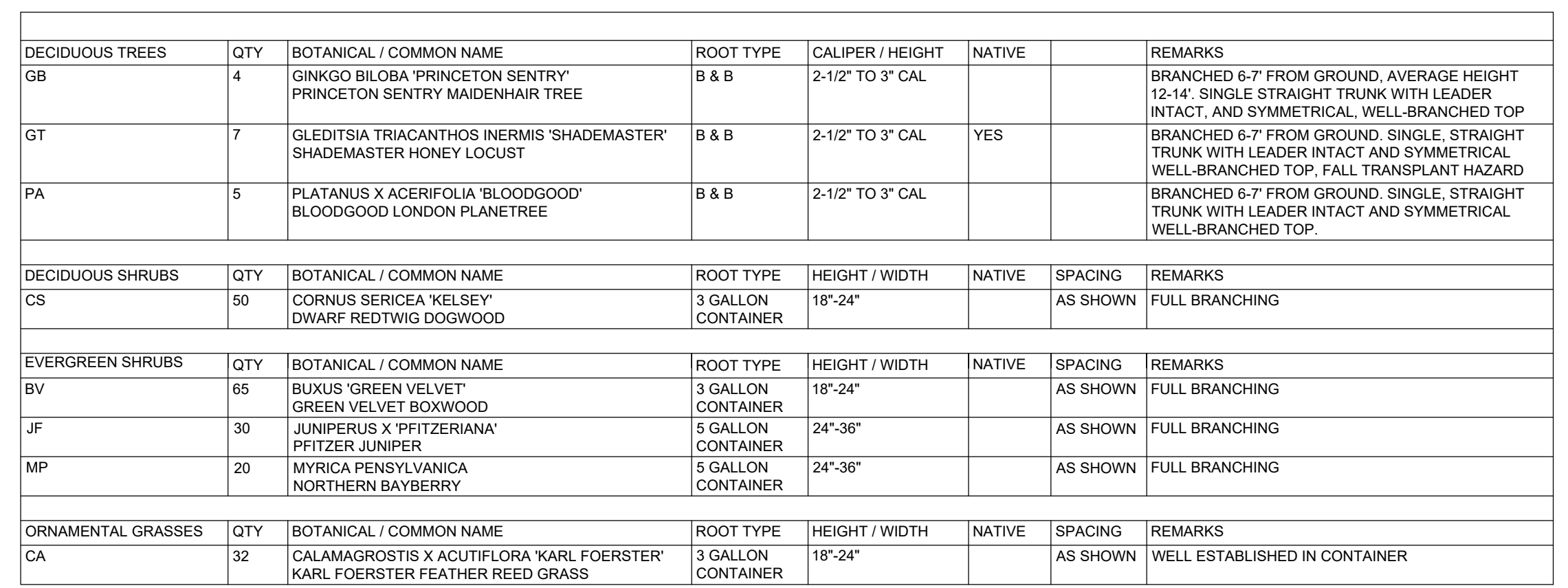
<div style="display: flex; justify-content: space-between;"><span>07-03-2023</span><span>2220566</span></div> <div style="border-top: 1px solid black; padding-top: 5px;">JURISDICTION USE</div>	
<div style="display: flex; align-items: center; justify-content: center;"><div style="flex: 1;"></div><div style="flex: 2;"><h1 style="margin: 0;">CUHACI PETERSON</h1></div></div> <div style="margin-top: 20px;"><p>2600 Maitland Center Parkway Suite #200 Maitland, FL 32751</p><p>P (407) 661-9100 F (407) 661-9101 c-p.com</p><p><small>Florida Corporate Certificate #AA C000506</small></p></div>	
<p><small>COPYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE PREPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREOF. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM CP IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.</small></p>	
<div style="border: 1px solid black; padding: 5px;"><p>ARCHITECT/ENGINEER SEAL</p><div style="text-align: center;"></div></div>	
  <h2 style="margin: 0;">INTERIOR &amp; EXTERIOR REMODEL</h2>  <h3 style="margin: 0;">WHITE CASTLE CH 52</h3> <p style="margin: 0;">1204 75th St. Downers Grove, Illinois 60516</p>	
<div style="border: 1px solid black; padding: 10px; margin: 0 auto; width: 80%;"><div style="display: flex; justify-content: space-between; align-items: center;"><div style="flex: 1; border-bottom: 1px solid black; margin-bottom: 5px;"></div><div style="text-align: center; flex: 0 0 100px;">0' - 3"</div><div style="flex: 1; border-bottom: 1px solid black; margin-bottom: 5px;"></div></div><div style="text-align: center; font-size: 0.8em; margin-top: 5px;">Line is 3 Inches at Full Scale (If Not 3 Inches Then Scale Accordingly)</div></div>	

REVISIONS:	No.	Date	Description		-----	------------	------------------		1	11/30/2023	VILLAGE COMMENTS		2	12/29/2023	PCE COMMENTS																																		
				-----------------	---------------		PROJECT NUMBER:	040082-01-006		DATE:	12/29/2023		DRAWN BY:	JB/EG		CHECKED BY:	KL																																
**PERMIT SUBMITTAL**																																																	
SHEET TITLE:																																																	
SITE PLAN																																																	
SHEET NUMBER:																																																	
C4.0  5 OF 13																																																	









DECIDUOUS TREES							
GB	4	BOTANICAL / COMMON NAME GINKGO BILoba 'PRINCETON SENTRY' PRINCETON SENTRY MADENHAIR TREE	ROOT TYPE B & B	CALIPER / HEIGHT 2-1/2" TO 3" CAL	NATIVE		REMARKS BRANCHED 6-7' FROM GROUND, AVERAGE HEIGHT 12-14' SINGLE STRAIGHT TRUNK WITH LEADER INTACT, AND SYMMETRICAL WELL-BRANCHED TOP
GT	7	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' SHADEMASTER HONEY LOCUST	B & B	2-1/2" TO 3" CAL	YES		BRANCHED 6-7' FROM GROUND, SINGLE, STRAIGHT TRUNK WITH LEADER INTACT AND SYMMETRICAL WELL-BRANCHED TOP, FALL TRANSPLANT HAZARD
PA	5	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	B & B	2-1/2" TO 3" CAL			BRANCHED 6-7' FROM GROUND, SINGLE, STRAIGHT TRUNK WITH LEADER INTACT AND SYMMETRICAL WELL-BRANCHED TOP.
DECIDUOUS SHRUBS							
CS	50	BOTANICAL / COMMON NAME CORNUS SERICEA 'KELSEY' DWARF REDTWIG DOGWOOD	ROOT TYPE 3 GALLON CONTAINER	HEIGHT / WIDTH 18"-24"	NATIVE	SPACING AS SHOWN	REMARKS FULL BRANCHING
EVERGREEN SHRUBS							
BV	65	BOTANICAL / COMMON NAME BUXUS 'GREEN VELVET' GREEN VELVET BOXWOOD	ROOT TYPE 3 GALLON CONTAINER	HEIGHT / WIDTH 18"-24"	NATIVE	SPACING AS SHOWN	REMARKS FULL BRANCHING
JF	30	JUNIPERUS X 'PFITZERIANA' PFITZER JUNIPER	3 GALLON CONTAINER	24"-36"		AS SHOWN	FULL BRANCHING
MP	20	MYRICCA PENSYLVANICA NORTHERN BAYBERRY	5 GALLON CONTAINER	24"-36"		AS SHOWN	FULL BRANCHING
ORNAMENTAL GRASSES							
CA	32	BOTANICAL / COMMON NAME CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	ROOT TYPE 3 GALLON CONTAINER	HEIGHT / WIDTH 18"-24"	NATIVE	SPACING AS SHOWN	REMARKS WELL ESTABLISHED IN CONTAINER

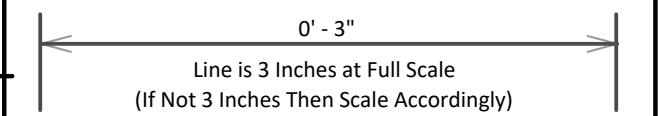
07-03-2023	2220566
JURISDICTION USE	
<div data-bbox="2679 343 2746 435"></div> <div data-bbox="2759 355 2942 425"><p>CUHACI PETERSON</p></div> <div data-bbox="2707 463 2896 508"><p>2600 Maitland Center Parkway Suite #200 Maitland, FL 32751</p></div> <div data-bbox="2707 529 2813 576"><p>P (407) 661-9100 F (407) 661-9101 c-p.com</p></div> <div data-bbox="2707 578 2862 588"><p>Florida Corporate Certificate #AA C000526</p></div>	

COPYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE PREPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERE TO. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM CP IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.



## INTERIOR & EXTERIOR REMODEL

WHITE CASTLE CH 52  
1204 75th St.  
Downers Grove, Illinois 60516

[illegible]

PROJECT NUMBER:	040082-01-006
DATE:	12/29/2023
DRAWN BY:	JB/EG
CHECKED BY:	KL

<b>PERMIT SUBMITTAL</b>
SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

L1.0  
1 OF 2

LANDSCAPE PLAN NOTES:

1. EXISTING CONDITIONS TOPOGRAPHIC SURVEY OF THIS PARCEL HAS BEEN PREPARED BY BOWMAN CONSULTING AND REFERENCED ON THIS PLAN.
2. SEE LANDSCAPE DETAILS SHEET L1.1 FOR COMPLETE LANDSCAPE NOTES AND DETAILS.
3. EXPECTED LANDSCAPE COMPLETION DATE IS DECEMBER 15, 2024.

## INDEX OF LANDSCAPE DRAWINGS

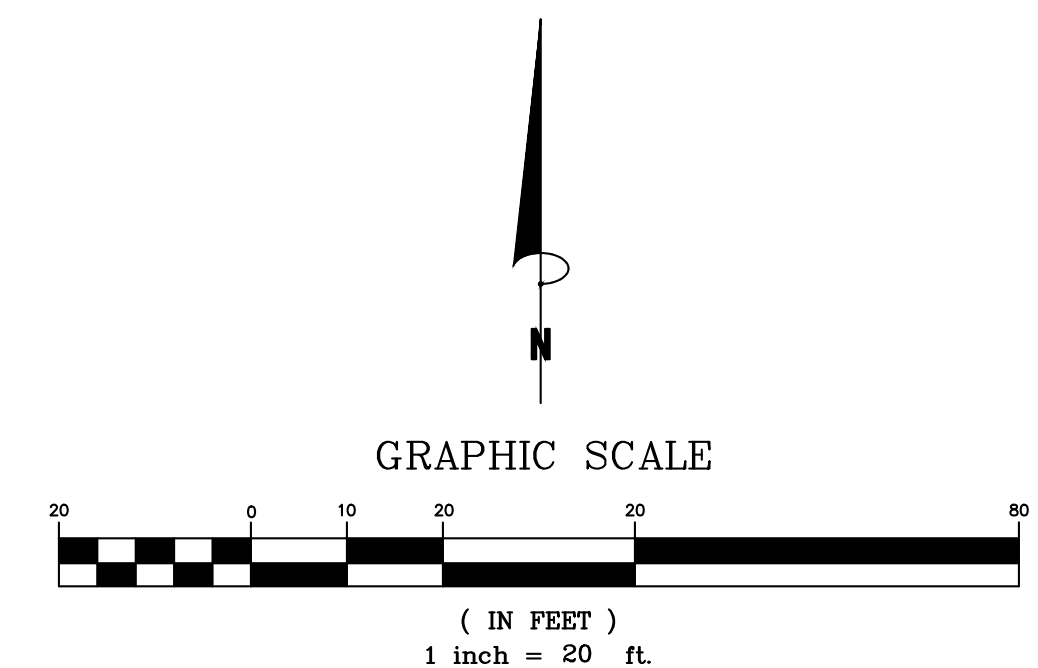
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE NOTES AND DETAILS

CONSULTANT

**Bowman**

10 South LaSalle Street, Suite  
2110 Chicago, Illinois 60603

Phone: (312) 614-0360  
Fax: (877) 433-0797  
[www.bowman.com](http://www.bowman.com)





Phone: (312) 614-0360  
Fax: (877) 433-0797  
[www.bryman.com](http://www.bryman.com)

DRAFT

VILLAGE OF DOWNERS GROVE  
PLAN COMMISSION MEETING

January 22, 2024, 7:00 P.M.

**23-PCE-0037: A petition seeking a Special Use approval for a second drive through facility at the White Castle Restaurant. The property is currently zoned B-2/P.D. #8, General Retail Business and Planned Development #8. The property is located approximately 315 feet north of the intersection of Lemont Road and 75<sup>th</sup> Street, commonly known as 1204 75<sup>th</sup> Street, Downers Grove, IL (PIN:09-30-201-021). Kevin McKenna, Petitioner, White Castle System Inc., Owner.**

Kevin McKenna, Petitioner, gave a presentation on the petition, which was seeking Special Use approval for a second drive through facility at this existing White Castle Restaurant. He explained that double drive through would permit less stacking, quicker time in the drive through, and allowed more time for the onsite staff to prep the meals. He displayed photos and explained how the drive through would work, landscaping of the area, two lanes merging into one, and photos of existing double line drive throughs.

Chairman Rickard asked if he could touch on how parking would be affected and what would be going on the exterior of the site. Mr. Burnham stated they would be doing a pedestrian connection at the north property lot, a sidewalk, and would be eliminating parking.

Commissioner Patel asked how many existing parking spots were there right now. Mr. Burnham said there were 61 provided. Commissioner Patel then followed up asked how many spaces would be eliminated. Mr. Burnham answered six. Commissioner Patel then asked if there would be modifications to the existing curb cuts. Mr. Burnham stated no.

Chair Rickard asked if they still had more parking than required even with the reduction. Mr. Burnham answered yes.

Chairman Rickard opened it up to the public. No public comment.

Chairman Rickard asked for the staff report.

Emily Hepworth, Development Planner for Downers Grove, presented for the special use at 1204 75th Street, White Castle Restaurant. She stated the public hearing notice sign was posted on the site and all property owners within 250 feet received mailing noticed and staff has not received any public comments on the hearing. She discussed the existing conditions on the site, including two curb cuts and one drive through line wrapping around the southside of the building and continuing on the east side of the building. She also shared the proposed improvements for the site, including no changes to the curb cuts and accesses would remain, a second drive thru lane would be added that merges back into one with 11 stacking spaces, new pedestrian connection, landscape improvements, and 56 parking spots provided. She discussed the landscape improvements further, stating there were three trees that would be preserved with an additional 17 trees proposed, including shrubs, trees, perennials, etc., with landscape improvements between the two lanes and western parameters. Ms. Hepworth provided the Comprehensive Plan recommendations and staff found it was in line with the



DRAFT

recommendations. She also provided approval for special use criteria and stated staff found standards of approval had been met.

Commissioner Roche said it seemed straightforward and there was definitely enough space on the site and the proposed improvements would improve the site overall. She said it was a nice plan.

Commissioner Patel agreed.

Commissioner Toth said having two drive throughs was common and supported it.

Commissioner Frankovic commented it was a great plan and like the landscape improvements.

Chairman Rickard agreed and said it would help to soften that area up a little bit.

**BASED ON THE PETITIONER'S SUBMITTAL, THE STAFF REPORT, AND THE TESTIMONY PRESENTED, COMMISSIONER PATEL MADE THE MOTION THAT FOUND THAT THE PETITIONER HAS MET THE STANDARDS OF APPROVAL FOR THE SPECIAL USES AS REQUIRED BY THE VILLAGE OF DOWNERS GROVE ZONING ORDINANCE AND IS IN THE PUBLIC INTEREST AND THEREFORE THAT THE PLAN COMMISSION RECOMMEND TO THE VILLAGE COUNCIL APPROVAL OF 23-PCE-0037, SUBJECT TO THE CONDITION LISTED ON PAGE 4 OF THE STAFF REPORT.**

**SECOND BY COMMISSIONER DMYTRYSZYN**

**ROLL CALL:**

**AYE: BOYLE, DMYTRYSZYN, FRANKOVIC, K. PATEL,, TOTH, ROCHE, CHAIRMAN RICKARD**

**NAY: NONE**

**MOTION APPROVED. VOTE: 7-0**

/s/ Celeste K. Weilandt  
Recording Secretary

(As transcribed by Ditto Transcripts)