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VILLAGE OF DOWNERS GROVE Report for the Village 2/13/2024

SUBJECT:	SUBMITTED BY:	
Special Use for a second drive through lane at 1204 75th Street	Stan Popovich, AICP Director of Community Development	

SYNOPSIS

The petitioner is requesting approval for a Special Use for a second drive through lane at 1204 75th Street.

STRATEGIC PLAN ALIGNMENT

The goals for 2023-2025 include *Strong and Diverse Local Economy*.

FISCAL IMPACT

N/A

RECOMMENDATION

Approval on the February 20, 2024 Active Agenda per the Plan Commission's unanimous 7:0 positive recommendation. The Plan Commission found that the proposal is compatible with the Comprehensive Plan and meets all standards for a Special Use found in Section 28.12.050.

BACKGROUND

Property Information & Zoning Request

The subject property is zoned B-2/PUD, General Retail Business/Planned Unit Development (PUD #9). The White Castle restaurant was constructed in 1987 with a single drive through lane. The petitioner is requesting a modification of the existing drive through by adding a second drive through lane. There are also proposed interior and exterior renovations to the building which will be reviewed for building code and zoning compliance through the building permit process. The expansion of the drive through requires a Special Use pursuant to Section 28.5.010 of the Zoning Ordinance where a drive through is listed as a permitted Special Use in the B-2 zoning district.

Compliance with the Comprehensive Plan

The current Comprehensive Plan's Future Land Use Map designates this property as Corridor Commercial. Corridor Commercial uses include a blend of neighborhood oriented commercial retail that provide services and retail opportunities to the nearby neighborhoods and the surrounding region. The current Comprehensive Plan specifically identifies that the 75th Street corridor should continue to contain a range of these types of uses. These commercial areas have a "unique character" and should serve the daily needs of local residents while providing goods and services to the larger region.

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The proposed development also meets the Comprehensive Plan's recommendations for a Corridor Commercial area: Implements the recommendations of the economic development plan to enhance the Sales Tax, proposes a high level of design and proposes no new curb cuts.

Compliance with the Zoning Ordinance

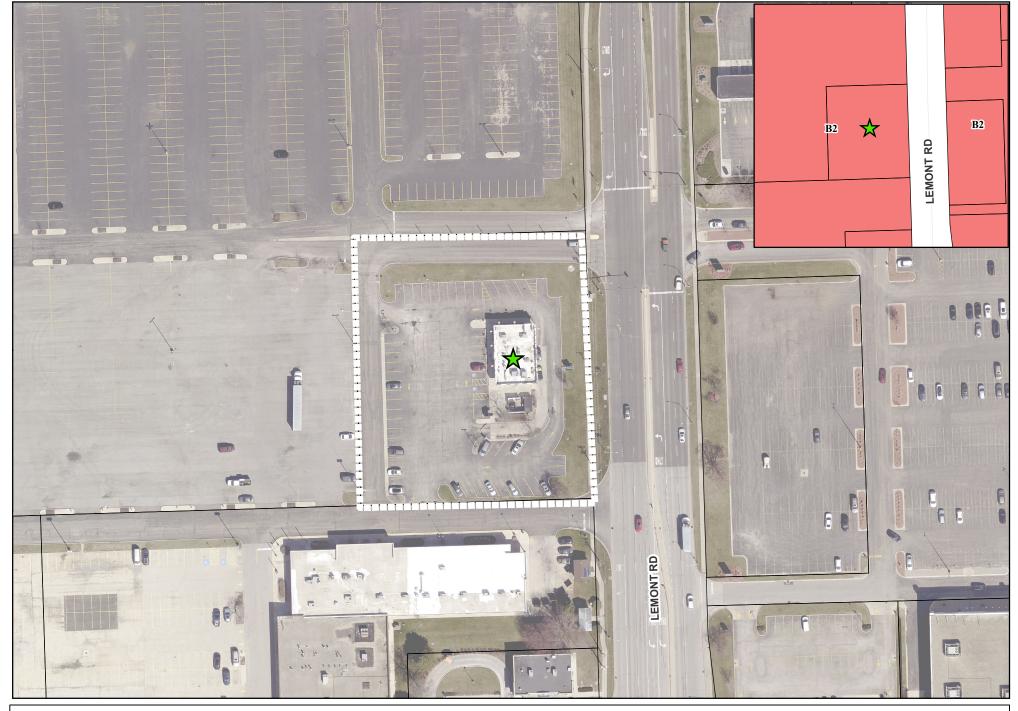
The property is zoned B-2/PUD, General Retail Business/Planned Unit Development #9. The proposed second drive through lane is listed as an allowable Special Use in this district. The proposed development meets all of the bulk requirements in the General Services and Highway Business District. A total of six parking spaces will be removed with the construction of a second lane and the parking lot improvements. Parking is still sufficient for the site, as the total number of spaces will be reduced to 57 where only 12 required.

Public Comment

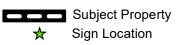
Prior to and during the Plan Commission meeting, staff did not receive any inquiries regarding this proposal.

ATTACHMENTS

Aerial Map Ordinance Staff Report with attachments dated January 22, 2024 Approved Minutes of the Plan Commission Hearing dated January 22, 2024 ORD 2024-10278 Page 3 of 27







 $1204\ 75^{th}\ Street$ Special Use $-\ 23\text{-PCE-}0037$

ORDINANCE NO.

AN ORDINANCE AUTHORIZING A SPECIAL USE FOR 1204 75th STREET TO PERMIT A SECOND DRIVE-THROUGH

WHEREAS, the following described property, to wit:

LOT 5 IN THE GROVE, IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 31, 1984, AS DOCUMENT NUMBER R84-88043, AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 19, 1984, AS DOCUMENT NUMBER R84-101150, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as: 1204 75th Street, Downers Grove, IL 60516

PIN: 09-30-201-021

(hereinafter referred to as the "Property") is presently zoned in the "B-2/PUD, General Retail Business, Planned Unit Development #9" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, Planned Unit Development #9 allowed for the construction of a restaurant with a single lane drive-thought on the subject property; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28.12.050 of the Zoning Ordinance be granted to modify the existing drive through by adding a second drive-through lane.

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing for the petition on January 22, 2024 and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the Special Use, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

- 1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located;
- 2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
- 3. That the proposed use will not, in the particular case, be detrimental to the health, safety or

general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

<u>SECTION 1</u>. That Special Use of the Property is hereby granted to modify the existing drive through by adding a second drive-through lane.

SECTION 2. This approval is subject to the following conditions:

1. The proposed drive through lanes shall substantially conform to the plans and specifications attached to the staff report dated January 22, 2024 except as such plans may be changed to conform to Village codes, ordinances, and policies.

SECTION 3. The above conditions are hereby made part of the terms under which the Special Use is granted. Violation of any or all of such conditions shall be deemed a violation of the Village of Downers Grove Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and/or revocation of the Special Use granted herein.

<u>SECTION 4</u>. It is the Petitioner's obligation to maintain compliance with all applicable Federal, State, County and Village laws, ordinances, regulations, and policies.

<u>SECTION 5</u>. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

	Mayor
Passed:	•
Published:	
Attest:	
Village Clerk	1\mw\ord.22\SU-1204-75 th 23-PCE-0037

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VILLAGE OF DOWNERS GROVE REPORT FOR THE PLAN COMMISSION JANUARY 22, 2024 AGENDA

SUBJECT:	TYPE:	SUBMITTED BY:
23-PCE-0037 1204 75 th Street	Special Use for a second drive through lane	Emily Hepworth, AICP Development Planner

REQUEST

The petitioner is requesting approval for a Special Use for a second drive through lane for a restaurant.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER: White Castle System Inc.

555 W Goodale St. Columbus, OH 43215

PETITIONER: Kevin McKenna

111 W Washington St. Chicago, IL 60602

PROPERTY INFORMATION

EXISTING ZONING: B-2, General Retail Business, P.D. #9
EXISTING LAND USE: Eating and Drinking Establishment
68,270 square feet (1.57 acres)

Pins: 09-30-201-021

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	B-2, General Retail Business, P.D. #9	Corridor Commercial
South	B-2, General Retail Business, P.D. #9	Corridor Commercial
EAST:	B-2, General Retail Business, P.D #18	Corridor Commercial
WEST:	B-2, General Retail Business, P.D. #9	Corridor Commercial

ANALYSIS

SUBMITTAL S

This report is based on the following documents, which are on file with the Department of Community Development:

1. Location Map

1204 75th Street, 23-PCE-0037 January 22, 2024 Page 2

- 2. Project Summary/Narrative
- 3. Plat of Survey
- 4. Engineering Plans
- 5. Architectural Plans
- 6. Landscaping Plan
- 7. Review and Approval Criteria
- 8. Certification of Public Notification

PROJECT DESCRIPTION

The subject property commonly known as 1204 75th Street is located near the northwest intersection of Lemont Road and 75th Street. The subject property is zoned B-2/PUD, General Retail Business/Planned Unit Development #8, part of The Grove Shopping Center. Constructed in 1987, a White Castle restaurant with a single drive-through is located on the subject property. The existing single lane drive-through is located south and east of the building.

The petitioner is requesting a modification of the existing drive through by adding a second drive through lane. As part of the petitioner's proposal, they are also planning to make renovations to the interior and exterior of the building. The new drive-through lane will result in the removal of six parking spaces, bringing the total number of parking spaces to 57. The petitioner will also improve the site with a new pedestrian connection to Lemont Road. Additional landscaping will be placed on the site in the form of landscape islands in the western portion of the parking lot, in addition to landscape screening that will be provided immediately east of the drive-through.

The petitioner is requesting a special use for the expansion of the existing drive-through, pursuant to Section 28.5.010 of the Zoning Ordinance where a drive-through is listed as a permitted Special Use in the B-2 zoning district.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The current Comprehensive Plan's Future Land Use Map designates this property as Corridor Commercial. Corridor Commercial uses include a blend of neighborhood oriented commercial retail that provide services and retail opportunities to the nearby neighborhoods and the surrounding region. The current Comprehensive Plan specifically identifies that the 75th Street corridor should continue to contain a range of these types of uses. These commercial areas have a "unique character" and should serve the daily needs of local residents while providing goods and services to the larger region.

The proposed development also meets the Comprehensive Plan's recommendations for a Corridor Commercial area:

- Implements the recommendations of the Economic Development Plan to Enhance the Sales Tax
- Proposes a high level of design
- Proposes no new curb cuts

The proposed development meets the goals of the Comprehensive Plan.

COMPLIANCE WITH THE ZONING ORDINANCE

The property is zoned B-2/PUD, General Retail Business/Planned Unit Development #9. The proposed additional drive through is an available Special Use in the B-2 district. The bulk requirements of the proposed drive-through are summarized in the following table:

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Proposed White Castle Drive-Through	Required	Proposed
Stacking Spaces	8	11
Side Setback (south)	N/A	45 ft.
Rear Setback (west)	N/A	121 ft.
Street Setback (east)	25 ft.	44 ft.
Side Setback (north)	N/A	45 ft.

Parking and Site Circulation

The site circulation for vehicles, with the exception of the additional drive-through lane, will remain unchanged. The two site entrances currently provided on the south and west sides of the property will remain. The additional drive-through lane will result in the removal of six existing parking spaces. A total of 12 parking spaces are required per the Zoning Ordinance; with 57 parking spaces still provided. The required number of stacking spaces for the drive through lanes is also exceeded, with a minimum of 8 stacking spaces required with 11 spaces provided.

ENGINEERING/PUBLIC IMPROVEMENTS

The property is primarily impervious with the parking lot and building taking up the majority of the property. The proposal calls for a new green space between the drive-through lanes, in addition to the installation of landscape islands in the western portion of the parking lot, resulting in a decrease in the impervious surface area on the property. All engineering provisions including stormwater regulations have been reviewed for compliance with the Stormwater and Floodplain Ordinance. The proposed development will meet the Village Ordinance.

Currently, no pedestrian connection is provided from the existing sidewalk along Lemont Road, to the building. The proposed improvements includes a pedestrian connection incorporated on the north side of the property. Public improvements are not required. As noted above, the existing access points internal to the shopping center will remain. Existing public sidewalks are currently located along Lemont Road. The petitioner is proposing no new utilities to the building.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division has reviewed the proposed plans and has no concerns. There are no proposed interior or exterior modifications to the building so there are no additional fire safety requirements for the building itself.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property line in addition to posting two public hearing signs and publishing a legal notice in the *Daily Herald*. Staff has not received any neighborhood comment regarding the proposal at this time.

STANDARDS OF APPROVAL

Special Use

The petitioner is requesting approval for a Special Use to construct a second drive through lane. The review and approval criteria is listed below.

Section 28.12.050.H Approval Criteria – Special Uses

No special use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

1204 75th Street, 23-PCE-0037 January 22, 2024 Page 4

- 1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located;
- 2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
- 3. That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.

DRAFT MOTION

Staff will provide a recommendation at the January 22, 2024 meeting. Should the Plan Commission find that the request meets the standards of approval for the Special Use, staff has prepared a draft motion that the Plan Commission may make for the recommended approval of 23-PCE-0037:

Based on the petitioner's submittal, the staff report, and the testimony presented, I find that the petitioner has met the standards of approval for the Special Uses as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 23-PCE-0037, subject to the following conditions:

The proposed drive through lane shall substantially conform to the plans and specifications attached
to this report except as such plans may be changed to conform to Village codes, ordinances, and
policies.

Staff Report Approved By:

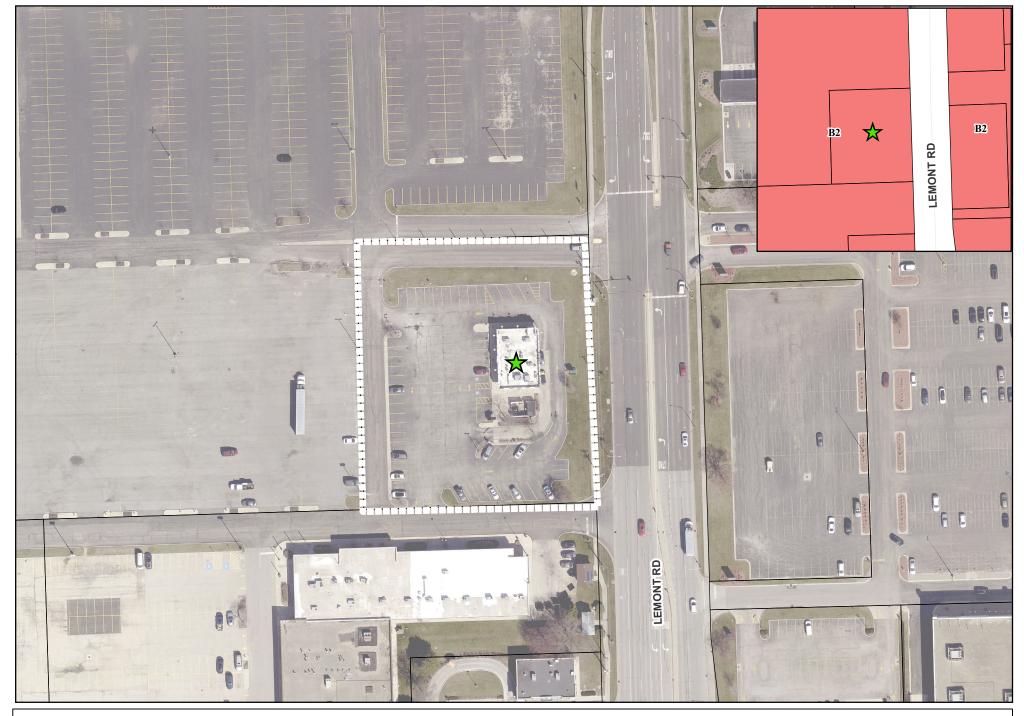
Stanley J. Popovich, AICP

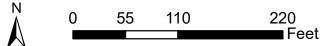
Community Development Director

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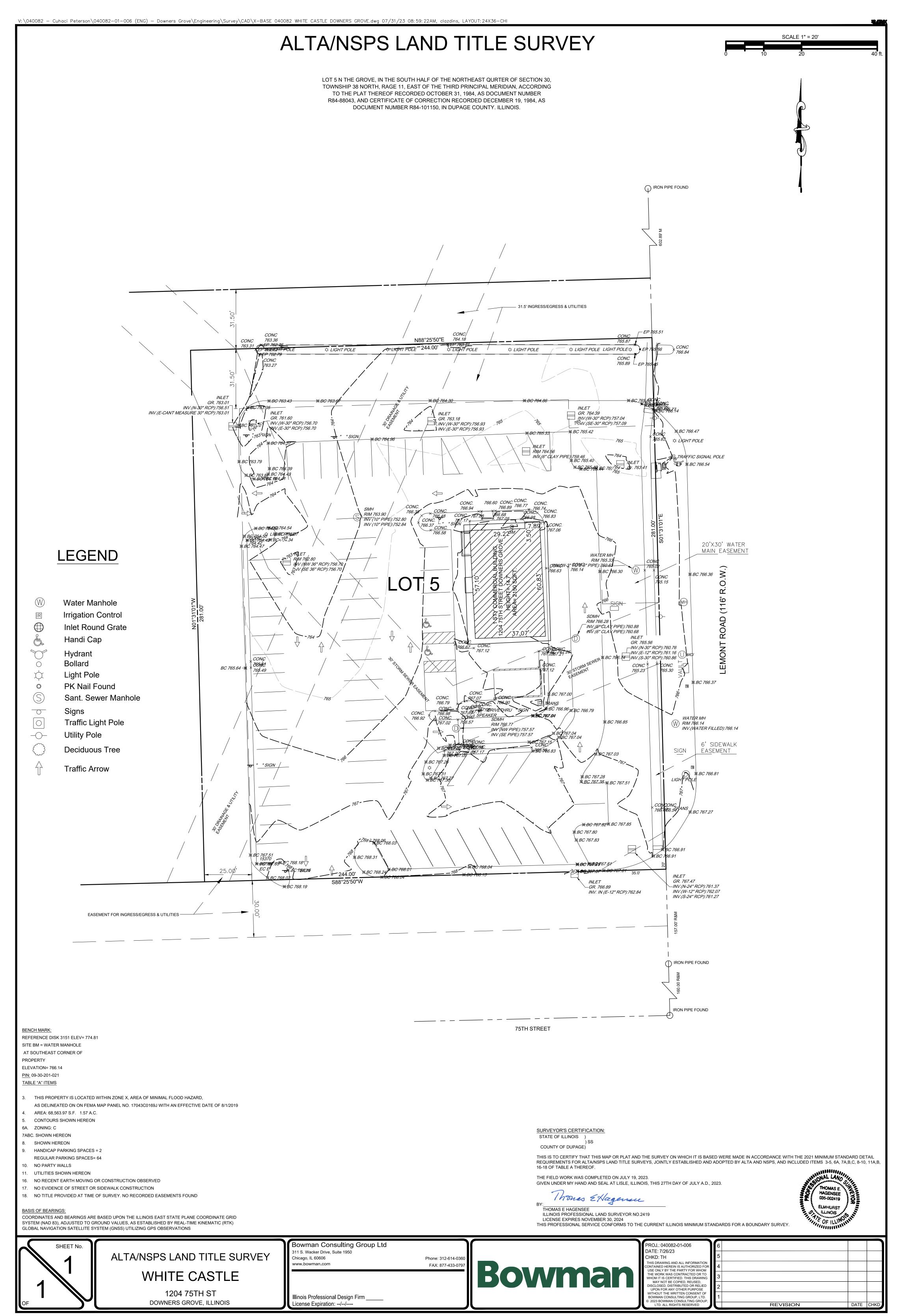
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Subject Property
Sign Location

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December 6, 2023

Village of Downers Grove 801 Burlington Ave. Downers Grove, IL 60515

White Castle CH 52 1204 75th St. Downers Grove, IL 60634

Re: Special Use Application for Double Drive-Through

This narrative will address the proposed modification of the drive-through arrangement at the White Castle store located at 1204 75th St. in Downers Grove. This site is zoned as B-2 General Retail Business.

CP:20230298

Project Description:

The existing drive-through features a single menu board/ordering location on a single drive-through lane about 5 car lengths before the final order fulfillment window. There are two windows for processing payments and delivering orders, but often only the second window is in use. The first window is only used during peak hours of business.

The proposed change will add another menu board/ordering location parallel to the existing one with its own lane. But these two lanes will merge back into one lane immediately after ordering location and the rest of the drive-through layout will remain unchanged.

Traffic

The new menu board/ordering location will be parallel to the existing one so as drivers approach, they will be able to choose whichever lane is open for fastest service. The new configuration results in 5 fewer parking spaces so the total number of spaces will be reduced from 66 to 61. The dining room seats 48 persons so the minimum required parking for this use is 12 spaces. Available parking has never been an issue at this White Castle location.

The existing layout meets the requirements for parking as well as drive-through queue and stacking requirements. Eight stacking spaces are required with at least 3 of those between the ordering location and the pickup window. The proposed arrangement will be able to stack up to 6 cars between the order and pickup.

The new layout will improve circulation within the parking lot by replacing under-utilized parking spaces with a new menu board and ordering location. This creates an additional lane for drive-through queueing and reduces stacking in the drive aisles.

Bicycle parking is not required by 28.7.060 Table 7.3 which states that for commercial eating and drinking establishments, no bike parking is required for uses that require 19 or fewer parking spaces. This use requires only 12 parking spaces.

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Special Uses

Form #PC02

Review and Approval Criteria

Address of Project Site:

1204 75th St. Downers Grove IL

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.050.H. Approval Criteria (Special Uses)

No special use may be recommended for approval or approved unless the respective review or decision making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located.

Per Table 5.1, listed under "Other," a Drive-through Facility in a B-2 zone is listed as "Special use approval required.

2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

White Castle has been serving customers at this location for over 30 years, demonstrating that this use is desirable to the community, and is a public convenience. The proposed change to the drive through will reduce wait times for customers and improve the flow of traffic related to the drive-through.

3. That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.

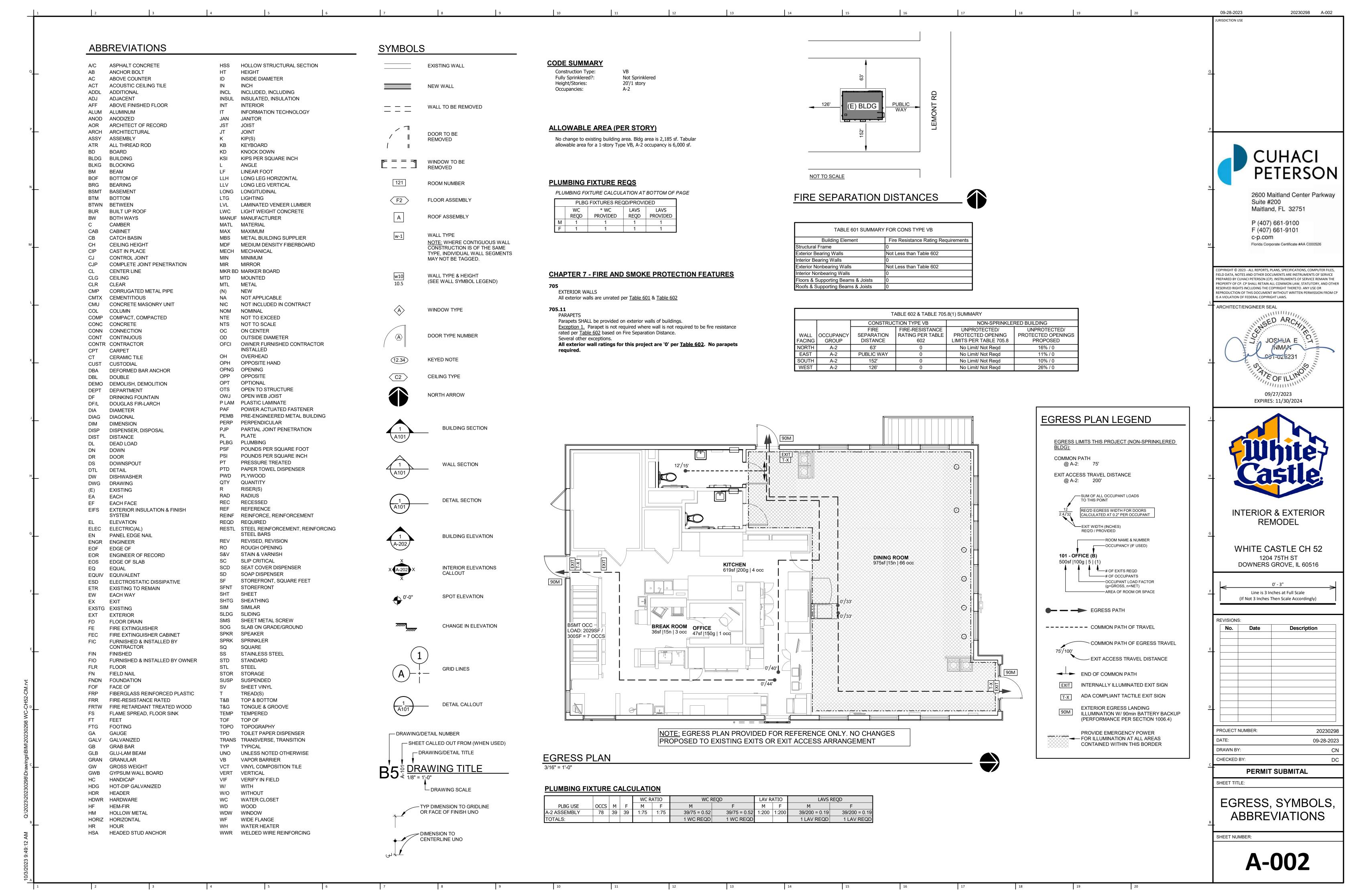
White Castle's history in this neighborhood has demonstrated that this use is not detrimental to the health, safety or general welfare of the community. And the proposed change to the menu board/ordering location is intended to further increase the safety at the drive-through and the areas where the cars stack in queue for ordering.

ORD 2024-10278 Page 14 of 27 20230298 A-001 RISDICTION USE CUHACI 2600 Maitland Center Parkway Suite #200 Maitland, FL 32751 P (407) 661-9100 F (407) 661-9101 Florida Corporate Certificate #AA C000526 ELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVIC EPARED BY CUHACI PETERSON (CP), INSTRUMENTS OF SERVICE REMAIN THE ROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTH SERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR PRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM WHITE CASTLE CH 52 ARCHITECT/ENGINEER SEAL INTERIOR & EXTERIOR REMODEL EXPIRES: 11/30/2024 GENERAL REQUIREMENTS BLDG CODE DATA DRAWING INDEX **VICINITY MAP** CONSULTANTS PROJECT DESCRIPTION: NUMBER I **ARCHITECT OF RECORD:** SHEET NAME REV# REV DATE COMMENT PROJECT LOCATION-Project consists of a cosmetic refresh inside and out. A-001 COVER SHEET B 2023-12-29 Special Use Reqs **CUHACI & PETERSON AEP** • The dining room will receive all new finishes, the kitchen will receive new tbar and 1 CHECK ALL CEILING HEIGHTS AND POSSIBLE CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCT WORK AND ALL OTHER Downers Park Plaza INTERIOR & EXTERIOR lighting throughout. A-002 EGRESS, SYMBOLS, CONSTRAINTS TO ASSURE THE LOCATION OF THE LIGHT FIXTURES AS SHOWN ON THE LIGHTING PLAN, ANY DISCREPANCIES SHALL BE 2600 MAITLAND, CENTER PARKWAY, The exterior will receive a complete facelift with the removal of all exterior porcelain wall **ABBREVIATIONS** FROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THE WORK. REMODEL STE #200 panels and the installation of new thin stone wainscot and EIFS finishes. A-003 WALL & ROOF ASSEMBLIES A 2023-11-29 City Comments 2 VERIFY FIELD EXSTG CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. Scope of work does not include any changes to exstg structural system. MAITLAND, FL 32751 A-004 REQD CLEARANCES 3 ALL WORK TO CONFORM TO REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. • There is an exstg basement. There is no work in the basement area except for the JOSHUA E. INMAN AS100 SITE PLAN B 2023-12-29 Special Use Regs 4 PLAN DIMENSIONS ARE TO FACE OF STUDOR FACE OF EXSTG CONDITION UNLESS NOTED OTHERWISE. decommissioning of the restroom plumbing fixtures. AD101 EXSTG/DEMO PLANS A 2023-11-29 City Comments (407) 661-9100 x2470 Main floor restroom fixtures are being replace with new, ADA compliant fixtures in a 5 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING WHITE CASTLE CH 52 reconfigured space. All restrooms are single-user.

Restaurant will be closed throughout remodel work.

A A-100 EXISTING BASEMENT PLAN TJ Maxx & HomeGoo JOSHI@C-P.COM A-101 FLOOR PLAN Department s 1204 75TH ST A 2023-11-29 City Comments 6 THE CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION SUPPLIED FROM EXISTING BLUE PRINTS, ALTA C-P.COM A-102 CEILING PLAN DOWNERS GROVE, IL 60516 SURVEYS, AND/OR LANDLORD APPLICABLE CODES: A-103 ROOF PLAN Current Downer Grove Zoning Ordinance 7 IF ANY ERRORS, DISCREPANCIES OR OMISSIONS APPEAR ON THESE DRAWINGS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, A-201 BLDG ELEVATIONS **CIVIL ENGINEE**R: Current Downers Grove Stormwater and Flood Plain Ordinance THE CONTRACTOR SHALL NOTIFY PROJECT OWNER AND ARCHITECT IMMEDIATELY. 2015 International Building Code with D.G. amendments A-202 INTERIOR ELEVATIONS A 2023-11-29 City Comments Bowman 8 THE DRAWINGS ARE NOT TO BE SCALED. 2014 National Electric Code with D.G. amendments A-301 BLDG SECTIONS Robert Skidmore Line is 3 Inches at Full Scale Current State of Illinois Plumbing Code with D.G. amendments 9 THESE DRAWING ARE NOT TO BE ALTERED IN ANY WAY WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. A-501 EXTERIOR WALL & PARAPET (If Not 3 Inches Then Scale Accordingly) 1001 Warrenville Rd. STE 110 2015 International Mechanical Code with D.G. amendments 10 COORDINATE CONSTRUCTION TIME AND NOISE REQUIREMENTS WITH THE CONSTRUCTION PROJECT MANAGER PRIOR TO DETAILS 2015 International Fuel Gas Code with D.G. amendments Lisle, IL 60532 Dunkin' America Runs A-502 EIFS DETAILS 2018 International Energy Conservation Code with D.G. amendments & State of Illinois Pure Hockey 11 WHERE WATERPROOFING DETAILS ARE PROVIDED, THEY ARE GENERAL IN NATURE AND SHOW INDUSTRY STANDARD MEANS OF Ph: (630) 869-6001 A-503 DETAILS A 2023-11-29 City Comments amendments Shop Sticks REVISIONS: INSTALLATION FOR TYPES OF PRODUCTS AND CONSTRUCTION INDICATED. THESE DETAILS MAY NOT BE APPLICABLE TO OTHER On Dunkin' 2015 International Property Maintenance Code with D.G. amendments A-601 FINISH SCHEDULES A 2023-11-29 City Comments Skates & More PRODUCT TYPES OR TO SIMILAR PRODUCTS BY OTHER MANUFACTURERS. CONTRACTOR IS RESPONSIBLE FOR DETERMINING 2015 International Fire Code with D.G. amendments Description A-602 DOOR SCHEDULE A 2023-11-29 City Comments APPROPRIATE METHODS OF INSTALLATION BASED ON MANUFACTURERS WRITTEN INSTRUCTIONS AND COMPATIBILITY OF PARTS, 2015 International Swimming Pool and Spa Code with D.G. Amendments 2023-11-29 City Comments EQ-1 EQUIPMENT PLAN Delin Massage PLUMBING, MECHANICAL, & MATERIALS, AND ASSEMBLIES OF RELATED COMPONENTS. 2004 Life Safety Code - NFPA 101 Fast Food - S 2023-12-29 Special Use Reqs E-100 POWER PLAN A 2023-11-29 City Comments Current State of Illinois Accessibility Code **ELECTRICAL ENGINEER:** 12 CONSTRUCTION PM IS RESPONSIBLE TO ACQUIRE AS-BUILT DRAWINGS FROM ALL SUBCONTRACTORS UPON COMPLETION OF THE CLIMATE ZONE E-200 LIGHTING PLAN A 2023-11-29 City Comments PROJECT AND TO SUBMIT TO PROJECT ARCHITECT. Dialectic Engineering E-800 ELECTRICAL PANEL SCHEDULES 13 ALL COORDINATION BETWEEN SUBCONTRACTORS SHALL BE BASED ON ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE 75th St Bo Osborn ES-100 ELECTRICAL SITE PLAN GIVEN TO A BIDDER OR SUPPLIER WHO HAS BID FROM AN INCOMPLETE A 2023-11-29 City Comments 310 W. 20th St. STE 200 Carrabba's Italian Grill M-100 MECHANICAL NOTES, LEGEND AND SET OF CONSTRUCTION DOCUMENTS. **OCCUPANCY CLASSIFICATIONS:** SPECIFICATIONS Kansas City, MO 64108 14 IN CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN DRAWINGS THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY AND A-2 Assembly (Restaurant) THE CONTRACTOR SHALL NOTIFY OWNER/ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES. M-200 MECHANICAL PLAN (816) 997-9575 \sim <u>CONSTRUCTION TYPE:</u> VB (Existing). All new work to be consistent with Construction M-201 MECHANICAL ROOF PLAN 15 WHITE CASTLE SPECIFICATIONS BOOK SHALL BE REFERENCED. INFORMATION ON DRAWINGS SUPERCEDES SPEC BOOK. M-300 MECHANICAL DETAILS AND 16 DRAWINGS AND SPECIFICATIONS, AND ALL COPIES THEREOF ARE LEGAL INSTRUMENTS OF SERVICE FOR THE USE OF THE OWNER AND SCHEDULES AUTHORIZED REPRESENTATIVES ON THE DESIGNATED PROPERTY ONLY. **FULLY SPRINKLERED?:** Building is not sprinklered. Fire suppression is provided at the P-000 PLUMBING SPECIFICATIONS 17 OTHER USE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT AND/OR OWNER IS PROHIBITED P-100 PLUMBING SCHEDULES AND A 2023-11-29 City Comments 18 ALL CONCEALED WOOD TO BE FIRE-RETARDANT TREATED 19 REFER TO GENERAL NOTES ON DRAWINGS OF OTHER DISCIPLINES FOR ADDITIONAL REQUIREMENTS. BLDG AREA: First Floor: P-201 PLUMBING PLAN WASTE AND VENT A 2023-11-29 City Comments 20 THE TERM "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME FROM SIMILAR 2,085sf PROJECT NUMBER: 20230298 P-202 BASEMENT PLUMBING PLAN A 2023-11-29 City Comments CONDITIONS, THROUGHOUT UNLESS OTHERWISE NOTED. Exstg: 2,085 sf Added: WASTE & VENT 21 PRIOR TO CLOSING OF ANY CEILING, ALL PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSPECTED AND WHERE REQD 09-28-2023 Total: 2, P-301 PLUMBING PLAN WATER A 2023-11-29 City Comments TESTED BY THE LOCAL AUTHORITIES HAVING JURISDICTION TO ENSURE THEIR PROPER INSTALLATION AND FUNCTION. DRAWN BY: P-302 BASEMENT PLUMBING PLAN A 2023-11-29 City Comments 22 CEILING HEIGHTS ARE DIMENSIONED TO FINISHED FLOOR. **BLDG HEIGHT (PER IBC CHAPTER 5):** 23 COORDINATE ALL ELECTRICAL WORK WITH PLUMBING, HVAC, CASEWORK, ETC. WHERE REQUIRED. CHECKED BY: 12.5 feet (1-story) P-400 PLUMBING DETAILS A 2023-11-29 City Comments 24 COORDINATE ALL TELEPHONE WORK AND IT WORK WITH OWNER'S REP AND LOCAL TELEPHONE COMPANY BEFORE STARTING WORK. Proposed: 12.5 feet (1-story) (No change) P-600 WASTE AND VENT RISER A 2023-11-29 City Comments DEFERRED SUBMITTALS SPECIAL USE APPLICATION BLDG HEIGHT (PER VoDG 28.14.130): HEET TITLE: Existing: 13'-3" Above Grade . FIRE ALARM SYSTEM: Provide shop drawings, Proposed: 13'-3" Above Grade (No change) cutsheets, and battery calculations for fire alarm FIRE ALARM: system modifications. Not required. **COVER SHEET PLUMBING FIXTURES:** Water Closets Req'd: Water Closets Provided: 1m/1f Lavs Req'd: SHEET NUMBER: Lavs Provided: 1m/1f PROPERTY: Project Address: 1204 75TH ST DOWNERS GROVE, IL 60516 Parcel Number: 20-19-321-042-0000 Lot Size: 0.763 acres B3-1 Zone:

ORD 2024-10278



ORD 2024-10278 Page 16 of 27 09-28-2023 20230298 AS100 IRISDICTION USE SITE PLAN NOTES A. SEE CIVIL DRAWINGS FOR ADDL SCOPE, GRADING AND DETAILS B. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE IMPROVEMENTS $\sim\sim\sim\sim\sim\sim$ __8' TALL CONSTRUCTION \$\(\A \) FENCE TYP CUHACI PETERSON 2600 Maitland Center Parkway EXPAND EXSTG PARKING Suite #200 (ISLANDS WHERE REQD –SEE)
CIVIL DRAWINGS FOR Maitland, FL 32751 LOCATIONS AND REQS P (407) 661-9100 — NEW STRIPING THROUGHOUT V MILL & REPLACE ASPHALT F (407) 661-9101 PER CIVIL DRAWINGS PER CIVIL DRAWINGS c-p.com Florida Corporate Certificate #AA C000526 NEW PARKING ISLANDS TYP -SEE CIVIL DRAWINGS FOR , DIMENSIONS AND REQS DPYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE PREPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM CF IS A VIOLATION OF FEDERAL COPYRIGHT LAWS. - REPLACE CONCRETE /-- NEW ADA PARKING WALKS AROUND BUILDING PER CIVIL DRAWINGS ARCHITECT/ENGINEER SEAL PER CIVIL DRAWINGS NEW LIGHT POLE LOCATION - -REINSTALL EXSTG LIGHT POLE SHOWN REMOVED ON DEMO SHEET JOSHUA E BIKE RACK AND 2 INMAN BIKE SPACES NEW ACCESSIBLE -ROUTE TO THE NEW DOUBLE DRIVE THRU, MENU BOARDS AND CANOPIES PUBLIC WAY REPLACE CHAIN LINK GATES. 12/29/2023 MATCH EXSTG MATERIALS. PER CIVIL DRAWINGS PROVIDE BLUE PRIVACY SLATS. EXPIRES: 11/30/2024 (E) WHITE CASTLE DECORATIVE CONCRETE TO ACCENT THE
PEDESTRIAN PATH. SCORE CONCRETE
DIAGONALLY AT 45 DEGREES TO PATH OF EXSTG 7'-0" TALL CMU WALLS WITH CHAIN LINK A
GATE WITH PRIVACY SLATS. GATE PROVIDES 1 STORY COMMERCIAL BUILDING 1204 75TH STREET DOWNERS GROVE MORE THAN 80% VISUAL SCREENING HEIGHT= 14.7' AREA= 2150 SQFT. TRAVEL WITH LINES 2 FEET ON CENTER EACH DIRECTION TO CREATE A
CROSSHATCH PATTERN. SCORING SHALL - ORDER WINDOW NOT EXCEED 1/2" DEPTH AND 1/2" WIDTH PATCH/REPAIR CMU JOINTS AS REQD. PAINT ALL CMU WALLS INSIDE AND OUT. PAINT MAN DOOR. MATCH EXSTG COLORS. **INTERIOR & EXTERIOR** REMODEL WHITE CASTLE CH 52 1204 75TH ST DOWNERS GROVE, IL 60516 Line is 3 Inches at Full Scale (If Not 3 Inches Then Scale Accordingly) LEMONT ROAD A 2023-11-29 City Comments B 2023-12-29 Special Use Reqs 1 ARCHITECTURAL SITE PLAN

1" = 20'-0" PROJECT NUMBER: 20230298 09-28-2023 DRAWN BY: SPECIAL USE APPLICATION SITE PLAN SHEET NUMBER: **AS100**

ORD 2024-10278 Page 17 of 27 09-28-2023 20230298 A-101 IRISDICTION USE **GENERAL NOTES** A. ALL DIMENSIONS TO EXISTING COMPONENTS ARE +/- 3" B. WALLS ARE DIMENSIONED TO FACE OF STUD OR FACE OF EXSTG CONDITION UNLESS NOTED OTHERWISE C. DIMENSIONS INDICATED AS "CLEAR" OR "CLR" ARE TO FACE OF D. DINING ROOM FURNITURE PLAN TO BE PROVIDED BY OWNER. CUHACI PETERSON 56'-9" +/-**KEYED NOTES** 24'-5" 5'-0 3/4" 2600 Maitland Center Parkway VIF 60" MIN CLR VIF 60" MIN CLR Suite #200 0225 UPPER SHELVING UNITS AT 6'-4" AND ABOVE TO REMAIN TYP. TAKE CARE WHEN REMOVING CEILING TO PREVENT DAMAGE. Maitland, FL 32751 0911 INFILL EXSTG WALL. MATCH EXSTG CONSTRUCTION 0912 CONSTRUCT NEW CHASE WALL AS REQD P (407) 661-9100 1101 RELOCATE EXSTG SOAD MACHINE & ICE MAKER F (407) 661-9101 1201 REINSTALL EXSTG CONDIMENT COUNTER c-p.com Florida Corporate Certificate #AA C000526 EXSTG STOREFRONT WINDOWS
TO REMAIN IN PLACE DURING
CONSTRUCTION UNLESS NOTED PYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES OTHERWISE TYP FIELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE FLUSH NEW WALL -REPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE TO EXSTG PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM C S A VIOLATION OF FEDERAL COPYRIGHT LAWS. SYMBOL LEGEND **EXISTING** ARCHITECT/ENGINEER SEAL **EXSTG** FREEZER WALK-IN AS APPLIES. ALL SYMBOLS MAY NOT BE USED DINING ROOM COOLER **EXISTING WALL** NEW /REBUILT WALL KITCHEN FOUNDATION TYPE ROOF TYPE - SEE WALL 09/27/2023 AND ROOF ASSEMBLIES EXPIRES: 11/30/2024 ✓ GAS METER WALL TYPE - SEE WALL TO REMAIN AND ROOF ASSEMBLIES SHEET WINDOW TYPE BREAK ROOM OFFICE ─ VERIFY LOCATION W/ WHITE CASTLE ON-SITE REP 1 KEYED NOTE Ex-1 C2 CEILING TYPE **INTERIOR & EXTERIOR** REMODEL 0225 KITCHEN — DECOR SCREEN PER DECOR PLANS WHITE CASTLE CH 52 SEE FLOOR FINISH PLAN -FOR FLOOR MAT DETAILS 1204 75TH ST DOWNERS GROVE, IL 60516 WALL SYMBOL LEGEND NOTE: WHERE CONTIGUOUS WALL CONSTRUCTION IS OF THE SAME TYPE, Line is 3 Inches at Full Scale (If Not 3 Inches Then Scale Accordingly) INDIVIDUAL WALL SEGMENTS MAY NOT BE TAGGED. REVISIONS: WALL TYPE
(SEE WALL & ROOF
ASSEMBLIES SHEET) Description A 2023-11-29 City Comments WALL HEIGHT CODE (SEE BELOW) WALL HEIGHT CODES (AS APPLIES, ALL CODES MAY NOT BE USED) **F* =** FULL HEIGHT TO STRUCTURE ABOVE. 1 FLOOR PLAN

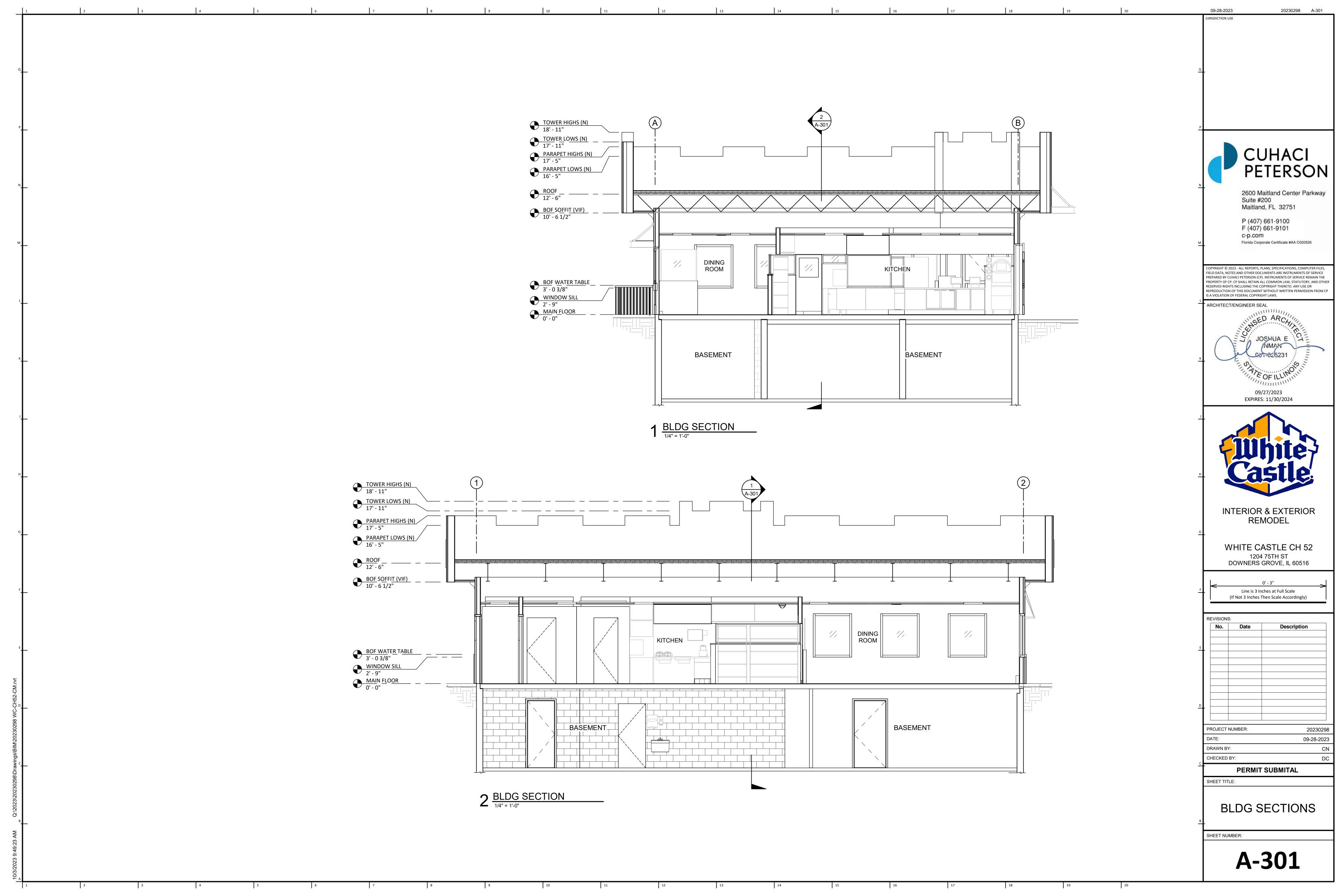
1/4" = 1'-0" PROVIDE 3/4" DEFLECTION AT FLOOR OR ROOF STRUCTURE ABOVE UNO. IF USED, ASTERISK (*) INDICATES GWB NEED ONLY EXTEND 6" ABOVE HIGHEST ADJACENT CEILING SYSTEM. PROJECT NUMBER: 20230298 C+ = CEILING - EXTEND WALL 6" ABOVE DATE: 09-28-2023 HIGHEST ADJACENT CEILING SYSTEM. DIAGONAL BRACE TO STRUCTURE
ABOVE AT 6'-0' OC (ALTERNATING SIDES). DRAWN BY: CHECKED BY: # (NUMERIC) =

NOMINAL WALL HEIGHT IN FEET. BRACE TO STRUCTURE ABOVE AT 6'-0" OC **PERMIT SUBMITAL** SHEET TITLE: (ALTERNATING SIDES) UNLESS NOTED OTHERWISE FLOOR PLAN SHEET NUMBER: **A-101**

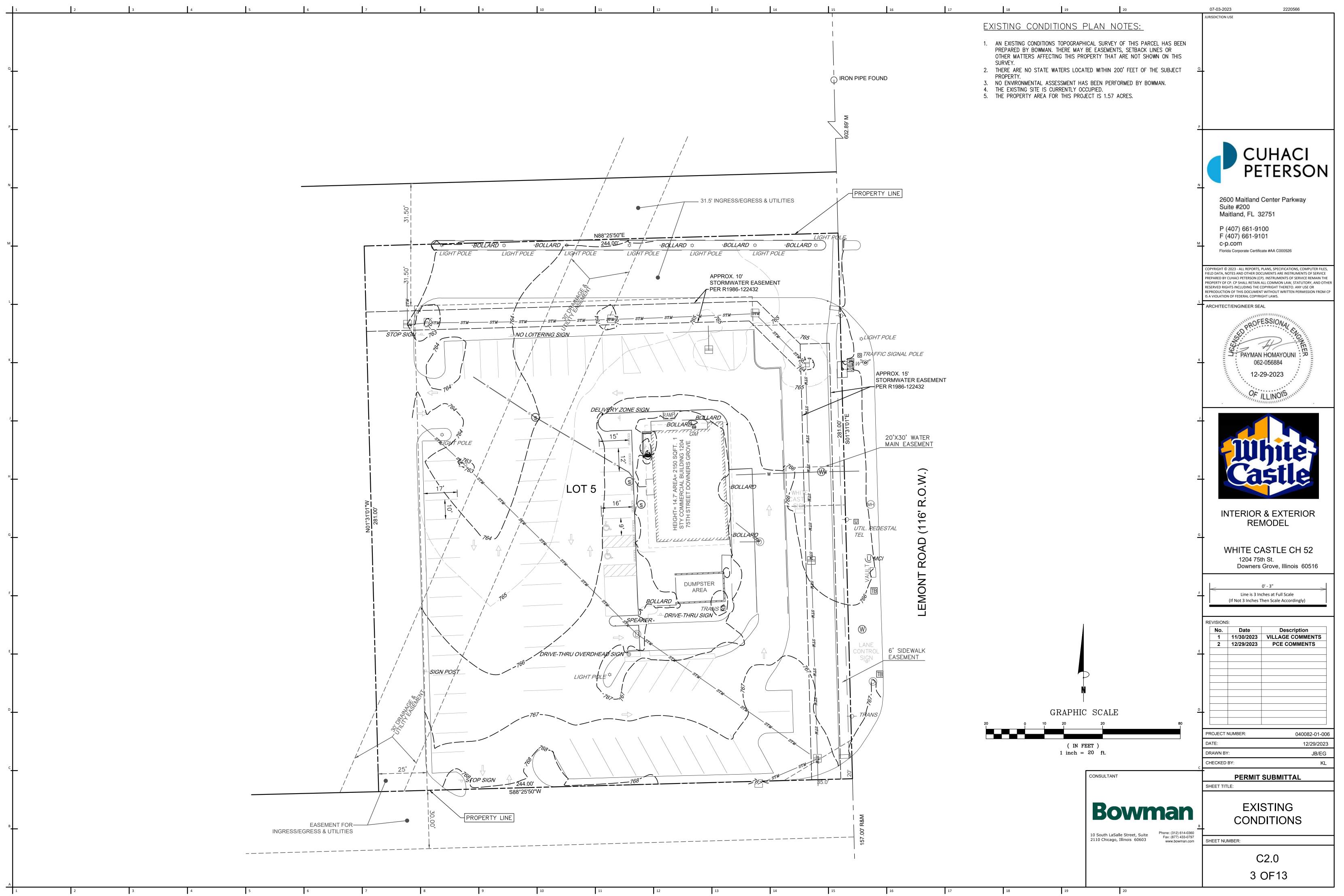
ORD 2024-10278 Page 18 of 27 09-28-2023 20230298 A-201 RISDICTION USE APPROXIMATE HEIGHT OF EXISTING — BATTLEMENTS SHOWN DASHED - APPROXIMATE HEIGHT OF EXISTING PAINTED METAL FLASHING. NO — CAPSTONE AT LOWER CRENEL BATTLEMENTS SHOWN DASHED MATCH EXISTING CRENELLATION -PAINTED METAL FLASHING. NO ----(6) LOCATIONS THIS ELEVATION WIDTHS TYP THROUGHOUT CAPSTONE AT LOWER CRENEL (3) LOCATIONS THIS ELEVATION - MATCH EXSTG CRENELLATION WIDTHS TYP THROUGHOUT NEW LIGHT, TYP ----TOWER HIGHS (N)
18' - 11" - TYP @ STOREFRONT TOWER LOWS (I OPENING HEAD PARAPET HIGHS (N)
17' - 5" PARAPET HIGHS (N)
17' - 5" 2603 SIGN UNDER SIGN UNDER ~_ _ _ _ _ _ PARAPET LOWS (N)
16' - 5" SEPARATE SEPARATE PARAPET LOWS (N 16' - 5" PERMIT -PERMIT W-6 W-6 CUHACI TYP @ AWNINGS 5 TYP @ AWNINGS TYP @ AWNINGS W-5 / CANOPIES CANOPIES 6'-6" A-201 6'-6" W-5 6'-6" BOF SOFFIT (VIF)
10' - 6 1/2" A-503/ STOREFRONT OPENING HEAD W-9 CANOPY SIZE 4 (TYP OF 1) -2600 Maitland Center Parkway W-5 Suite #200 REPLACE RAILING AT W-5 EXTERIOR STAIRWAY. Maitland, FL 32751 **NEW ALUMINUM STOREFRONT-**SUBMIT SHOP DRAWINGS W-8 DOOR WITH SIDE LIGHTS FOR APPROVAL NEW AWNINGS -P (407) 661-9100 F (407) 661-9101 c-p.com W-7 W-7 Florida Corporate Certificate #AA C000526 EQ 3'-0" EQ 6'-6" - EXISTING GAS METER - NEW RAILING AT NEW ALUMINUM -— CANOPY SIZE 2 (TYP OF 1) — EXISTING HOSE BIBB AND BOLLARDS STOREFRONT DOOR EXTERIOR STAIRWAY - EXISTING WINDOWS TO REMAIN, TYP. - EXISTING KNOX BOX PYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER F ELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE NORTH ELEVATION
3/16" = 1'-0" $2^{\frac{\text{WEST ELEVATION}}{3/16" = 1'-0"}}$ REPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHE ESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR EPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM (S A VIOLATION OF FEDERAL COPYRIGHT LAWS. - RAISE UPPER BATTLEMENT SAME AMOUNT AS LOWER PARAPET WALL, 10" OR AS REQD. SEE ARCHITECT/ENGINEER SEAL PARAPET NOTES THIS SHEET BACKER ROD & SEALANT @ - RAISE EXSTG PARAPET 10". FIELD VERIFY MIN 44' ABOVE HIGHEST ADJACENT ROOF SURFACE. - APPROXIMATE HEIGHT OF EXISTING MATCH EXSTG CRENELLATION -SEE DETAIL OPMD 18 ON A-502 MATCH EXSTG CRENELLATION -BATTLEMENTS SHOWN DASHED - APPROXIMATE HEIGHT OF EXISTING WIDTHS TYP THROUGHOUT WIDTHS TYP THROUGHOUT BATTLEMENTS SHOWN DASHED - PAINTED METAL FLASHING. NO TOWER HIGHS (N)
18' - 11" CAPSTONE AT LOWER CRENEL - PAINTED METAL FLASHING. NO CAPSTONE AT A-501 (5) LOCATIONS THIS ELEVATION LOWER CRENEL (4) LOCATIONS THIS ELEVATION A-501TOWER LOWS (N)
17' - 11" (A-501/ PARAPET HIGHS (N)
17' - 5" W-5 W-5 W-5 ; --- - - - - **-** - - **- -**W-5 PARAPET LOWS (N)
16' - 5" 09/27/2023 TYP @ AWNINGS EXPIRES: 11/30/2024 W-6 W-6 CANOPIES ... (A-201 EQ W-5 BOF SOFFIT (VIF)
10' - 6 1/2" BOF SOFFIT (VIF)
10' - 6 1/2" CANOPY SIZE 3 (TYP OF 2) -W-5 W-5 - EXISTING WINDOW TO REMAIN TYP UNO REPLACE RAILING AT EXTERIOR -W-8 STAIRWAY, SUBMIT SHOP DRAWINGS FOR APPROVAL W-7 W-7 W-7 MAIN FLOOR TYP @ AWNINGS EXISTING EXTERIOR — - EXISTING WINDOW - EXISTING HOSE BIBB - NEW HOSPITALITY DOOR **INTERIOR & EXTERIOR** /CANOPIES REMODEL $4 \frac{\text{SOUTH ELEVATION}}{\frac{3}{16"} = 1'-0"}$ $3 \frac{\text{EAST ELEVATION}}{3/16" = 1'-0"}$ PARAPET NOTES ALL REFERENCES TO PARAPET HEIGHTS AND ELEVATIONS DO NOT INCLUDE WHITE CASTLE CH 52 1204 75TH ST • FIELD VERIFY LOWEST PARAPET HEIGHT AND RAISE TO 44" MIN AS NOTED ON DOWNERS GROVE, IL 60516 ELEVATIONS THIS SHEET AWNING SCHEDULE THE LOWEST PARAPET IS EXPECTED TO INCREASE BY 10" BASED ON FIELD WALL/ COUNTER/ SILLS FINISHES INFORMATION. IF THIS NUMBER INCREASES FOR ANY REASON, ADJUST ALL OTHER PARAPET & TOWER INCREASES ACCORDINGLY TO PROVIDE THE Line is 3 Inches at Full Scale CLASSIFICATION INTENDED DIFFERENCES AMONG BATTLEMENT FEATURES MANUF PRODUCT COLOR, STYLE, SIZE NOTES **VENDOR** (If Not 3 Inches Then Scale Accordingly) CS-1 WALL PANEL (ITCHEN - NO FLAME SPREAD: 40 FURNISHED BY ERAMICSTEEL COLOR: WHITE SUBSTITUTIONS SMOKE OWNER PANEL EXTERIOR -DEVELOPED: 95 ○ KEYED NOTES EVISIONS: EXTERIOR · CLASS A FINISH FINISH SS-1 SOLID SURFACE COUNTERS & SILLS SUPPLIED AND INSTALLED BY FRONT COUNTER & SILL Description 0401 NEW WHITE PRECAST CONCRETE CAPSTONE TYP. FURNISHED AND CONTRACTOR INSTALLED BY CONTRACTOR. ON UPPER MERLONS, CAPSTONE SHALL COLOR: WHITE ICE BRIGHT #U081 RESTROOMS FIELD TILE - 100% NON-COMBUSTIBLE PARKER HAMILTON OVERHANG 2" TO THE FRONT, 1" ON ALL OTHER SIDES. ON LOWER 3/8" LAGS -T-3 CERAMIC TILE CERAMIC TILE CRENELS, CAPSTONE SHALL OVERHANG 2" TO THE FRONT, 1" TO THE AND SHIELDS BACK, AND SHALL FIT TIGHT AGAINST ADJACENT FINISH WITHOUT AS NEEDED T-4 CERAMIC TILE CERAMIC TILE COLOR: DENIM BRIGHT #U721 HAMILTON 3/8" LAGS -RESTROOMS ACCENT GAPS. MITER CAPSTONES AT CORNERS TILE - NO NON-COMBUSTIBLE PARKER AND SHIELDS 0802 ALUMINUM STOREFRONT W/ 1" INSULATED GLAZING UNIT (EXISTING) SUBSTITUTIONS 0904 EXTEND HEIGHT OF EXSTG BATTLEMENTS TYP THROUGHOUT. SEE SCHULTER COLOR: AE-SATIN ANODIZED RESTROOMS, NO QUADEC SUBSTITUTIONS 1002 ALUMINUM CANOPY OWNER FURNISHED CONTRACTOR INSTALLED. W-1 PAINT CENTER OVER WINDOW TYP (4) LOCATIONS. SEE BLDG ELEVATIONS W-2 CHAIR RAIL CHAIR RAIL 2601 NEW LIGHT FIXTURE PER ELECTRICAL DRAWINGS (TYP). OWNER LED FIXTURE-**├**─C─*¥* FURNISHED CONTRACTOR INSTALLED W-3 WALLCOVERING WALLCOVERING 2603 WHITE CASTLE LOGO SIGN APPROX 41 SF. OWNER FURNISHED "ARCHITECTURAL CANOPY" CONTRACTOR INSTALLED. VERIFY EXSTG POWER AND ROUTE TO NEW LIGHT COMMERCIAL COLOR: INTEGRAL #101ST SUPER MD SYSTEM 4 WHITE EXTERIOR EIFS - BODY DRYVIT FRAME CONSTRUCTION OF .090 ALUMINUM PANELS PAINTED BLACK FRAME CONSTRUCTION OF 1"x1" & 1"x2" ALUMINUM TUBE SKINNED WITH ELITE COMPOSITE BOARD. WHOLE ASSEMBLY PAINTED WHITE AND DEORATED WITH TRANSLUCENT VINLYS. W-6 EXTERIOR EIFS -PROJECT NUMBER: LIGHT COMMERCIAL COLOR: INTEGRAL PANTONE 20230298 SIZE | E | F | G | REMARKS QTY PARAPET ACCENT MD SYSTEM 4 **CONSTRUCTION NOTES** 09-28-2023 SIZE 2 | 6'-6" | 3'-9" | 2'-5" | ENTRY DOOR SIZE A B C D REMARKS EXTERIOR WAINSCOT PROVIA HAMILTON SIZE 3 | 8'-8" | 2'-5" | 2'-8" | DRIVE-THRU WINDOW | 2 GROUT: RICH COLOR-WHITE PARKER DRAWN BY: | SIZE 1 | 5'-0" | 3'-2" | 1'-0" | 3'-0" | WINDOWS (WHITE SAND) SIZE 4 | 7'-4" | 3'-9" | 2'-5" | ENTRY DOOR 1. PARAPET DIMENSIONS ARE FROM FINISH TO FINISH. **JOINTS: RAKÉD** CHECKED BY: W-8 EXTERIOR WINDOW COLOR: WHITE **HAMILTON** ALUMINUM AWNINGS FURNISHED BY OWNER, INSTALLED BY G.C. AND LIGHT FIXTURE BY OWNER, INSTALLED BY G.C **PERMIT SUBMITAL** 2. 3.4 LB. SQ/YD CORROSION RESISTANT WIRE LATH IS TO BE APPLIED SILL/ WATER TABLE PARKER " WASH) DIRECTLY OVER EPS INSULATION. LATH IS TO BE INSTALLED LIGHT COMMERCIAL COLOR: INTEGRAL ORANGE W-9 EXTERIOR EIFS -EXTERIOR CROWN CROWN MOLD ACCENT MD SYSTEM 4 PANTONE 144C MOLDING 3. OVERLAP THE LATH A MINIMUM OF 6" ON THE VERTICAL SEAMS AND 5 AWNING SCHEDULE

1/2" = 1'-0" A MINIMUM OF 2" ON HORIZONTAL SEAMS. WIRE LATH **BLDG ELEVATIONS** ATTACHEMENT: 2 1/2" x #10 CORROSION RESISTANT, SELF-TAPPING, WAFER OR PANCAKE HEAD SCREWS WITH MINIMUM 5/16" DIAMETER <u>CONTACTS</u> HEAD INSTALLED 6" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY INTO FRAMING MEMBERS. HAMILTON PARKER: KOROSEAL INTERIOR PRODUCTS GROUP SHERWIN WILLIAMS: BILL REED, 614.358.7833 NATIONAL ACCOUNTS DESK, 866.628.2280 MARTIN FISHER, 614.206.5031 4. A SCRATCH COAT IS TO BE APPLIED OVER THE LATH FOLLOWED BY A MEGAN LYONS, 614.403.2227 SETTING BED PER MANUFACTURER'S INSTRUCTIONS. 5. AWNINGS OVER DOORS SHALL NOT INTERFERE WITH FREE SWING OF DOORS. AWNINGS SHALL BE CENTERED OVER DOORS AND WINDOWS.

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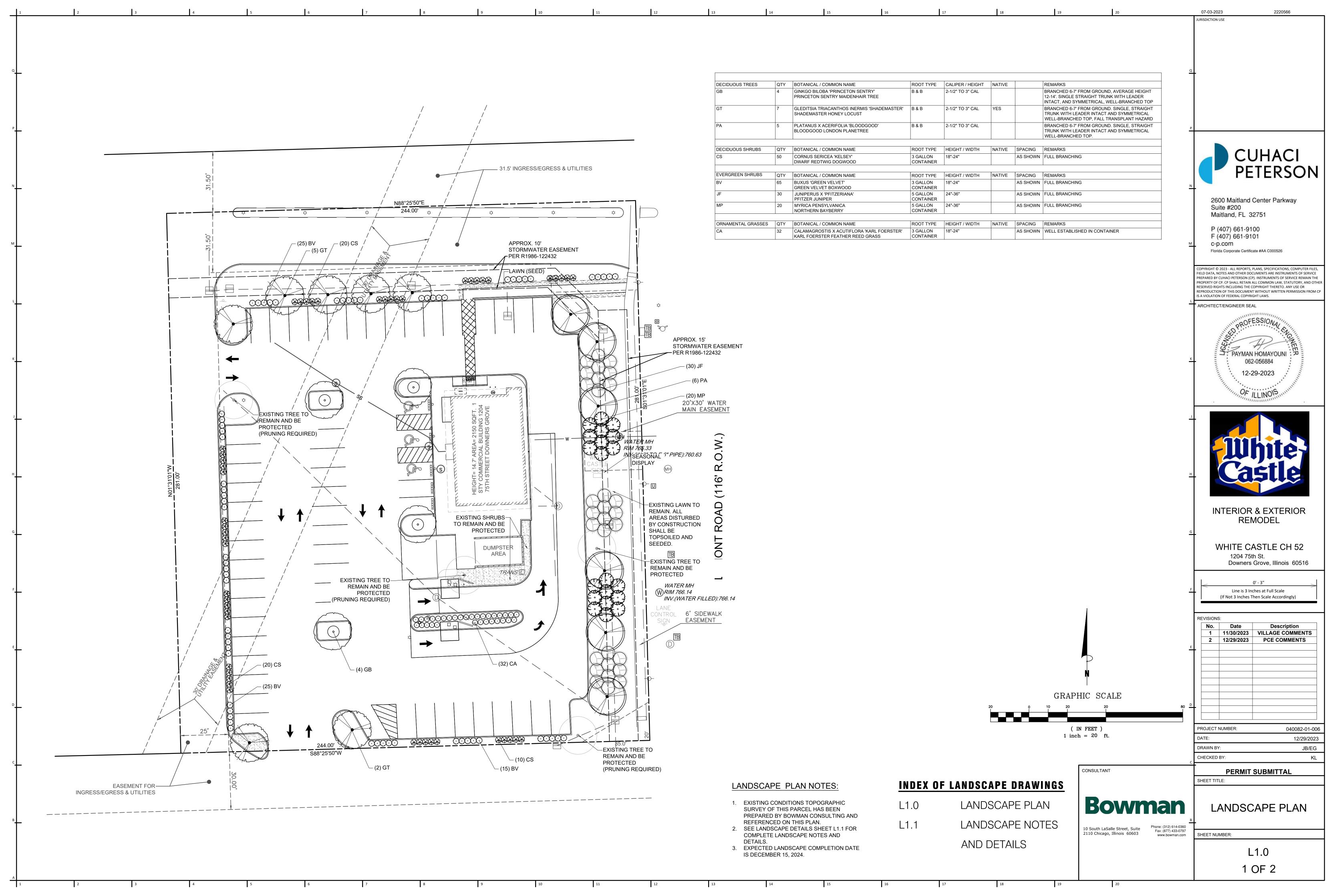


ORD 2024-10278 Page 21 of 27 <u>NOTES</u> DEMOLITION PLAN NOTES: (1) EXISTING STORMWATER INLET TO REMAIN AND TO BE THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN PROTECTED ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND (2) EXISTING SANITARY MANHOLE TO REMAIN AND TO BE STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, PROTECTED REMOVAL AND DISPOSAL OFFSITE OFF THE FOLLOWING ITEMS: SIDEWALK AND ON—SITE PAVEMENT (3) EXISTING LIGHT POLE CONDITION TO BE DETERMINED ON CONSTRUCTIONS DEBRIS SITE AND REPLACED AS NEEDED 2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE (4) EXISTING WATER MAIN STRUCTURE TO REMAIN EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT. CUHACI (5) EXITING UTILITY TO REMAIN 3. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND (6) EXISTING SIGN TO REMAIN USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL. 7) ALL EXISTING BOLLARDS TO BE REPLACED 4. STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND 2600 Maitland Center Parkway DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER (8) EXISTING MANHOLE TO REMAIN AND TO BE PROTECTED Suite #200 ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF Maitland, FL 32751 STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT (9) EXISTING SIDEWALK TO BE REPLACED WITH NEW TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, CONCRETE SIDEWALK AROUND THE BUILDING P (407) 661-9100 31.5' INGRESS/EGRESS & UTILITIES VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S F (407) 661-9101 REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF c-p.com (10) LIMITS OF DISTURBANCE DEMOLITION WORK. Florida Corporate Certificate #AA C000526 5. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE (11) EXISTING GAS METER TO REMAIN PROPERTY LINE ~ REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE ELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE 244.00' ALL EXISTING CONCRETE PARKING BLOCKS TO BE REUSED & REPLACED AS NEEDED REPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN TH SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHI ITEMS ON SITE WILL NOT BE PERMITTED. ESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR EPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM C S A VIOLATION OF FEDERAL COPYRIGHT LAWS. 6. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ARCHITECT/ENGINEER SEAL ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. STORMWATER EASEMENT PER R1986-122432 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE PAYMAN HOMAYOUNI =STM = (6) STM = STM8. EXISTING UTILITIES, WHICH DO NOT SOLEY SERVICE 062-056884 STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE STOP SIGN AND PROTECTED AGAINST DAMAGE DURING DEMOLITION 12-29-2023 OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF DEMOLITION LEGEND UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, OF ILLINOIS DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. APPROX. 15' -SAWCUT LINE 1.5" MILL AND RESURFACE STORMWATER EASEMENT EXISTING ENTRANCE 9. EXISTING UTILITIES TO BE ABANDONED AT TO BE CAPPED AT PER R1986-122432 TO REMAIN BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR ASPHALT PAVEMENT -3 TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT REMOVAL AND REPLACING DELIVERY ZONE SIGN EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL (FULL-DEPTH) ENGINEER, TO 95% OR MODIFIED PROCTOR DENSITY. CONCRETE DRIVE THRU 10. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE FIBER REMOVAL (FULL-DEPTH) OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE MAIN EASEMENT UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS. 11. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING CONCRETE SIDEWALK REMOVAL (FULL DEPTH) UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED SAWCUT LINE -WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING INTERIOR & EXTERIOR SAWCUT LINE MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE LOT 5 REPLACED IMMEDIATELY. ALL EXÍSTING STRUCTURES TO REMAIN REMODEL CURB TO BE REMOVED SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION $\cdot X \cdot X \cdot X \cdot X$ AND REPLACED PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ITEM TO BE REMOVED WHITE CASTLE CH 52 AND REUSED 1204 75th St. 12. REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING Downers Grove, Illinois 60516 UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE. Line is 3 Inches at Full Scale (If Not 3 Inches Then Scale Accordingly) 13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER **EXISTING** SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING DUMPSTER SPEAKER · AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REVISIONS: TO REMAIN REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. **EXISTING WALL** Date Description TO REMAIN 11/30/2023 VILLAGE COMMENTS 14. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND TRANS 🖺 12/29/2023 PCE COMMENTS DISPOSED OF IN A LEGAL MANNER 15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL. 6' SIDEWALK EASEMENT SIGN POST EXISTING LIGHT POLE AND SIGN TO BE RELOCATED **FULL DEPTH EXISTING** PROJECT NUMBER: 040082-01-006 PAVEMENT REMOVAL 12/29/2023 DRAWN BY: JB/EG CHECKED BY: CONSULTANT PERMIT SUBMITTAL SHEET TITLE: ~PROPERTY LINE Bowman GRAPHIC SCALE **DEMOLITION PLAN** 244.00' 10 South LaSalle Street, Suite **EXISTING ENTRANCE** 2110 Chicago, Illinois 60603 SHEET NUMBER: (IN FEET) TO REMAIN 1 inch = 20 ft.EASEMENT FOR-C3.0 **INGRESS/EGRESS & UTILITIES** 4 OF13

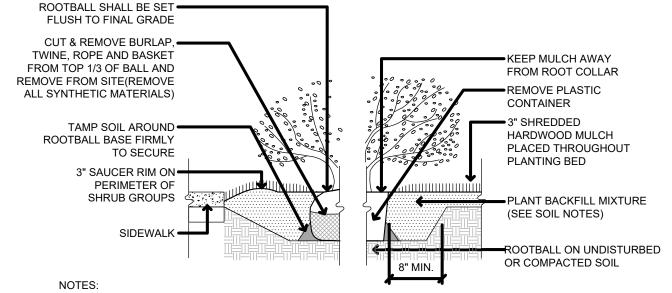
ORD 2024-10278 Page 22 of 27 07-03-2023 2220566 SITE PLAN NOTES: SITE INFORMATION 1. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED 1204 75TH ST, DOWNERS GROVE, IL. 60516 ADDRESS YELLOW UNLESS OTHERWISE NOTED. (B2) GENERAL RETAILS BUSINESS ZONING 2. TRASH ENCLOSURE GATES TO BE REPLACED. ENCLOSURE PROPERTY AREA ±68,563 SQ. FT. WALLS TO BE REPAINTED TO MATCH EXISTING ENCLOSURE MINIMUM SETBACKS 3. ALL EXISTING INLETS RIMS, SANITARY MANHOLES TO BE PROTECT DURING CONSTRUCTION AND CONTRACTOR TO ADJUST RIM ELEVATION TO MATCH FINAL GRADES. PARKING INFORMATION EXISTING PARKING STALLS (1) LIMITS OF CONCRETE FLUSHED WITH ASPHALT PROPOSED PARKING STALLS 57 SPACES EXISTING ACCESSIBLE STALLS 2 SPACES 2) ACCESSIBLE SIGN W/ \$250 FINE SIGN (TYP.) PROPOSED ACCESSIBLE STALLS 3 SPACES ±12,400 SQ. FT. 3 SAME CURB REPLACEMENT EXISTING PERVIOUS AREA ±42,119 SQ. FT. EXISTING IMPERVIOUS AREA (4) 4" PAINTED YELLOW STRIPE - 2" O.C. ±12,366 SQ. FT. PROPOSED PERVIOUS AREA PROPOSED IMPERVIOUS AREA CUHACI PETERSON NEW IMPERVIOUS AREA (5) ADA PATH OF TRAVEL _ 31.5' INGRESS/EGRESS & UTILITIES (6) VAN ACCESSIBLE SIGN PAVING LEGEND (7) SPEAKER REFER TO DETAIL ON SHEET C8.4 CONCRETE SIDEWALK 8 WHITE CASTLE MENU BOARD REFER TO DETAIL ON SHEET C8.4 2600 Maitland Center Parkway N88°25'50"E 5" P.C. CONCRETE PAVEMENT Suite #200 4" AGGREGATE BASE COURSE - C46 (9) PROPOSED BOLLARD LOCATION Maitland, FL 32751 (10) 6" BARRIER CURB REFER TO DETAIL ON SHEET C8.1 CONCRETE ADA PEDESTRIAN PATH P (407) 661-9100 LANDSCAPE F (407) 661-9101 AREAS. SEE ANDSCAPE PLANS APPROX. 10' (11) ADA RAMP REFER TO DETAILS ON SHEET C8.2 c-p.com DECORATIVE 6" CONCRETE TO FOR DETAILS STORMWATER EASEMENT ACCENT THE PEDESTRIAN PATH, Florida Corporate Certificate #AA C000526 PER R1986-122432 SCORE CONCRETE DIAGONALLY AT 45° TO PATH OF TRAVEL WITH # PARKING COUNTS YRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILE LINES 2' ON CENTER EACH ELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE CONCRETE SIDEWALK **DIRECTION TO CREATE A CROSS** REPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE HATCH PATTEREN, SCORING PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHE CONTRACTOR TO SAWCUT AND RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR SHALL NOT EXCEED 1/2" DEPTH REMOVE 7' LONG EXISTING CURB EPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM C AND 1/2" WIDTH S A VIOLATION OF FEDERAL COPYRIGHT LAWS. PROPERTY LINE (TYP.) ARCHITECT/ENGINEER SEAL CONCRETE ADA PARKING LIMITS OF NEW CURB LIMITS OF NEW CURB CONCRETE PAVEMENT SECTION, PER SPECIFICATION BASED ON **GEOTECH REPORT** LIMITS OF NEW CURB APPROX. 15' STORMWATER EASEMENT ASPHALT PAVEMENT PER R1986-122432 : PAYMAN HOMAYOUNI 062-056884 LIMITS OF 6" CURB ASPHALT FULL DEPTH LIMITS OF LIMITS OF 6" CURB REPLACEMENT TO MATCH NEW CURB 12-29-2023 EXISTING PAVEMENT SECTION MILL AND RESURFACE EXISTING ENTRANCE CONCRETE 20'X30' WATER SIDEWALK MAIN EASEMENT 1.5" MILL AND OVERLAY PROPOSED BIKE RACK (2 SPACES) RESURFACE LANDSCAPE CONCRETE PARKING AREAS. SEE BLOCK LOCATION LANDSCAPE PLANS PROPOSED CONCRETE PAVEMENT FOR DETAILS LIMITS OF NEW CURB NEW 6" CONCRETE DRIVE THRU PER SPECIFICATION BASED ON **GEOTECH REPORT** NOTE: PLEASE REFER TO THE GEOTECHNICAL REPORT FOR PROPOSED PAVEMENT SECTION. CONCRETE PARKING PLEASE NOTIFY ENGINEER IF THERE ARE ANY BLOCK LOCATION DISCREPANCIES. REFER TO ARCHITECTURAL PLANS **INTERIOR & EXTERIOR** FOR TRASH AREA ENCLOSURE REMODEL WHITE CASTLE CH 52 LIMITS OF NEW CURB PROPOSED MEDIAN 1204 75th St. **EXISTING CURB AND** Downers Grove, Illinois 60516 ISLAND TO REMAIN LIMITS OF NEW CURB LANDSCAPE AREAS. SEE Line is 3 Inches at Full Scale LANDSCAPE PLANS FOR DETAILS RELOCATED (If Not 3 Inches Then Scale Accordingly) LIGHT POLE ONTROL 6' SIDEWALK REVISIONS: EASEMENT Description 11/30/2023 VILLAGE COMMENTS 12/29/2023 PCE COMMENTS WHITE CASTLE CANOPY, MENU SECOND BAR AND DRIVE THRU SPEAKER TO BE INSTALLED SEE SHEET C8.4 FOR DETAILS AREA: 19,157 SQ. FT. GRAPHIC SCALE 1.5" MILL AND OVER LAY GEOTECH REVIEW IS REQUIRED (IN FEET) 1 inch = 20 ft.PROJECT NUMBER: 040082-01-006 12/29/2023 VERTICAL CONTROL: DRAWN BY: JB/EG PROPERTY LINE (TYP.) LIMITS OF NEW CURB BENCH MARK: REFERENCE DISK 3151 ELEV= 744.53 CHECKED BY: SITE BM = WATER MANHOLE AT SOUTHEAST CORNER OF PROPERTY ELEVATION= 766.14 CONSULTANT -EXISTING ENTRANCE PERMIT SUBMITTAL EASEMENT FOR-**INGRESS/EGRESS & UTILITIES** BASIS OF BEARINGS: Bowman SITE PLAN COORDINATES AND BEARINGS ARE BASED UPON THE ILLINOIS EAST STATE PLAN COORDINATE GRID SYSTEM (NAD 83), ADJUSTED TO GROUND VALUES, AS ESTABLISHED BY REAL-TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE 10 South LaSalle Street, Suite 2110 Chicago, Illinois 60603 SHEET NUMBER: SYSTEM (GNSS) UTILIZING GPS OBSERVATIONS. THE TOPOGRAPHIC SURVEY IS TIED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). C4.0 5 OF 13

ORD 2024-10278 Page 23 of 27 07-03-2023 2220566 URISDICTION USE GRADING NOTES 1. CONTRACTOR TO VERIFY FFE=767.03' AND FFE=767.31 PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES. 2. CONTRACTOR TO ADJUST RIM ELEVATION TO MATCH PROPOSED GRADE. 3. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED. \bigcirc 4. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS. 5. ALL ACCESSIBLE ROUTE SHALL BE IN ACCORDANCE WITH THE ILLINOIS ACCESSIBILITY CODE. 6. GRIND OR FILL AREAS WITH SURFACE IRREGULARITIES WITHIN ACCESSIBLE COMPLIANT PATH SO THAT VERTICAL LEVEL CHANGE IS LESS THAN 2". CUHACI PETERSON **LEGEND** ACCESSIBLE PATH MATCH EXISTING GRADES LINE 2600 Maitland Center Parkway ----___ 31.5' INGRESS/EGRESS & UTILITIES Suite #200 Maitland, FL 32751 DRAINAGE ARROWS P (407) 661-9100 F (407) 661-9101 N88°25'50"E EXISTING CONTOURS c-p.com Florida Corporate Certificate #AA C000526 PROPOSED CONTOURS OPYRIGHT © 2023 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES IELD DATA, NOTES AND OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE LOD LIMITS OF DISTURBANCE REPARED BY CUHACI PETERSON (CP). INSTRUMENTS OF SERVICE REMAIN THE APPROX. 10' PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHE STORMWATER EASEMENT RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. ANY USE OR ← PER R1986-122432 EPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM C S A VIOLATION OF FEDERAL COPYRIGHT LAWS. ARCHITECT/ENGINEER SEAL ME 65.64 ¬ INLET _{61 60} TC 64.36₇ -GR. 763.01 - 1/1/4 SPOT ELEVATION LEGEND TC 64 4930 EP 64.069.7 -TC 64.55 INV.(N-30" RCP):756.51 EP 64.25 TC 64.85 EP 64.55 ER/64/4970 RCP):7 ME 65.43 64.91 INV.(E-CANT MEASURE 30" RCP):763.01 TC 64.96 TC TOP OF CURB P 64.41-√EP 64.82 EP EDGE OF PAVEMENT PAYMAN HOMAYOUNI ME MATCH EXISTING 062-056884 FF FINISH FLOOR ME 63.89~ 12-29-2023 APPROX. 15' ∠EP 66.44 \ ∠ME 65.06 FFE FINISH FLOOR ENTRANCE EP 66.52 \ 66.05 \ STORMWATER EASEMENT ►TC 66.94 | CONTRACTOR TO ADJUST TC 66.69> -- PER R1986-122432 1.1% RIM ELEVATION TO-MATCH PROPOSED GRADE ~TC|66.98 64.407 65.33 ME 64€49-ME 64.41~ 20'X30' WATER INLET RIM 63.80 MAIN EASEMENT FFE=767.03 \\<u>_</u>66.58 (CONTRACTOR TO ADJUST RIM ELEVATION TO MATCH CONTRACTOR TO VERIFY PROPOSED GRADE) SLAB AND DOOR ELEVATION. NOTIFY ENGINEER IF THERE IS ANY DISCREPANCIES MATE RIM 7 INV.(W 8" TO E 6" PIPE):760.63 CONTRACTOR TO ADJUST RIM ELEVATION TO **INTERIOR & EXTERIOR** 7% MATCH PROPOSED GRADE REMODEL RIM 766 28 INV (6" CLAY PIPE):760.88 ME 65.31~) INV (6" ¢LAY\PIPE):760.68 WHITE CASTLE CH 52 10 07.2L 1.3% -EP 66.87 1204 75th St. Downers Grove, Illinois 60516 ME 64.61-TC 66.94--ME 67.08 Line is 3 Inches at Full Scale TRASH ENCLOSURE ENTRANCE. (If Not 3 Inches Then Scale Accordingly) ∟ME 66.82 MATCH EXISTING GRADES. 72" RCP):761.16 SEE SHEET C4.0 FOR SITE 30" RCP):760.86 PLAN DETAILS **REVISIONS:** (EP 66.98_{\(\sigma\)} WATER MH EP 66.82 \TC 67.48 Date Description RIM 766.14 11/30/2023 VILLAGE COMMENTS INV.(WATER FILLED):766.14 12/29/2023 PCE COMMENTS 6' SIDEWALK RIVE-THR**TC-67E39**DE EASEMENT GRAPHIC SCALE └TC 67.64 EP 67.14 (IN FEET) 1 inch = 20 ft.PROJECT NUMBER: 040082-01-006 12/29/2023 DRAWN BY: JB/EG GR. 767.47 CHECKED BY: INV.(N-24" RCP):761.37 - INV.(W-12" RCP):762.07 CONSULTANT PERMIT SUBMITTAL INV.(S-24" RCP):761.27 ME 67.56-/ /NLET GR. 766.89 **GRADING &** Bowman INV. IN (E-12" RCP):762.84 DRAINAGE PLAN EASEMENT FOR-INGRESS/EGRESS & UTILITIES 10 South LaSalle Street, Suite 2110 Chicago, Illinois 60603 SHEET NUMBER: C5.0 6 OF13 \bigcirc

ORD 2024-10278



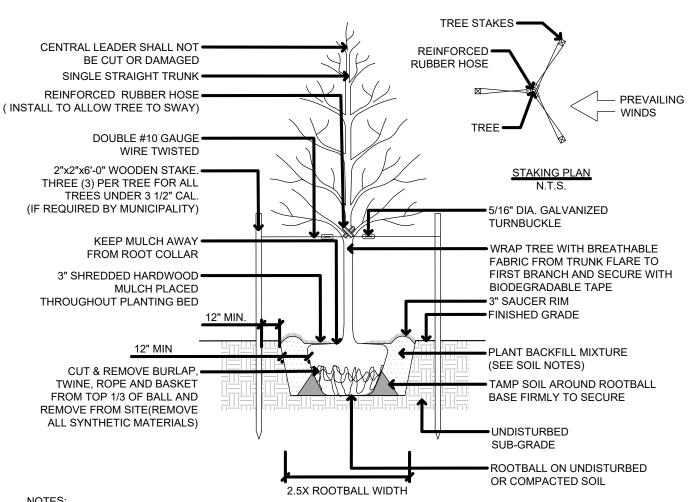
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1. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS. 2. TOP OF ROOTBALL SHALL BE SET FLUSH TO GRADE. TRUNK FLARE SHALL BE VISIBLE AT TOP OF

ROOTBALL, DO NOT COVER TOP OF ROOT BALL WITH SOIL. 3. IF SHRUB IS IN LEAF APPLY WILT-PROOF, OR EQUAL AS PER MANUFACTURERS RECOMMENDATION. 4. CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING PLANTING SOILS IN LANDSCAPE AREAS (3 MAX.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING, ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE. REFER TO SOIL NOTES FOR REQUIRED TESTING.

SHRUB PLANTING



1. AT PLANTING, PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, BROKEN OR DEAD BRANCHES WHILE MAINTAINING NORMAL TREE SHAPE.

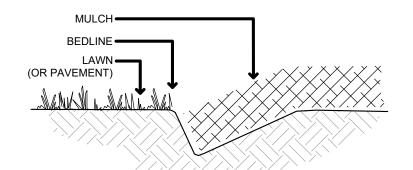
WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.

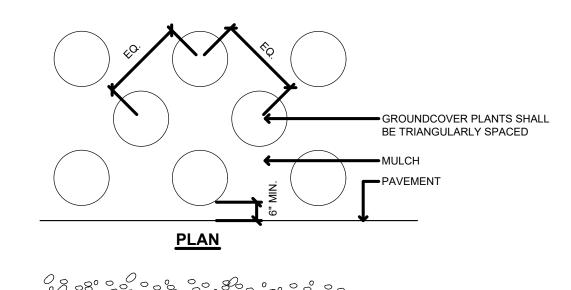
TOP OF ROOTBALL SHALL BE SET FLUSH TO GRADE. TRUNK FLARE SHALL BE VISIBLE AT TOP OF ROOTBALL. DO NOT COVER TOP OF ROOT BALL WITH SOIL.

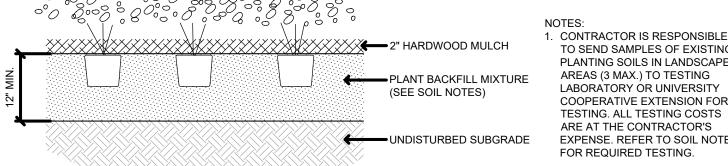
4. ALL TREE STAKING SHALL BE INSTALLED ONLY IF REQUIRED BY LOCAL MUNICIPAL REQUIREMENTS. IF/WHEN INSTALLED, ALL TREE STAKING SHALL BE REMOVED AFTER ONE YEAR.

CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING PLANTING SOILS IN LANDSCAPE AREAS (3 MAX.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE, REFER TO SOIL NOTES FOR REQUIRED TESTING.

DECIDUOUS TREE PLANTING







LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE, REFER TO SOIL NOTES FOR REQUIRED TESTING.

TO SEND SAMPLES OF EXISTING

PLANTING SOILS IN LANDSCAPE

AREAS (3 MAX) TO TESTING

PERENNIAL/GROUNDCOVER PLANTING

GENERAL LANDSCAPE PLANTING NOTES

- 1. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- 2. CONTRACTOR SHALL COORDINATE ALL PLANTING INSPECTIONS AND APPROVALS WITH APPLICABLE MUNICIPAL OFFICIALS. 3. THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS. 4. IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN, THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES
- SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST. 5. NAMES OF PLANTS AS DESCRIBED ON THE LANDSCAPE PLANTING PLAN SHALL CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", LATEST EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN
- 6. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD.
- 7. ALL PLANT MATERIAL SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
- 8. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR ENGINEER.
- 9. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE
- 10. PLANT SUBSTITUTIONS SHALL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT RELATIVE TO SIZE, SPECIES AND VARIETY. ALL PLANT MATERIAL SHALL BE TO TRUE SPECIES, VARIETY, AND SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WRITTEN PROOF OF UNAVAILABLE PLANT MATERIAL MUST BE DOCUMENTED.
- 11. ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED, ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED. AND TOP DRESSED WITH A 3 INCH. LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
- 12. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING/SODDING AS SPECIFIED, SHALL BE COVERED BY A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
- 13. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE LANDSCAPE ARCHITECT OR ENGINEER.
- 14. ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL DEPTHS IN ACCORDANCE WITH THE TOPSOIL NOTES PRIOR TO PLANTING ACTIVITIES.
- DELIVERY, STORAGE, AND HANDLING
 - A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND
 - WHILE STORED AT THE SITE. B. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER. DO NOT BEND OR BIND-TIE TREES AND SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT.
 - DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING. C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL ACCEPTED IF IT IS ROOT BOUND. ALL ROOT BALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 1/3 INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT
 - THROUGH THE SURFACE IN MULTIPLE LOCATIONS. D. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- 16 TRANSPLANTING A. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- B. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. C. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL,
- ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND. D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
- F. IF TRANSPLANTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. 17. BULBS SHALL BE PLANTED IN ACCORDANCE WITH SECTION 11 OF THE ANLA STANDARDS.
- 18. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES
- SHALL BE DONE AS INDICATED ON THE DOCUMENTS. 19. ALL TREE STAKES AND WIRES WILL BE REMOVED BY THE APPLICANT AFTER ONE (1) YEAR FROM THE DATE OF INSTALLATION. 20. VEGETATION PROPOSED AMONG EXISTING VEGETATION IS TO BE PLANTED TO AVOID DAMAGE TO THE EXISTING
- 21. ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED
- LOWER THAN 7' ABOVE GRADE. 22 MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES
- SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, ENGINEER, OR OWNER. 23. ALL PLANTING BEDS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOOD MULCH WITH WEED INHIBITING FABRIC BENEATH.
- 24. PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED. 25. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE MEETING OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN
- (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE. 26. ALL TREES SHALL BE GUARANTEED FOR 24 MONTHS FROM TO DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS
- SHALL BE GUARANTEED FOR 24 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
- 27. PLANTING DATES:

FALL
AUGUST 15 - DECEMBER 15: EVERGREEN TREES

OCTOBER 15 - DECEMBER 15: DECIDUOUS TREES SPRING MARCH 1 - MAY 15: ALL PLANTS

- 28. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTRACTOR (WHEN / WHERE APPLICABLE) REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL. 29. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE THREE (3) DAYS PRIOR TO ANY EXCAVATION. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT UTILITIES ARE UNCOVERED, THE CONTRACTOR
- ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE 30. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE

SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY

CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.

31. PROPOSED VEGETATION WITHIN RIPARIAN BUFFERS AND WETLAND BUFFERS IS TO BE PLANTED ENTIRELY BY HAND. NO

- 32. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR
- 33. DURING PLANTING OPERATIONS EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE
- 34. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.

REPLANTING IS TO OCCUR UNTIL APPROVAL IS RECEIVED BY THE REVIEW AGENCY.

35. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDES: WATERING. PRUNING, FERTILIZING, WEEDING, MULCHING, REPLACEMENT OF DISEASED OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF PLANTS.



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07-03-2023

IRISDICTION US

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ARCHITECT/ENGINEER SEAL





INTERIOR & EXTERIOR REMODEL

WHITE CASTLE CH 52 1204 75th St.

Line is 3 Inches at Full Scale

Downers Grove, Illinois 60516

(If Not 3 Inches Then Scale Accordingly)

REVISIONS

		140.	Date	Description
		1	11/30/2023	VILLAGE COMMENTS
		2	12/29/2023	PCE COMMENTS
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	PROJECT NUMBER:	040082-01-006
	DATE:	12/29/2023
	DRAWN BY:	JB/EG
	CHECKED BY:	KL

Bowman

CONSULTANT

LANDSCAPE **DETAILS**

PERMIT SUBMITTAL

2 OF 2

10 South LaSalle Street, Suite 2110 Chicago, Illinois 60603 SHEET NUMBER:

SHEET TITLE:

DRAFT

VILLAGE OF DOWNERS GROVE PLAN COMMISSION MEETING

January 22, 2024, 7:00 P.M.

23-PCE-0037: A petition seeking a Special Use approval for a second drive through facility at the White Castle Restaurant. The property is currently zoned B-2/P.D. #8, General Retail Business and Planned Development #8. The property is located approximately 315 feet north of the intersection of Lemont Road and 75th Street, commonly known as 1204 75th Street, Downers Grove, IL (PIN:09-30-201-021). Kevin McKenna, Petitioner, White Castle System Inc., Owner.

Kevin McKenna, Petitioner, gave a presentation on the petition, which was seeking Special Use approval for a second drive through facility at this existing White Castle Restaurant. He explained that double drive through would permit less stacking, quicker time in the drive through, and allowed more time for the onsite staff to prep the meals. He displayed photos and explained how the drive through would work, landscaping of the area, two lanes merging into one, and photos of existing double line drive throughs.

Chairman Rickard asked if he could touch on how parking would be affected and what would be going on the exterior of the site. Mr. Burnham stated they would be doing a pedestrian connection at the north property lot, a sidewalk, and would be eliminating parking.

Commissioner Patel asked how many existing parking spots were there right now. Mr. Burnham said there were 61 provided. Commissioner Patel then followed up asked how many spaces would be eliminated. Mr. Burnham answered six. Commissioner Patel then asked if there would be modifications to the existing curb cuts. Mr. Burnham stated no.

Chair Rickard asked if they still had more parking than required even with the reduction. Mr. Burnham answered yes.

Chairman Rickard opened it up to the public. No public comment.

Chairman Rickard asked for the staff report.

Emily Hepworth, Development Planner for Downers Grove, presented for the special use at 1204 75th Street, White Castle Restaurant. She stated the public hearing notice sign was posted on the site and all property owners within 250 feet received mailing noticed and staff has not received any public comments on the hearing. She discussed the existing conditions on the site, including two curb cuts and one drive through line wrapping around the southside of the building and continuing on the east side of the building. She also shared the proposed improvements for the site, including no changes to the curb cuts and accesses would remain, a second drive thru lane would be added that merges back into one with 11 stacking spaces, new pedestrian connection, landscape improvements, and 56 parking spots provided. She discussed the landscape improvements further, stating there were three trees that would be preserved with an additional 17 trees proposed, including shrubs, trees, perennials, etc., with landscape improvements between the two lanes and western parameters. Ms. Hepworth provided the Comprehensive Plan recommendations and staff found it was in line with the

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DRAFT

recommendations. She also provided approval for special use criteria and stated staff found standards of approval had been met.

Commissioner Roche said it seemed straightforward and there was definitely enough space on the site and the proposed improvements would improve the site overall. She said it was a nice plan.

Commissioner Patel agreed.

Commissioner Toth said having two drive throughs was common and supported it.

Commissioner Frankovic commented it was a great plan and like the landscape improvements.

Chairman Rickard agreed and said it would help to soften that area up a little bit.

BASED ON THE PETITIONER'S SUBMITTAL, THE STAFF REPORT, AND THE TESTIMONY PRESENTED, COMMISSIONER PATEL MADE THE MOTION THAT FOUND THAT THE PETITIONER HAS MET THE STANDARDS OF APPROVAL FOR THE SPECIAL USES AS REQUIRED BY THE VILLAGE OF DOWNERS GROVE ZONING ORDINANCE AND IS IN THE PUBLIC INTEREST AND THEREFORE THAT THE PLAN COMMISSION RECOMMEND TO THE VILLAGE COUNCIL APPROVAL OF 23-PCE-0037, SUBJECT TO THE CONDITION LISTED ON PAGE 4 OF THE STAFF REPORT.

SECOND BY COMMISSIONER DMYTRYSZYN

ROLL CALL:

AYE: BOYLE, DMYTRYSZYN, FRANKOVIC, K. PATEL,, TOTH, ROCHE, CHAIRMAN RICKARD

NAY: NONE

MOTION APPROVED. VOTE: 7-0

/s/ Celeste K. Weilandt
Recording Secretary

(As transcribed by Ditto Transcripts)

Plan Commission 2 January 22, 2024