

VILLAGE OF DOWNERS GROVE
Report for the Village
6/11/2024

SUBJECT:	SUBMITTED BY:
3300 Finley Road Planned Unit Development Amendment	Stan Popovich, AICP Director of Community Development

SYNOPSIS

An ordinance has been prepared to amend Planned Unit Development #57, 3300 Finley Road to add College or University as an allowed use in PUD #31, establish a new companion animal clinic and teaching university and to amend the master signage plan.

STRATEGIC PLAN ALIGNMENT

The goals for the 2023-2025 include *Strong and Diverse Local Economy*.

FISCAL IMPACT

N/A

RECOMMENDATION

UPDATE & RECOMMENDATION

This item was discussed at the June 4, 2024 Village Council meeting. Staff recommends approval on the June 11, 2024 Active Agenda per the Plan Commission's unanimous 6:0 positive recommendation. The Plan Commission found that the proposal is an appropriate use in the Planned Unit Development, is compatible with the Comprehensive Plan and meets all standards for approval of a Planned Unit Development Amendment found in Section 28.12.040 of the Municipal Code.

BACKGROUND

Property Information and Zoning Request

The petitioner, Midwestern University ("Midwestern"), is requesting approval of a Planned Unit Development amendment to Planned Unit Development #57 in order to allow the establishment of a new companion animal clinic and teaching university. In order to facilitate the proposal, the petitioner is requesting adding the following use in the PUD: *College or University* and an amendment to the master signage plan for the subject property.

The 16.15 acre property, which is zoned B-3/P.D. #57, General Services and Highway Business/Planned Unit Development #57 is located on the southwest corner of Finley Road and Opus Place, east of I-355, commonly known as 3300 Finley Road. PUD #57 was approved in 2016 for the purposes of establishing a master signage

plan for Fry's Electronics Store, which closed in 2020. Access to the subject property is via a shared access with X-Sport Fitness at Opus Place and Finley Road and a right-in/right-out entrance at Finley Road.

The new companion animal clinic and teaching university will include the renovation of the existing 152,080 square foot structure along with a 1,655 square foot addition. Improvements to both the interior and exterior will include:

- Teaching Spaces: Classrooms, multi-purpose learning rooms, and teaching/research laboratories.
- Animal Care Spaces: Exam rooms, surgery suites, ICU/emergency room spaces, and full radiology suite.
- Outdoor Spaces: Bereavement garden, a central animal and pedestrian walking area, and the addition of parking islands throughout the site.
- Screened Operational Areas: Mechanical equipment, deliveries, and a trash enclosure area.

The existing building will also receive a new façade treatment. The existing precast concrete panels will be stained. New building materials will be primarily concreted masonry units (CMU) clad with brick facing, aluminum composite materials (ACM) panels, and aluminum framed windows. A metal canopy and aluminum storefront doors will be used to identify the building's main entrance. The massing of each elevation will be broken up with the addition of new brick face columns and precast stone at the base.

Compliance with the Zoning Ordinance

The property is a Planned Unit Development and is zoned B-3/PUD, General Service and Highway Business/Planned Unit Development #57. This zoning district does not currently permit a *College or University* use. An amendment to PUD #57 is requested per Section 28.4.030(g) which notes the Village Council may approve use types that are not allowed in the underlying zoning district.

As part of the Planned Unit Development request the petitioner will also update the site plan. The proposed improvements will meet the requirements of the Planned Unit Development and complies with the Zoning Ordinance. The bulk requirements of the proposed development are summarized in Table 1 of the Plan Commission staff report.

Signage

Signage within the Planned Unit Development #57 is governed by a master signage plan that allows for a maximum sign area of 915 square feet, and an additional 273 square feet of permitted signage for a tollway monument sign and the shared Finley Road monument sign with X-Sport. An amendment to the PUD master signage plan is requested to construct a new centrally located monument sign that does not face a drivable right-of-way. The overall sign area for the new development will be 920 square feet.

Compliance with the Comprehensive Plan

The Butterfield Focus Area Plan calls for

- Leverage the unique location of this focus area adjacent to two highways to attract new retail and office tenants.
- Reduce the heat island effect.
- Redevelopment should be focused on attracting a regional customer base as well as providing services, retail, and entertainment to the substantial daytime population in the area.

The Comprehensive Plan further states that the Regional Commercial land use

- Should continue to stay competitive and draw from the surrounding region, reinvestment should occur to improve the aesthetics and function of regional commercial uses.

The Comprehensive Plan also notes the following:

- Recognize, support, and encourage the catalytic role of new campuses and buildings of higher education in appropriate locations within the Village.
- Reinvestment should occur in the Finley Road/Butterfield Road area to improve the aesthetics and function of regional commercial uses.
- Continue to support the operation of other important community service providers, including Midwestern University.

The proposed development is consistent with the Comprehensive Plan.

Engineering and Public Improvements

The existing utilities servicing the building are sufficient for the proposed renovation and small addition to the existing building. The Downers Grove Sanitary District has provided conceptual approval of the proposal. The site includes an existing stormwater detention area. The overall area dedicated to green space will increase by 6,651 square feet due to a reduction in parking, the addition of parking islands, and creation of a centralized green space. All improvements will comply with the Village's Stormwater Ordinance and will be reviewed by the Village at the time of building permit review.

Two pedestrian connections will lead out toward the public sidewalk on Finley Road and also allow for connections toward the proposed centralized pedestrian connection and dog park area. As a condition of approval, a third connection to the adjacent X-Sport Fitness Center should be explored with the property owner of 3200 Finley Road. Lastly, 25 bicycle parking spaces will be provided in the development.

Traffic and Parking

A traffic narrative examined the existing and future traffic conditions based on the proposed development. Access to the site will continue to be provided from the east along Finley Road. The site shares a signalized access drive and signalized pedestrian crossing with X-Sport Fitness to the north at Opus Place and Finley Road. Additionally, the site has its own right-in and right-out access located approximately 230 feet south of the Opus Place and Finley Road intersection. The area roadway system was found to have sufficient reserve capacity to accommodate the traffic

Public Comment

During the Plan Commission meeting, there was support expressed by the Economic Development Corporation and two residents. One resident had questions regarding the services that would be offered, how much traffic was expected, hours of operation, and the extent of the proposed green space. The petitioner explained that the primary use would be a companion animal clinic with additional space for students to complete their clinical training. In terms of traffic, the petitioner noted that the traffic narrative indicated an overall reduction in traffic from the previous use. With regards to the hours of operation, the petitioner stated that the goal would be to operate a 24-hour clinic, with overnight stay for animals under treatment. Staff provided an overview on the proposed increased green space during their presentation.

ATTACHMENTS

Aerial Map

Ordinance

Staff Report with attachments dated May 6, 2024

Draft Minutes of the Plan Commission Hearing dated May 6, 2024

VILLAGE OF DOWNERS GROVE
COUNCIL ACTION SUMMARY

INITIATED: Village Attorney DATE: June 11, 2024
(Name)

RECOMMENDATION FROM: Plan Commission FILE REF: 24-PCE-0010
(Board or Department)

NATURE OF ACTION:

STEPS NEEDED TO IMPLEMENT ACTION:

- Ordinance
- Resolution
- Motion
- Other

Motion to adopt "AN ORDINANCE APPROVING CERTAIN AMENDMENTS TO PLANNED UNIT DEVELOPMENT #57 LOCATED AT 3300 FINLEY ROAD", as presented.



SUMMARY OF ITEM:

Adoption of this ordinance shall approve certain amendments to Planned Unit Development #57 located at 3300 Finley Road.

RECORD OF ACTION TAKEN:

ORDINANCE NO. _____**AN ORDINANCE APPROVING CERTAIN AMENDMENTS TO
PLANNED UNIT DEVELOPMENT #57 LOCATED AT 3300 FINLEY ROAD**

WHEREAS, the Village Council has previously adopted Ordinance No. 5597 on December 20, 2016 designating the property described therein as Planned Unit Development #57; and,

WHEREAS, the Owners have filed a written petition with the Village conforming to the requirements of the Comprehensive Zoning Ordinance and requesting certain amendments to Planned Unit Development #57 to add college or university as an allowed use, to amend the master sign plan and to allow the establishment of a new companion animal clinic and teaching university to the planned unit development ordinance last adopted on December 19, 2017; and,

WHEREAS, such request was referred to the Plan Commission of the Village of Downers Grove, and the Plan Commission has given the required public notice, conducted a public hearing for the petition on May 6, 2024, and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the requested petition, subject to certain conditions; and,

WHEREAS, the Village Council has considered the record before the Plan Commission, as well as the recommendations of Plan Commission.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, DuPage County, Illinois, as follows:

SECTION 1. That the provisions of the preamble are incorporated into and made a part of this ordinance as if fully set forth herein.

SECTION 2. That the college or university use is consistent with and complimentary to the overall planned unit development site with the requirements of the "B-3/PUD, *General Services and Highway Business/Planned Unit Development #57*" zoning district.

SECTION 3. That the Planned Unit Development amendments are hereby adopted by adding college or university as an allowed use, amending the master sign plan and allowing the establishment of a new companion animal clinic and teaching university subject to the following conditions:

1. The Planned Unit Development Amendment shall substantially conform to the staff report dated May 6, 2024; and architectural, engineering, landscape, photometric plan prepared by DWL Architects submitted on 03/29/24 last revised 04/26/24, except as such plans may be modified to conform to the Village codes and ordinances.
2. The care of animals defined as 'Animals, Farm' in Municipal Code section 28.25.040, shall be prohibited on the Property.
3. A recorded agreement to remove the Enforcement of Fire Lane Restrictions on Private Property as detailed in R1998-216635 shall be required prior to the issuance of a commercial occupancy permit.

- 4. Petitioner shall explore options with the property owner of 3200 Finley for a pedestrian connection between the two properties.

SECTION 4. That the approval set forth above is subject to the findings and recommendations of the Downers Grove Plan Commission regarding File 24-PCE-0010 as set forth in the minutes of their May 6, 2024 meeting.

SECTION 5. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 6. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

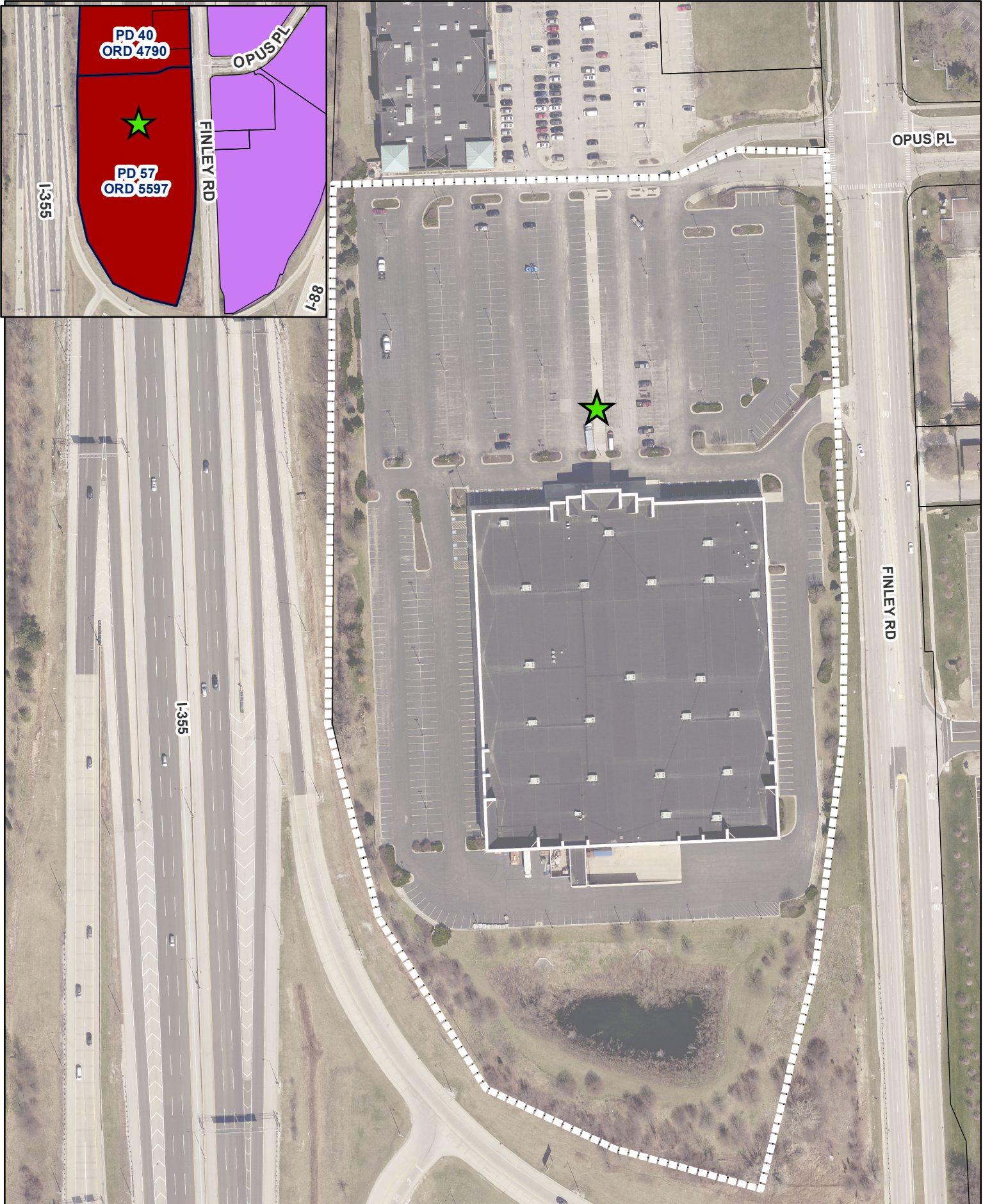
Mayor

Passed:

Published:



Attest: _____

Village Clerk



0 250 500 1,000
Feet

3300 Finley Road - Location Map

 Subject Property
 Project Location



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
MAY 6, 2024 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
24-PCE-0010 3300 Finley Road	PUD Amendment	Flora León, AICP Senior Planner

REQUEST

The petitioner is requesting approval of a Planned Unit Development amendment to Planned Unit Development #57, 3300 Finley Road to add College or University as an allowed use and an amendment to the master signage plan to establish a new companion animal clinic and teaching university.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

PETITIONER: DWL Architects (c/o: Brad Swank)
545 Metro PL S. Suite 450
Dublin, OH 43017

OWNER: Midwestern University (c/o: Kevin McCormick)
555 31st Street
Downers Grove, IL 60515

PROPERTY INFORMATION

EXISTING ZONING: B-3/P.D. #57, General Services and Highway Business/Planned Unit Development #57

EXISTING LAND USE: Vacant Commercial

PROPERTY SIZE: 703,709 square feet (16.15 acres)

PIN: 06-31-101-017

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
East:	O-R-M, Office-Research-Manufacturing	Office Corporate Campus
WEST:	O-R-M, Office-Research-Manufacturing/PD #31 R-1, Residential Detached House 1	Office Corporate Campus Park and Open Space
NORTH:	B-3, General Services and Highway Business/ PD #40	Regional Commercial
SOUTH:	Tollway Right-of-Way	N/A

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Location Map
2. Plat of Survey
3. Project Narrative
4. Approval Criteria
5. Engineering Plans
6. Landscape Plans
7. Architectural Plans
8. Master Sign Plan
9. Renderings
10. Photometric Plan
11. Traffic Narrative
12. Site Data Summary

PROJECT DESCRIPTION

The petitioner, Midwestern University (“Midwestern”), is requesting approval of a Planned Unit Development amendment to Planned Unit Development #57 in order to allow the establishment of a new companion animal clinic and teaching university. In order to facilitate the proposal, the petitioner is requesting adding the following use in the PUD: *College or University* and an amendment to the master signage plan for the subject property.

The 16.15 acre property, which is zoned B-3/P.D. #57, General Services and Highway Business/Planned Unit Development #57 is located on the southwest corner of Finley Road and Opus Place, east of I-355, commonly known as 3300 Finley Road. PUD #57 was approved in 2016 for the purposes of establishing a master signage plan for Fry’s Electronics Store, which closed in 2020. Access to the subject property is via a shared access with X-Sport Fitness at Opus Place and Finley Road and a right-in/right-out entrance at Finley Road and further north

The underlying zoning district of the Planned Unit Development is B-3, General Services and Highway Business. This zoning district does not list *College or University* as Permitted or a Special Use in the B-3 District. The petitioner is requesting the allowance of this additional use to accommodate their growing programs, as stated in their submitted narrative and findings. This petition also includes a request to update the master signage plan previously approved in 2016, this is further discussed below under “Signage.”

The new companion animal clinic and teaching university will include the renovation of the existing 152,080 square foot structure along with a 1,655 square foot addition. Improvements to both the interior and exterior will include:

- Teaching Spaces: Classrooms, multi-purpose learning rooms, and teaching/research laboratories.
- Animal Care Spaces: Exam rooms, surgery suites, ICU/emergency room spaces, and full radiology suite.
- Outdoor Spaces: Bereavement garden, a central animal and pedestrian walking area, and the addition of parking islands throughout the site.
- Screened Operational Area: Mechanical equipment, deliveries, and a trash enclosure area.

The existing building will also receive a new façade treatment. The existing precast concrete panels will be stained. New building materials will be primarily concreted masonry units (CMU) clad with brick facing, aluminum composite materials (ACM) panels, and aluminum framed windows. A metal canopy and aluminum storefront doors will be used to identify the building's main entrance. The massing of each elevation will be broken up with the addition of new brick face columns and precast stone at the base.

COMPLIANCE WITH ZONING ORDINANCE

The property is a Planned Unit Development and is zoned B-3/PUD, General Service and Highway Business/Planned Unit Development #57. This zoning district does not currently permit a *College or University* use. An amendment to PUD #57 is requested per Section 28.4.030(g) which states the following:

(g) Allowed Uses. The uses to be allowed in a PUD must be identified as part of the PUD approval process along with all applicable conditions or supplemental use regulations that apply to such uses. Unless otherwise expressly stated, the Village Council may, through the PUD approval process, approve use types that are not allowed in the underlying zoning district as a means of accommodating mixed-use developments, housing diversity, economic development opportunities and promoting other Village policies.

As part of the Planned Unit Development request the petitioner will also update the site plan. The proposed improvements will meet the requirements of the Planned Unit Development and complies with the Zoning Ordinance as shown in the following table:

Table 1: Zoning Requirements, Overall PUD

	Required	Proposed
PUD Site Area	N/A	703,709 sq. ft.
Floor Area Ratio	0.75 (max)	0.22
Building Height	60 ft. (max)	47 ft.
Building Coverage	N/A	153,765 sq. ft.
Open Space	70,371 sq. ft. (10% of 703,709 sq. ft.)	204,086 sq. ft. (29% of 703,709 sq. ft.)
Parking Spaces	541 (Students = 150 @75% = 112.5 Clinic Space = (122,304/1,000) x 3.5)	598

Further discussed below, it should be noted that the proposal will see an overall area increase to green space through the addition of parking islands and the creation of a centralized green space. The open space area for the site will increase by 6,651 square feet.

SIGNAGE

Signage within the Planned Unit Development #57 is governed by a master signage plan that allows for a maximum sign area of 915 square feet, and an additional 273 square feet of permitted signage for a tollway monument sign and the shared Finley Road monument sign with X-Sport. An amendment to the PUD master signage plan is requested to construct a new centrally located monument sign that does not face a drivable right-of-way. This sign will be located along the north entrance and will be adjacent to what is identified as the central park that will be used for dog walking and pedestrian connections to the public sidewalk.

The petitioner is proposing the following signs which do not exceed the maximum allowable sign area of 915 square feet:

Table 2: Sign Package

Sign Type	Area	Height	Location
Wall Sign (North)	144 sq. ft.	N/A	North façade
Wall Sign (South)	330 sq. ft.	N/A	South façade
Wall Sign (West)	330 sq. ft.	N/A	West façade
Finley Road Monument Sign	48 sq ft	12 feet	Finley Road
Monument Sign	44 sq. ft.	6 feet	Central Park
Total	896 sq. ft.		

In addition to the 915 square feet allowable signage, the original sign package approval allows for a tollway monument sign and a shared monument sign approved through PD #40. The petitioner is not proposing a tollway monument sign but will be installing signage on the shared Finley Road monument sign with X-sport. A summary of the additionally proposed signage is provided below:

Table 2: Additional Permitted Signs

Type	Area	Sign Location
Shared Monument Sign	24 sq. ft.	Shared Monument Sign with X-Sport Fitness
Total	24 sq. ft.	

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Future Land Use Plan designates the site as Regional Commercial in the Comprehensive Plan. Regional Commercial comprises commercial uses that provide goods and services that draw patrons from within, and beyond, the Village. The Land Use Plan designates areas for regional commercial where excellent visibility and access provide the ability to draw from a regional customer base.

The Butterfield Focus Area Plan calls for

- Leverage the unique location of this focus area adjacent to two highways to attract new retail and office tenants.
- Reduce the heat island effect through a combination of providing shade on-site and using light colored building and paving materials.
- Development and redevelopment should be focused on attracting a regional customer base as well as providing services, retail, and entertainment to the substantial daytime population in the area

The Comprehensive Plan further states that the Regional Commercial land use

- Should continue to stay competitive and draw from the surrounding region, reinvestment should occur to improve the aesthetics and function of regional commercial uses.

The Comprehensive Plan also notes the following:

- Recognize, support, and encourage the catalytic role of new campuses and buildings of higher education in appropriate locations within the Village.

- Reinvestment should occur in the Finley Road/Butterfield Road area to improve the aesthetics and function of regional commercial uses.
- A policy of the Commercial Areas Plan is to strengthen the economy by creating more local jobs.
- Continue to support the operation of other important community service providers, including Midwestern University, Good Samaritan Hospital, and others and maintain positive and mutually beneficial relationships with each organization.

The proposed development is consistent with the Comprehensive Plan.

ENGINEERING/PUBLIC IMPROVEMENTS

The existing utilities servicing the building are sufficient for the proposed renovation and small addition to the existing building. The Downers Grove Sanitary District has provided conceptual approval of the proposal. The site includes an existing stormwater detention area. The overall area dedicated to green space will increase due to a reduction in parking, the addition of parking islands, and creation of a centralized green space. The open space for the site will increase by 6,651 square feet; as such additional stormwater management provisions for detention and Post Construction Best Management Practices (PCBMPs) are not required. All improvements will comply with the Village's Stormwater Ordinance and will be reviewed by the Village at the time of building permit review.

Two pedestrian connections will lead out toward the public sidewalk on Finley Road and also allow for connections toward the proposed centralized pedestrian connection and dog park area. As a condition of approval, a third connection, heading west towards the adjacent X-Sport Fitness gym, should be considered with the property owner of 3200 Finley Road. Lastly, the petitioner will also provide 25 bicycle parking spaces in the development.

TRAFFIC AND PARKING

A traffic narrative for the proposed development was completed by the petitioner. The study examined the existing and future traffic conditions based on the proposed development. The proposed development will typically operate Monday through Friday from 7:00A.M. to 4:30P.M. The study estimates a total of 73 employees and 150 students are expected to attend the companion animal clinic. The existing site currently includes a total of 826 parking spaces. The petitioner will be removing 228 parking spaces which will be converted to additional green space, a bereavement garden and dog run. After the removal of the 228 parking spaces, the development will provide 598 parking spaces where 541 are required. As such, the proposed development meets the required parking regulations.

Access to the site will continue to be provided from the east along Finley Road. The site shares a signalized access drive with X-Sport Fitness to the north at Opus Place and Finley Road. This intersection also includes a signalized pedestrian crossing. Additionally, the site has its own right-in and right-out access located approximately 230 feet south of the Opus Place and Finley Road intersection. The area roadway system was found to have sufficient reserve capacity to accommodate the traffic

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division reviewed the proposed development and determined that sufficient access to and around the site is provided for emergency vehicles. The loop around the buildings provides sufficient access around the property as needed. A condition of approval has been added to this request that will require the petitioner to provide a recorded agreement to remove the Enforcement of Fire Lane Restrictions on Private Property prior to the issuance of a commercial occupancy permit. The restriction is no longer necessary due to the proposed improvements.

NEIGHBORHOOD COMMENT

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Notice was provided to all property owners 250 feet or less from the property in addition to posting public hearing notice signs and publishing the legal notice in the *Daily Herald*. Staff has not received any comments from the public.

STANDARDS OF APPROVAL

The petitioner is requesting approval of a final Planned Unit Development Amendment to Planned Unit Development #57. The review and approval criterion for each request is listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Plan Commission should consider the petitioner's documentation, the staff report and the discussion at the Plan Commission meeting in determining whether the standards for approval have been met.

Section 28.12.040.C.6 Review and Approval Criteria

The decision to amend the zoning map to approve a PUD development plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

- a. The zoning map amendment review and approval criteria of Sec. 12.030.I, in the case of new Planned Unit Development proposals (not applicable).*
- b. Whether the proposed PUD development plan and map amendment would be consistent with the comprehensive plan and any other adopted plans for the subject area.*
- c. Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.*
- d. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.*
- e. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.*

DRAFT MOTION

Staff will provide a recommendation at the May 6, 2024 meeting. Should the Plan Commission find that the request meets the standards of approval for a Planned Unit Development Amendment, staff has prepared a draft motion that the Plan Commission may make for the recommended approval of 24-PCE-0010:

Based on the petitioner's submittal, the staff report and the testimony presented, I find that the petitioner has met the standards of approval for a Planned Unit Development #57 Amendment as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 24-PCE-0010, subject to the following conditions:


1. The Planned Unit Development Amendment shall substantially conform to the staff report; and architectural, engineering, landscape, photometric plan prepared by DWL Architects submitted on 03/29/24 last revised 04/26/24, except as such plans may be modified to conform to the Village codes and ordinances.
2. The care of animals defined as 'Animals, Farm' in Municipal Code section 28.25.040, shall be prohibited.
3. A recorded agreement to remove the Enforcement of Fire Lane Restrictions on Private Property as detailed in R1998-216635 shall be required prior to commercial occupancy issuance.
4. Using the existing Ingress and Egress Easement for Vehicular and Pedestrian Traffic Over

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Common Area (R2005-1592905), consider with the property owner of 3200 Finley Road options to allow a pedestrian connection between both properties. At a minimum, a pedestrian connection will need to extend west on the subject property to allow connection to the property to the north.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

SP:fl
-att



KATHLEEN H. GOEPPINGER, PH.D.
PRESIDENT & CHIEF EXECUTIVE OFFICER

April 19, 2024

Mr. Stan Popovich
Downers Grove Community Development
801 Burlington Avenue
Downers Grove, IL 60515

Re: Preliminary Planning Development Submission for the Midwestern University
Companion Animal Clinic

Dear Downers Grove Plan Commission:

As President and Chief Executive Officer of Midwestern University, I am pleased to submit this request to renovate the existing structure located at 3300 Finley Road into a new Companion Animal Clinic to support the mission of the University.

To facilitate the Plan Commission's review of the proposed renovation, we have included the required drawings and documentation for Preliminary Planning Development, as well as the Petition for the Plan Commission.

Project Description and Overview of Midwestern University

Midwestern University is proud of its relationship with the Downers Grove Community and appreciates the support we continue to receive for our growth and development as a leading institution in healthcare education. Since its founding in 1900 in Hyde Park, Illinois, and our move to Downers Grove, Illinois in 1985, Midwestern University has developed and maintains an outstanding reputation for educating skillful, compassionate healthcare professionals who learn and embrace the philosophy of a patient-centered approach to treatment and care, and who are ready to address the needs of patients in the State of Illinois and beyond. We are very proud of our Downers Grove academic and clinic campuses and are very supportive of our local community.

Midwestern University is a private, not-for-profit graduate university that offers degrees in the health sciences on two campuses, in a team-oriented environment with dedicated and caring faculty and staff who are focused on teaching, research, and patient care. Midwestern University has over 6,000 students, and there are approximately 3,000 full-time students on the Downers Grove Campus, which has buildings that include didactic classrooms, state-of-the-art laboratory spaces, a library, and student housing. In addition, the University offers comprehensive patient care at its clinics near both campuses, including a

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Re: Midwestern University New Companion Animal Clinic

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Dental Institute, a Family Medicine Practice, a Speech-Language Institute, a Physical Therapy Institute, and an Eye Institute.

Throughout the first two years of their education, students in all of our colleges at the Downers Grove Campus (Chicago College of Osteopathic Medicine, College of Health Sciences, College of Pharmacy-Downers Grove, College of Dental Medicine-Illinois, Chicago College of Optometry, College of Graduate Studies, and the College of Veterinary Medicine) attend on-campus lectures and laboratory sessions, and then complete clinical experiences in hospitals, clinics, pharmacies, and specialty rotations throughout the Midwest and other geographic regions.

Currently, our campus is endeavoring to provide updated facilities for our students and to accommodate our growing programs. The Companion Animal Clinic will provide teaching spaces such as classrooms, multi-purpose learning rooms, teaching and research laboratories, as well as animal care spaces including exam rooms, surgery suites, ICU and emergency room spaces, and a full radiology suite. The new facility will serve the entire community and their small animals' healthcare needs. It is both visible and accessible to the public, and it is our intention to make this renovated project reflect the quality of our programs.

The new Companion Animal Clinic will be located within the existing structure located at 3300 Finley Road and receive a new façade treatment for the building, as well as a total interior build-out area of 152,080 gross square feet (GSF) as a teaching clinic for the public. The use groups for the Companion Animal Clinic will consist of B (Office, Lab, Exam, etc.), with some A3 (Classrooms) and S2 (ancillary storage and mechanical rooms).

Midwestern University anticipates a large community benefit will be derived from this new facility. As a comparison, we have a similar teaching clinic on the Glendale, Arizona campus that handled 14,060 patient visits this past year. Midwestern University will be filling a great need for affordable companion animal health care. These clinic services will help the overall health of the community and become an important part of the reputation and services offered in Downers Grove, as well as receive recognition throughout the Chicagoland area. The University continues to invest its resources and is proud to be a great attractor for the economic development of both the Village of Downers Grove and the corporate community near its clinical campus.

Compliance with Future Land Use Plan

Total site for Planned Development #57 consists of 702,884 sq. ft. Including the proposed renovated facility, the amended overall site totals are as follows:

- Built-up Footprint: 153,735sq. ft.
- Paved Area: 334,601 sq. ft.
- Landscaped Open Areas: 204,086 sq. ft.
- Water Elements: 10,462 sq. ft.

These areas result in a Total Open Space (Landscape and Water) of 30.5%, which is well above the 20% noted in Article XVI Section 28-1612 of the Zoning Ordinance.

*Downers Grove Plan Commission
Re: Midwestern University New Companion Animal Clinic*

*April 19, 2024
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Compliance with the Zoning Ordinance for Planned Development #57 is regulated under Article 28 of the zoning ordinance. The parcel is currently zoned B-3, General Services and Highway Business. Section 28.5.010, in Article 28.V, of the Zoning Ordinance lists permitted Animal Services uses within a B-3 district; however, Midwestern University would like to request a PUD Amendment to add College or University as a permitted use within PD #57.

Traffic and Parking Concerns

As proposed, the clinic will fully build-out the existing facility. The usable space, storage and mechanical areas excluded, totals 130,761 sf. Classroom space occupies 8,457 sf of this space, while the remaining 122,304 sf is dedicated to veterinary clinic use.

The proposed site improvements will remove several parking spaces, resulting in a total of 598 parking spaces, including 12 handicapped spaces. We have provided a traffic narrative as a basis for ongoing discussion of development of an appropriate PUD parking ratio for the development. In addition, we believe that the existing site access is sufficient to accommodate the proposed traffic by the facility and no improvements exterior to the site are required.

Public Safety Requirements

The proposed facility already meets the height, area, and story requirements of the Downers Grove Building Code and will not be revised to be outside these requirements. The University will request a permit for a Mixed-Use B-Business facility with potentially some special use area. Appropriate egress, safety, and emergency requirements are planned.

Engineering/Public Improvements

Adequate public utility mains (water, sanitary, and storm sewers) are in place or located within the development and will be extended to the renovated facility as needed. Additional fire hydrants within 100 feet of the building fire department connections will be completed if necessary. Previously permitted stormwater detention is available to serve the site. It is understood that due to the net decrease in impervious area, additional stormwater management provisions of detention and PCBMPs are not required.

Access to the site will continue to be provided from the east along Finley Road. The existing access drives will be utilized for permanent and construction site access. Entrance monument signage in compliance with the previous PD #57 standards will be used to designate the entrance and directional signage to aid in the routing of trucks and cars to maintain a safe traffic flow. Adequate site lighting will be provided for the access road, entrance, and parking facilities.

The stormwater pollution prevention plan will be designed to protect and preserve the adjacent naturalized stormwater detention basin during construction and facility operations. Landscaping will be added around the building to add to the aesthetic appearance of the building and its relation to the surrounding environment and to maintain a high quality of visual appeal. A new green space within the existing parking lot will enhance the visual appeal of the site and work as a park that can be used by visitors and staff alike.

*Downers Grove Plan Commission
Re: Midwestern University New Companion Animal Clinic*

*April 19, 2024
Page 4 of 4*

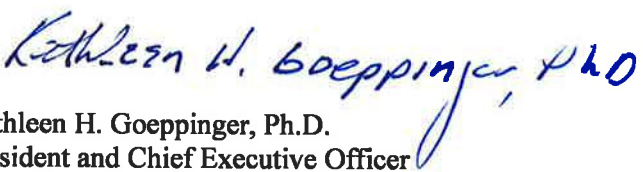
Anticipated Easement Revisions

Additional easements will be provided for electric and gas utilities if required by the respective agencies. Stormwater easements are proposed to be modified to reflect final connections to the new structures.

As on prior projects, we greatly appreciate the time and effort the Village of Downers Grove officials and staff spent reviewing all Preliminary Planning Development submissions.

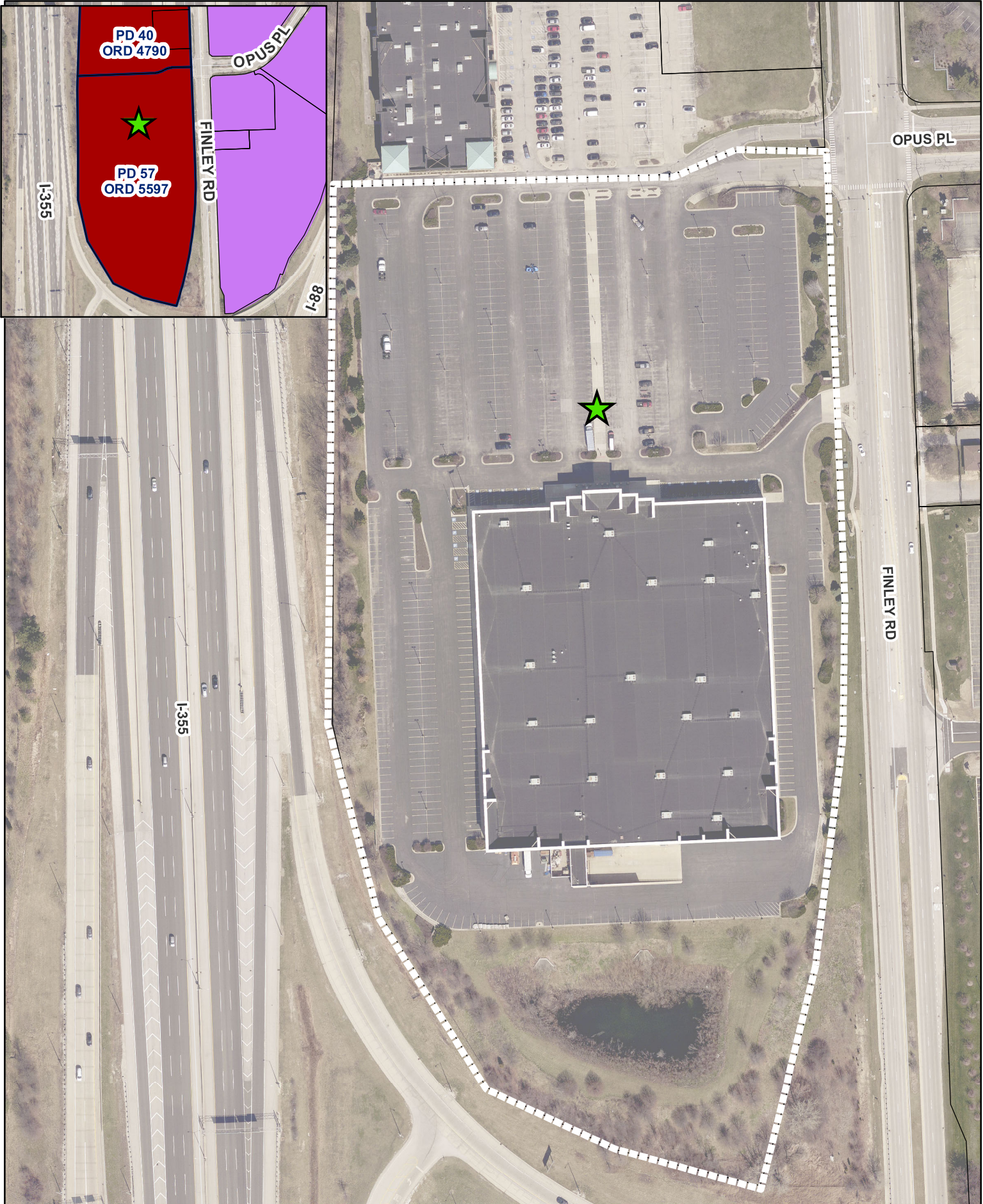
Please do not hesitate to call (623) 572-3490 with any questions you might have about the proposed projects or the attached documents.

Sincerely,


Kathleen H. Goepfinger, Ph.D.
President and Chief Executive Officer



Enclosures

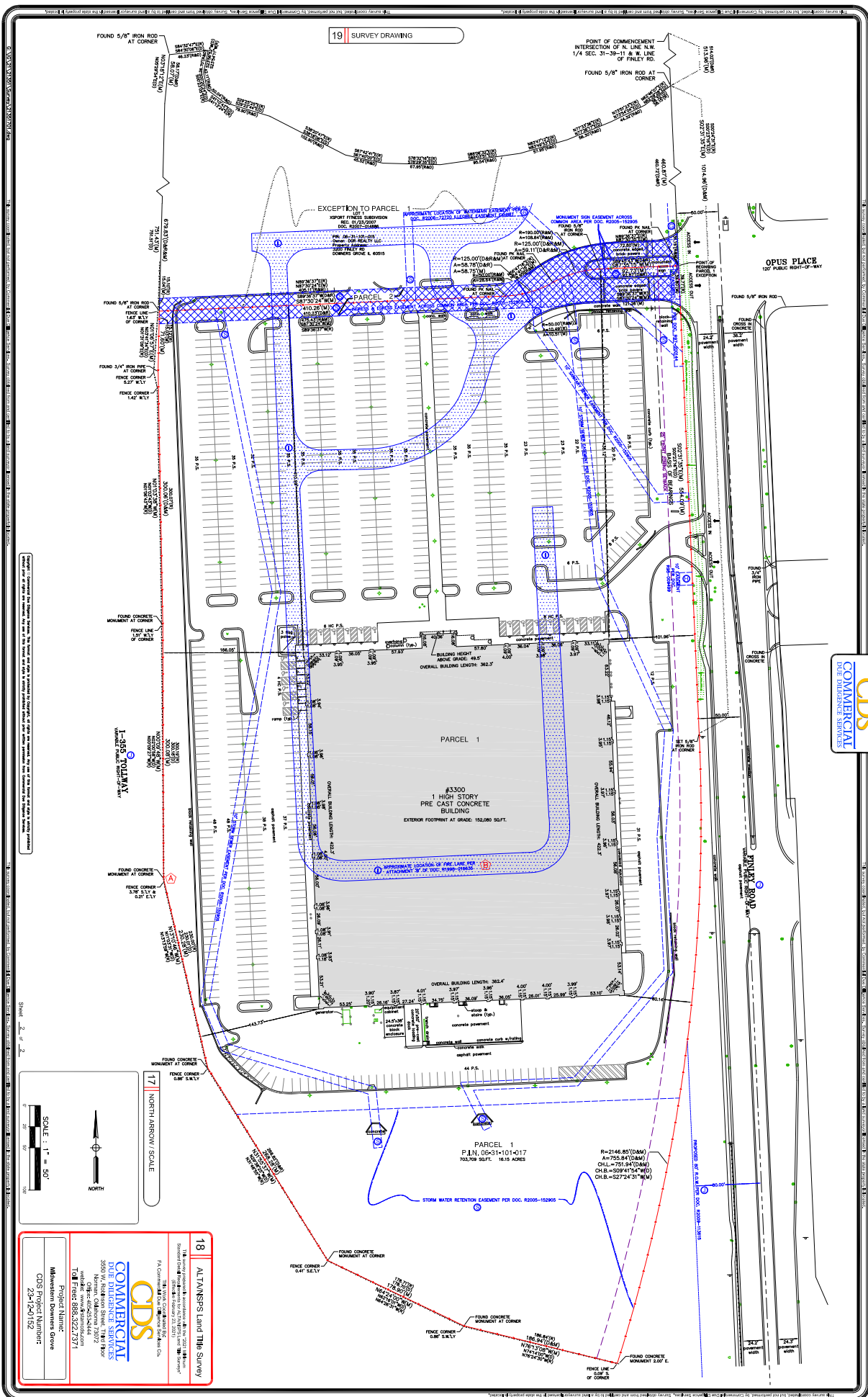
KHG/mak

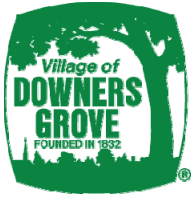


0 250 500 1,000
Feet

3300 Finley Road - Location Map

 Subject Property
 Project Location





Planned Unit Development

Form #PC01

Review and Approval Criteria

Address of Project Site: 3300 Finley Rd, Downers Grove, IL 60515

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.040.C.6. Review and Approval Criteria (Planned Unit Development)

The decision to amend the zoning map to approve a PUD plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision making bodies must consider at least the following factors:

1. The zoning map amendment review and approval criteria of Sec. 12.030.I.
See the analysis of zoning map amendment review and approval criteria in separate document.

We are requesting the addition of "College or University" as a permitted use.

2. Whether the proposed PUD plan and map amendment would be consistent with the Comprehensive Plan and any other adopted plans for the subject area.

This amendment would keep the site consistent with the Comprehensive Plan as use group E



3. Whether PUD plan complies with the PUD overlay district provisions of Sec. 4.030.

This development is consistent with the comprehensive plan, provides a public facility and se



4. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.

The Companion Animal Clinic will reduce the square footage of impermeable surfaces, reduc



5. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

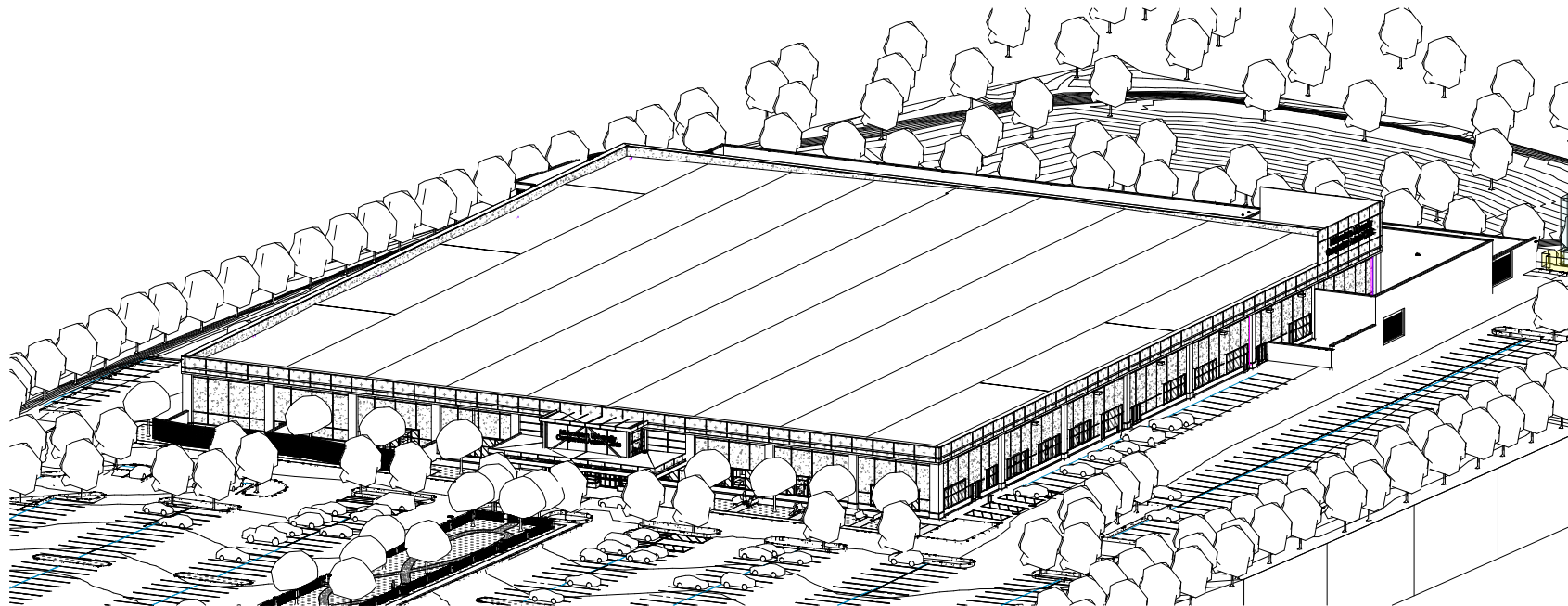
Yes.

04/26/2024

PUD SUBMITTAL

MIDWESTERN UNIVERSITY VETERINARY CLINIC

DOWNERS GROVE, ILLINOIS



DWL PROJECT NO. 2253.00



545 Metro Place S, Ste 450
Dublin, OH 43017
614.965.8100
dwlarchitects.com

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

REV:

SITE PLAN

PROJECT NUMBER
A021

DESIGNED BY ESLH	CHECKED BY BS
DATE 4/26/24	PROJECT NUMBER 2253.00

TOTAL PARKING SPACES:

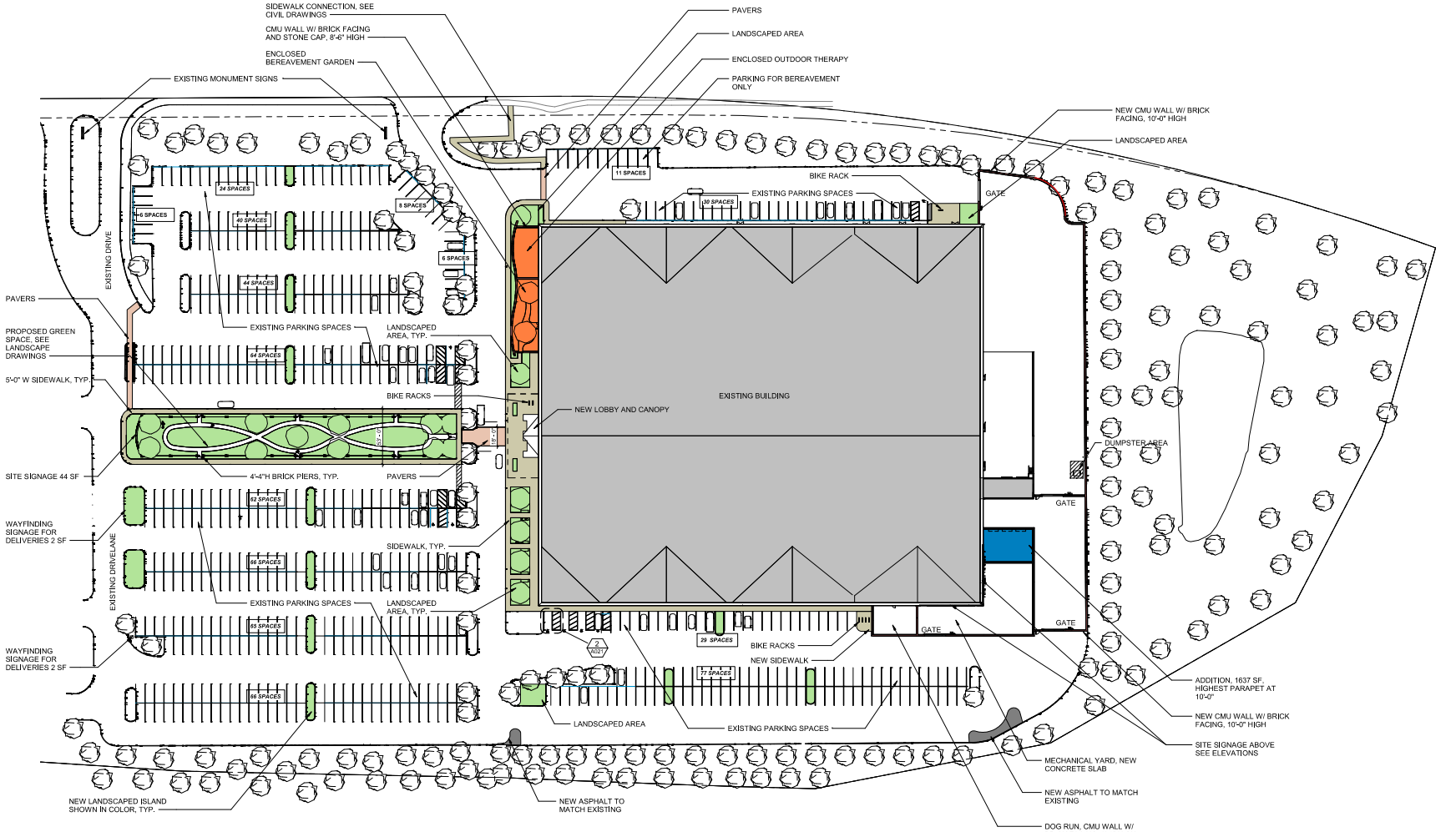
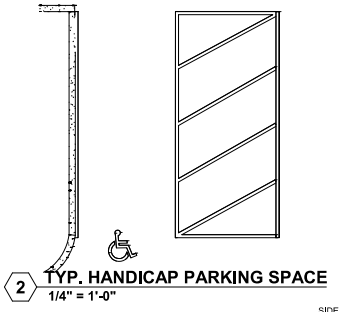
EXISTING PARKING = 826 SPACES (808 REGULAR / 18 HANDICAPPED SPACES)
 REQUIRED PARKING = 541 REQUIRED
 2% HANDICAPPED SPACES = 11 REQUIRED
 PROVIDED PARKING = 598 (585 REGULAR / 13 HANDICAPPED SPACES)
 7 BIKE RACKS PROVIDED, EACH HOLDS 4 = 28 BIKE PARKING SPACES

NOTES:
 1) SPACE COUNT CHANGES SHOWN IN *ITALIC AND BOLD*.

ZONING ANALYSIS TABLE

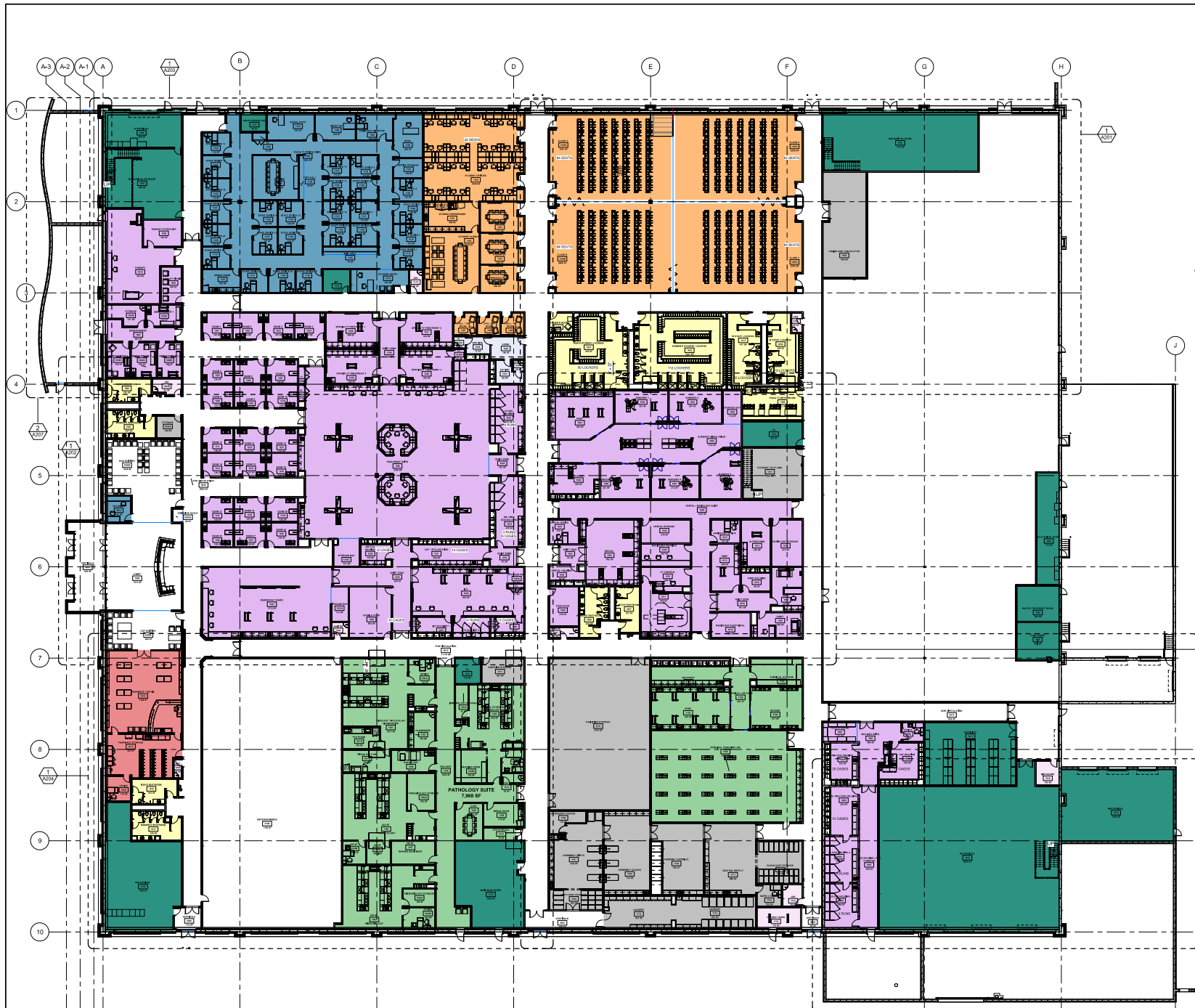
PROJECT NAME	MMU COMPANION ANIMAL CLINIC			
ADDRESS	3300 FINLEY RD, DOWNERS GROVE, IL 60515			
PIN	631101017			
ZONING DISTRICT	B-3			
EXISTING USE	B			
PROPOSED USE	PLANNED UNIT DEVELOPMENT			
PETITION TYPE	PUD AMENDMENT TO ADD 'COLLEGE OR UNIVERSITY AS PERMITTED USE IN PD57			
DEVIATIONS				
Requirement	Factor	Required	Proposed/Existing	Meets Req.? Difference
Lot Area	Minimum	16.15 Ac (703,709 sf)	16.15 Ac (703,709 sf)	Yes -
Street Yard	Minimum	25'	101.39'	Yes -
Rear Yard	Minimum	-	143.73' / 166.05'	Yes -
Side Yard	Minimum	-	143.73' / 88.14'	Yes -
Height	Maximum	60'	47'	Yes -13'
Open Space	Maximum	10% (70,371 sf)	29% (204,086 SF)	Yes 133,715 sf
FAR (digital area)	Maximum	0.75 (936,279 sf)	0.22	Yes 0.53

Parking calculation:
 Students = 150 @ 75% = 112.5
 Clinic Space (122,304 / 1,000) x 3.5 = 428.064
 Total = 540.5 = 541 spaces required



SITE PLAN
 1" = 40'-0"

4/26/2024 9:15:42 AM



FLOOR PLAN NOTES

- CONTROL DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
 - CENTERLINE OF GRID AT COLUMNS
 - FACE OF MASONRY AT CMU WALLS
 - FACE OF FINISH AT EXTERIOR SIDE OF EXTERIOR WALLS
 - FACE OF STUD AT INTERIOR SIDE OF EXTERIOR WALLS
 - CENTERLINE OF WALL AT INTERIOR STUD WALLS
- DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALLS OR OFFSET WITH 4" CLEAR BETWEEN EDGE OF DOOR AND FACE OF PERPENDICULAR STUD WALL.
- FOR ACOUSTIC AND PRIVACY PURPOSES, ALL INTERIOR PARTITION WALLS AND INSULATION INCLUDING PLUMBING CHASES SHALL EXTEND TO UNDERSIDE OF DECK ABOVE UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND

- ⬡ XX DENOTES FLOOR, ROOF, CEILING OR WALL TYPE. REFER TO SHEET A240'S FOR ADDITIONAL INFORMATION.
- ⬡ XX DENOTES WINDOW OR OPENING TYPE. SEE A701, A702 AND A703 FOR OPENING TYPES AND SCHEDULE.

Department

- CIRCULATION/UNPROGRAMMED
- CLASSROOMS/BREAKOUT
- COMMON SPACE
- ISOLATION
- LAB
- MECHANICAL
- OFFICES
- PHARMACY
- STERILIZATION/STORAGE
- TREATMENT/ICU
- UTILITY AND SUPPORT SPACES

KEYNOTE LEGEND

- ⬡ 1,200
- ⬡ 2,000
- ⬡ 3,000
- ⬡ 4,000



MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
 3300 FINLEY ROAD
 DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

DRAWN BY: **ESL/H**
 DATE: 4/26/24
 CHECKED BY: **BS**
 PROJECT NUMBER: 2253.00

FLOOR PLAN - MAIN LEVEL

SHEET NUMBER:
A190

MAIN LEVEL FLOOR PLAN
1/16" = 1'-0"



4/26/2024 9:15:49 AM



MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
 3300 FINLEY ROAD
 DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

DATE PLOTTED: 4/26/2024 9:18:03 AM
 DWL ARCHITECTS+ P.C.
 PROJECT NUMBER: 2253.00

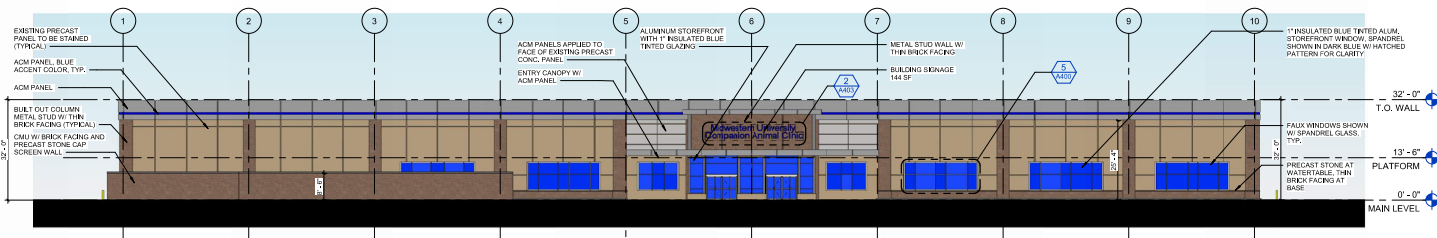
BUILDING ELEVATIONS

PROJECT NUMBER: **A400**

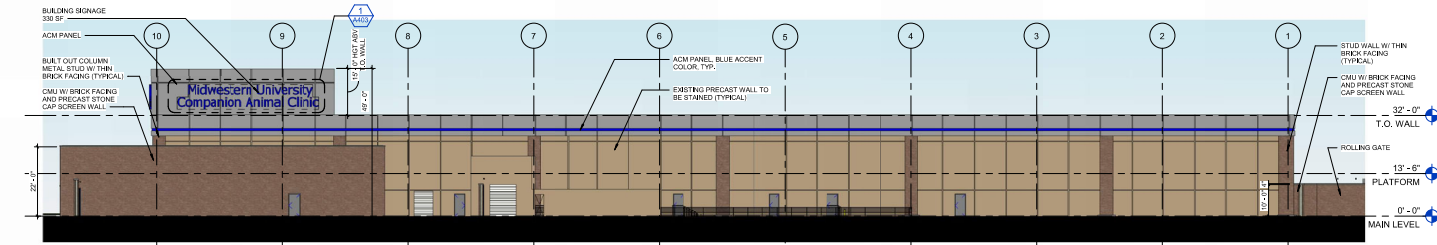
DESIGNED BY: ES/LH	SCALE: BS
DATE: 4/26/24	PROJECT NUMBER: 2253.00

GENERAL NOTES

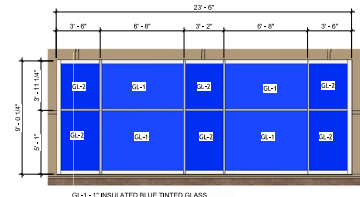
1. ALL EXISTING EIFS TO BE REMOVED FROM THE EXTERIOR ELEVATIONS, INCLUDING CORNICES.
2. THE BLUE STRIPE THROUGH THE ACM CORNICE IS NOT ILLUMINATED.



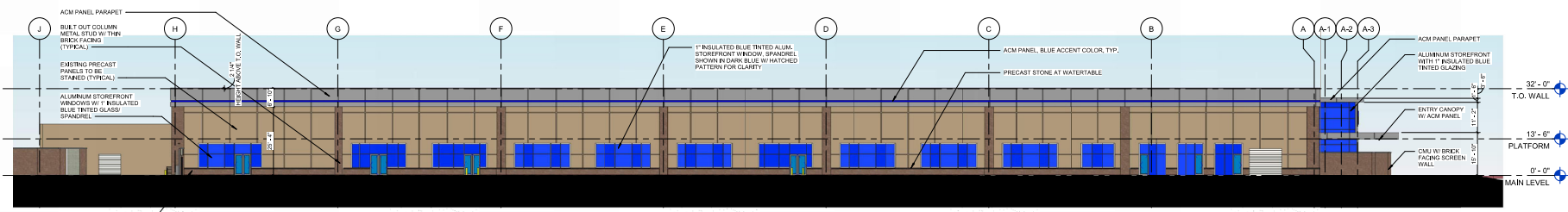
1 NORTH ELEVATION
 1/16" = 1'-0"



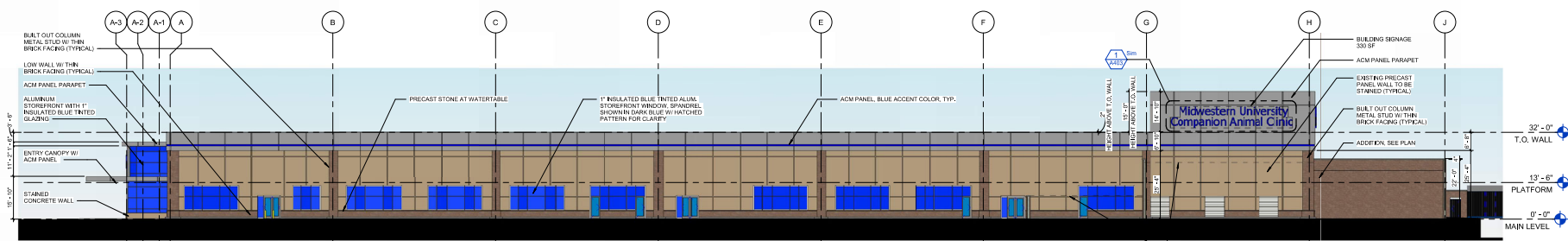
2 SOUTH ELEVATION
 1/16" = 1'-0"



5 WINDOW DETAIL
 1/4" = 1'-0"

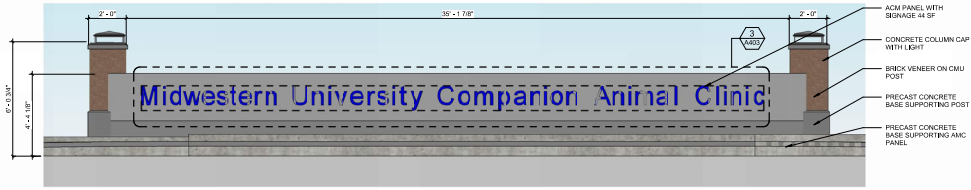


3 EAST ELEVATION
 1/16" = 1'-0"

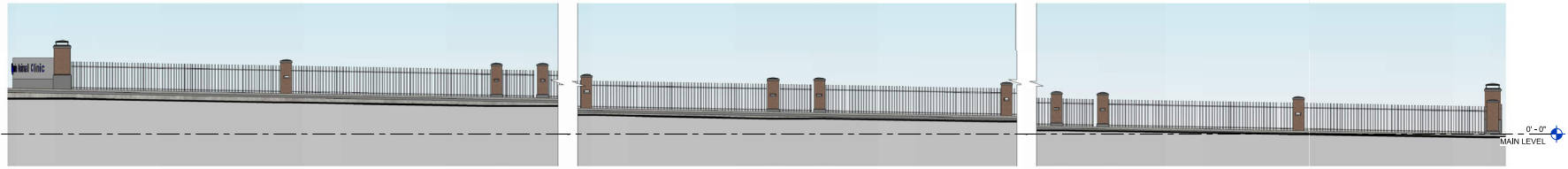


4 WEST ELEVATION
 1/16" = 1'-0"

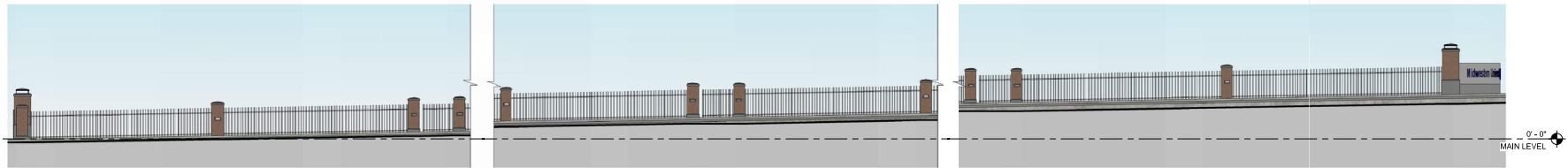
4/26/2024 9:18:03 AM



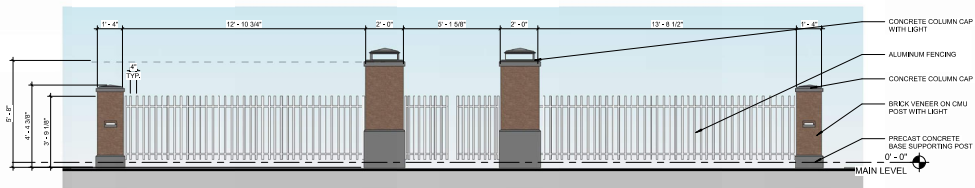
1 NORTH SITE ELEVATION
3/8" = 1'-0"



2 WEST SITE ELEVATION
3/16" = 1'-0"



3 EAST SITE ELEVATION
3/16" = 1'-0"



4 SOUTH SITE ELEVATION
3/8" = 1'-0"



REVISIONS

No.	Description	Date

MAIN LEVEL

MAIN LEVEL

MAIN LEVEL

MAIN LEVEL

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SITE ELEVATIONS

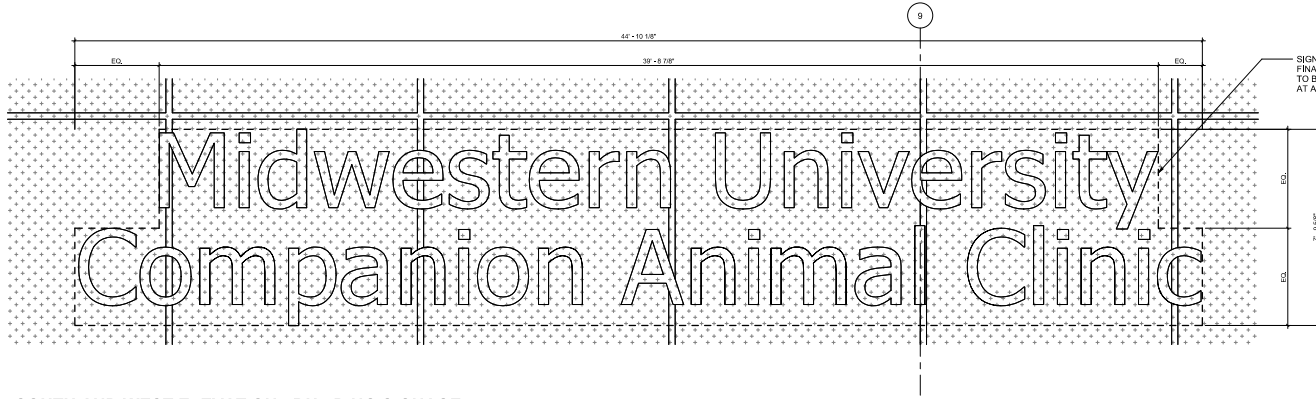
A401

DESIGNED BY: ES/LH

CHECKED BY: BS

DATE: 4/26/24

PROJECT NUMBER: 2253.00



SIGNAGE 330 SF. FINAL GRAPHICS TO BE DESIGNED AT A LATER DATE

TOTAL SIGNAGE AREA:

CENTRAL PARK

NORTH ENTRANCE: 44 SF

BUILDING

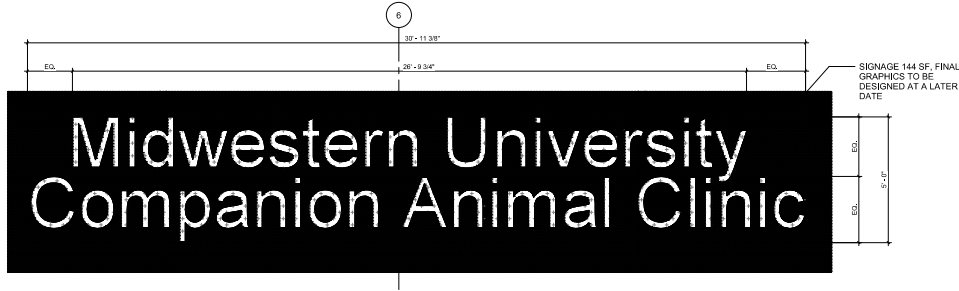
NORTH ELEVATION: 144 SF
 WEST ELEVATION: 330 SF
 SOUTH ELEVATION: 330 SF

SITE

MONUMENT SIGN: 48 SF
 WAYFINDING: 2 SF
 WAYFINDING: 2 SF
TOTAL: 900 SF

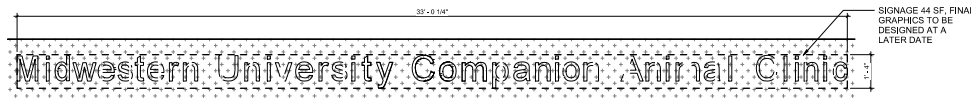
SHARED MONUMENT BONUS SIGN DOES NOT COUNT ON CALCULATION.
 ALL SIGNAGE NOT TO EXCEED PUD APPROVED LIMIT.

1 SOUTH AND WEST ELEVATION - BUILDING SIGNAGE
 1/2" = 1'-0"



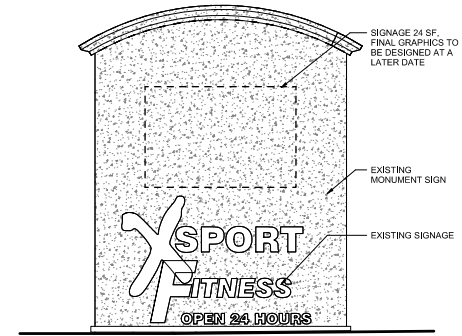
SIGNAGE 144 SF. FINAL GRAPHICS TO BE DESIGNED AT A LATER DATE

2 NORTH ELEVATION - BUILDING SIGNAGE
 1/2" = 1'-0"



SIGNAGE 44 SF. FINAL GRAPHICS TO BE DESIGNED AT A LATER DATE

3 NORTH SITE ELEVATION - PARK SIGNAGE
 1/2" = 1'-0"

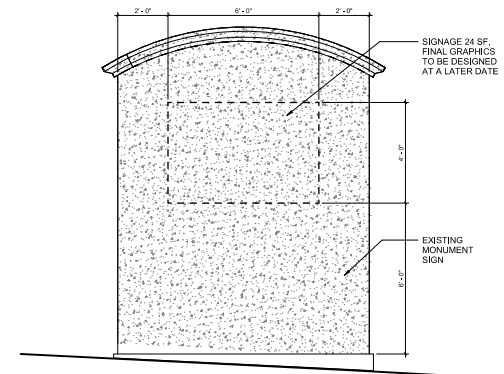


SIGNAGE 24 SF. FINAL GRAPHICS TO BE DESIGNED AT A LATER DATE

EXISTING MONUMENT SIGN

EXISTING SIGNAGE

4 SHARED MONUMENT SIGN - BONUS SIGN
 1/2" = 1'-0" SIGNAGE AT BOTH SIDES OF MONUMENT



SIGNAGE 24 SF. FINAL GRAPHICS TO BE DESIGNED AT A LATER DATE

EXISTING MONUMENT SIGN

5 MAIN MONUMENT SIGN
 1/2" = 1'-0" SIGNAGE AT BOTH SIDES OF MONUMENT



MIDWESTERN UNIVERSITY
 COMPANION ANIMAL CLINIC
 3300 FINLEY ROAD
 DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

REV: _____

SIGNAGE ELEVATIONS

PROJECT NUMBER: **A403**

DESIGNED BY: ESKH	CHECKED BY: BS
DATE: 04/26/24	PROJECT NUMBER: 2253.00



NORTH ELEVATION FROM CENTRAL GREEN SPACE



VESTIBULE WEST VIEW



CENTRAL GREEN SPACE VIEW FROM BUILDING



CENTRAL GREEN SPACE VIEW

DWL
ARCHITECTS+
545 Metro Place S, Ste 450
Dublin, OH 43017
614.965.6100
dwllarchitects.com

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS		
No.	Description	Date

REV: _____

**EXTERIOR
RENDERS**

PROJECT NUMBER:
A405

DESIGNED BY: ESLH	CHECKED BY: BS
DATE: 4/26/24	PROJECT NUMBER: 2253.00



EAST AND NORTH ELEVATIONS



WEST AND SOUTH ELEVATIONS

DWL
ARCHITECTS+
545 Metro Place S, Ste 450
Dublin, OH 43017
614.965.6100
dwfarchitects.com

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

REV:

EXTERIOR
RENDERS AERIAL
IMAGES

DWG NUMBER
A406

DESIGNED BY ESLH	CHECKED BY BS
DATE 4/26/24	PROJECT NUMBER 2253.00



NORTH ELEVATION NEW ENTRY

DWL
 ARCHITECTS+
 545 Metro Place S, Ste 450
 Dublin, OH 43017
 614.965.6100
 dwlarchitects.com

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
 3300 FINLEY ROAD
 DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

REV:

EXTERIOR RENDERS

PROJECT NUMBER
A407

DESIGNED BY ESLH	CHECKED BY BS
DATE 4/26/24	PROJECT NUMBER 2253.00

PRELIMINARY ENGINEERING PLANS COMPANION ANIMAL CLINIC MIDWESTERN UNIVERSITY DOWNERS GROVE, ILLINOIS



MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515

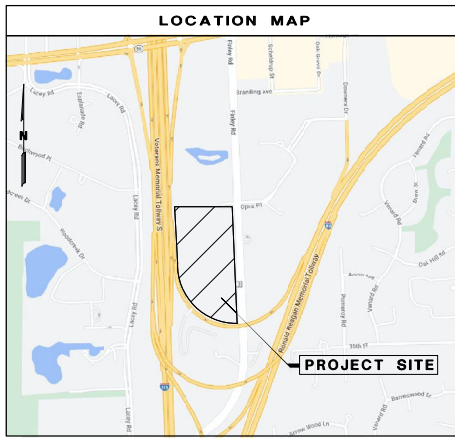


REVISIONS
No. Description Date

PUD SUBMITTAL
DATE: 4/25/24
DRAWN BY: JT
CHECKED BY: ST
SCALE: AS SHOWN
PROJECT NUMBER: 2253.00

LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER	1" PVC	12" PVC
FORCE MAIN	12" RCP	12" RCP
STORM SEWER	12" RCP	12" RCP
UNDERDRAIN	12" RCP	12" RCP
MANHOLE	Ø	Ø
CATCH BASIN	Ø	Ø
INLET	○	○
CLEANOUT	○	○
WATER MAIN	1" W	1" W
VALVE VAULT	○	○
VALVE BOX	○	○
FIRE HYDRANT	○	○
FLARED END SECTION	○	○
COMBINED SEWER	12" RCP	12" RCP
STREET LIGHT/PARKING LOT LIGHT	○	○
POWER POLE	○	○
STREET SIGN	○	○
FENCE	—	—
GAS MAIN	1" W	1" W
OVERHEAD LINE	—	—
TELEPHONE LINE	—	—
ELECTRIC LINE	—	—
CABLE TV LINE	—	—
HIGH WATER LEVEL	HW XXX.XX	HW XXX.XX
NORMAL WATER LEVEL	NW XXX.XX	NW XXX.XX
CONTOUR LINE	XXX.XX	XXX.XX
TOP OF CURB ELEVATION	TC XXX.XX	TC XXX.XX
TOP OF DEPRESSED CURB	TD XXX.XX	TD XXX.XX
PAVEMENT ELEVATION	P XXX.XX	P XXX.XX
SPOT ELEVATION	XXX.XX	XXX.XX
FINISHED FLOOR ELEVATION	FF + XXXX.XX	FF + XXXX.XX
TOP OF FOUNDATION	TF + XXXX.XX	TF + XXXX.XX
GRADE AT FOUNDATION	GF + XXXX.XX	GF + XXXX.XX
HIGH OR LOW POINT	○	○
OVERLAND FLOOD ROUTE	—	—
PAVEMENT FLOW DIRECTION	—	—
SMALL FLOW DIRECTION	—	—
DEPRESSED CURB AND GUTTER	—	—
REVERSE CURB AND GUTTER	—	—

INDEX OF SHEETS	
C-100	COVER SHEET
C-200	EXISTING CONDITIONS PLAN - NORTH
C-201	EXISTING CONDITIONS PLAN - SOUTH
C-300	DEMOLITION PLAN - NORTH
C-301	DEMOLITION PLAN - SOUTH
C-400	GRADING PLAN - NORTH
C-401	GRADING PLAN - SOUTH
C-500	UTILITY PLAN - NORTH
C-501	UTILITY PLAN - SOUTH
C-600	PAVING PLAN - NORTH
C-601	PAVING PLAN - SOUTH



DISTURBED AREA = 2.50 ACRES



THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS SUPERVISION, DIRECTION AND MEANS & METHODS OF CONSTRUCTION

ABBREVIATIONS			
AC	ACRE	HWL	HIGH WATER ELEVATION
BC	BACK OF CURB	INV	INLET
BTM	BOTTOM	INV	INVERT
CB	CATCH BASIN	LF	LINEAL FEET/FOOT
CFS	CUBIC FEET PER SECOND	LP	LIGHT POLE
CS	CONCRETE	LT	LEFT
DIA	DIAMETER	L/W	LOWEST GRADE ADJACENT TO RETAINING WALL
DIM	DIAMETER	MAX	MAXIMUM
EL	ELEVATION	MI	MIDWESTERN UNIVERSITY
EP	EDGE OF PAVEMENT	MIN	MINIMUM
FF	FINISHED FLOOR	NW	NORMAL WATER ELEVATION
GE	GRADE AT FOUNDATION	PCS	OUTLET CONTROL STRUCTURE
FT	FOOT/FEET	P	PAVEMENT ELEVATION
GF	GUTTER ELEVATION	PVC	POLYVINYL CHLORIDE PIPE
GR	GRADE RING ELEVATION	R	RADIUS
HDS	HIGH DENSITY POLYETHYLENE PIPE	RCP	REINFORCED CONCRETE PIPE
HYD	FIRE HYDRANT	RIM	RIM ELEVATION
HMA	HOT MIX ASPHALT	RT	RIGHT
		ROW	RIGHT OF WAY

BENCHMARKS	
SOURCE BENCHMARKS (NMS MONUMENT DESIGNATION 0166, PID 06321)	DISK ON THE SOUTH END OF THE EAST BRIDGE WALL FOR THE OVERPASS, 170.0 FEET NORTH OF THE CENTERLINE OF A CENTRALISLAND DRIVE AND 12.0 FEET EAST OF THE CENTERLINE OF NORTH ROAD/FINLEY ROAD. ELEVATION = 711.01 (NAVDS83)
SITE BENCHMARK #11	CROSS ON TOP OF SOUTHWEST BONNET BOLT OF FIRE HYDRANT AT SOUTHWEST CORNER OF FINLEY ROAD AND OPLUS PLACE. ELEVATION = 160.87
SITE BENCHMARK #12	CROSS ON TOP OF SOUTHWEST BONNET BOLT OF FIRE HYDRANT IN CURB (6 IN. DIA.) WEST OF THE SOUTHWEST CORNER OF THE 1 STORY, STUCCO BUILDING AT 3300 FINLEY ROAD. ELEVATION = 757.75

NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT 305) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION
 - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION
 - VILLAGE OF DOWNERS GROVE CODE OF ORDINANCES
 - DOWNERS GROVE SANITARY DISTRICT STANDARDS AND ORDINANCES, (SHALL GOVERN ALL SANITARY SEWER CONSTRUCTION)
 - DUPAGE COUNTY STORMWATER ORDINANCE
- IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

DRAINAGE CERTIFICATION

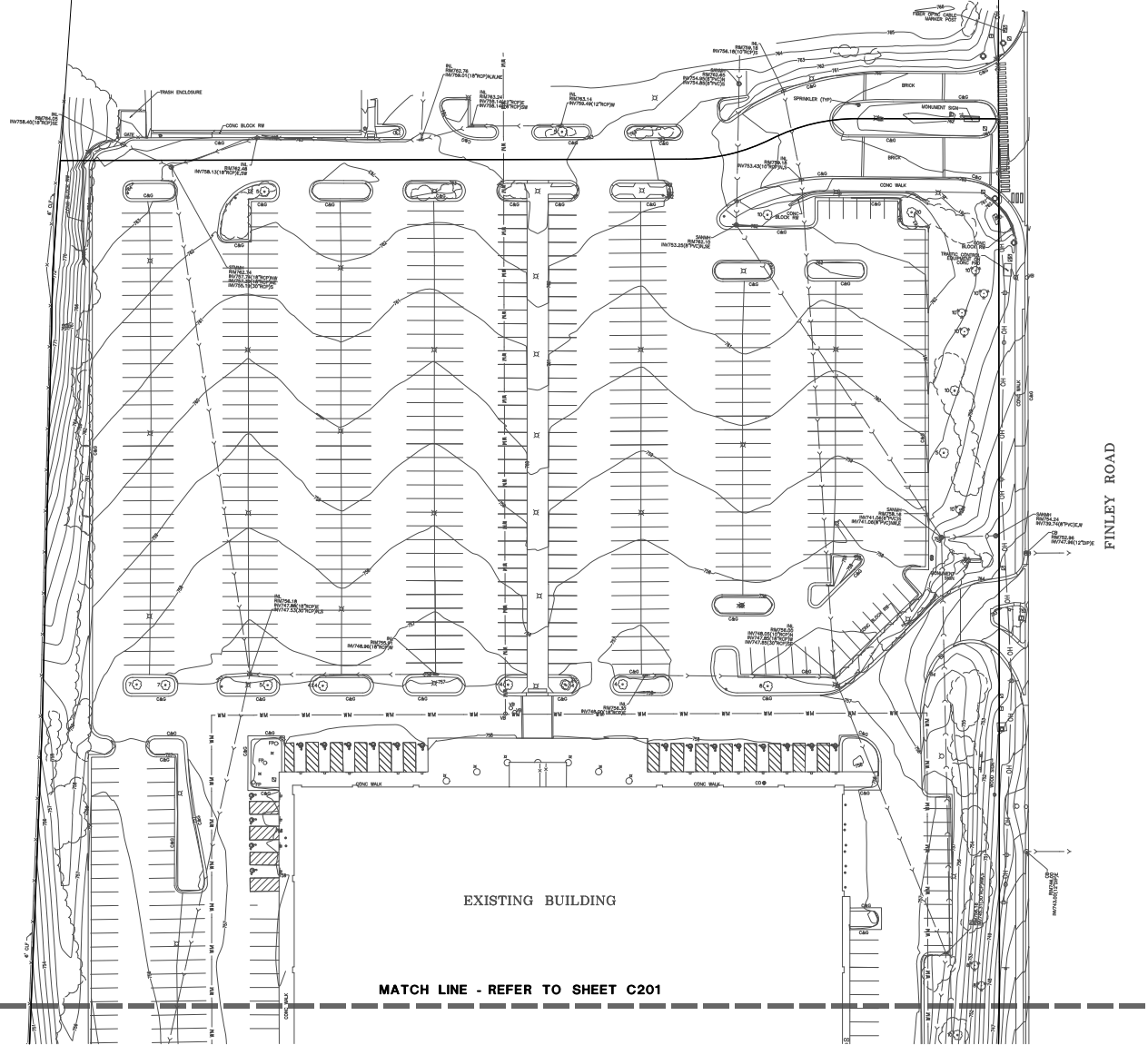
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

[Signature]
LICENSED ENGINEER

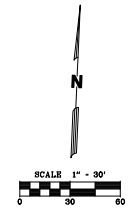
[Signature]
ENGINEER'S SEAL

DWL ARCHITECTS, INC. 545 METRO PLACE S, STE 450, DUNAGE, OHIO 43017

XSPORT FITNESS



IL-955



GENERAL NOTES:
 1. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON MARCH 11, 2024. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.

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REVISIONS

No.	Description	Date

PUD SUBMITTAL

NET:

EXISTING CONDITIONS PLAN - NORTH

SHEET NUMBER C200	
DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

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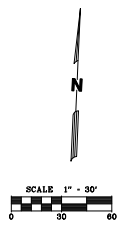


IL-355

MATCH LINE - REFER TO SHEET C200

EXISTING BUILDING

FINLEY ROAD



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REVISIONS		
No.	Description	Date

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NET:

PROJECT
**EXISTING
CONDITIONS
PLAN - SOUTH**

SHEET NUMBER
C201

DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

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REVISIONS

No.	Description	Date

PUD SUBMITTAL

DATE: 04/25/24

PROJECT NO: 2253.00

DATE: 4/25/24

PROJECT NO: 2253.00

DATE: 4/25/24

PROJECT NO: 2253.00

DATE: 4/25/24

PROJECT NO: 2253.00

DATE: 4/25/24

PROJECT NO: 2253.00

DATE: 4/25/24

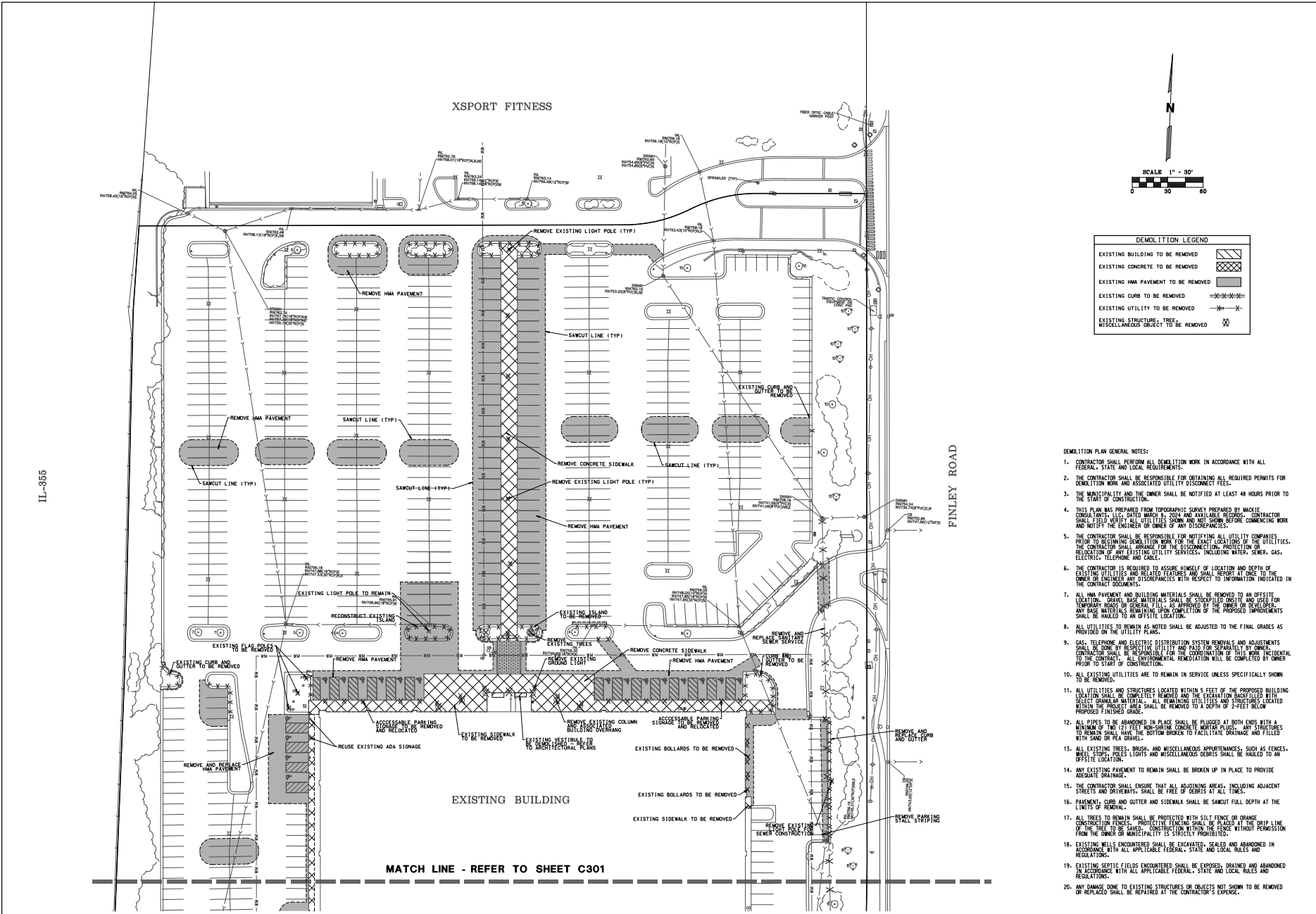
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DATE: 4/25/24

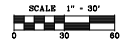
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DATE: 4/25/24

PROJECT NO: 2253.00

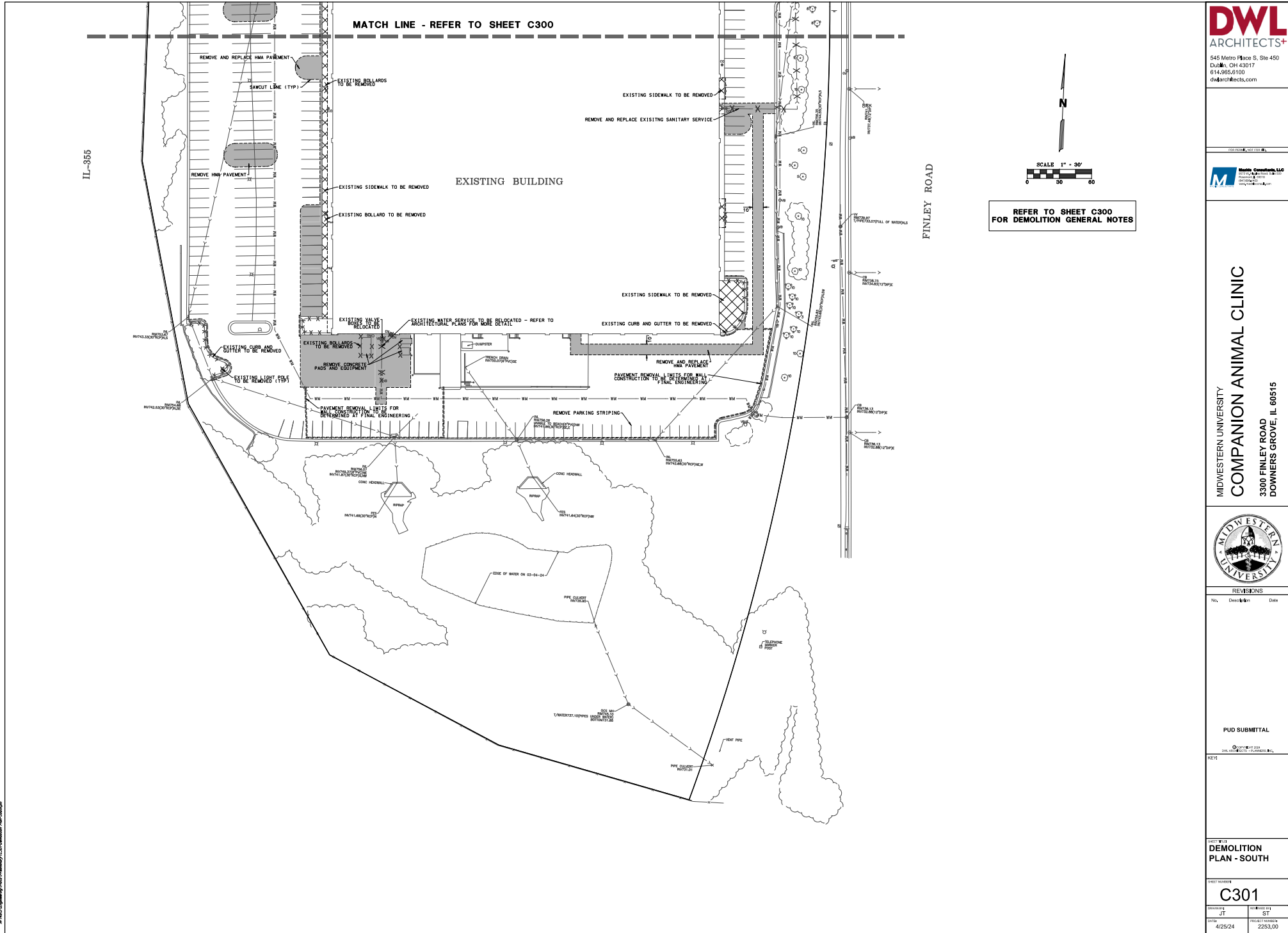


IL-955



MATCH LINE - REFER TO SHEET C301

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REFER TO SHEET C300
FOR DEMOLITION GENERAL NOTES

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DEMOLITION
PLAN - SOUTH

SHEET NUMBER	
C301	
DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

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 DWL ARCHITECTS, INC. 10000 W. 12TH ST., SUITE 100, OVERLAND PARK, KS 66211
 DWL ARCHITECTS, INC. 10000 W. 12TH ST., SUITE 100, OVERLAND PARK, KS 66211



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No.	Description	Date

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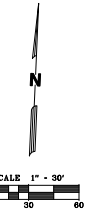
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PROJECT TITLE
GRADING PLAN - NORTH

SHEET NUMBER
C400

DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

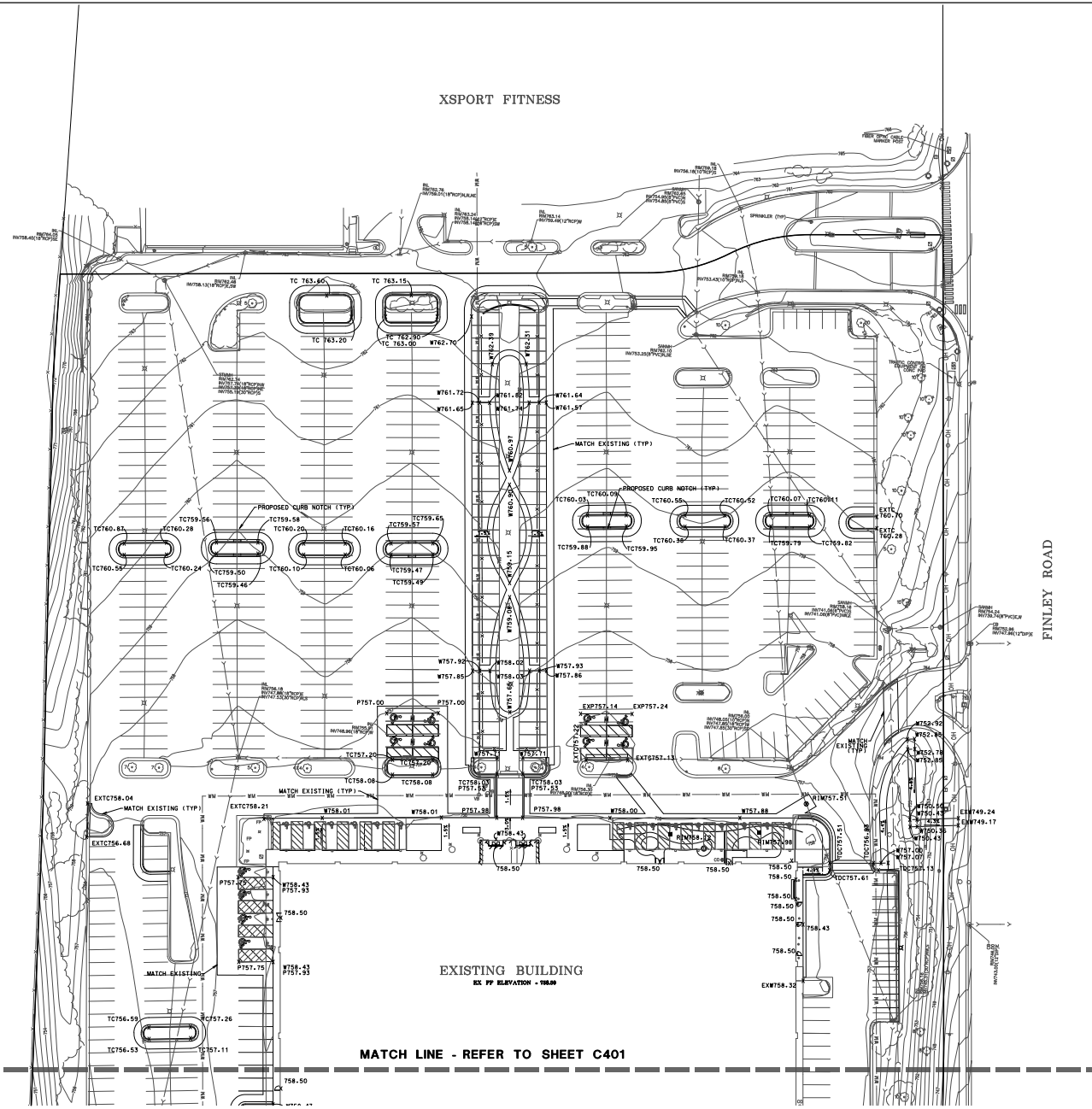
XSPORT FITNESS



GRADING PLAN GENERAL NOTES

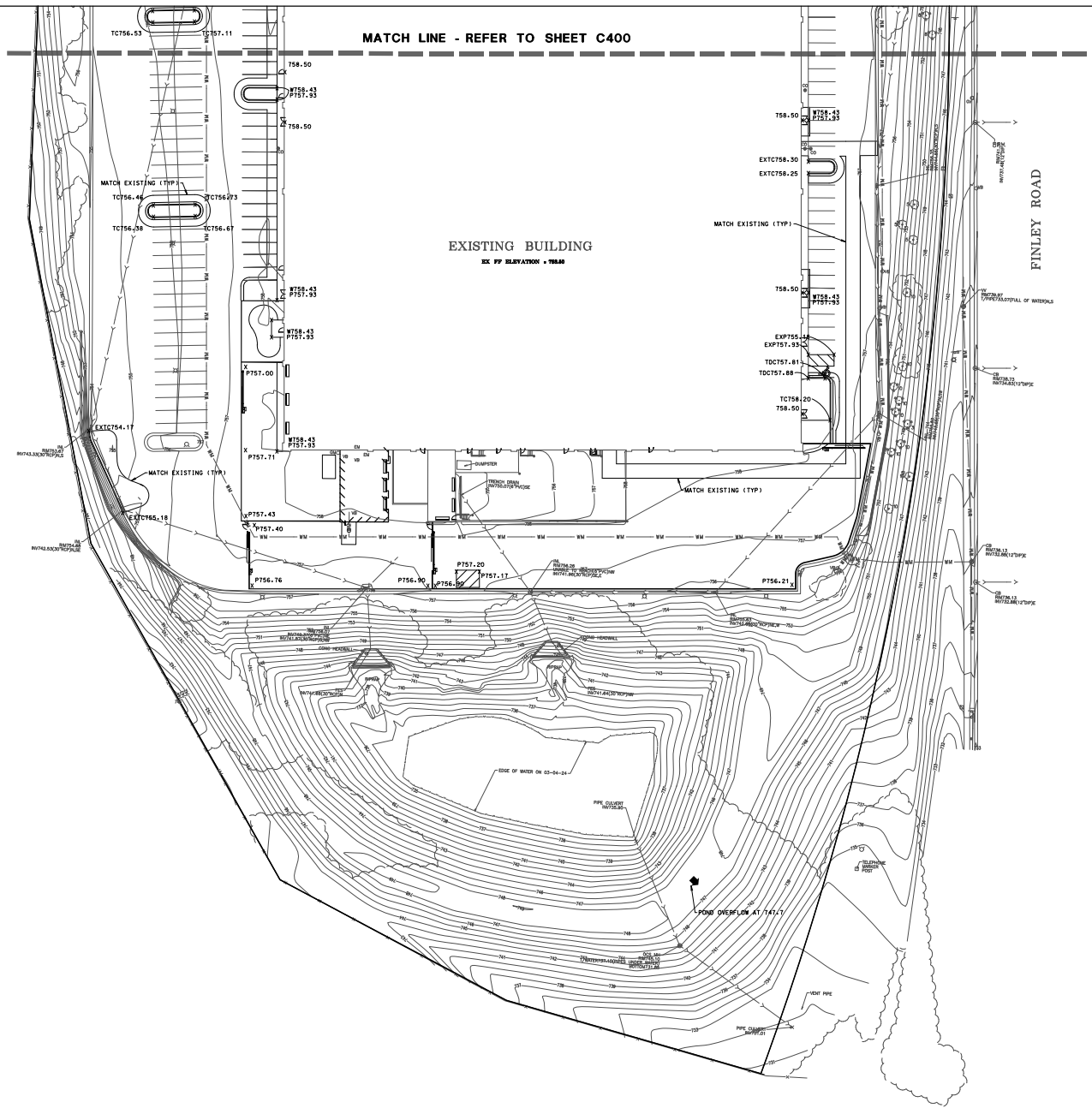
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON MARCH 8, 2024. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH 6-INCHES OF TOPSOIL AND SEED.
- EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL CURB ELEVATIONS ARE TO BE TOP OF CURB. ALL DITCH ELEVATIONS ARE 0.5' BELOW TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
- GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
- OVERFLOW DRAINAGE ROUTES AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
- DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
- CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OF PERMISSION HAS BEEN OBTAINED.

IL-955



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IL-3855



REFER TO SHEET C400
FOR GRADING GENERAL NOTES

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DATE: 4/25/24
DRAWN BY: JT
CHECKED BY: ST

SHEET NUMBER: **C401**

DATE: 4/25/24
PROJECT NUMBER: 2253.00

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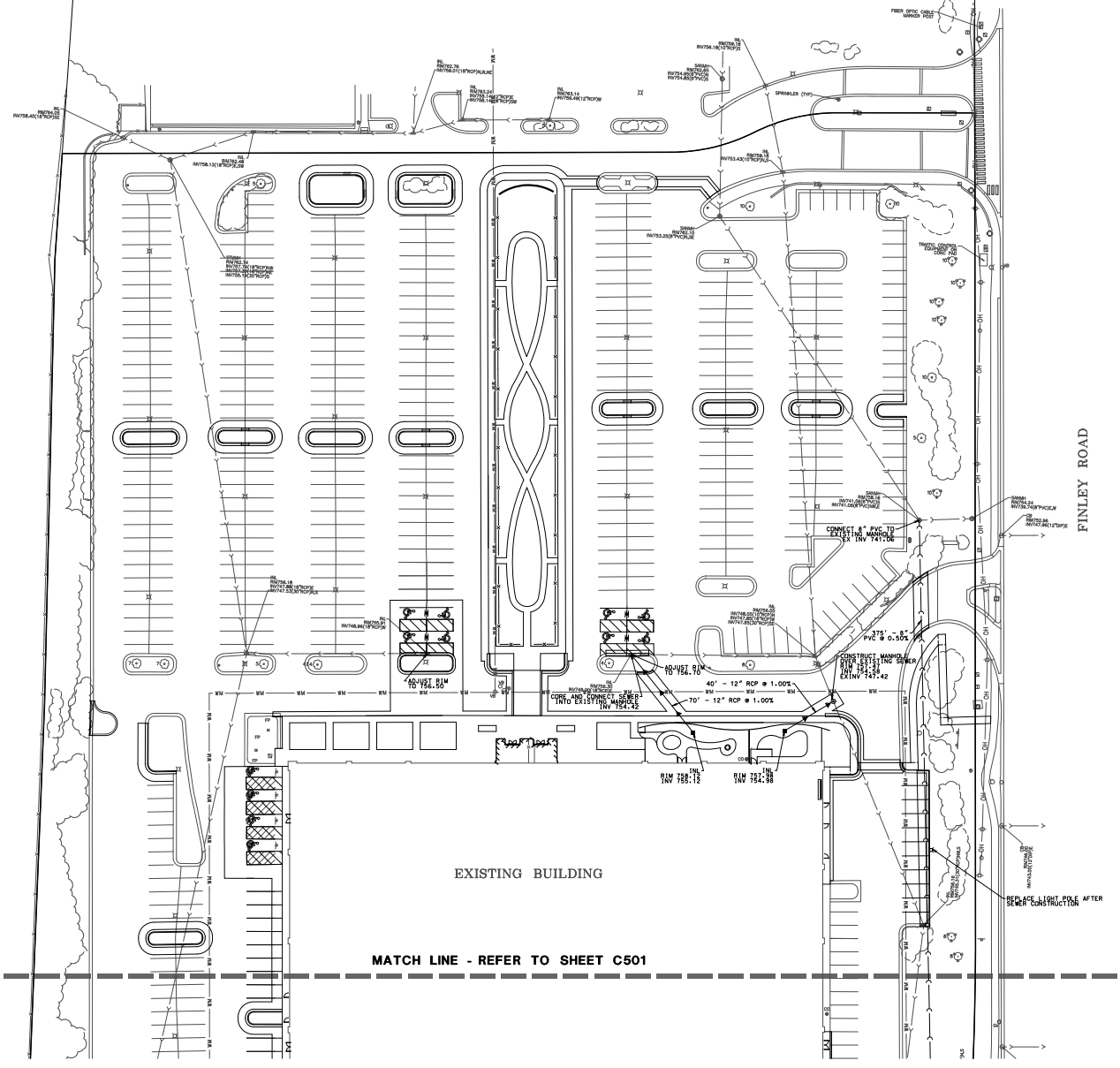
NET:

UTILITY PLAN - NORTH

C500

DATE: 4/25/24
DRAWN BY: JT
CHECKED BY: ST
SCALE: 1" = 30'

XSPORT FITNESS



- UNDERGROUND UTILITY GENERAL NOTES**
1. ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
 2. ALL SANITARY SEWER, LESS THAN 15 FEET DEEP, SHALL BE PVC, SDR 26, UNLESS OTHERWISE INDICATED OR APPROVED FROM A LISTED WITHIN THE CONSTRUCTION SPECIFICATIONS AS APPROVED BY THE MUNICIPALITY. ALL SANITARY SEWERS GREATER THAN 15 FEET DEEP, SHALL BE PVC, SDR 21+, UNLESS OTHERWISE INDICATED. PVC SANITARY SEWER SHALL HAVE ELASTOMERIC JOINTS IN CONFORMANCE WITH ASTM D-9572.
 3. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52, ANNA C-600 WITH "GUSH-O" TYPE JOINTS, UNLESS OTHERWISE INDICATED. ALL WATER MAIN SHALL HAVE A MINIMUM OF 5'-0" OF COVER FROM TOP OF MAINLINE TO FINISHED GRADE.
 4. ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE, MINIMUM CLASS 114, WITH ASTM C15 PIPE AND C443 JOINTS, UNLESS OTHERWISE INDICATED.
 5. GRANULAR TRENCH BACKFILL (CA-11) SHALL BE PROVIDED FOR ALL SANITARY, WATER AND STORM UTILITIES WHEN THE TRENCH UNITS FALL WITHIN 180 FEET OF STREETS, SIDEWALKS, DRIVEWAYS AND AS NOTED ON THE SANITARY TRENCH DETAILS ON PAGE 3.
 6. ALL WATERMAIN AND WATER SERVICE LINES SHALL BE PROTECTED FROM OTHER UTILITIES IN ACCORDANCE WITH SECTION 41-2.01 OF THE STANDARD SPECIFICATIONS FOR MAILED AND SBER CONSTRUCTION IN ILLINOIS.
 7. ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY, UTILITY COMPANIES OR FIELD MEASUREMENTS. THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
 8. CONTRACTOR SHALL VERIFY ALL BUILDING SERVICE LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
 9. CONTRACTOR TO VERIFY CANOPY AND ROOF DRAIN CONNECTION LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS BEFORE CONSTRUCTION.
 10. LOCATION OF ALL BUILDING SEWAGE CONNECTIONS TO BE APPROVED BY VILLAGE FIRE MARSHAL.
 11. CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
 12. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
 13. A TEN (10) FOOT MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE WATERMAIN SERVICE AND THE SANITARY OR STORM SEWER SERVICES.
 14. IN CASE OF CONFLICTS, THE MUNICIPALITY STANDARDS AND NOTES SHALL TAKE PRECEDENCE.
 15. PLUMBING CONTRACTOR TO MAKE ALL CONNECTIONS WITH BUILDING SERVICES CONSTRUCTED BY UTILITY CONTRACTOR. SITE UTILITY CONTRACTOR TO CONSTRUCT SERVICES TO WITHIN 6 FEET OF BUILDING, EXCEPT INTO BUILDING 1'-0" ABOVE FLOOR WITH BLIND FLANGE AND PROVIDE TESTING.
 16. EXISTING PAVEMENT REMOVED FOR UTILITY CONSTRUCTION SHALL BE DONE BY THE RESPECTIVE UTILITY COMPANY AND PAID FOR SEPARATELY BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT.
 17. EXISTING OR PROPOSED MANHOLES, CATCH BASINS, INLETS AND VALVE VALES IS INDICATING OVER 12" DEPTH OF ADJUSTMENT ITEMS SHALL USE AN ADDITIONAL BASE SECTION TO MAINTAIN A MAXIMUM OF 12-INCH TOTAL ADJUSTMENT RING DEPTH.

IL-955

EXISTING BUILDING

MATCH LINE - REFER TO SHEET C501

FINLEY ROAD

REPLACE LIGHT POLE AFTER SEWER CONSTRUCTION

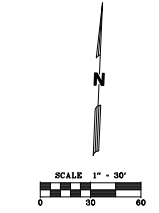
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 545 METRO PLACE S, STE 450
 DUBUQUE, OH 43017
 614.386.6100
 DW@DWLLS.COM

IL-355

MATCH LINE - REFER TO SHEET C500

EXISTING BUILDING

FINLEY ROAD



REFER TO SHEET C500 FOR UTILITY GENERAL NOTES

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 3300 FINLEY ROAD
 DOWNERS GROVE, IL 60515



REVISIONS
 No. Description Date

PUD SUBMITTAL

NET:

SHEET TITLE
UTILITY PLAN - SOUTH

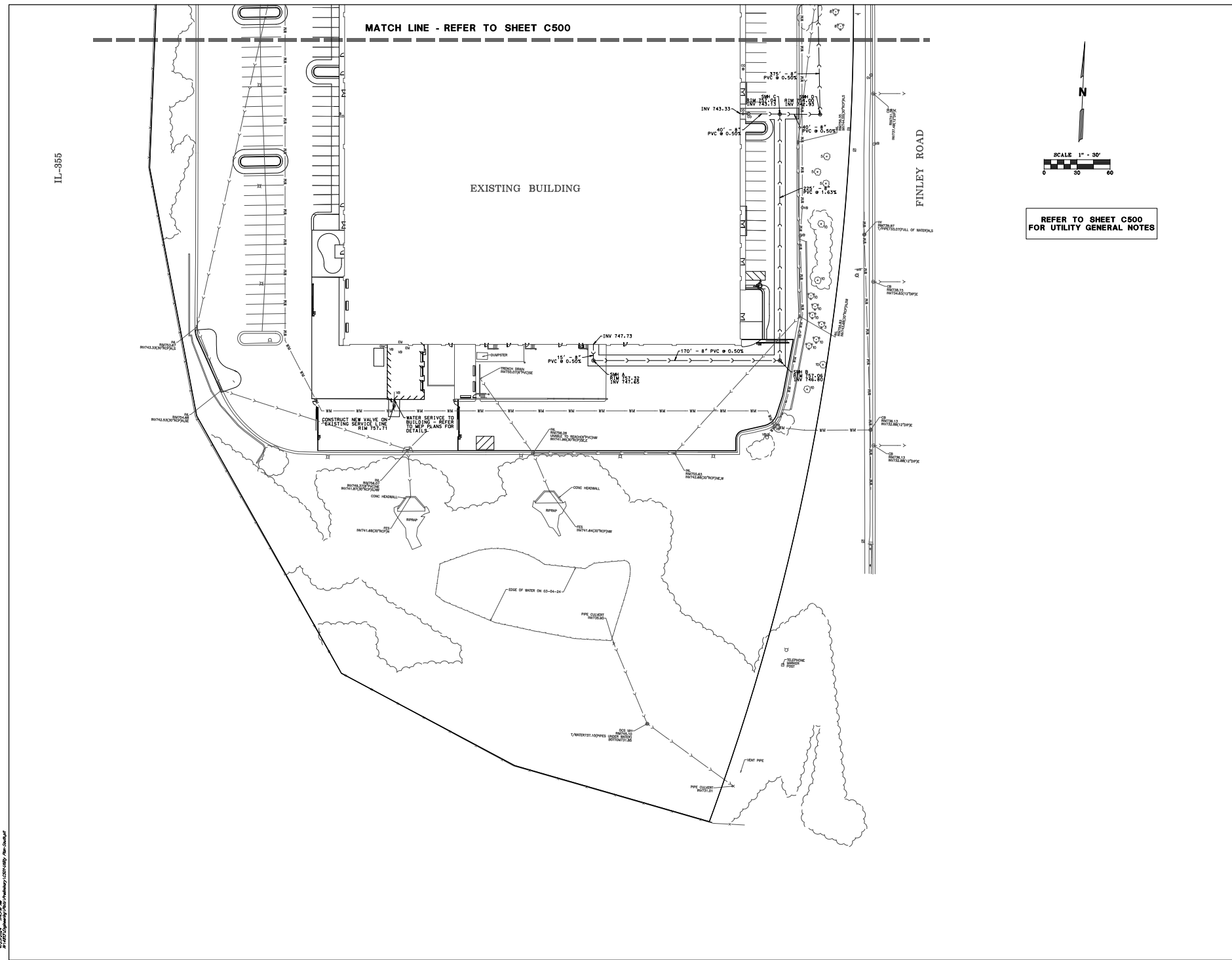
SHEET NUMBER
C501

DESIGNED BY
 JT

CHECKED BY
 ST

DATE
 4/25/24

PROJECT NUMBER
 2253.00



DWL ARCHITECTS, INC. 10000 WOODLOCH FOREST DRIVE COLUMBUS, OH 43240
 HEALTH CONSULTANTS, LLC 10000 WOODLOCH FOREST DRIVE COLUMBUS, OH 43240



REVISIONS

No.	Description	Date

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NET:

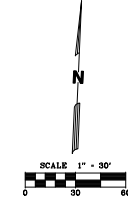
PAVING PLAN - NORTH

SHEET NUMBER C600	
DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

XSPORT FITNESS

EXISTING BUILDING

MATCH LINE - REFER TO SHEET C601



PAVING LEGEND	
HMA PAVEMENT	
CONCRETE SIDEWALK	
BRICK PAVERS	
CONCRETE PAVEMENT	

SITE PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
2. ALL RADII ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
3. ALL BUILDING DIMENSIONS ARE BASED ON ARCHITECTURAL PLANS DATED MARCH 15, 2024. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND CONTACT THE ARCHITECT FOR ANY DISCREPANCIES.
4. ALL DRIVE PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.
5. ALL PROPOSED CURB AND GUTTER SHALL BE 6'-10" AND SHALL BE DEPRESSED CURB WITH SIDEWALK MATCH TO STREET, UNLESS OTHERWISE INDICATED. CURB DEPRESSIONS SHALL MEET ADA REQUIREMENTS AS NOTED IN THE CONSTRUCTION DETAILS.
6. ALL JOINTS MADE WITH EXISTING PAVEMENT, CURB, WALK OR CURB AND GUTTER ARE TO BE SAWCUT FALL DEPTH WITHIN 24 HOURS OF PLACEMENT.
7. SEE ARCHITECTURAL PLANS FOR DETAILS OF LOADING DOCK, TRASH CONTRACTORS' TRASH COLLECTIONS, AND SIDEWALK PLANKS. SEE LANDSCAPE PLANS FOR DETAILS OF RETAINING WALLS.
8. ALL CURB ISLANDS TO HAVE 1-FOOT MINIMUM RADIUS ON CORNERS, UNLESS OTHERWISE SHOWN.

IL-955

FINLEY ROAD

IDENTIFY AND ADDRESS ALL UTILITIES AND RECORD AS PER FINAL ENGINEERING

DATE PLOTTED: 4/25/24 10:53 AM FILE: C:\Users\j\OneDrive\Documents\2253\Drawings\2253_PUD\2253_PUD_PAVING_PLAN_NORTH.dwg PLOTTER: HP DesignJet T1100e

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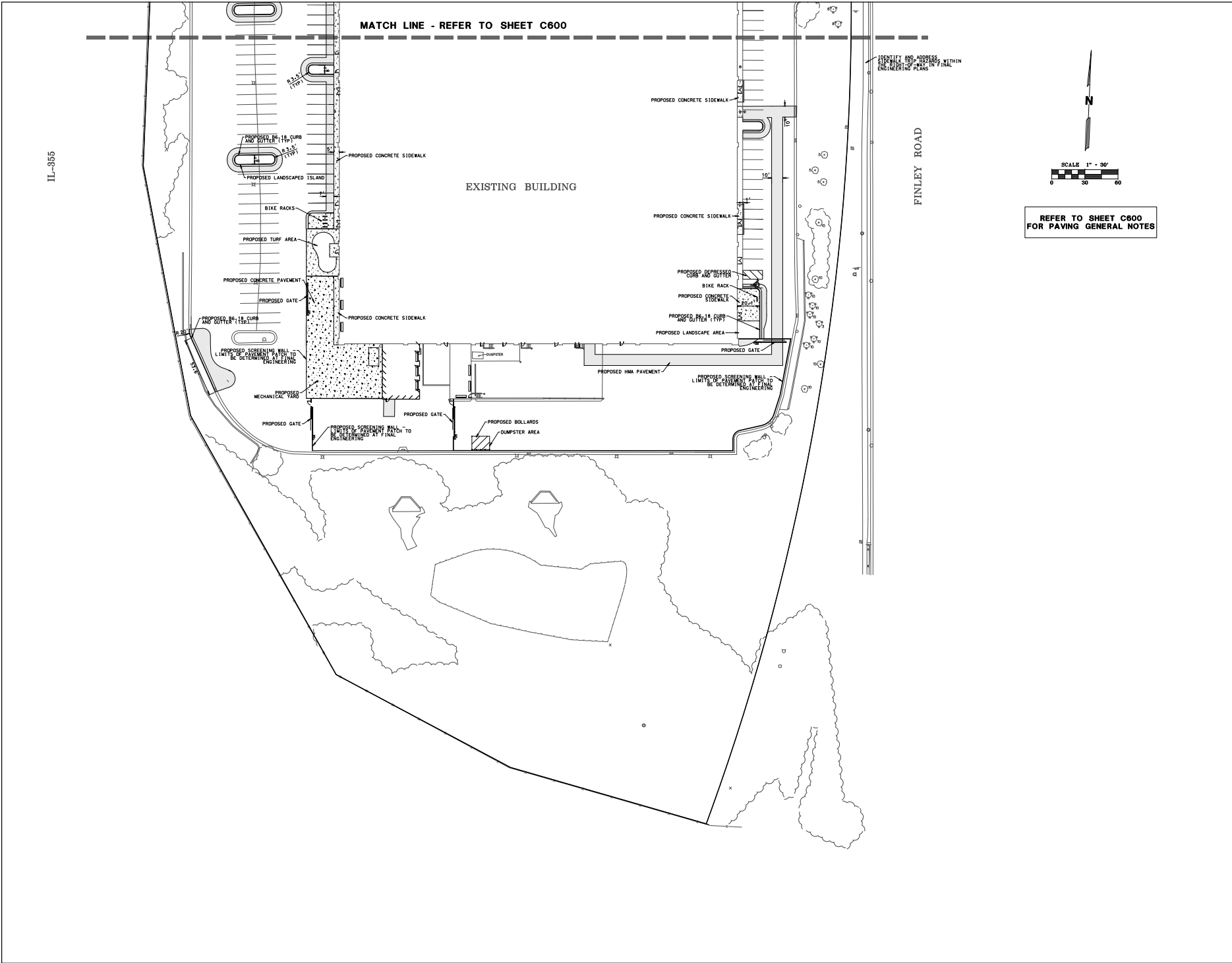
PUD SUBMITTAL

NET:

PROJECT:
PAVING PLAN - SOUTH

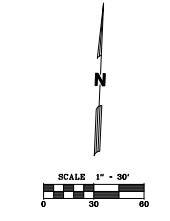
SHEET NUMBER:
C601

DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00



MATCH LINE - REFER TO SHEET C600

IDENTIFY AND ADDRESS SIDEWALK, TRIP AND CURB IN FINAL ENGINEERING PLANS



REFER TO SHEET C600 FOR PAVING GENERAL NOTES

4/25/2024 10:58 AM (Drawing) (Sheet) (DWG) (Project) (Sheet) (Title) (Date)

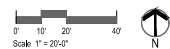
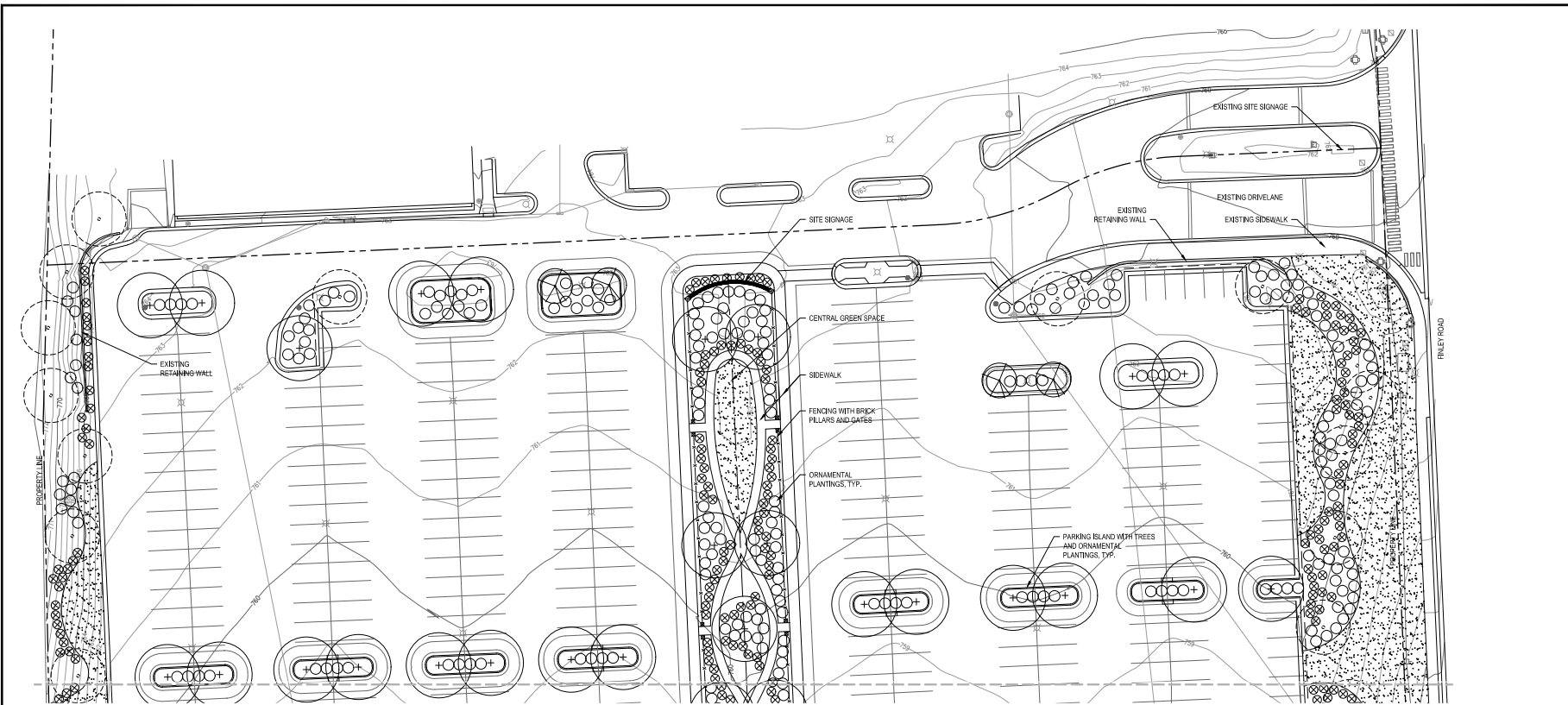


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No.	Description	Date

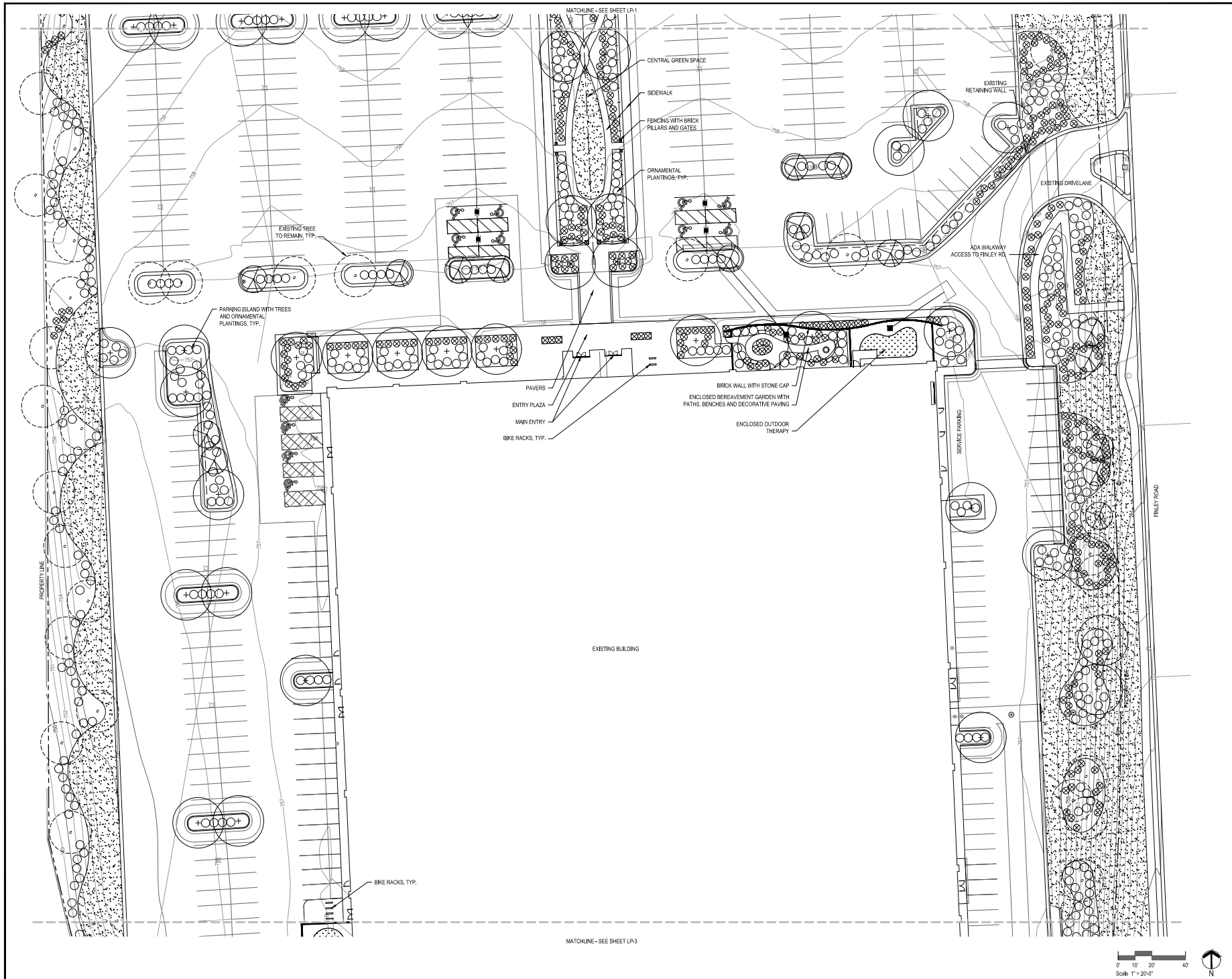
DATE: 04/25/24
DRAWN BY: LB
CHECKED BY: LM
PROJECT NUMBER: 2253.00

SHEET NAME:
LP-1



PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	BOTANICAL NAME	COMMON NAME	SIZE
TREES:			PERENNIALS, SEDGES & ORNAMENTAL GRASSES:		
Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	varies 3'-4" cal	Rudbeckia hirta	Black-eyed Susan	1.0T.
Acer freemanii 'Marmo'	Marmo Freeman Maple	varies 3'-4" cal	Asclepias tuberosa	Butterfly Weed	1.0T.
Acer hybrid 'Morton'	State Street Maple	varies 3'-4" cal	Eupatorium maculatum	Joe-Pye Weed	1.0T.
Acer saccharum	Sugar Maple	varies 3'-4" cal	Iris pseudacorus	Yellow Flag Iris	1.0T.
Nyssa sylvatica	Black Tupelo	varies 3'-4" cal	Echinacea purpurea 'Ruby Star'	Purple Coneflower	1.0T.
Platanus x acerifolia 'Bloodgood'	Bloodgood London Plane Tree	varies 3'-4" cal	Polygonum reptans	Jacob's Ladder	1.0T.
Pyrus calleryana 'Chanticleer'	Charnticleer Pear	varies 3'-4" cal	Tradescantia ohiensis	Spiderwort	1.0T.
Quercus bicolor	Swamp White Oak	varies 3'-4" cal	Carex bicknelli	Copper Oval Sedge	1.0T.
Quercus macrocarpa	Bur Oak	varies 3'-4" cal	Carex lewisii	Flame Oval Sedge	1.0T.
Quercus muehlenbergii	Chinkapin Oak	varies 3'-4" cal	Carex grisea	Long Awned Sedge	1.0T.
Ulmus japonica x wesslingiana 'Accolob'	Accolob Elm	varies 3'-4" cal	Bouteloua curtipendula	Silkbliss Grass	1.0T.
ORNAMENTAL TREES:			Arenaria scopulorum	Stonecrop	1.0T.
Ambrosia grandiflora 'Autumn Brilliance'	Serviceberry	10' Ht. Clump	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1.0T.
Betula nigra	10' Ht. Clump	Sporobolus heterolepis	Prairie Dropseed	1.0T.	
Carpinus caroliniana	American Hornbeam	6'-8' Ht. Clump	Grass - Kentucky Bluegrass		
Cercis canadensis	Eastern Redbud	6'-8' Ht. Clump	Artificial Turf		
Cornus mas	Cornelian Cherry Dogwood	6'-8' Ht. Clump	Native Plant Area: Remove dead plants, invasive and non-native species, and non-native woody plant species not specified as part of the planting plan		
Malus ioensis	Prairie Crab Apple	1'-2" cal			
Malus 'Jewelball'	Red Jewel Crabapple	6'-8' Ht. Clump			
Platanus americana	American Platan	6'-8' Ht. Clump			
SHRUBS:					
Aronia arbutifolia	Red Chokeberry	36" B&B			
Cornus alternifolia	Alternanthera Dogwood	24" B&B			
Cornus sericea 'flant'	Flant Redosier Dogwood	24" B&B			
Cornus stolonifera	Redosier Dogwood	24" B&B			
Ceanothus americanus	New Jersey Tea	24" Cont.			
Euthymus alatus 'Compact'	Dwarf Burning Bush	36" B&B			
Hamelia venalis	Spring Witchhazel	36" B&B			
Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	24" B&B			
Juniperus chinensis 'Sea Green'	Sea Green Juniper	24" B&B			
Myrica pensylvanica	Northern Bayberry	36" B&B			
Physocarpus opulifolius 'Munk'	Diablo Ninebark	36" B&B			
Rhus typhina 'Lacinated'	Cedar Elm Sumac	24" B&B			
Rosa carolina	Carolina rose	24" B&B			
Sambucus canadensis	Elkberry	24" B&B			
Taxus x media 'Danaiformis'	Dense Spreading Yew	24" B&B			
Viburnum dentatum	Arrowwood Viburnum	24" Cont.			
Viburnum lentago	Nannyberry Viburnum	24" Cont.			



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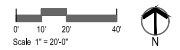
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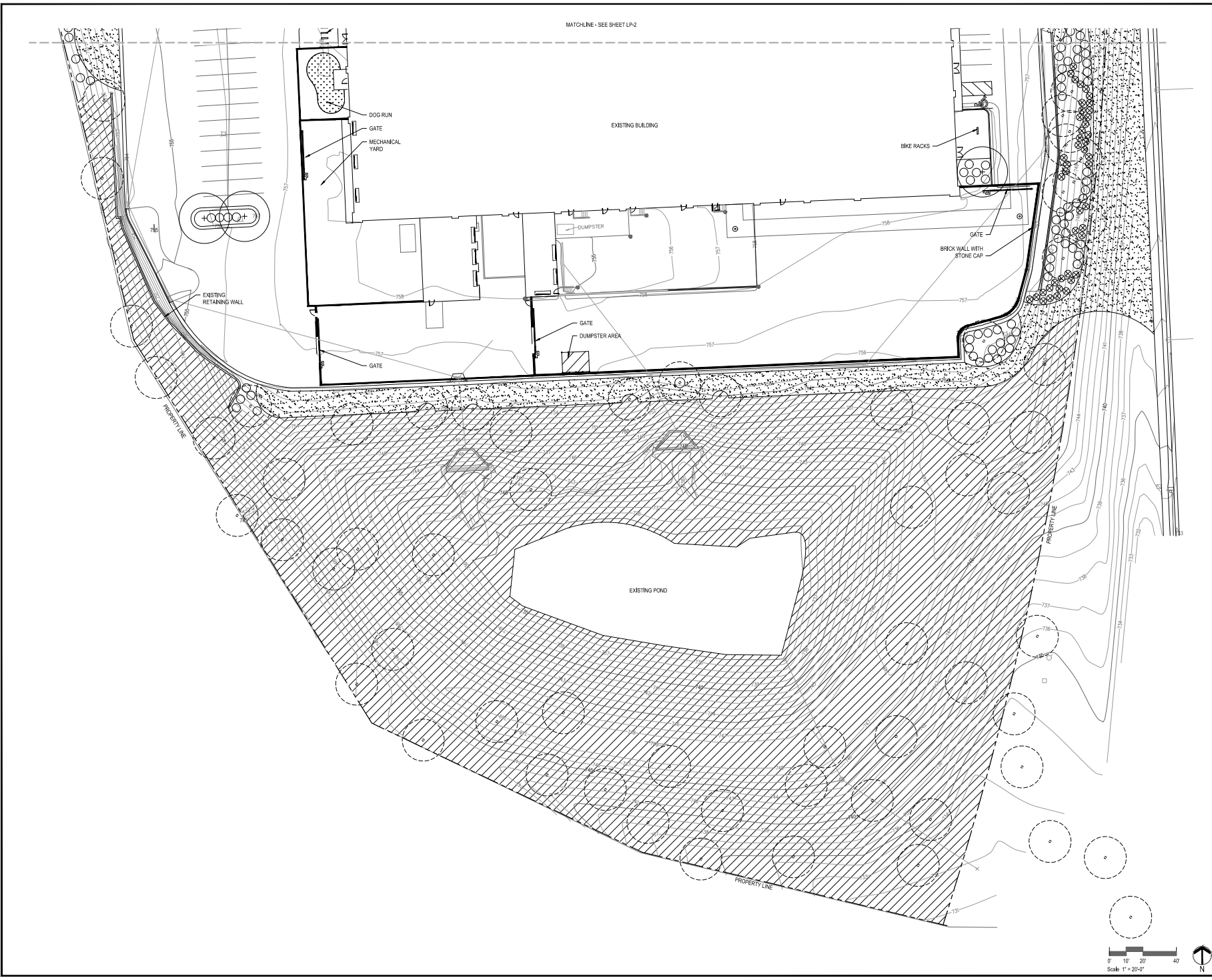
SHEET TITLE:
Clinic Landscape
Development Plans

SHEET NUMBER:
LP-2

DATE: 04/25/24	DESIGNED BY: LB	CHECKED BY: LM
	PROJECT NUMBER: 2253.00	



MATCHLINE - SEE SHEET LP-2



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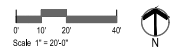
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 No. Description Date

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 DWL ARCHITECTS + PLANNERS INC.

SHEET TITLE
 Clinic Landscape
 Development Plans

SHEET NUMBER
LP-3

DATE	DESIGNED BY	CHECKED BY
04/25/24	LB	LM
		PROJECT NUMBER
		2253.00





Traffic Narrative Midwestern University Companion Animal Clinic 3300 Finley Road Downers Grove, Illinois

Midwestern University plans to renovate the existing structure located at 3300 Finley Road into a new Companion Animal Clinic with a new façade treatment and interior build out. The existing site will be improved with features including additional parking lot islands, a centralized dog park, mechanical equipment yards, outdoor treatment areas, and a bereavement garden adjacent to the building.



Existing Conditions

The clinic site is located immediately west of Finley Road, east of I-355 and south of Butterfield Road. The site shares a signalized access drive with XSport Fitness to the north at Opus Place & Finley Road and has its own right-in, right-out access located northeast of the building. Finley Road is under DuPage County Division of Transportation jurisdiction. Finley Road is generally a north-south road that extends from Crescent Blvd to Ogden Avenue (IL 34). The portion of Finley Road adjacent to the site provides two lanes in each direction and a posted speed limit of 45 miles per hour. According to the Illinois Department of Transportation, this segment of Finley Road carried an Annual Average Daily Traffic (AADT) volume of 20,800 vehicles in 2016 and 10,900 vehicles in 2020.

The signalized intersection provides two lanes of travel in both the north and south directions along Finley Road and signalized left-turn lanes. The left turn lane into the clinic site has approximately 209 feet of storage. The access drive into the site provides a single lane entering the site, while the lanes exiting the site onto Finley Road include a right/thru lane and a left-turn lane. A signalized pedestrian crossing is also provided.



Proposed Conditions

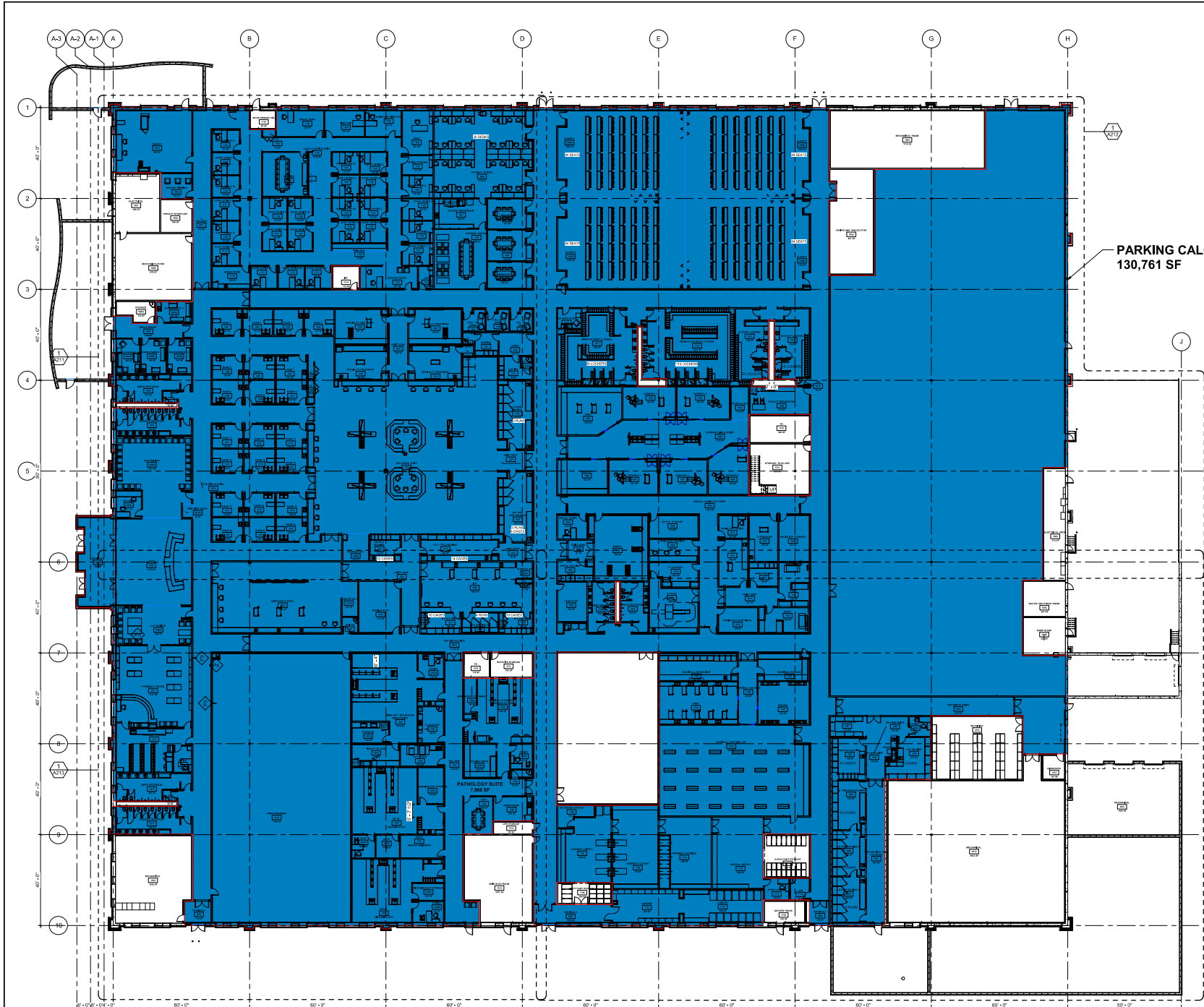
Parking for the proposed clinic will be accommodated in the existing parking lot, located south of the signalized intersection. As proposed, the clinic will fully build-out the existing facility. As shown on the attached Parking Calculation Area Exhibit, the usable space, storage and mechanical areas excluded, totals 130,761 sf. Classroom space occupies 8,457 sf of this space, while the remaining 122,304 sf is dedicated to veterinary clinic use.

According to Midwestern University, the clinic will be open Monday through Friday from 7:00 AM to 4:30 PM, will have 73 employees, and an anticipated enrollment of 150 students. However, only approximately half of the students are anticipated to be at the proposed clinic on any given

day. Employees and students will likely arrive and depart throughout the day. Based on the hours of the proposed clinic's operation, the peak hour of the proposed clinic generated traffic will likely be earlier than that of the roadway traffic during the weekday morning and evening time periods.

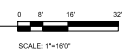
Based on recent data provided from Midwestern University's Glendale Arizona Clinic, we anticipate approximately 54 patient visits per day to the clinic. Given the anticipated student, employee, and patient populations the existing site access appears to be sufficient and would likely not exceed that of the former site use of Fry's Electronics.

The existing parking lot provides 826 parking spaces, of which 18 are handicapped accessible parking spaces. The proposed site improvements will remove several parking spaces, resulting in a total of 598 parking spaces, including 13 handicapped spaces. Anticipating a need for parking for 75% of the students results in a requirement of 112.5 parking spaces. Utilizing a ratio of 3.5 spaces/1,000 sf as directed by the Village for the 122,304 sf of clinic space results in requirement of 428.06 parking spaces. Together, this total parking requirement is 541 parking spaces. Based on anticipated student, staff, and public visits, the 598 parking spaces in the current site plan are adequate to support the needs of the Companion Animal Clinic.



PARKING CALCULATION AREA:
130,761 SF

MAIN LEVEL FLOOR PLAN
1/16" = 1'-0"



SCALE: 1"=16'0"

DWL
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545 Metro Place S, Ste 450
Dublin, OH 43017
614.965.6100
dwllarchitects.com

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

REV: _____
PROJECT NUMBER: _____

PARKING CALCULATION AREA

A208

DESIGNED BY: ES	CHECKED BY: BS
DATE: 03/18/24	PROJECT NUMBER: 2253.00

3/21/2024 5:22:19 PM

SHEET NOTES

1. ALL LIGHT FIXTURES SHOWN ARE EXISTING UNLESS NOTED OTHERWISE.

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MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

NO.	DESCRIPTION	DATE

PROJECT STATUS

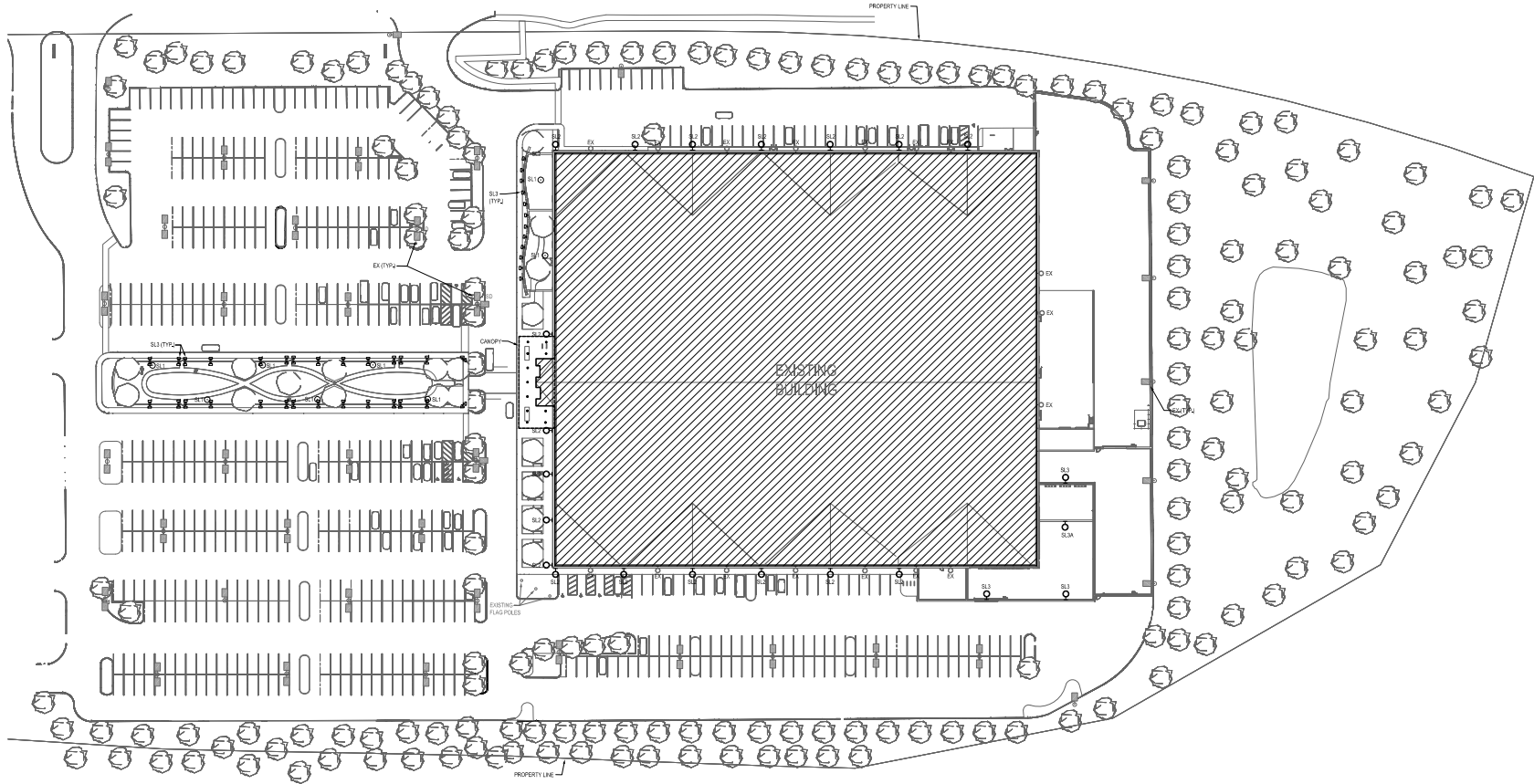
DESIGN DEVELOPMENT
 PERMITTING
 CONSTRUCTION

SHEET TITLE
SITE LIGHTING PLAN

SHEET NUMBER

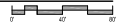
E-01

DESIGNER	DATE	PROJECT NUMBER
ML	03/29/24	JPS 2253.00



SITE LIGHTING PLAN

SCALE: 1" = 40'-0"





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MIDWESTERN UNIVERSITY
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3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

ML Description Date

PROJECT STATUS

ML Description Date

REV

SITE LIGHTING PHOTOMETRIC PLAN

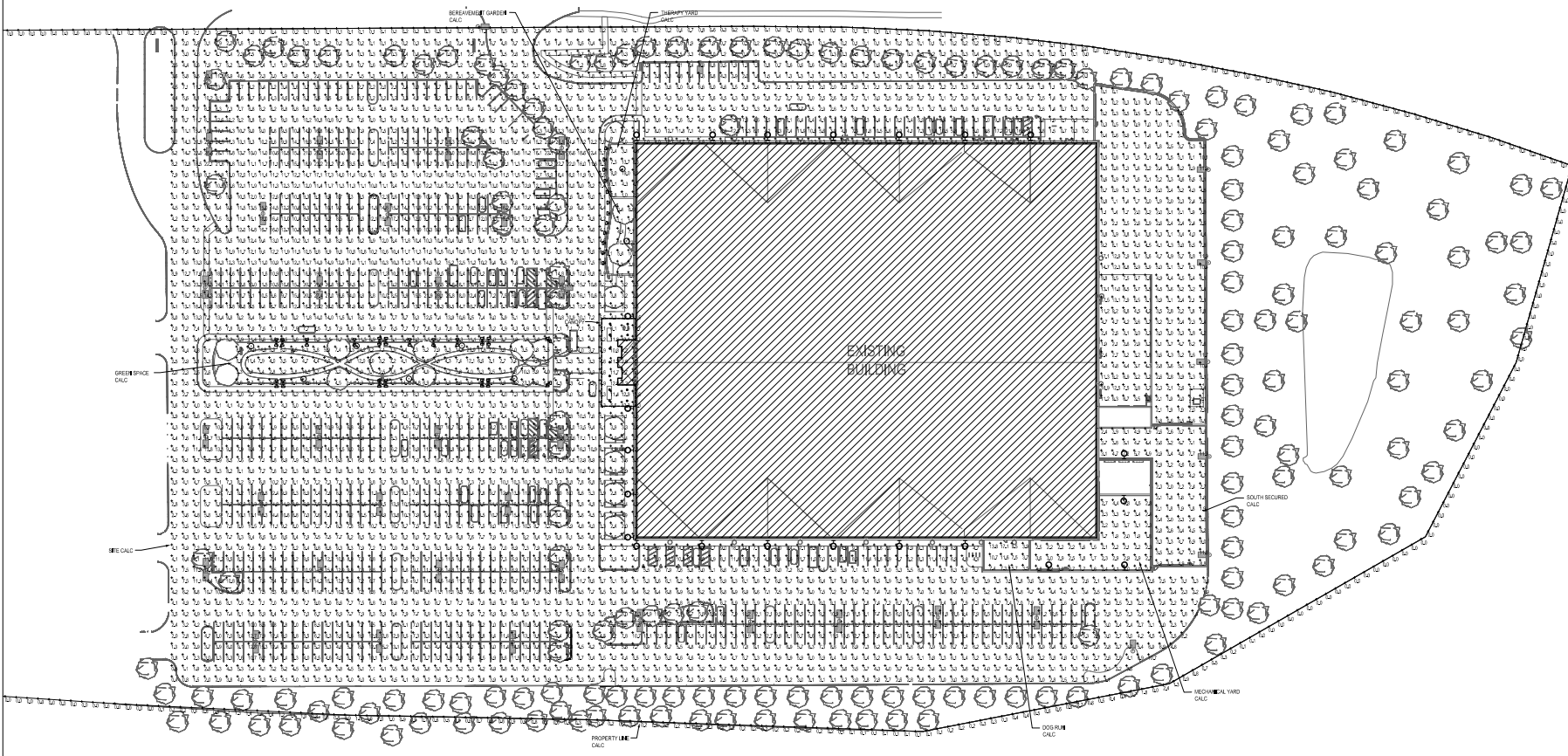
PROJECT NUMBER

E-02

DATE: 03/29/24 PROJECT NUMBER: 2253.00

Level	System	Code	Qty	Min	Max	Notes
Recreation Garden	Light	FC	1200	200	100	1200
Public	Light	FC	1200	100	100	1200
Open Space	Light	FC	1200	100	100	1200
Public Plaza	Light	FC	1200	100	100	1200
South Second Plaza	Light	FC	1200	100	100	1200
Public Garden	Light	FC	1200	100	100	1200

Level	System	Code	Qty	Min	Max	Notes
01	SL1	FC	1200	200	100	1200
02	SL2	FC	1200	100	100	1200
03	SL3	FC	1200	100	100	1200
04	SL4	FC	1200	100	100	1200
05	SL5	FC	1200	100	100	1200
06	SL6	FC	1200	100	100	1200
07	SL7	FC	1200	100	100	1200
08	SL8	FC	1200	100	100	1200
09	SL9	FC	1200	100	100	1200
10	SL10	FC	1200	100	100	1200
11	SL11	FC	1200	100	100	1200
12	SL12	FC	1200	100	100	1200
13	SL13	FC	1200	100	100	1200
14	SL14	FC	1200	100	100 </tr	



SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1"=40'

PROFLO LIGHTING & STANDARDS CO. SL1
2821 Lee Flores Blvd., Lawrence, GA 30244 TEL: 770.964.9344 FAX: 770.969.9451

KR & KS

DESCRIPTION
These reflector, reflect efficient luminaires are applied with special aluminum reflect and fully sealed lamp for dust and splash protection.

FEATURES
• 100% reflectance
• High power factor - 95%
• High temperature - 200°C
• High pressure - 100 PSI
• High vibration - 10 G
• High shock - 10 G

APPLICATIONS
• Industrial
• Warehouse
• Outdoor
• Marine

INSTALLATION
• Mounting to the luminaire is made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick aluminum sealed aluminum. The bezel is made of 1/2" thick sealed stainless aluminum.

DETAILS
• The lens is vertical mounted and is properly positioned to provide the appropriate light pattern.
• The reflector is constructed of special aluminum and is on Type 3 and 3 light distribution.

TECHNICAL SPECIFICATIONS
• All electrical components are UL listed and meet or exceed high power factor standards for 120 to 277 VAC. The luminaire is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

FINISHES
• Anodized Aluminum
• Powder Coat
• Paint
• Other colors upon request

KEY DATA
Lumen Range: 100-1000
Voltage Range: 120-277V
Power Factor: 0.95
Temperature: 200°C

PROFLO LIGHTING & STANDARDS CO.
UL LISTED FOR 120V/277V
www.proflo.com

PROFLO LIGHTING & STANDARDS CO. KR, KS

DESCRIPTION
Heavy gauge, cast aluminum. Lens made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

FEATURES
• 100% reflectance
• High power factor - 95%
• High temperature - 200°C
• High pressure - 100 PSI
• High vibration - 10 G
• High shock - 10 G

APPLICATIONS
• Industrial
• Warehouse
• Outdoor
• Marine

INSTALLATION
• Mounting to the luminaire is made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

DETAILS
• The lens is vertical mounted and is properly positioned to provide the appropriate light pattern.
• The reflector is constructed of special aluminum and is on Type 3 and 3 light distribution.

TECHNICAL SPECIFICATIONS
• All electrical components are UL listed and meet or exceed high power factor standards for 120 to 277 VAC. The luminaire is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

FINISHES
• Anodized Aluminum
• Powder Coat
• Paint
• Other colors upon request

KEY DATA
Lumen Range: 100-1000
Voltage Range: 120-277V
Power Factor: 0.95
Temperature: 200°C

PROFLO LIGHTING & STANDARDS CO.
UL LISTED FOR 120V/277V
www.proflo.com

UP-DOWN CYLINDER CYLINDER

PROJECT: SL2
TYPE: SL2
QUANTITY:

DESCRIPTION
• 100% reflectance
• High power factor - 95%
• High temperature - 200°C
• High pressure - 100 PSI
• High vibration - 10 G
• High shock - 10 G

APPLICATIONS
• Industrial
• Warehouse
• Outdoor
• Marine

INSTALLATION
• Mounting to the luminaire is made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

DETAILS
• The lens is vertical mounted and is properly positioned to provide the appropriate light pattern.
• The reflector is constructed of special aluminum and is on Type 3 and 3 light distribution.

TECHNICAL SPECIFICATIONS
• All electrical components are UL listed and meet or exceed high power factor standards for 120 to 277 VAC. The luminaire is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

FINISHES
• Anodized Aluminum
• Powder Coat
• Paint
• Other colors upon request

KEY DATA
Lumen Range: 100-1000
Voltage Range: 120-277V
Power Factor: 0.95
Temperature: 200°C

TMS LIGHTING

UP-DOWN CYLINDER CYLINDER

PROJECT: SL2
TYPE: SL2
QUANTITY:

DESCRIPTION
• 100% reflectance
• High power factor - 95%
• High temperature - 200°C
• High pressure - 100 PSI
• High vibration - 10 G
• High shock - 10 G

APPLICATIONS
• Industrial
• Warehouse
• Outdoor
• Marine

INSTALLATION
• Mounting to the luminaire is made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

DETAILS
• The lens is vertical mounted and is properly positioned to provide the appropriate light pattern.
• The reflector is constructed of special aluminum and is on Type 3 and 3 light distribution.

TECHNICAL SPECIFICATIONS
• All electrical components are UL listed and meet or exceed high power factor standards for 120 to 277 VAC. The luminaire is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

FINISHES
• Anodized Aluminum
• Powder Coat
• Paint
• Other colors upon request

KEY DATA
Lumen Range: 100-1000
Voltage Range: 120-277V
Power Factor: 0.95
Temperature: 200°C

TMS LIGHTING

BEACON GEOPAK Series 2
SL3

DESCRIPTION
• 100% reflectance
• High power factor - 95%
• High temperature - 200°C
• High pressure - 100 PSI
• High vibration - 10 G
• High shock - 10 G

APPLICATIONS
• Industrial
• Warehouse
• Outdoor
• Marine

INSTALLATION
• Mounting to the luminaire is made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

DETAILS
• The lens is vertical mounted and is properly positioned to provide the appropriate light pattern.
• The reflector is constructed of special aluminum and is on Type 3 and 3 light distribution.

TECHNICAL SPECIFICATIONS
• All electrical components are UL listed and meet or exceed high power factor standards for 120 to 277 VAC. The luminaire is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

FINISHES
• Anodized Aluminum
• Powder Coat
• Paint
• Other colors upon request

KEY DATA
Lumen Range: 100-1000
Voltage Range: 120-277V
Power Factor: 0.95
Temperature: 200°C

BEACON LIGHTING

BEACON GEOPAK Series 2
SL4

DESCRIPTION
• 100% reflectance
• High power factor - 95%
• High temperature - 200°C
• High pressure - 100 PSI
• High vibration - 10 G
• High shock - 10 G

APPLICATIONS
• Industrial
• Warehouse
• Outdoor
• Marine

INSTALLATION
• Mounting to the luminaire is made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

DETAILS
• The lens is vertical mounted and is properly positioned to provide the appropriate light pattern.
• The reflector is constructed of special aluminum and is on Type 3 and 3 light distribution.

TECHNICAL SPECIFICATIONS
• All electrical components are UL listed and meet or exceed high power factor standards for 120 to 277 VAC. The luminaire is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

FINISHES
• Anodized Aluminum
• Powder Coat
• Paint
• Other colors upon request

KEY DATA
Lumen Range: 100-1000
Voltage Range: 120-277V
Power Factor: 0.95
Temperature: 200°C

BEACON LIGHTING

UP-DOWN CYLINDER CYLINDER

PROJECT: SL4
TYPE: SL4
QUANTITY:

DESCRIPTION
• 100% reflectance
• High power factor - 95%
• High temperature - 200°C
• High pressure - 100 PSI
• High vibration - 10 G
• High shock - 10 G

APPLICATIONS
• Industrial
• Warehouse
• Outdoor
• Marine

INSTALLATION
• Mounting to the luminaire is made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

DETAILS
• The lens is vertical mounted and is properly positioned to provide the appropriate light pattern.
• The reflector is constructed of special aluminum and is on Type 3 and 3 light distribution.

TECHNICAL SPECIFICATIONS
• All electrical components are UL listed and meet or exceed high power factor standards for 120 to 277 VAC. The luminaire is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

FINISHES
• Anodized Aluminum
• Powder Coat
• Paint
• Other colors upon request

KEY DATA
Lumen Range: 100-1000
Voltage Range: 120-277V
Power Factor: 0.95
Temperature: 200°C

TMS LIGHTING

UP-DOWN CYLINDER CYLINDER

PROJECT: SL4
TYPE: SL4
QUANTITY:

DESCRIPTION
• 100% reflectance
• High power factor - 95%
• High temperature - 200°C
• High pressure - 100 PSI
• High vibration - 10 G
• High shock - 10 G

APPLICATIONS
• Industrial
• Warehouse
• Outdoor
• Marine

INSTALLATION
• Mounting to the luminaire is made of 200" thick open aluminum with 3/16" wall can alternate in lens frame. The housing to the lens frame is made of 200" thick stainless steel and is mounted on a removable tray for easy maintenance.

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KEY DATA
Lumen Range: 100-1000
Voltage Range: 120-277V
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Temperature: 200°C

TMS LIGHTING

DWL ARCHITECTS+
545 Metro Plaza S, Ste 450
Downers Grove, IL 60117
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dwlarchitects.com

**MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC**
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515

REVISIONS
No. Description Date

PROJECT STATUS
PROJECT NUMBER: 2253.00
DATE: 03/29/24

SHEET TITLE
SITE LIGHTING CUT SHEETS

SHEET NUMBER
E-03

DRAFT

VILLAGE OF DOWNERS GROVE
PLAN COMMISSION MEETING

May 6, 2024, 7:00 P.M.

24-PCE-0010: A PETITION SEEKING APPROVAL FOR AN AMENDMENT TO PLANNED DEVELOPMENT #57. THE PROPERTY IS CURRENTLY ZONED B-3/P.D. #57, GENERAL SERVICES AND HIGHWAY BUSINESS/PLANNED UNIT DEVELOPMENT #57. THE PROPERTY IS LOCATED ON THE SOUTHWESTS CORNER OF FINLEY ROAD AND OPUS PLACE, EAST OF I-355 IN DOWNERS GROVE, IL. (PIN: 06-31-101-017). BRAD SWANK, PETITIONER AND MIDWESTERN UNIVERSITY, OWNER.

Daniel Tapia, Vice President of Operations at Midwestern University, explained they were seeking approval for an amendment to Planned Development #57 zoned B-3/P.D. for a veterinary medicine clinic and to provide further education.

Brad Swank, Petitioner, presented on behalf of Midwestern University. He explained the facility is located at 3300 Finley Road that was a previous Fry's Electronics Store, and they are looking to improve the site to create a vet clinic. He expressed that the project is consistent with the comprehensive plan and they are asking for permission to use the College University as a permitted use in addition to the vet care in the comprehensive plan. He noted there are numerous public benefits with this project. He said they would be removing 228 of the 826 existing parking spaces and displayed the site plan of the design and explained the program elements. He discussed applying for a signage amendment and discussed materiality of the project.

Chairman Rickard asked the commissioners for any questions for the petitioner.

Commissioner Patel asked if there was a proposed lighting plan for the parking lot. Mr. Swank stated there was and it was provided in the packet.

Commissioner Roche asked if the common area green space would be fenced. Mr. Swank responded that is correct.

Commissioner Frankovic inquired if the landscaping plan consisted of native plants. Mr. Swank said yes, they would meet the standard for planting materials.

Chairman Rickard asked if the fire lane that goes all the way around was required and a full functioning fire lane. Mr. Swank confirmed that was the case.

Chairman Rickard asked for public comment.

Brian Gay, President CEO of the Downers Grove Economic Development Corporation, spoke in favor of the development and discussed multiple options proposed by the previous owners and said they feel this use is appropriate and will bring the best and brightest veterinarians and more people participating in economic development in Downers Grove.

DRAFT

Scott Richards said this was an improvement from the last proposal they had and it was nice to utilize the existing building, but it is large. He asked how the whole building would be utilized. He also asked about traffic, hours, and green space.

Elizabeth Hanson commented that involving the school is awesome and it should be top notch teaching for their students, so she commended it.

Chairman Rickard asked for the staff report.

Flora Leon, Senior Planner, stated the petition is a request for a planned unit development amendment, including an amendment to Planned Unit Development #57 and to amend the existing master signage plan associated for an animal clinic and teaching university. She discussed the location map and zoning, which is zoned B3/P.D. #57, located at the southwest corner of Finley Road and Opus Place. She said they mailed notices, published the petition in the newspaper, and put a sign at the site. Staff did not receive any questions or inquires regarding the petition. She discussed the survey, site plan improvements, proposed sign package, and goals of the comprehensive plan. Ms. Leon also provided the plan unit development criteria. Staff found criteria has been met and recommends approval.

Chairman Rickard asked for questions for staff. There were none.

Chairman Rickard called the petitioner back up to answer any questions or make any comments.

Mr. Swank stated it will primarily be an animal clinic for small animals, mainly dogs and cats. He said the goal was to have it be open 24 hours a day, but there is a challenge in finding staffing for that. Mr. Tapia expressed there would be a reduction in traffic from when Fry's Electronics was there.

Chairman Rickard asked the commissioners for discussion.

Chairman Rickard stated it was an easy decision, a needed use, and appropriate for the area.

Commissioner Roche agreed and said people will take advantage of having animal care.

Commissioner supported it and said it was a good use of real estate and the proximity to the campus was logical and great asset to Downers Grove.

Commissioner Frankovic agreed it was a good addition to the community and a great plan for the building. She said she would like to see different other than cats and dogs.

Commissioner Toth liked the proposal and said it was good to see the property be put to use and a great addition to the city.

BASED ON THE PETITIONER'S SUBMITTAL, THE STAFF REPORT, AND THE TESTIMONY PRESENTED, COMMISSIONER PATEL MADE THE MOTION THAT FOUND THAT THE PETITIONER HAS MET THE STANDARDS OF APPROVAL FOR A PLANNED UNIT DEVELOPMENT #57 AMENDMENT AS REQUIRED BY THE VILLAGE OF DOWNERS GROVE ZONING ORDINANCE AND IS IN THE PUBLIC INTEREST AND THEREFORE THAT THE PLANNING COMMISSION RECOMMEND TO THE VILLAGE

DRAFT

COUNCIL APPROVAL OF 24-PCE-0010, SUBJECT TO THE CONDITIONS LAID OUT IN THE STAFF REPORT.

SECOND BY COMMISSIONER FRANKOVIC

ROLL CALL:

AYE: TOTH, K. PATEL, V. PATEL, CHAIRMAN RICKARD, FRANKOVIC, ROCHE

NAY: NONE

MOTION APPROVED. VOTE: 6-0

/s/ Celeste K. Weilandt
Recording Secretary

(As transcribed by Ditto Transcripts)