

VILLAGE OF DOWNERS GROVE
Report for the Village
1/21/2025

SUBJECT:	SUBMITTED BY:
844 Warren Avenue - Planned Unit Development Amendment	Stan Popovich, AICP Director of Community Development

SYNOPSIS

The petitioner is requesting approval for a Planned Unit Development (PUD) Amendment to PUD #61 to construct a restaurant with a year-round outdoor dining area at 844 Warren Avenue.

STRATEGIC PLAN ALIGNMENT

The goals for the 2023-2025 Strategic Plan include acting as a *Strong and Diverse Local Economy*.

FISCAL IMPACT

N/A

RECOMMENDATION

Approval on the February 4, 2025 active agenda per the Planning and Zoning Commission's unanimous 9:0 positive recommendation.

BACKGROUNDProperty Information and Zoning Request

The petitioner is seeking approval of an amendment to Planned Unit Development #61 (PUD #61), to allow the construction of restaurant with a year-round outdoor dining area and related improvements at 844 Warren Avenue. The currently vacant property is located at the northeast corner of Washington Street and Warren Avenue.

PUD #61 was established in 2019 to also allow the construction of a restaurant with a year-round outdoor dining area and related improvements, but it was never constructed and the site was restored to green space. While the current proposal is similar, the amendment is needed as significant changes have been made to the originally approved development plan.

The petitioner is proposing to construct an L-shaped two-story, 15,642 square foot restaurant building with a basement. The front of the building will be oriented toward the intersection of Washington Street and Warren Avenue, surrounding a large outdoor patio area for patrons to use year-round. The building facades will be composed of brick veneer, masonry, heavy timber, steel, and glass. Indoor seating will be provided along with a private dining room, golf simulator modules and dart throwing areas. Only one curb cut, located on the far southeast side of property along Warren Avenue, is proposed to accommodate deliveries and trash pick-up.

Compliance with the Comprehensive Plan

The proposed development meets the Comprehensive Plan's key concepts for this subarea as summarized in the Planning and Zoning Commission (PZC) staff report, including recommendations as development that is pedestrian oriented and walkable, encourages outdoor seating for restaurants and promotes a diverse mix of uses including dining and entertainment in downtown.

The Comprehensive Plan also states that the downtown should be characterized as an environment within which to shop, dine, work and live. Furthermore, the Comprehensive Plan recommends that ground floor uses are primarily retail, entertainment, and personal service.

Compliance with the Zoning Ordinance

The property is zoned Downtown Business (DB)/Planned Unit Development #61 (PUD #61). Per Section 28.5.010 of the Zoning Ordinance, a restaurant is a permitted use in the Downtown Business Zoning District. The petitioner is requesting relief from various aspects of the Zoning Ordinance as outlined in Table 3 of the PZC staff report.

Compliance with the Downtown Design Guidelines

The Downtown Design Guidelines provide guidance for building and site design, which will assist in creating a vibrant downtown. The guidelines are divided into seven separate sections: site design, building design, building base, building middle, building top, utility considerations, and parking facilities. Each section describes elements, which support good design, and provides visual references, which identify both encouraged and discouraged elements. The proposed development meets the guidelines as demonstrated in Table 1 of the PZC staff report.

Public Comment

Prior to the public hearing staff received one public comment which is included in the attachments to the PZC staff report. During the public hearing, four residential neighbors of the project expressed support for the project, while one resident expressed concern about traffic flow on Washington Street.

ATTACHMENTS

Aerial Map

Ordinance

Staff Report with attachments dated January 6, 2025

Draft Minutes

ORDINANCE NO. _____**AN ORDINANCE APPROVING AN AMENDMENT
TO PLANNED UNIT DEVELOPMENT #61
TO PERMIT CONSTRUCTION OF A RESTAURANT
WITH YEAR-ROUND OUTDOOR DINING AT 844 WARREN AVENUE**

WHEREAS, the Village Council has previously adopted Ordinance No. 5806, on December 17, 2019, designating the property described therein as Planned Unit Development #61; and,

WHEREAS, the Petitioner has filed a written petition with the Village conforming to the requirements of the Zoning Ordinance and requesting an amendment to Planned Unit Development #61 to permit construction of a restaurant with year-round outdoor dining; and,

WHEREAS, such request was referred to the Planning and Zoning Commission of the Village of Downers Grove, and the Planning and Zoning Commission has given the required public notice, conducted a public hearing for the petition on January 6, 2025, and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Planning and Zoning Commission has recommended approval of the requested petition, subject to certain conditions; and,

WHEREAS, the Village Council has considered the record before the Planning and Zoning Commission, as well as the recommendations of Planning and Zoning Commission.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, DuPage County, Illinois, as follows:

SECTION 1. That the provisions of the preamble are incorporated into and made a part of this ordinance as if fully set forth herein.

SECTION 2. That a Planned Unit Development Amendment is hereby adopted authorizing construction of a restaurant with year-round outdoor dining.

SECTION 3. That approval set forth in Section 2 of this ordinance is subject to the findings and recommendations of the Downers Grove Planning and Zoning Commission regarding File 24-PCE-0034 as set forth in the minutes of their January 6, 2025 meeting.

SECTION 4. That the restaurant with year-round dining allowed use is consistent with and complimentary to the overall planned unit development site plan and with the requirements of the "DB/PUD #61, Downtown Business/Planned Unit Development #61" zoning district.

SECTION 5. The DB/PUD #61, *Downtown Business/Planned Unit Development #61*, plans are hereby approved to permit a Planned Unit Development authorizing a commercial redevelopment, subject to the conditions and restrictions contained therein, and subject to the following:

1. The Planned Unit Development and Rezoning shall substantially conform to the staff report dated January 6, 2025; architectural drawings prepared by DXU Architects dated October 16, 2024, and last revised on December 18, 2024, and engineering and landscaping drawings prepared by Weaver Consultants Group, October 25, 2024 and last revised on December 5, 2024, except as such plans may be modified to conform to the Village codes and ordinances.
2. No delivery vehicles may be parked or stand on Washington Street at any time.
3. All rooftop equipment must meet the screening requirements outlined in Section 28.8.040(c) of the Municipal Code.
4. All signs shall comply with Section 28.9 of the Municipal Code.
5. The sidewalk adjacent to the development shall be maintained and cleaned in a manner acceptable to the Community Development Director.
6. Outdoor seating is permitted year round as shown in the architectural drawings prepared by DXU Architects dated October 16, 2024, and last revised on December 18, 2024.
7. No outdoor entertainment shall be allowed past 10:00 pm.
8. A photometric plan shall be submitted prior to the issuance of a permit.

SECTION 6. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

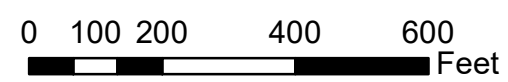
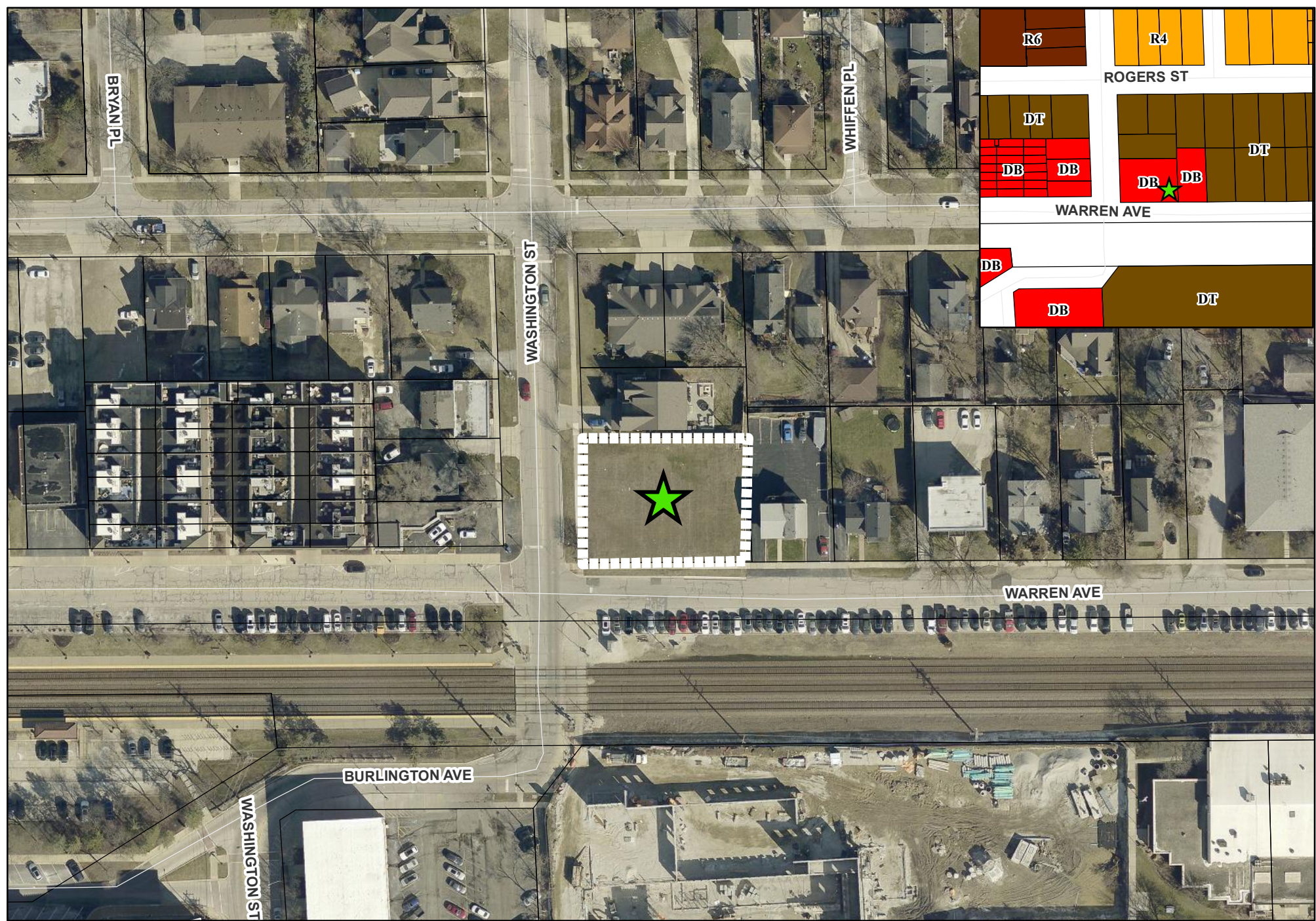
SECTION 7. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

Mayor



Passed:

Published:

Attest: _____
Village Clerk



844 Warren Avenue - Location Map

-  Subject Property
-  Sign Location



VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLANNING AND ZONING COMMISSION
JANUARY 6, 2025 AGENDA

SUBJECT:	TYPE:	SUBMITTED BY:
24-PCE-0034 844 Warren Avenue	Planned Unit Development Amendment	Emily Hepworth, AICP Planner

REQUEST

The petitioner is requesting approval for a Planned Unit Development amendment to Planned Unit Development #61 to construct a restaurant with a year-round outdoor dining area at 844 Warren Avenue.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER: Timothy Canning
1109 W Washington Blvd. Apt. 2C
Chicago, IL 60607

PETITIONER: Stop It Yes
Eric Styer, DXU Architects
412 S. Wells Street
Chicago, IL 60607

PROPERTY INFORMATION

EXISTING ZONING: DB/P.U.D. #61, Downtown Business/Planned Unit Development #61
EXISTING LAND USE: Vacant
PROPERTY SIZE: 13,210 sq. ft. (.303 acres)
PIN: 09-08-125-004

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	DT, Downtown Transition	Downtown
SOUTH:	DT, Downtown Transition	Downtown
EAST:	DB, Downtown Business	Downtown
WEST:	DB, Downtown Business	Downtown

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Project Narrative
2. Planned Unit Development Criteria

3. Plat of Survey
4. Project Renderings
5. Architectural Plans
6. Engineering Plans
7. Landscape Plan
8. Parking Impact Study

PROJECT DESCRIPTION

The petitioner is seeking approval of an amendment to Planned Unit Development #61 (PUD #61), to allow the construction of restaurant with a year-round outdoor dining area and related improvements at 844 Warren Avenue. The property is located at the northeast corner of Washington Street and Warren Avenue. The parcel is currently vacant.

PUD #61 was established in 2019 to also allow the construction of with a year-round outdoor dining area and related improvements, but it was never constructed and the site was restored to green space. The 2019 PUD approval included the renovation, addition and repurposing of an existing service station into a restaurant with similar outdoor dining opportunities along Washington Street and Warren Avenue. While the current proposal is similar, the amendment is needed as significant changes have been made to the originally approved development plan.

The petitioner is proposing to improve the now vacant property by constructing an L-shaped two-story, 15,642 square foot restaurant building with a basement. The front of the building will be oriented toward the intersection of Washington Street and Warren Avenue, surrounding a large outdoor patio area which will be programmed with space for patrons to use year-round. The basement will have direct access to the Washington Street sidewalk in addition to having interior access. The building facades will be composed of brick veneer, masonry, heavy timber, steel, and glass. Indoor seating will be provided along with a private dining room, golf simulator modules and dart throwing areas. Only one curb cut, located on the far southeast side of property along Warren Avenue, is proposed to accommodate deliveries and trash pick-up. The petitioner is providing landscaping along the western side and along a portion of the south side of the building.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Comprehensive Plan places this property within the Downtown Focus Area. The Downtown Focus Area key concepts include:

- Development that is pedestrian-oriented and walkable
- Maintain a commitment to quality architecture
- Encourage outdoor seating areas for restaurants
- Placement of restaurants with sidewalk cafes maintain visual interest and generate foot traffic.
- Promotion of diverse mix of uses including dining and entertainment uses

The Comprehensive Plan also states that the downtown should be characterized as an environment within which to shop, dine, work and live. Furthermore, the Comprehensive Plan identifies that in order for the downtown to maintain a pedestrian-orientation it is recommended that ground floor uses are primarily retail, entertainment, and personal service. Lastly, the proposal could potentially encourage commuters to stay in the downtown longer.

The proposed development is consistent with the intent of the Comprehensive Plan.

COMPLIANCE WITH DOWNTOWN DESIGN GUIDELINES

The Downtown Design Guidelines provide guidance for building and site design which will assist in

creating a vibrant downtown. The guidelines are divided into seven separate sections: site design, building design, building base, building middle, building top, utility considerations, and parking facilities. Each section describes elements which support good design and provides visual references which identify both encouraged and discouraged elements. As recommended by the Downtown Design Guidelines, the proposed development incorporates the following features:

Table 1: Downtown Design Guidelines Review

Downtown Design Guideline Elements	Summary of Compliance
Site Design	<ul style="list-style-type: none"> • Structural articulation is included by breaking the plane of the building by offsets, insets for entryways and the second story in addition to the utilization of alternative roof structures and varied roof lines. • As the outdoor dining is critical to the design intent of the site, the physical gaps to the streetwall are minimized by providing outdoor dining and gathering spaces in addition to a pergola along Warren Avenue and landscaping along Washington Street. • The outdoor dining will activate a currently vacant street corner, and the remainder of the structure is proposed in the build-to zone.
Building Design	<ul style="list-style-type: none"> • The façade is visually appealing through articulation, detailing, openings and materials of each elevation. • Consistent building materials and detailing on all sides of the structure that are open to public view has been provided. • The building will feature stone-cladding and brick façade base with batten siding, heavy timber accents and windows through the middle with a combination of pitched and flat roof lines. • Windows line the Warren Avenue facades and the materials at this base level wrap around the south and western facades. • The proposed construction will contain high-quality building materials that differentiate the base, middle, and top of the building. • The Warren Avenue and Washington Street façades, in addition the northern facade each provides multiple planes which provides visually appealing façades. • The northern facade includes detailing that provides privacy for the neighbors while incorporating articulated panels to provide visual interest for those traveling southbound on Washington Street
Building Base	<ul style="list-style-type: none"> • The building's base provides masonry veneer, windows, landscaping, and a patio space to provide a friendly pedestrian space. • The majority of the south and west facades incorporates the use of windows and differentiated materials to provide interest and activity at the street. • Light fixtures are placed on the building to add visual interest while highlighting building details.
Building Middle	<ul style="list-style-type: none"> • The middle of the building includes windows in rhythm with the base level, reflect proportionate shapes and patterns and is visually appealing through detailing, openings and materials. • The presence of windows and the balcony on the second floor creates a void to balance the cast stone and masonry veneer façade.
Building Top	<ul style="list-style-type: none"> • The variation of the proposed truss roofs and modern flat roofs provide distinction.
Utility Considerations	<ul style="list-style-type: none"> • The design of maintenance, utility and service areas were integrated into the overall design of the building. • The proposed rooftop utility equipment will be screened in accordance with the screening ordinance.
Parking Facilities	<ul style="list-style-type: none"> • No private on-site parking is proposed.

COMPLIANCE WITH ZONING ORDINANCE

The property is zoned DB/P.U.D. #61. The eating and drinking establishment business is a permitted use in the Downtown Business Zoning District. The bulk requirements of the proposed development in the Downtown Business Zoning District are summarized in the following table:

Table 2: Zoning Ordinance Requirements

844 Warren Avenue	Downtown Business Bulk Requirements	Proposed
Street Setback – West property line	0-10 feet minimum	0.22 feet
Street Setback – South property line	0-10 feet minimum	0 feet
Side Setback – East property line	0 feet	4.4 feet
Side Setback – North property line	0 feet	4.5 feet
Building Coverage	N/A	59.6% (7,863 sq. ft.)
Minimum Open Space	N/A	0%
Building Height	Minimum Building Height of 32 feet	36.6 feet
Build-to-Zone – Washington Street	30 percent	50 percent
Build-to-Zone – Warren Avenue	80 percent	40 percent*
Build to Zone – Corner	The building must be within the required build-to zone for the first 25 feet extending from the intersection of the two rights-of way.	0 feet*

The following proposed improvements require relief from the Zoning Ordinance:

Table 3: Summary of Requested Deviations

Improvement	Relief Request	Petitioner's Rationale
Build-to-Zone (BTZ) (Warren Avenue)	Requirement: Percent of Building in Primary Street BTZ: 80 Percent <i>Proposed: 40%</i>	The building's "L" shape is intended to focus the energy of the building towards the southwestern corner of the property, towards the public streets and railroad. This area is proposed to be activated with outdoor seating, which impedes the development of this site to meet the BTZ requirements. Although it is not a building wall, a pergola structure is proposed along Warren Avenue, which assists in extending the feeling of a streetwall.
Build-to-Zone (Corner Lots)	Requirement: On corner lots, the building's façade must be within the required build-to zone for the first 25 feet extending from the intersection of the two rights-of way. <i>Proposed: 0 feet</i>	The unique outdoor dining experience impedes the development of this site to meet the BTZ requirements. This area is proposed to be activated with outdoor seating under a pergola and within the landscape and beacon element on the hard corner.

Walkway	Requirement: 1 foot setback <i>Proposed: 0 feet</i>	A walkway is required to provide a path of egress from the doors on the north and east sides of the building to the public sidewalk.
Fire Pit	Requirement: Permitted in side and rear yards. <i>Proposed Yard: Street</i>	The unique outdoor dining concept and location of the building places all available open space in the street yard. In order to program the outdoor space relief is required.
Year Round Outdoor Seating	Permitted: Between March 15 and November 15 <i>Proposed: Year-round</i>	To maximize the unique outdoor dining concept and design layout the availability of year-round outdoor dining is being requested.
Pergola	Requirement: 6 foot setback <i>Proposed: 1 foot 5 inches</i>	The pergola is included to create an activated area near the sidewalk where a building is typically required to meet the build to zone requirements.

Regarding parking, the subject property and proposed use do not require minimum off-street parking. However, per the recommendation provided in the Comprehensive Plan, a parking demand study was included with the petition submission, further summarized below. All signage and exterior lighting will be required to meet the Village's regulations.

ENGINEERING/PUBLIC IMPROVEMENTS

The site is currently served by a public sidewalk along both Warren Avenue and Washington Street. Only one curb cut is proposed on the southeastern side of the property to provide access for deliveries directly into the kitchen. Water, stormwater and sanitary sewer service lines are located within both Warren Avenue and Washington Street and will serve the development.

It should be noted that the subject property receives credit for the impervious surface that existed with the previous automobile service station located on the subject property. The net new impervious surface area will not exceed the amount required to install post construction best management practices. The petitioner is proposing to install a permeable paver patio area. All improvements shall meet the Stormwater and Floodplain Ordinance.

TRAFFIC AND PARKING

A parking demand study for the proposed development was completed by the petitioner. The study examined the peak parking demand and the available parking in downtown parking lots near the site, using information from the applicant's planned operations and data from recent parking occupancy data, from the Village, in the downtown parking public lots. The study also accounted for a reduction in minimum parking requirements by considering this development's proximity to a transit oriented district, walkability and car sharing.

The parking study demonstrates for the peak period (weekday evening and weekend) there is sufficient parking available in the three nearest public parking lots, Lots, B, C and F. During the lunchtime weekday time period, it was identified that the available parking for the three nearest parking lots can accommodate the projected demand and that the petitioner has noted that they do anticipate parking demand can be accommodated, based on their proposed business model.

Lastly, all deliveries will occur on Warren Avenue at the southeast entrance of the building. Delivery vehicle parking will be prohibited along Washington Street via a condition of approval. This is in place to not impede northbound traffic and to ensure traffic remains clear of the railroad crossing located immediately south of the subject property.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division reviewed the proposed development and determined that sufficient access to the site is provided for emergency vehicles.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property in addition to posting public hearing notice signs and publishing the legal notice in the *Daily Herald*. Staff has received one public comment, which was supportive of the project, but expressed concern for parking in the downtown north of the railroad.

STANDARDS OF APPROVAL

The petitioner is requesting a Planned Unit Development amendment. The review and approval criteria is listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Planning and Zoning Commission should consider the petitioner's documentation, the staff report and the discussion at the Planning and Zoning Commission meeting in determining whether the standards for approval have been met.

Section 28.12.040(c)(5) Review and Approval Criteria

The decision to amend an existing PUD development plan are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

- a. The zoning map amendment review and approval criteria of Sec. 12.030.I.*
- b. Whether the proposed PUD development plan and map amendment would be consistent with the comprehensive plan and any other adopted plans for the subject area.*
- c. Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.*
- d. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.*
- e. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.*

DRAFT MOTION

Staff will provide a recommendation at the January 6, 2025 meeting. Should the Planning and Zoning Commission find that the request meets the standards of approval for a Planned Unit Development amendment, staff has prepared a draft motion that the Planning and Zoning Commission may make for the recommended approval of 24-PCE-0034:

Based on the petitioner's submittal, the staff report, and the testimony presented, I find that the petitioner has met the standards of approval for a Planned Unit Development amendment as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Planning and Zoning Commission recommend to the Village Council approval of 24-PCE-0034, subject to the following conditions:

1. The Planned Unit Development and Rezoning shall substantially conform to the staff report; architectural drawings prepared by DXU Architects dated October 16, 2024, and last revised on December 18, 2024, and engineering and landscaping drawings prepared by Weaver Consultants Group, October 25, 2024 and last revised on December 5, 2024, except as such plans may be modified to conform to the Village codes and ordinances.

24-PCE-0034; 844 Warren Avenue
January 6, 2025

Page 7

2. No delivery vehicles may be parked or stand on Washington Street at any time.
3. All rooftop equipment must meet the screening requirements outlined in Section 28.8.040(c) of the Municipal Code.
4. All signs shall comply with Section 28.9 of the Municipal Code.
5. The sidewalk adjacent to the development shall be maintained and cleaned in a manner acceptable to the Community Development Director.
6. Outdoor seating is permitted year round as shown in the attached drawings.

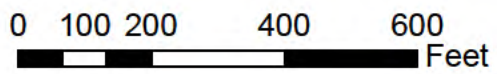
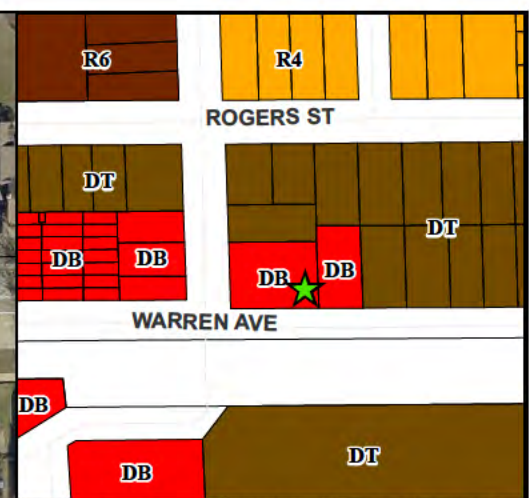
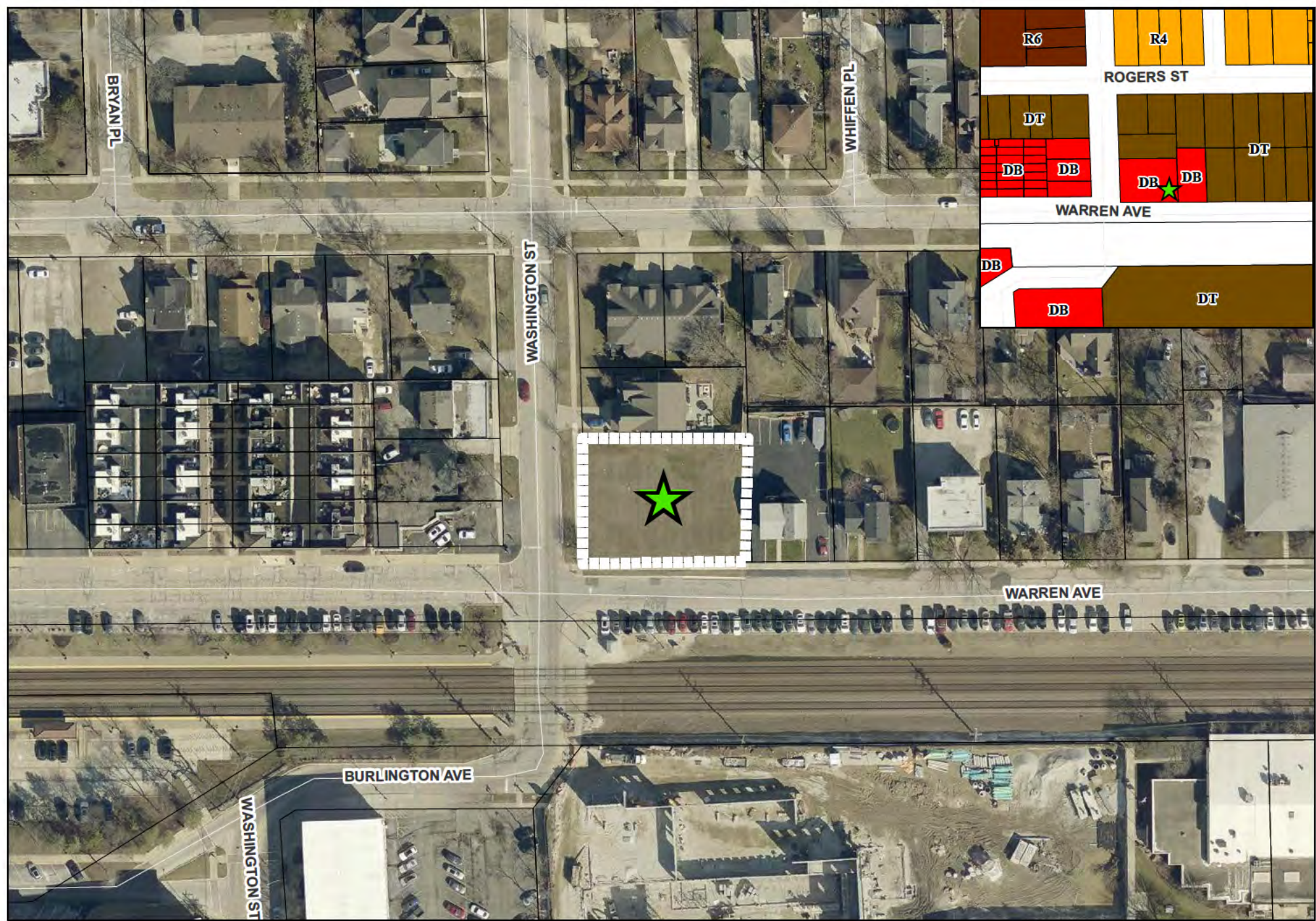
Staff Report Approved By:



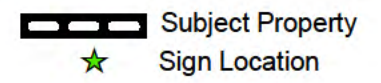
Stanley J. Popovich, AICP
Director of Community Development

SP; eih

-att



844 Warren Avenue - Location Map





• Chicago
• Scottsdale
• Los Angeles

Date: December 18, 2024

Village of Downers Grove
650 Curtiss Street
Downers Grove, IL 60515

Attn: Stan Popovich – Community Development Director
Nora King – Building Division Manager
Jason Zawila – Planning Manager

Re: Application for Planned Unit Development
The Rec League – Project Narrative Revised per Staff Comments dated 12/12/2024
844 Warren Ave, Downers Grove, IL

Stop It Yes (Petitioner) is an entrepreneurial group that is proposing 'The Rec League', a new eating, drinking and entertainment concept located at 844 Warren Avenue. The petitioners are part of the DG community and have been successfully operating Cadience and The Foxtail restaurants in the downtown district. This proposal consists of a new two-story building with a walk-out lower level and large outdoor patio. The first floor will offer a casual dining experience including a large bar, multiple outdoor dining vignettes and areas to hang out with family and friends. On the second floor you can enjoy golf, darts, billiards or just relaxing with a cocktail and friends in a cozy, refined environment. Each floor area is approximately 7,100 square feet with a total building area of 20,312 square feet including the 5,524 square foot lower level (area is from the inside face of the exterior wall). The building is designed to reflect a California mountain vernacular with a combination of flat and pitched rooflines to break up the scale of the building. Rough stone foundations with board and batten siding and heavy timber accents are intended to provide an aesthetic that offers the local community a pedestrian friendly destination that will be an escape from the day to day. The patio is intended to be used most of the year with the intent to blur the boundary between indoor and outdoor experiences. While a portion of the actual building structure is not orientated at the sidewalk line, the energy and proposed design implies, creates a streetscape that is consistent with the goals of the comprehensive plan.

The petitioners are requesting a Planned Unit Development amendment to the existing PUD #61. Currently the site is vacant land. The property was used as an automotive service station in the past, but that use has been abandoned and the existing building was razed several years ago.

The site is located at the northeast corner of Warren Avenue and Washington Street across from the BNSF railway. The building is 'L' shaped and is situated tight to the north and east boundaries of the property with the legs projecting towards Warren and Washington. The space between will be activated by the patio and landscaping. All the energy and activities from the building will be focused towards the South and West public streets and railroad. There is no proposed onsite parking and all outdoor areas of the property will be a pedestrian friendly part of the dining experience with proposed seating, fire pit, and trellis. The two existing curb cuts will be closed off and one new curb cut is proposed for access to the enclosed trash room.

The petitioner understands that a condition of approval will be to stipulate that all delivery truck parking takes place on Warren Ave.

The petitioners are requesting relief for the following:

- a. Section 4.010 Build-To-Zone (BTZ) at the Southwest corner of the property. The intersection of Warren Ave and Washington Street. Per 4.010 the building should project a min of 25 from the corner. This proposal does not include any portion of the building in this area (0%), however as



• Chicago

• Scottsdale

• Los Angeles

illustrated in the drawings this area is activated with outdoor seating under a trellis, outdoor seating within the landscape and a sculptural element (monument sign) at the hard corner.

- b. Section 4.010 BTZ on Warren Ave. The boundary dimension along Warren is 132.16 feet. Per the requirement the building shall be within the BTZ for at least 80% of that dimension or 105.72 feet. The proposed building occupies 49.11 feet (37%) in the BTZ. In addition, the proposal includes a permanent trellis in the BTZ for another 52 feet. The requested relief is based on the idea that the use along Warren is consistent the use inside the building and although outdoors is a continuation of the streetscape of the building with the trellis and patio being intended for use year-round.
- c. Request to utilize outdoor dining in the street yard year-round.
- d. Request use of a fire pit in the street yard
- e. Request for the private sidewalks on the north and east side of the building to be allowed to extend to the property in lieu of the 1-foot setback requirement per Sec24.14.100 Setbacks. These walks are for emergency exits and building maintenance only.
- f. Request for the Trellis on the south side of the patio to be allowed to extend into the required 6-foot setback requirement per Sec24.14.100. The trellis is located 1.52 feet north of the south property line. The request is a solution to provide a permanent structure within the 'build to zone' and activate this portion of the site.
- g. Request for the monument to be setback less than 3 feet from the lot lines with no landscaping. The sign is meant to be sculptural and for people to interact with.



• Chicago
• Scottsdale
• Los Angeles

Date: October 23, 2024

Village of Downers Grove
650 Curtiss Street
Downers Grove, IL 60515

Attn: Stan Popovich – Community Development Director
Nora King – Building Division Manager
Jason Zawila – Planning Manager

**Re: Planned Unit Development Review and Approval Criteria – Supplemental Information
Form #PC01
The Rec League
844 Warren Ave, Downers Grove, IL**

*A detailed response to all of the standards shall be provided, specifying how each standard is or is not met. Section 28.12.040.C.6. Review and Approval Criteria (Planned Unit Development)
The decision to amend the zoning map to approve a PUD plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:*

**1. The zoning map amendment review and approval criteria of Sec. 12.030.I.
See the analysis of zoning map amendment review and approval criteria in separate document.**

The petitioner is requesting a PUD overlay to accommodate the deviations from the requirements of the DB zoning district of the subject property. The deviations are outlined in the petitions narrative document.

2. Whether the proposed PUD plan and map amendment would be consistent with the Comprehensive Plan and any other adopted plans for the subject area.

The proposed development is consistent with the guidelines illustrated in the comprehensive plan as outlined below:

- Utilizing the entire site area, creating a more urban, pedestrian friendly environment
- Provides a streetscape along Warren and Washington that will energize the corner
- Provides a destination with multiple activities that will utilize the site throughout the day and night
- Family oriented proposed diverse use with dining, entertainment and a variety of spatial vignettes to experience
- The project focuses the uses on the public ROW and BNSF railway
- Provides no onsite parking, utilizes the nearby public parking facilities
- Improve the stormwater management on the site
- Reduces the impervious area of the site in comparison to the previous development
- Proposed design combats the 'big box' architecture by breaking up the façade with different roof types and heights and horizontal movement
- Improve the site utility connections and capacity: sanitary, stormwater, electric and water
- Provides enhancements of and pedestrian utilization of open spaces

3. Whether PUD plan complies with the PUD overlay district provisions of Sec. 4.030.

In continuance with the response above the proposed development will provide a use that is needed in the community and complementary to the existing uses in the area. It will provide a welcoming place to



• Chicago

• Scottsdale

• Los Angeles

relax, dine, compete and socialize. The concept and design are intended to become part of the neighborhood fabric, a place to build memories. The project will be conscious of sustainability and conservation principles. The deviations requested as part of this proposal, in our opinion, are consistent with the spirit of the zoning ordinance and in compliance with the goals of the comprehensive plan.

4. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.

The benefits will be equal, as noted above, the deviations are minor and propose an alternative solution to the regulations. In addition, the proposed project will provide additional employment and tax opportunities for the Village and its residents.

5. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

The subject property borders the BNSF railway to the south and the building and open spaces are orientated towards the south. To the north there is an existing residence (DT zoned). The walls that border the residence do not have any openings other than an emergency exit door and door from the storage room in the lower level. The property to the west is a commercial use and to the one to the east is being redeveloped, both share the DB zoning classification, same as the subject property. The proposed development will be an amenity to the surrounding properties and residents.

The project will comply with all local municipal codes including but not limited to building, fire, life safety and stormwater management.



MUNICIPAL APPROVAL STAMP

STOP IT YES

THE REC LEAGUE
844 WARREN AVE
DOWNERS GROVE, IL

NOT FOR CONSTRUCTION

CLIENT

PROJECT

LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

ARCHITECT

DxU

ARCHITECTS

412 E. Main Street • Suite 100 • Downers Grove, IL 60015
(630) 281-1111 • FAX (630) 281-1112

CONSULTANT

CLIENT REVIEW

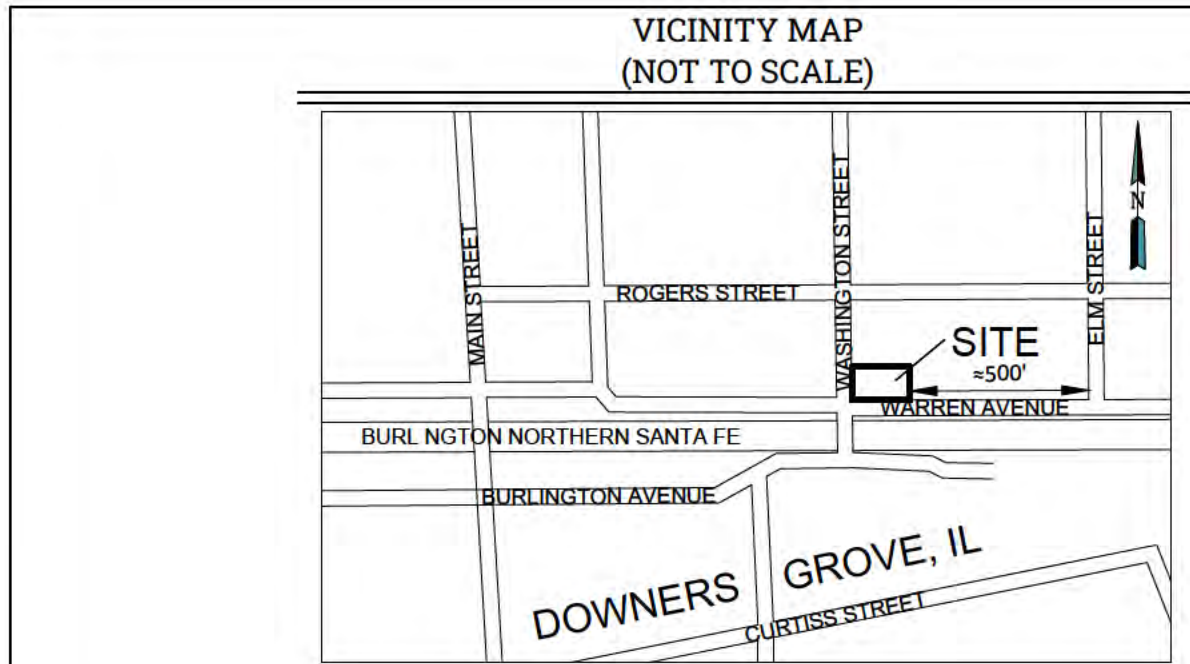
Project Number: 24-415	Drawn By: ES	Approved By: ES	Date
No.	Issue		10-10-2024
CONCEPT P			11-12-2024
PUD COMMENTS (CONCEPT R)			11-22-2024
PUD COMMENTS (CONCEPT S)			12-17-2024
PUD COMMENTS (CONCEPT T)			

SHEET TITLE & NUMBER

CONCEPT T1
RENDERINGS

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184,006868 EXPIRES: 4/30/2023

© DxU 2021



ALTA/NSPS LAND TITLE SURVEY

PART OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 38 NORTH,
RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN

UTILITY PROVIDER CONTACTS

NICOR GAS: ALICIA TYLER 224-575-3896 ALTLYER@SOUTHERNCO.COM
COMED: COMMERCIAL AND INDUSTRIAL 1-866-639-3532
COMCAST: SMALL & MEDIUM BUSINESS 1-866-675-9022

LEGAL DESCRIPTION

THE SOUTH 100 FEET OF LOT 6 IN BEARDSLEY'S ADDITION TO THE TOWN OF DOWNERS GROVE, IN THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 16, 1868 AS DOCUMENT 9654, IN DUPAGE COUNTY, ILLINOIS.

AREA TABLE

SUBJECT PROPERTY: 13,191± SQ. FT. OR 0.303± ACRES

LEGEND

	WATER VALVE		FCRS/SCRS		SET CROSS CUT
	VALVE VAULT		FOUND IRON PIPE		MEASURED
	BUFFALO BOX		RECORD		EDGE OF CONCRETE
	CATCH BASIN		FENCE LINE/CORNER		EDGE OF PAVEMENT
	FIRE HYDRANT		FLOW LINE		BACK OF CURB
	POWER POLE		DEPRESSED CURB		
	ELECTRIC PEDESTAL				
	SANITARY MANHOLE				
	STORM MANHOLE				
	SIGN				
	DECIDUOUS TREE WITH DIAMETER				
	BENCHMARK				

UGE	UGE	UGE
UGL	UGL	UGL
WTR	WTR	WTR
[WTR]	[WTR]	[WTR]
STM	STM	STM
[STM]	[STM]	[STM]
SAN	SAN	SAN
[SAN]	[SAN]	[SAN]

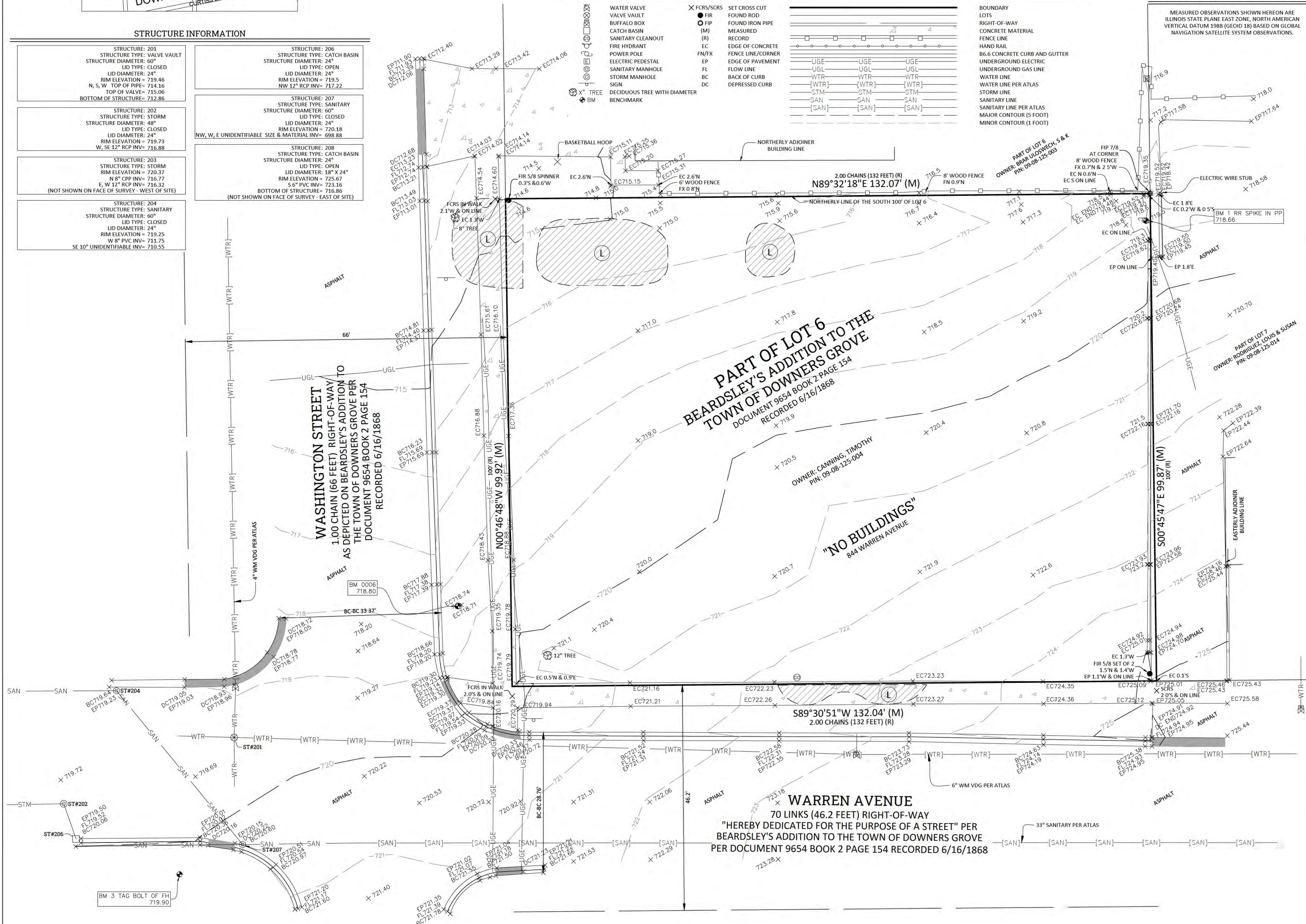
BOUNDARY LOTS
RIGHT-OF-WAY
CONCRETE MATERIAL
FENCE LINE
HAND RAIL
B6.6 CONCRETE CURB AND GUTTER
UNDERGROUND ELECTRIC
UNDERGROUND GAS LINE
WATER LINE
WATER LINE PER ATLAS
STORM LINE
SANITARY LINE
SANITARY LINE PER ATLAS
MAJOR CONTOUR (5 FOOT)
MINOR CONTOUR (1 FOOT)

HORIZONTAL AND VERTICAL DATUM

MEASURED OBSERVATIONS SHOWN HEREON ARE ILLINOIS STATE PLANE EAST ZONE, NORTH AMERICAN VERTICAL DATUM 1988 (GEOID 18) BASED ON GLOBAL NAVIGATION SATELLITE SYSTEM OBSERVATIONS.

STRUCTURE INFORMATION

STRUCTURE: 201 STRUCTURE TYPE: VALVE VAULT STRUCTURE DIAMETER: 24" LID TYPE: CLOSED LID DIAMETER: 24" RIM ELEVATION = 719.46 N, S, W TOP OF PIPE = 714.16 TOP OF VALVE = 715.06 BOTTOM OF STRUCTURE = 712.86	STRUCTURE: 206 STRUCTURE TYPE: CATCH BASIN STRUCTURE DIAMETER: 24" LID TYPE: OPEN LID DIAMETER: 24" RIM ELEVATION = 719.5 NW 12" RCP INV = 717.22
STRUCTURE: 202 STRUCTURE TYPE: STORM STRUCTURE DIAMETER: 48" LID TYPE: CLOSED LID DIAMETER: 24" RIM ELEVATION = 719.73 W, SE 12" RCP INV = 716.88	STRUCTURE: 207 STRUCTURE TYPE: SANITARY STRUCTURE DIAMETER: 60" LID TYPE: CLOSED LID DIAMETER: 24" RIM ELEVATION = 720.18 NW, W, E UNIDENTIFIABLE SIZE & MATERIAL INV = 698.88
STRUCTURE: 203 STRUCTURE TYPE: STORM RIM ELEVATION = 720.37 N 8" CPP INV = 716.77 E, W 12" RCP INV = 716.32 (NOT SHOWN ON FACE OF SURVEY - WEST OF SITE)	STRUCTURE: 208 STRUCTURE TYPE: CATCH BASIN STRUCTURE DIAMETER: 24" LID TYPE: OPEN LID DIAMETER: 18" X 24" RIM ELEVATION = 723.16 S 6" PVC INV = 716.86 BOTTOM OF STRUCTURE = 716.86 (NOT SHOWN ON FACE OF SURVEY - EAST OF SITE)
STRUCTURE: 204 STRUCTURE TYPE: SANITARY STRUCTURE DIAMETER: 60" LID TYPE: CLOSED LID DIAMETER: 24" RIM ELEVATION = 719.25 W 8" PVC INV = 711.75 SE 10" UNIDENTIFIABLE INV = 710.55	



TITLE COMMITMENT SCHEDULE B EXCEPTIONS

CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NUMBER: CCH2206470LD
COMMITMENT DATE: SEPTEMBER 19, 2022

INDICATES ITEM PLOTTED ON DRAWING

SCHEDULE B, PART I, REQUIREMENTS: ITEMS 1 THROUGH 8
NOT SURVEY RELATED

SCHEDULE B, PART II, EXCEPTIONS: ITEMS 1 THROUGH 12, 14, AND 16 THROUGH 18
NOT SURVEY RELATED

13. THE LAND LIES WITHIN THE BOUNDARIES OF A SPECIAL SERVICE AREA AS DISCLOSED BY ORDINANCE RECORDED AS DOCUMENT NO. R2005-282559, AND IS SUBJECT TO ADDITIONAL TAXES UNDER THE TERMS OF SAID ORDINANCE AND SUBSEQUENT RELATED ORDINANCES.
INCLUDES SUBJECT PARCEL, BLANKET IN NATURE, NO PLOTTABLE ELEMENTS.

15. NO FURTHER REMEDIATION LETTER RECORDED JANUARY 25, 2005 AS DOCUMENT NO. R2005-18041.

LPC # 0430305169
DOWNERS GROVE/AUTOMOTIVE SERVICES, ATTN: ROGER ANDREAN
LUST INCIDENT NO. 930155

DESCRIBES SUBJECT PARCEL, BLANKET IN NATURE, APPROXIMATE AREAS OF EXTENTS OF HIGHWAY AUTHORITY AGREEMENT AND APPROXIMATE AREAS OF ENGINEERED BARRIER TO BE MAINTAINED DEPicted HEREON PER INTEGRITY ENVIRONMENTAL SERVICES, INC. PLANS 507-35 DATED 9/8/04 AS AN ATTACHMENT TO THE LEAKING UNDERGROUND STORAGE TANK ENVIRONMENTAL NOTICE.

ALTA SURVEY STANDARDS - TABLE A NOTES

- ITEM 1, FOUND AND SET BOUNDARY MONUMENTS SHOWN HEREON.
- ITEM 2, ADDRESS OF THE PROPERTY IS SHOWN IS BASED ON PUBLICLY AVAILABLE ON-LINE TAX INFORMATION SOURCES.
- ITEM 3, THE SUBJECT PROPERTY IS WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS PER FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 17043C01671, WITH A MAP EFFECTIVE DATE OF 8/1/2019.
- ITEM 4, GROSS LAND AREA OF THE SUBJECT TRACT IS SHOWN HEREON.
- ITEM 5, VERTICAL RELIEF SHOWN HEREON.
- ITEMS 7(A), 7(B)(1), AND 7(C), NO BUILDINGS EXIST AT TIME OF SURVEY.
- ITEM 8, SUBSTANTIAL IMPROVEMENTS OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED ARE SHOWN HEREON.
- ITEM 9, NO PARKING STALLS EXIST AT TIME OF SURVEY.
- ITEM 11(A), UNDERGROUND UTILITIES SHOWN HEREON PER UTILITY ATLASES PROVIDED BY THE VILLAGE OF DOWNERS GROVE AND PER FOUND EXISTING MARKINGS FROM AN UNKNOWN UNDERGROUND MARKING SERVICE.
- ITEM 13, PARCEL OWNER INFORMATION IS SHOWN IS BASED ON PUBLICLY AVAILABLE ON-LINE TAX INFORMATION SOURCES.
- ITEM 14, THE DISTANCE TO THE NEAREST INTERSECTING STREET IS SHOWN ON THE SITE MAP.
- ITEM 16, THERE WAS NOT EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- ITEM 19, THE SURVEYOR HOLDS PROFESSIONAL LIABILITY INSURANCE IN AN AMOUNT AGREED TO WITH THE CLIENT FOR TERM OF THE CONTRACT. A CERTIFICATE OF INSURANCE WILL BE PROVIDED UPON REQUEST.

SURVEY NOTES

- THIS SURVEY SHOULD NOT BE CONSIDERED AS AN EXCLUSIVE SOURCE OF INFORMATION REGARDING THE PROPERTY'S LIMITS, RIGHTS, OR RESTRICTIONS. THE FINDINGS OF THIS SURVEY ARE LIMITED TO FIELD OBSERVATIONS AND MEASUREMENTS. THE EXAMINATION OF DOCUMENTS PROVIDED TO THE SURVEYOR AND THE SURVEYOR'S PROFESSIONAL OPINION, THERE MAY BE SETBACK LINES, EASEMENTS AND BUILDING RESTRICTIONS NOT SHOWN HEREON OF WHICH THE SURVEYOR HAS NOT BEEN ADVISED. ALWAYS REFER TO YOUR ABSTRACT, DEED AND GUARANTEE POLICY AND LOCAL ORDINANCES.
- ALL AREAS ARE MORE OR LESS.
- COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE.
- NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- THE UTILITIES SHOWN MAY NOT COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
- ALL STATEMENTS AND INFORMATION SHOWN HEREON ARE TO THE SURVEYOR'S BEST KNOWLEDGE AND BELIEF.
- THE SURVEYOR OFFERS NO OPINION REGARDING THE VALIDITY OF THE DEDICATION PROCESS OF ABUTTING RIGHTS-OF-WAY. ALL DEDICATIONS ARE DESCRIBED QUOTING THE LANGUAGE USED IN THE DOCUMENTS PROVIDED TO THE SURVEYOR.
- THE MEASURED PROPERTY BOUNDARY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE. NO GAPS, GORES, OR OVERLAPS WITH THE ADJACENT PROPERTIES ARE APPARENT BASED ON RECORD DOCUMENTS PROVIDED TO THE SURVEYOR AND EVIDENCE LOCATED IN THE FIELD.

BENCHMARKS

SOURCE BENCHMARK:

BENCHMARK: 0006
PID: DK3312
THE MONUMENT IS A 3.5" BRASS DISC SET IN CONCRETE ± 2' ABOVE GRADE AT NE CORNER OF WASHINGTON STREET AND WARREN AVENUE. STATION IS 57.4' SE OF A POWER POLE, 49.5' E OF A LIGHT POLE, AND 79.4' NE OF A FIRE HYDRANT.
ELEVATION: 718.80

SITE BENCHMARKS:

- BM 1
RAILROAD SPIKE IN POWER POLE NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY APPROXIMATELY 105 FEET NORTH OF THE NORTHERLY CURB LINE OF WARREN AVENUE ALONG THE WESTERLY SIDE OF CURRENTLY EXISTING PAVEMENT DRIVEWAY.
ELEVATION: 718.66
- BM 2
RAILROAD SPIKE IN POWER POLE APPROXIMATELY 150 FEET NORTH OF THE NORTHERLY CURB LINE OF WARREN AVENUE ALONG THE WESTERLY CURB LINE OF WASHINGTON STREET.
ELEVATION: 710.79
(NOT SHOWN ON FACE OF SURVEY - NORTHWEST OF SUBJECT PROPERTY)
- BM 3
TAG BOLT OF FIRE HYDRANT AT THE SOUTHWEST CORNER OF THE INTERSECTION OF WARREN AVENUE AND WASHINGTON STREET APPROXIMATELY 6 FEET SOUTH OF THE SOUTHERLY CURB LINE OF WARREN AVENUE.
ELEVATION: 719.90

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE }
TO: 844 WARREN, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY;
CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WAS MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 13, 14, 16 AND 19 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 10/12/2024.

DATE OF PLAT OR MAP 10/18/2024:



ALL ILLINOIS PROFESSIONAL LAND SURVEYOR LICENSES EXPIRE NOVEMBER 30, 2026.
DESIGN FIRM #18400465
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY TOPOGRAPHIC SURVEY.

PREPARED FOR:

DDU ARCHITECTS
412 SOUTH WELLS STREET, 2ND FLOOR
CHICAGO, IL 60607

ALTA/NSPS LAND TITLE SURVEY

844 WARREN AVENUE
DOWNERS GROVE, IL 60515

Weaver Consultants Group



WEAVER CONSULTANTS GROUP
318 BOND STREET SUITE 308
NAPERVILLE, ILLINOIS 60563
(630)-717-4848

www.wcgrp.com

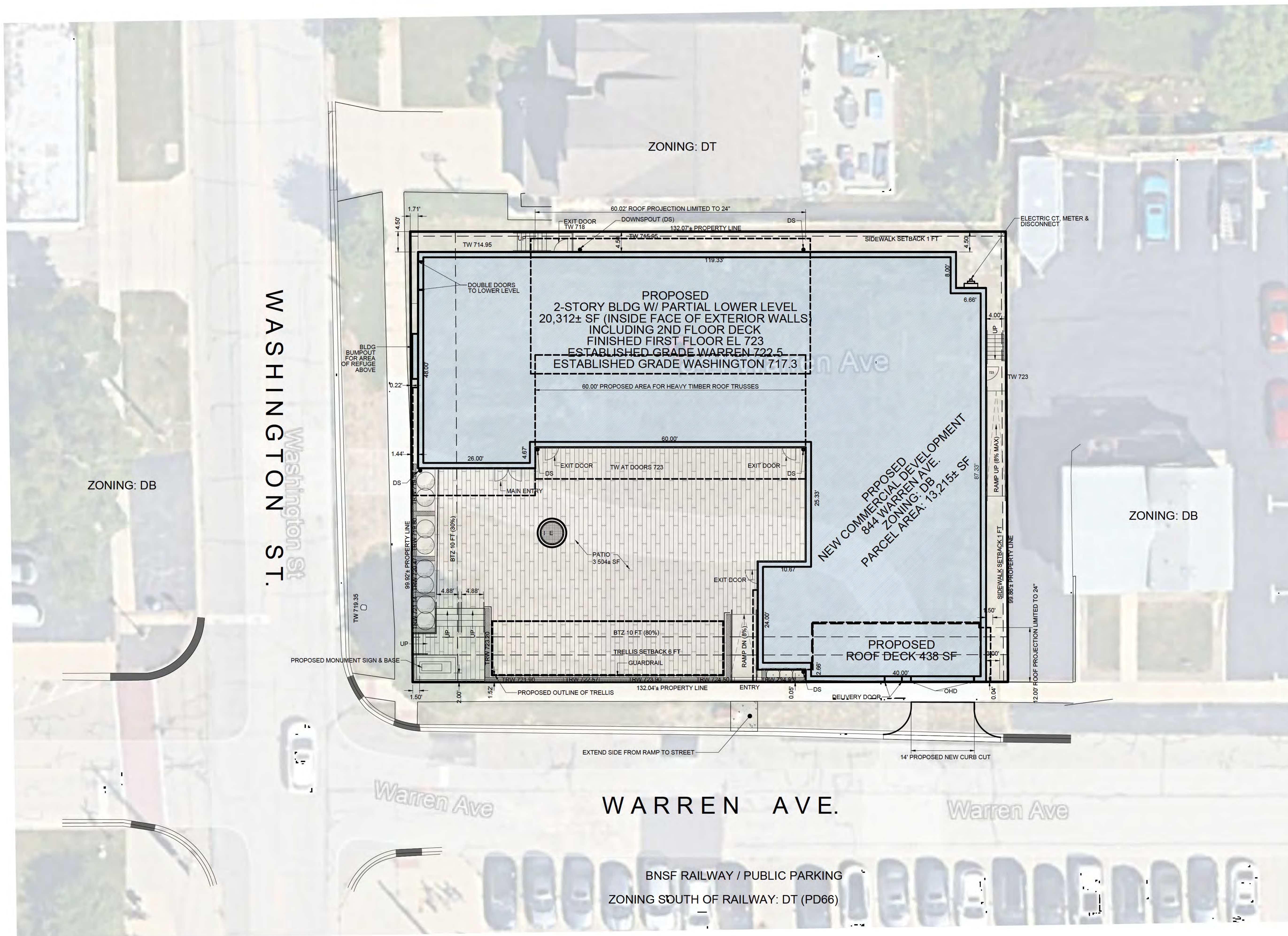
REUSE OF DOCUMENTS
This document, and the designs incorporated herein, as an instrument of professional service, is the property of Weaver Consultants Group, and is not to be used in whole or in part, without the written authorization of Weaver Consultants Group.

DRAWN BY: VSP
REVIEWED BY: MDB
DATE: 10/18/2024

FILE: 5547-303

5547_303_0001 WARREN, ALTA.dwg

SHEET 1 OF 1



SITE AREA
SITE AREA: 13,216⁵⁴ SF

ZONING CLASSIFICATION: DB - DOWNTOWN BUSINESS

MIN LOT AREA: N/A

MIN LOT WIDTH: N/A

MIN BLDG SETBACKS:
STREET: 0
SIDE: 0
REAR: 0
TRELLIS: 6 FT
SIDEWALKS AT INTERIOR PROP LINE: 1 FT

BUILD-TO ZONE:

REQUIRED:

- MIN % MAX (FT): 0/10
- MIN % OF BLDG IN PRIMARY STREET BTZ: 80
- WARREN AVE(PRIMARY) = 132.16' x 80% = 105.73' REQ'D
- MIN % OF BLDG IN SECONDARY STREET BTZ: 70
- WASHINGTON STREET (SECONDARY) = 100.01' x 30% = 30' REQ'D

PROVIDE:

- WARREN AVE(PRIMARY) 49.11' = DOES NOT COMPLY
- WASHINGTON (SECONDARY) 48' - COMPLIES


FAR: 2.5 MAX
PROPOSED: 1.49


MAX BLDG COVERAGE: N/A

BLDG HEIGHT:
MIN / MAX (FT): 32 / 70
FIRST FLOOR (EL = 4723)

OFF-STREET PARKING IS NOT REQUIRED IN THE DB DISTRICT

LEGEND

 PAVER SYSTEM

 RETAINING WALL SYSTEM

NOT FOR CONSTRUCTION

STOP IT YES

THE REC LEAGUE
844 WARREN AVE
DOWNERS GROVE, IL

LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

ARCHITECT

DXU

ARCHITECTS

412 S. Wells Street • 2nd floor • Chicago • IL • 60607
P.312.955.9334 • d u a r c h . c o m

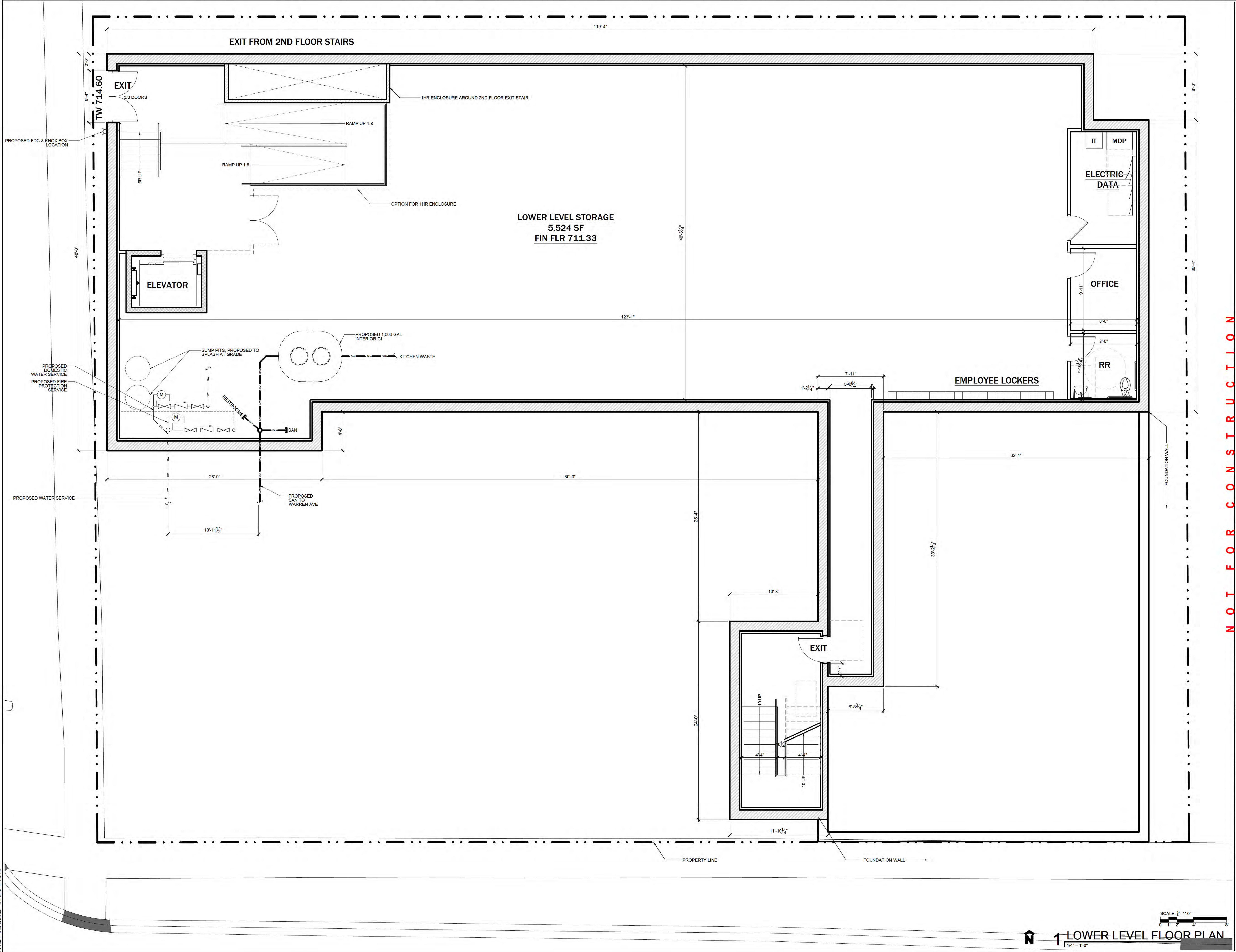
CLIENT REVIEW			
Project Number: 24-115			
Drawn By	ES	Approved By	ES
No.	Issue		Date
	CONCEPT P		10-16-2024
	PUD COMMENTS (CONCEPT R)		11-13-2024
	PUD COMMENTS (CONCEPT S)		11-22-2024
	PUD COMMENTS (CONCEPT T)		12-17-2024

SITE PLAN

SP-T

These documents are confidential and shall be in the possession of authorized individuals only. These documents are the exclusive property of DxU architects and shall not be copied or reproduced without written authorization.

III INCS PROFESSIONAL DESIGN REGISTRATION: 184 066388 EXPIRES: 4/30/2023



NOT FOR CONSTRUCTION

STOP IT YES

THE REC LEAGUE
844 WARREN AVE
DOWNERS GROVE, IL

CLIENT

PROJECT

ARCHITECT

CONSULTANT

Project Number: 24-415

Drawn By: ES

Issue

CONCEPT P

PUD COMMENTS (CONCEPT R)

PUD COMMENTS (CONCEPT S)

PUD COMMENTS (CONCEPT T)

Approved By: ES

Date

10-16-2024

11-15-2024

11-22-2024

12-17-2024

LICENSE EXPIRES ON: MM-DD-YYYY

DATE OF SIGNATURE: MM-DD-YYYY

ARCHITECT

ARCHITECTS

402 S. Mill Street • Downers Grove, IL 60130

630.583.1234 • 630.583.1234

CLIENT REVIEW

SHEET TITLE & NUMBER

CONCEPT T
LOWER LEVEL
PLAN

A-0

1/4" = 1'-0"

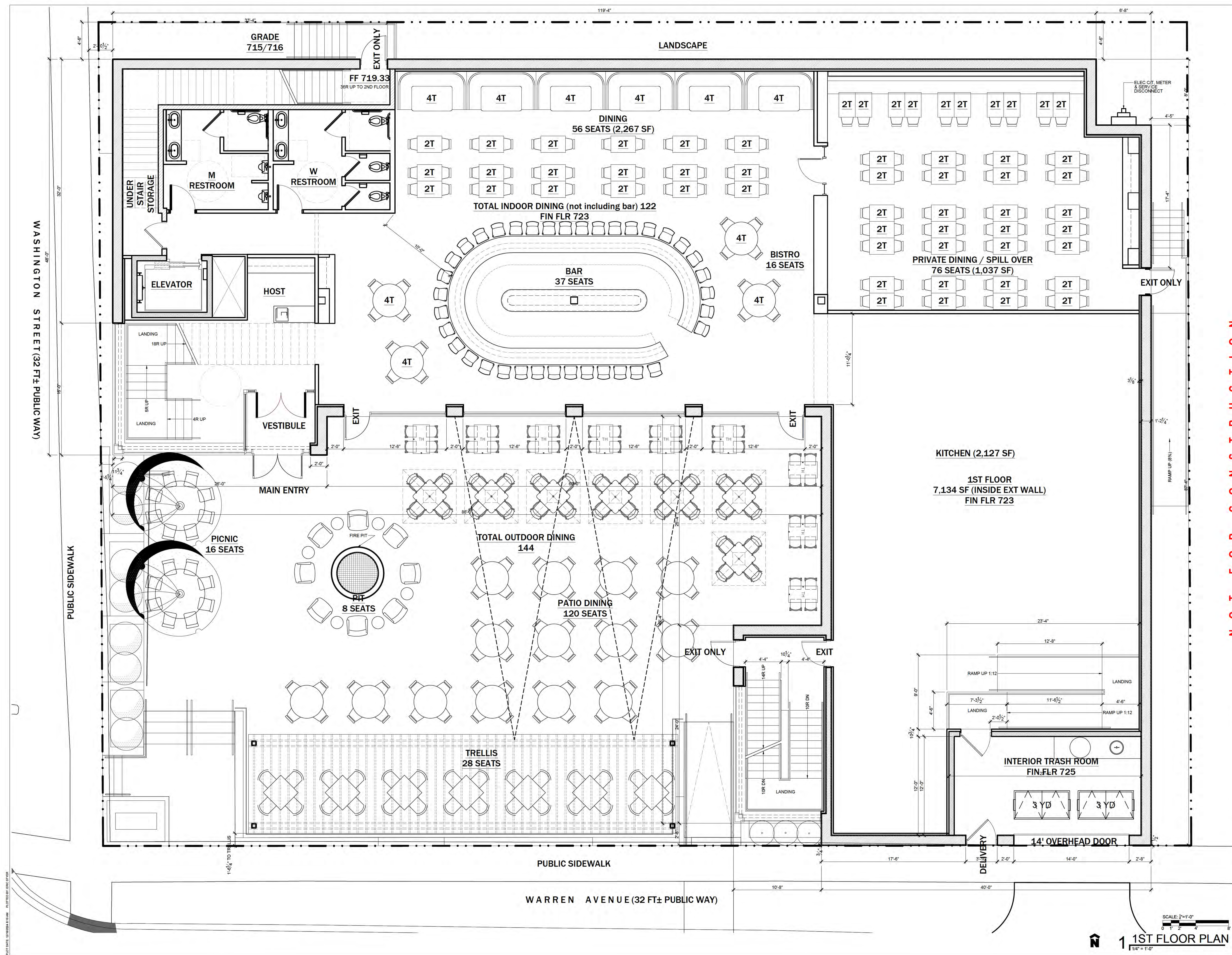
0 1 2 4 8

SCALE: 1/4" = 1'-0"

1 LOWER LEVEL FLOOR PLAN

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184,006688 EXPIRES: 4/30/2023

© DXU 2021



STOP IT YES

THE REC LEAGUE
844 WARREN AVE
DOWNERS GROVE, IL

NOT FOR CONSTRUCTION

CLIENT REVIEW

Project Number: 24-415

Drawn By: ES

Approved By: ES

Date: 10-16-2024

Issue: CONCEPT P

Comments: PUD COMMENTS (CONCEPT R)

Date: 11-13-2024

Issue: PUD COMMENTS (CONCEPT S)

Date: 11-22-2024

Issue: PUD COMMENTS (CONCEPT T)

Date: 12-17-2024

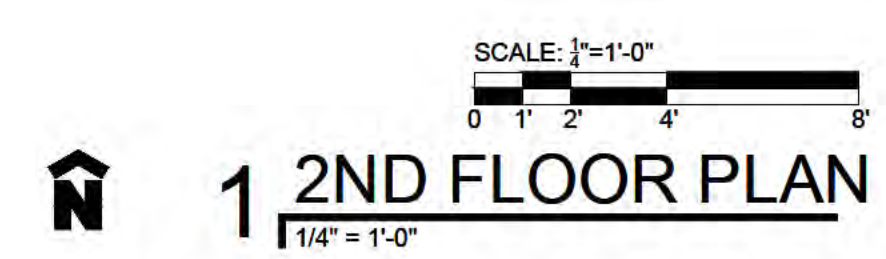
CONCEPT T
1ST FLOOR
PLAN

A-1

11/14/2025

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184,006888 EXPIRES: 4/30/2023

© DXU 2021



THE REC LEAGUE
844 WARREN AVE
DOWNERS GROVE, IL

ARCHITECT

DXU

ARCHITECTS

475, King Street - 4th Floor, Toronto • M5G 1K9
P: 416.955.0334 • d@dxuarch.com

CONSULTANTS

CONCEPT T
2ND FLOOR
PLAN

A-2

These documents are confidential and shall be in the possession of authorized individuals only. These documents are the exclusive property of (b)(7) architects and shall not be copied or reproduced without written authorization.

A-2

A-2



STOP IT YES

THE REC LEAGUE
844 WARREN AVE
DOWNERS GROVE, IL

SEAL LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY



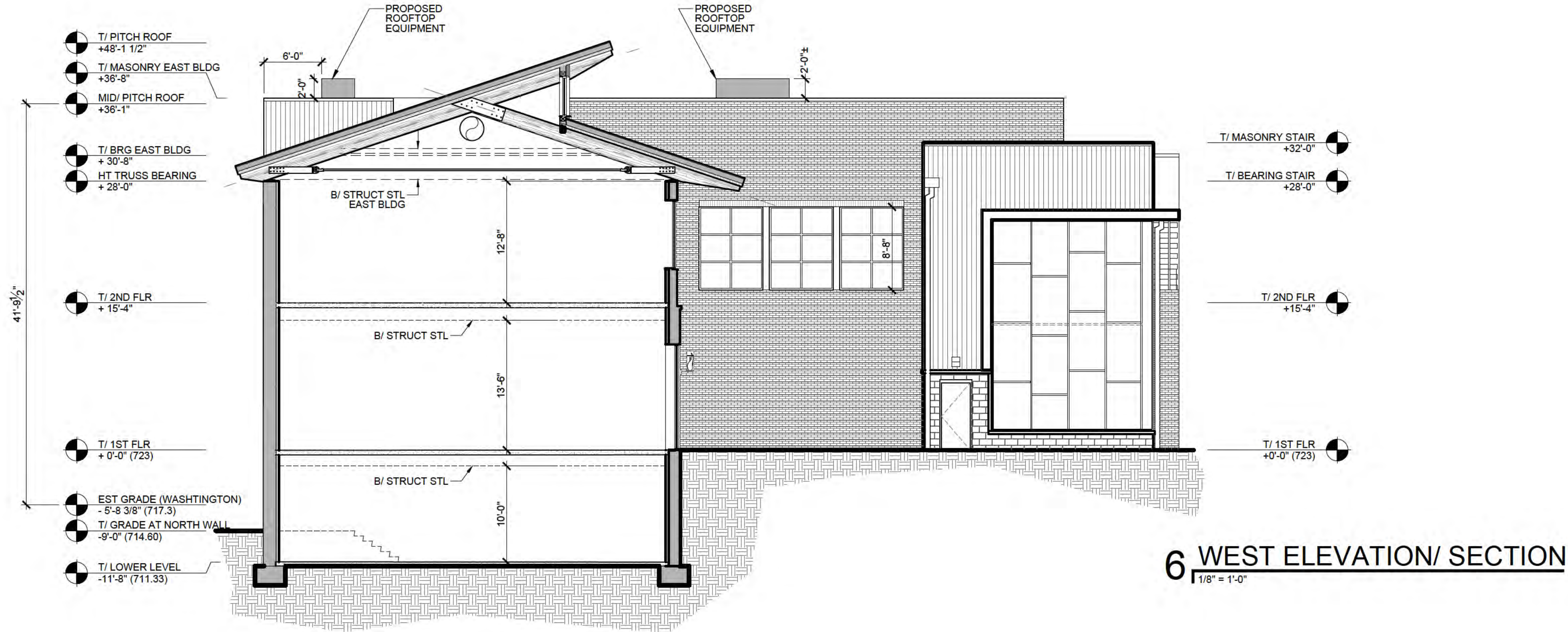
DxU
ARCHITECTS
112 S. Wacker Street • 2nd Floor • Chicago • IL • 60607

CLIENT REVIEW			
Project Number: 24-115			
Drawn By: ES	Approved By: ES	Date	
No.	Issue	Date	
	CONCEPT P	10-16-2024	
	PUD COMMENTS (CONCEPT R)	11-13-2024	
	PUD COMMENTS (CONCEPT S)	11-22-2024	
	PUD COMMENTS (CONCEPT T)	12-17-2024	

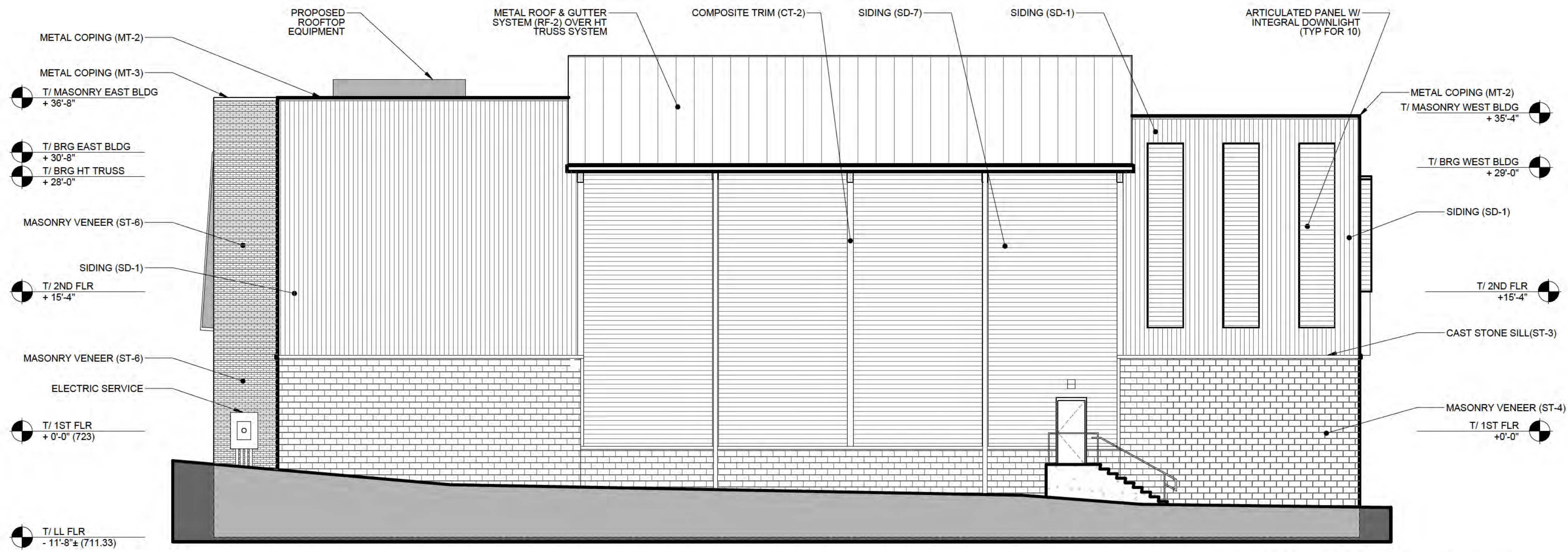
CONCEPT T
EXTERIOR
ELEVATIONS

EE-T

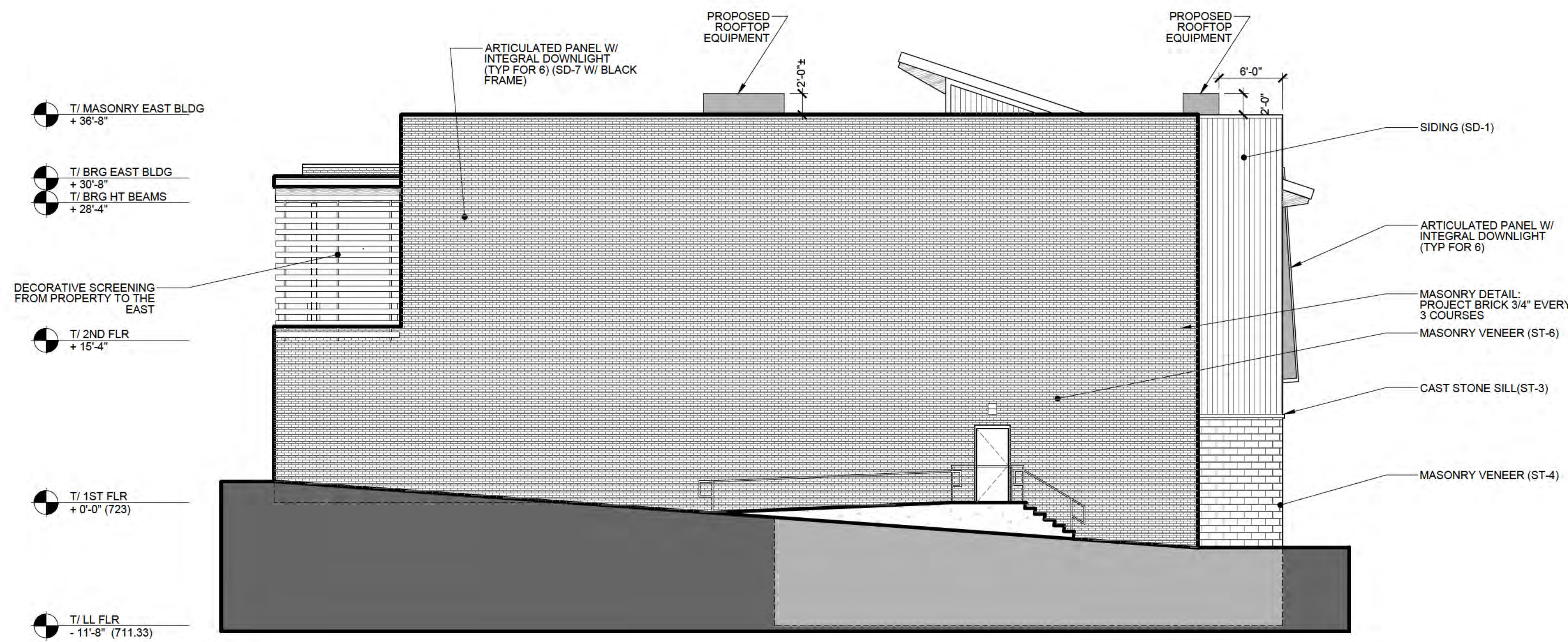
These documents are confidential and shall be in the possession of authorized individuals only. These documents are the exclusive property of DxU architects and shall not be copied or reproduced without written authorization.



6 WEST ELEVATION/ SECTION
1/8" = 1'-0"



5 NORTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

NOT FOR CONSTRUCTION

MUNICIPAL APPROVAL STAMP

STOP IT YES

THE REC LEAGUE
844 WARREN AVE
DOWNERS GROVE, IL

CLIENT

PROJECT

LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

ARCHITECT

DXU
ARCHITECTS
402 S. Main Street • Suite 100 • Downers Grove, IL 60130
TEL: 630.581.1234 • FAX: 630.581.1235

CONSULTANT

CLIENT REVIEW			
Project Number	Drawn By	Approved By	Date
24-415	ES	ES	10-16-2024
CONCEPT P	ES	ES	11-15-2024
PUD COMMENTS (CONCEPT R)	ES	ES	11-22-2024
PUD COMMENTS (CONCEPT S)	ES	ES	12-17-2024
PUD COMMENTS (CONCEPT T)	ES	ES	

SHEET TITLE & NUMBER

CONCEPT T
EXTERIOR
ELEVATIONS
EE-T

These documents are confidential and shall stay in the possession of architect/individuals only. These documents are the exclusive property of DXU architects and shall not be copied or reproduced without written authorization.

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184,006988 EXPIRES: 4/30/2023

© DXU 2021

THE REC LEAGUE

PRELIMINARY ENGINEERING PLANS 844 WARREN AVENUE DOWNERS GROVE, IL

MUNICIPAL/AGENCY APPROVAL STAMP

DXU
412 WELLS STREET
2ND FLOOR
CHICAGO, IL 60607



THE REC LEAGUE
844 WARREN AVENUE
DOWNERS GROVE, IL
COVER SHEET

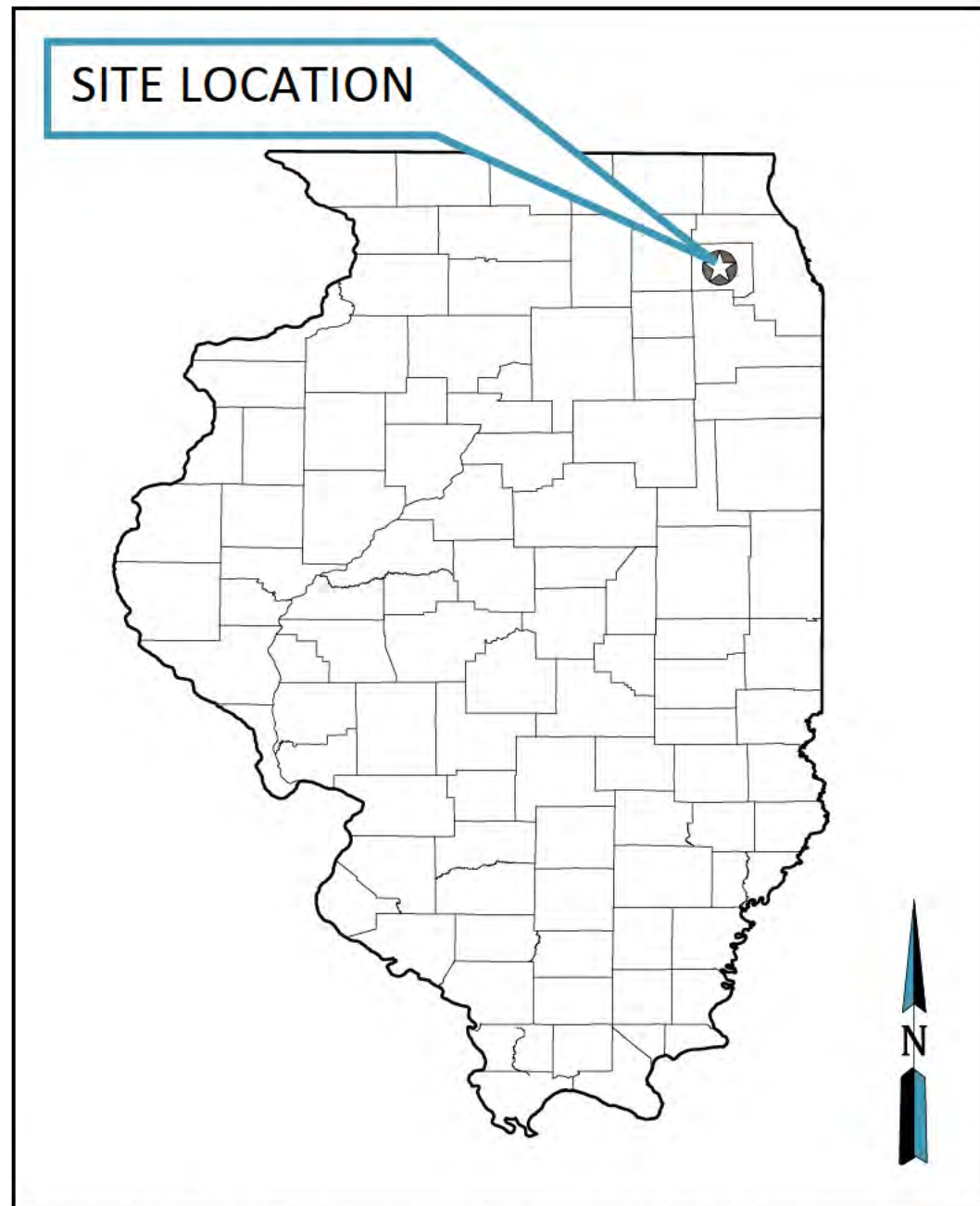
NO.	DATE	REVISION DESCRIPTION	BY
1	11/18/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/12/2024)	SS
2	12/2/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/22/2024)	SS

DESIGNED BY: SS
REVIEWED BY: BP
DATE: 10/25/2024
PRJ# 5547-303-32

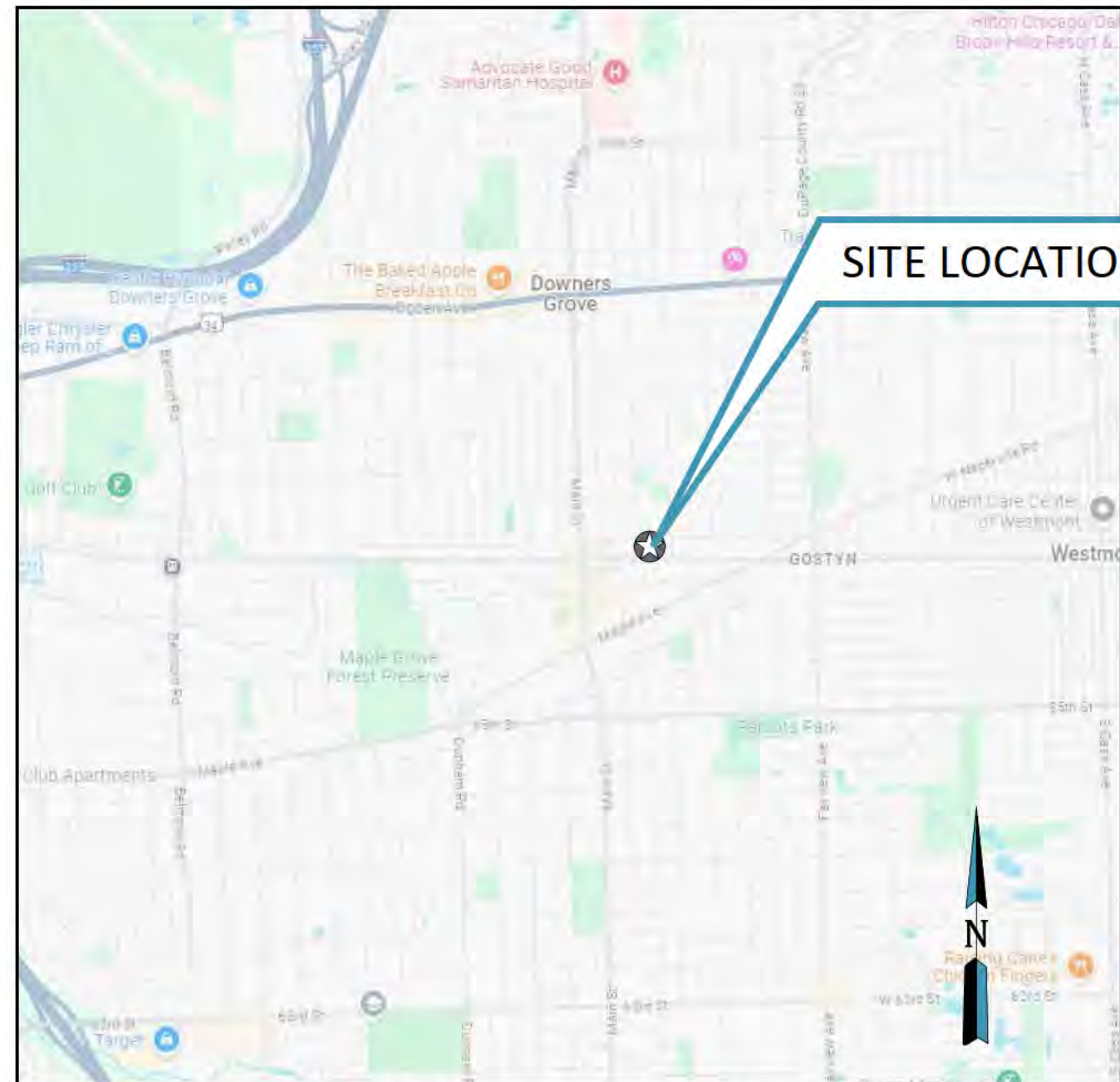
OFFICE LOCATION:
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
NAPERVILLE, ILLINOIS 60563
(630) 717-4848
wcgrp.com

REUSE OF THIS DOCUMENT
AND THE DESIGN
INCORPORATED HEREIN, AS AN
INSTRUMENT OF PROFESSIONAL
SERVICE, IS THE PROPERTY OF
WEAVER CONSULTANTS GROUP,
AND IS NOT TO BE USED IN
WHOLE OR IN PART WITHOUT
THE WRITTEN AUTHORIZATION
OF WEAVER CONSULTANTS
GROUP. COPYRIGHT © 2024
WEAVER CONSULTANTS GROUP.
ALL RIGHTS RESERVED.

SHEET #:
C-1



STATE OF ILLINOIS - DuPAGE COUNTY
NOT TO SCALE



SITE LOCATION KEY
NOT TO SCALE

SHEET INDEX

SHEET NO.	SHEET NAME
C-1	COVER SHEET
C-2	SPECIFICATIONS & LEGENDS
C-3	EX COND & DEMO PLAN
C-4	GEOMETRIC PLAN
C-5	GRADING & STM WATER PLAN
C-6	UTILITY PLAN
C-6.1	STORM SEWER EXTENSION
C-7	SOIL EROSION CONTROL PLAN
C-8	SOIL EROSION DETAILS & SPECS
C-9	DOWNERS GROVE DETAILS
C-10	DOWNERS GROVE SAN DETAILS
C-11	PROJECT DETAILS 1
L-1	PRELIMINARY LANDSCAPE PLAN

AS-BUILT NOTE:

ONE FULL SIZE DIGITAL COPY OF THE AS-BUILT FINAL GRADING SURVEY (PRINTED TO SCALE) MUST BE SUBMITTED PRIOR TO SCHEDULING THE FINAL STORMWATER/RIGHT-OF-WAY INSPECTION FOR THE PROJECT. AS APPLICABLE IT SHOULD INCLUDE, BUT IS NOT LIMITED TO, THE ITEMS LISTED IN SECTION 26.700.C OF THE DOWNERS GROVE MUNICIPAL CODE. AS APPLICABLE, IT SHALL ALSO INCLUDE THE AS-BUILT STORAGE VOLUME OF ANY RESIDENTIAL STORMWATER STORAGE (RSS) OR POST CONSTRUCTION BEST MANAGEMENT PRACTICES (PCBMPs), BEFORE THE PERMIT CAN BE CLOSED, AN ELECTRONIC COPY OF THE APPROVED AS-BUILT GRADING SURVEY IS REQUIRED.

DESIGN TEAM CONTACT INFORMATION

PROJECT ARCHITECT
DXU ARCHITECTS
412 SOUTH WELLS STREET 2ND FLOOR
CHICAGO, ILLINOIS 60607
(312) 955-0334



LAND SURVEYOR
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
NAPERVILLE, ILLINOIS 60563
(630) 717-4848



CIVIL ENGINEER
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
NAPERVILLE, ILLINOIS 60563
(630) 717-4848
DESIGN FIRM#: 184004465



LANDSCAPE ARCHITECT
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
NAPERVILLE, ILLINOIS 60563
(630) 717-4848



CITY & UTILITY CONTACT INFORMATION

VILLAGE OF DOWNERS GROVE
850 CURTIS STREET
DOWNERS GROVE, IL 60515
PLANNING MANAGER: JASON ZAWILA
PH: (630) 434-5520
DIRECTOR OF ENGINEERING: SCOTT VASKO
PH: (630) 434-6804

AT&T ROW MANAGER
JACKIE FROST
AT&T ILLINOIS
815-7746773
JC1243@ATT.COM

NICOR GAS
BRUCE KOPPANG
DOT LIASON
1844 FERRY ROAD
NAPERVILLE, IL 60563
630-388-3046
BKOPPAN@AGLRESOURCES.COM

COMCAST ROW ENGINEER
FRANK GAUTIER
COMCAST CABLE
688 INDUSTRIAL DRIVE
ELMHURST, IL 60126
630-600-6348
FRANK_GAUTIER@CABLE.COMCAST.COM

SURVEY INFORMATION:

ALTA/NSPS LAND TITLE SURVEY
SURVEY DATE: 10/18/2024
SURVEY NUMBER: 5547-303

DATUM:
NAVD88

REFERENCE BENCHMARK:

THE MONUMENT IS A 3.5" BRASS DISC SET IN CONCRETE ±1.2' ABOVE GRADE AT NE CORNER OF WASHINGTON STREET AND WARREN AVENUE. STATION IS 57.4' SE OF A POWER POLE, 49.5' E OF A LIGHT POLE, AND 79.4' NE OF A FIRE HYDRANT.
ELEVATION: 718.80

BENCHMARK #1:

RAILROAD SPIKE IN POWER POLE NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY APPROXIMATELY 105 FEET NORTH OF THE NORTHERLY CURB LINE OF WARREN AVENUE LONG THE WESTERLY SIDE OF CURRENTLY EXISTING PAVEMENT DRIVEWAY.
ELEVATION: 718.66

BENCHMARK #2:

RAILROAD SPIKE IN POWER POLE APPROXIMATELY 150 FEET NORTH OF THE NORTHERLY CURB LINE OF WARREN AVENUE ALONG THE WESTERLY CURB LINE OF WASHINGTON STREET.
ELEVATION: 710.79
(NOT SHOWN ON FACE OF SURVEY - NORTHWEST OF SUBJECT PROPERTY)

NOTE: CONTRACTOR(S) TO VERIFY THEY HAVE THE CURRENT PLAN SET PRIOR TO CONSTRUCTION.



NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED BY THE
GOVERNING AGENCY AND ARE SUBJECT TO
CHANGE.

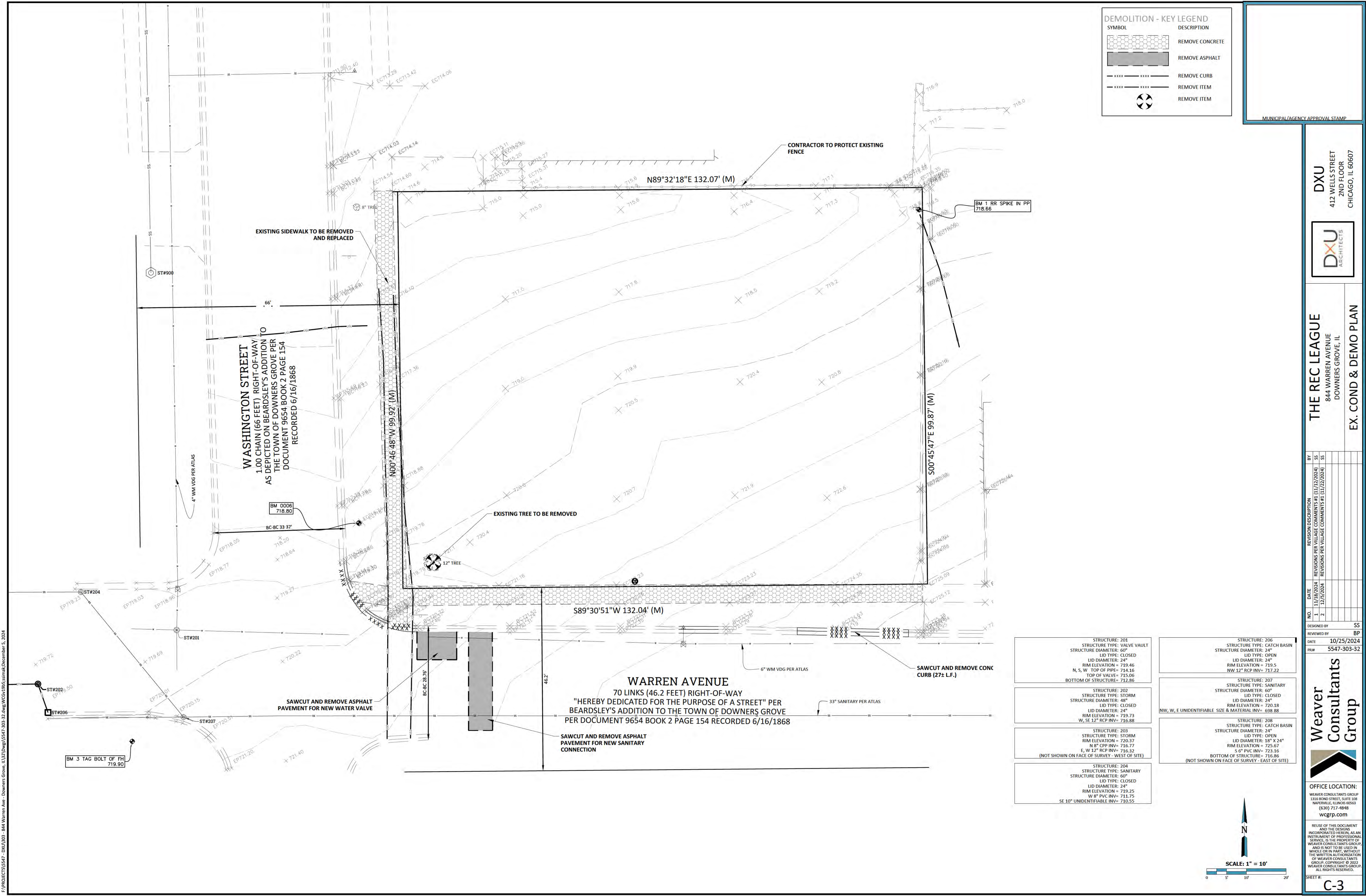
CIVIL ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, STEPHEN C. SIMAK, A LICENSED PROFESSIONAL ENGINEER HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, AS LISTED IN THE INDEX, THAT ARE PREFIXED WITH LETTER "C", HAVE BEEN PREPARED BY WEAVER CONSULTANTS GROUP UNDER MY PERSONAL DIRECTION.

ILLINOIS LICENSED
PROFESSIONAL ENGINEER
NO. 62-072229
LICENSE EXPIRES:
NOVEMBER 30, 2025

STEPHEN C. SIMAK PE



DEMOLITION - KEY LEGEND	
SYMBOL	DESCRIPTION
	REMOVE CONCRETE
	REMOVE ASPHALT
	REMOVE CURB
	REMOVE ITEM
	REMOVE ITEM

MUNICIPAL/AGENCY APPROVAL STAMP

DXU
412 WELLS STREET
2ND FLOOR
CHICAGO, IL 60607

THE REC LEAGUE
844 WARREN AVENUE
DOWNERS GROVE, IL
EX. COND & DEMO PLAN

NO.	DATE	REVISION DESCRIPTION	BY
1	11/18/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/12/2024)	SS
2	12/2/2024	REVISIONS PER VILLAGE COMMENTS #1 (12/22/2024)	SS

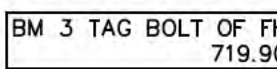
DESIGNED BY: SS
REVIEWED BY: BP
DATE: 10/25/2024
PRJ#: 5547-303-32

Weaver
Consultants
Group

OFFICE LOCATION:
WEAVER CONSULTANTS GROUP
1310 BOND STREET, SUITE 100
NAPERVILLE, ILLINOIS 60563
(630) 717-4848
wcgrp.com

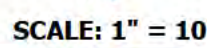
REUSE OF THIS DOCUMENT
AND THE DESIGN
INCORPORATED HEREIN, AS AN
INSTRUMENT OF PROFESSIONAL
SERVICE, IS THE PROPERTY OF
WEAVER CONSULTANTS GROUP,
AND IS NOT TO BE USED IN
WHOLE OR IN PART WITHOUT
THE WRITTEN AUTHORIZATION
OF WEAVER CONSULTANTS
GROUP. COPYRIGHT © 2024
WEAVER CONSULTANTS GROUP.
ALL RIGHTS RESERVED.

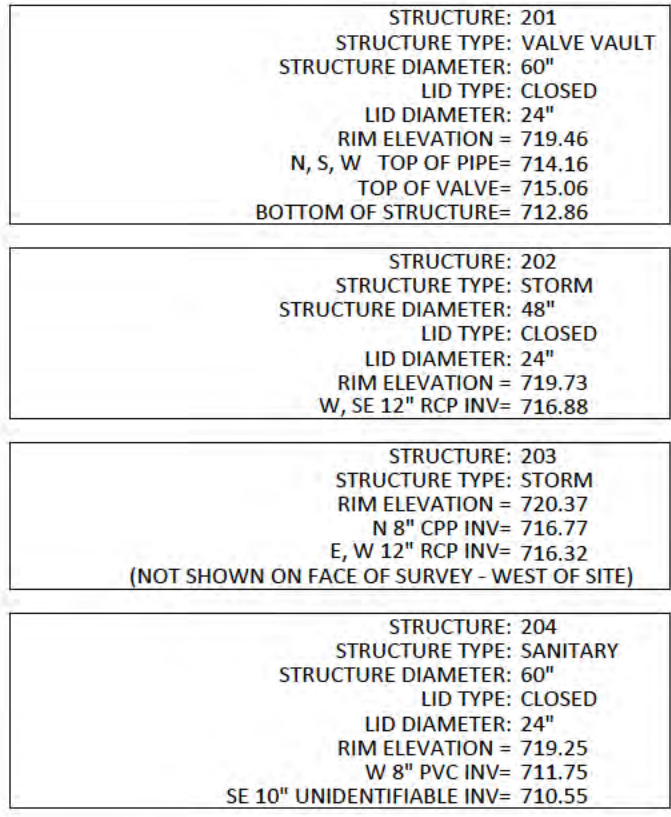
SHEET #:
C-3

1.00 C
WA

WARREN AVENUE

SHEET #: C-5

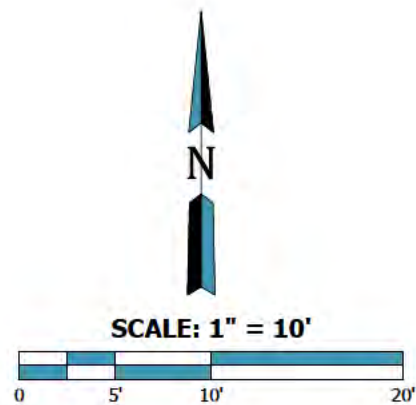




- 1. **RCP = REINFORCED CONCRETE PIPE**
CLASS IV, ASTM C-76 PIPE, ASTM C-443 JOINTS
- 2. **RCPWM = REINFORCED CONCRETE PIPE**
CLASS IV, ASTM C-76 PIPE, ASTM C-361 JOINTS
- 3. **PVC = POLYVINYL CHLORIDE PIPE**
SDR26, ASTM D-3035 PIPE, D-3212 JOINTS
- 4. **PVCWM = POLYVINYL CHLORIDE PIPE**
AWWA C900, OR AWWA C905 OR ASTM D-2241 PIPE
ASTM D-3139 JOINTS
- 5. **DIP = DUCTILE IRON PIPE**
CLASS 52, GENTLE LINED, ANSI A21.51 PIPE, ANSI A21.11 JOINTS
- 6. **HDPE = HIGH DENSITY POLYETHYLENE PIPE**
AASHTO M-294 (12"–60") AASHTO M-252 (3"–10")
- 7. **CWM = TYPE "C" COPPER WATERMAIN**
ASTM B-88 AND ASTM B-251 WITH SWEATED JOINTS
- 8. **ESVCP = EXTRA STRENGTH VITRIFIED CLAY PIPE**
ASTM C-700 PIPE, ASTM C-425 JOINTS.

UTILITY CROSSING TABLE

#1	BOTTOM OF WATER TOP OF SANITARY	= 715.50* = 705.71
#2	BOTTOM OF STORM TOP OF WATER	= 708.12 = 706.40*
#3	BOTTOM OF STORM TOP OF WATER	= 711.50 = 708.50
#4	BOTTOM OF STORM TOP OF SANITARY	= 718.95 = 709.47
#5	BOTTOM OF STORM TOP OF SANITARY	= 711.62 = 709.37

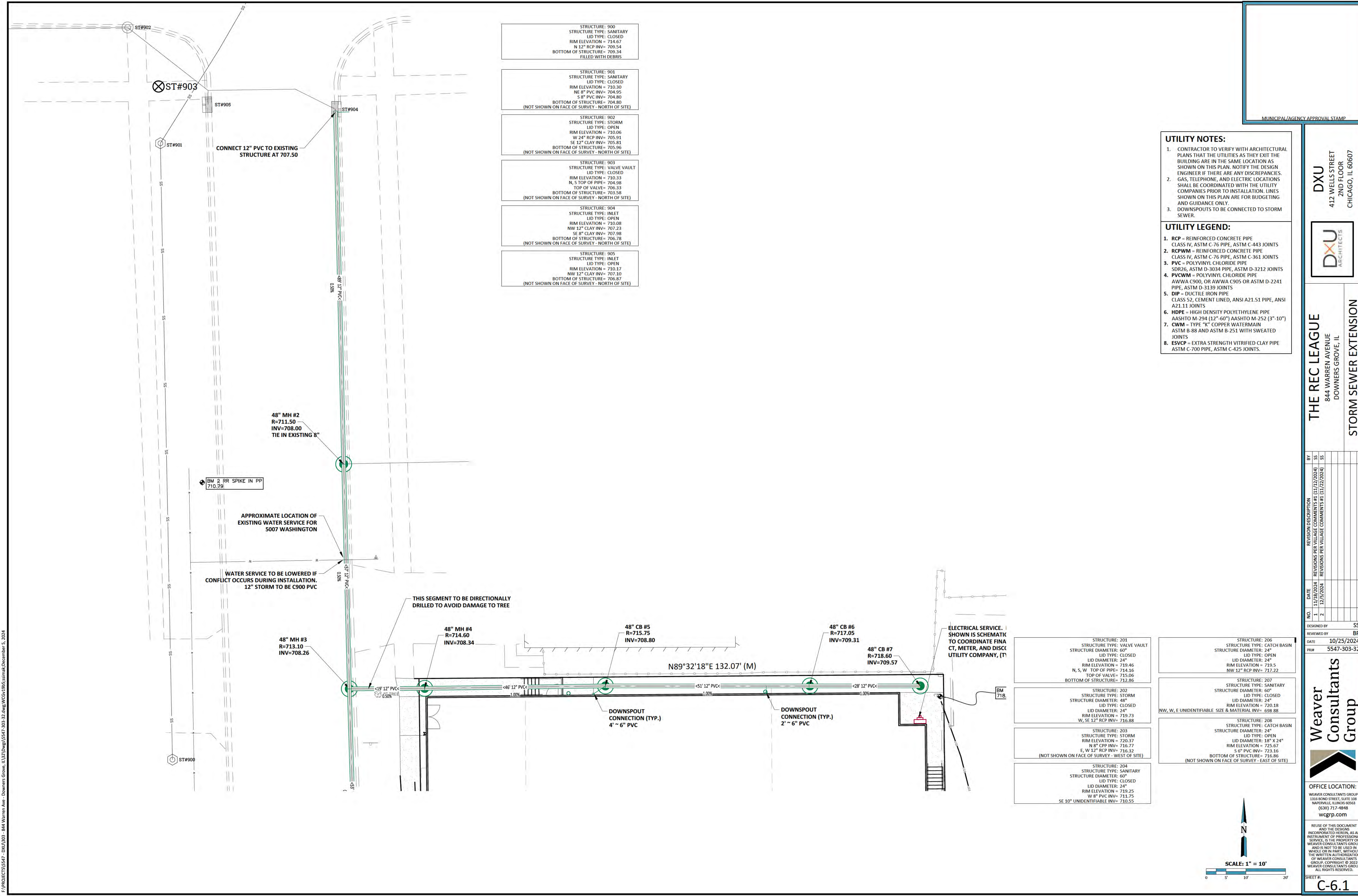
[illegible]

Weaver
Consultants
Group

OFFICE LOCATION:
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
NAPERVILLE, ILLINOIS 60563
(630) 717-4848
wcgrp.com

REUSE OF THIS DOCUMENT
AND THE DESIGNS
INCORPORATED HEREIN, AS AN
INSTRUMENT OF PROFESSIONAL
SERVICE, IS THE PROPERTY OF
WEAVER CONSULTANTS GROUP
AND IS NOT TO BE USED IN
WHOLE OR IN PART, WITHOUT
THE WRITTEN AUTHORIZATION
OF WEAVER CONSULTANTS
GROUP. COPYRIGHT © 2022
WEAVER CONSULTANTS GROUP
ALL RIGHTS RESERVED.

SHEET #: C-6



- UTILITY NOTES:**
- CONTRACTOR TO VERIFY WITH ARCHITECTURAL PLANS THAT THE UTILITIES AS THEY EXIT THE BUILDING ARE IN THE SAME LOCATION AS SHOWN ON THIS PLAN. NOTIFY THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES. GAS, TELEPHONE, AND ELECTRIC LOCATIONS SHALL BE COORDINATED WITH THE UTILITY COMPANIES PRIOR TO INSTALLATION. LINES SHOWN ON THIS PLAN ARE FOR BUDGETING AND GUIDANCE ONLY.
 - DOWNSPROUTS TO BE CONNECTED TO STORM SEWER.
- UTILITY LEGEND:**
- RCP = REINFORCED CONCRETE PIPE CLASS IV, ASTM C-76 PIPE, ASTM C-443 JOINTS
 - RCPWM = REINFORCED CONCRETE PIPE CLASS IV, ASTM C-76 PIPE, ASTM C-361 JOINTS
 - PVC = POLYVINYL CHLORIDE PIPE SDR26, ASTM D-3034 PIPE, ASTM D-3212 JOINTS
 - PVCWM = POLYVINYL CHLORIDE PIPE AWWA C900, OR AWWA C905 OR ASTM D-2241 PIPE, ASTM D-3139 JOINTS
 - DIP = DUCTILE IRON PIPE CLASS 52, CEMENT LINED, ANSI A21.51 PIPE, ANSI A21.11 JOINTS
 - HDPE = HIGH DENSITY POLYETHYLENE PIPE AASHTO M-294 (12"-60") AASHTO M-252 (3"-10")
 - CWM = TYPE "K" COPPER WATERMAIN ASTM B-88 AND ASTM B-251 WITH SWEATED JOINTS
 - ESVCP = EXTRA STRENGTH VITRIFIED CLAY PIPE ASTM C-700 PIPE, ASTM C-425 JOINTS.

MUNICIPAL/AGENCY APPROVAL STAMP

DXU
412 WELLS STREET
2ND FLOOR
CHICAGO, IL 60607



THE REC LEAGUE
844 WARREN AVENUE
DOWNERS GROVE, IL
STORM SEWER EXTENSION

NO.	DATE	REVISION DESCRIPTION	BY
1	11/18/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/12/2024)	SS
2	12/2/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/22/2024)	SS

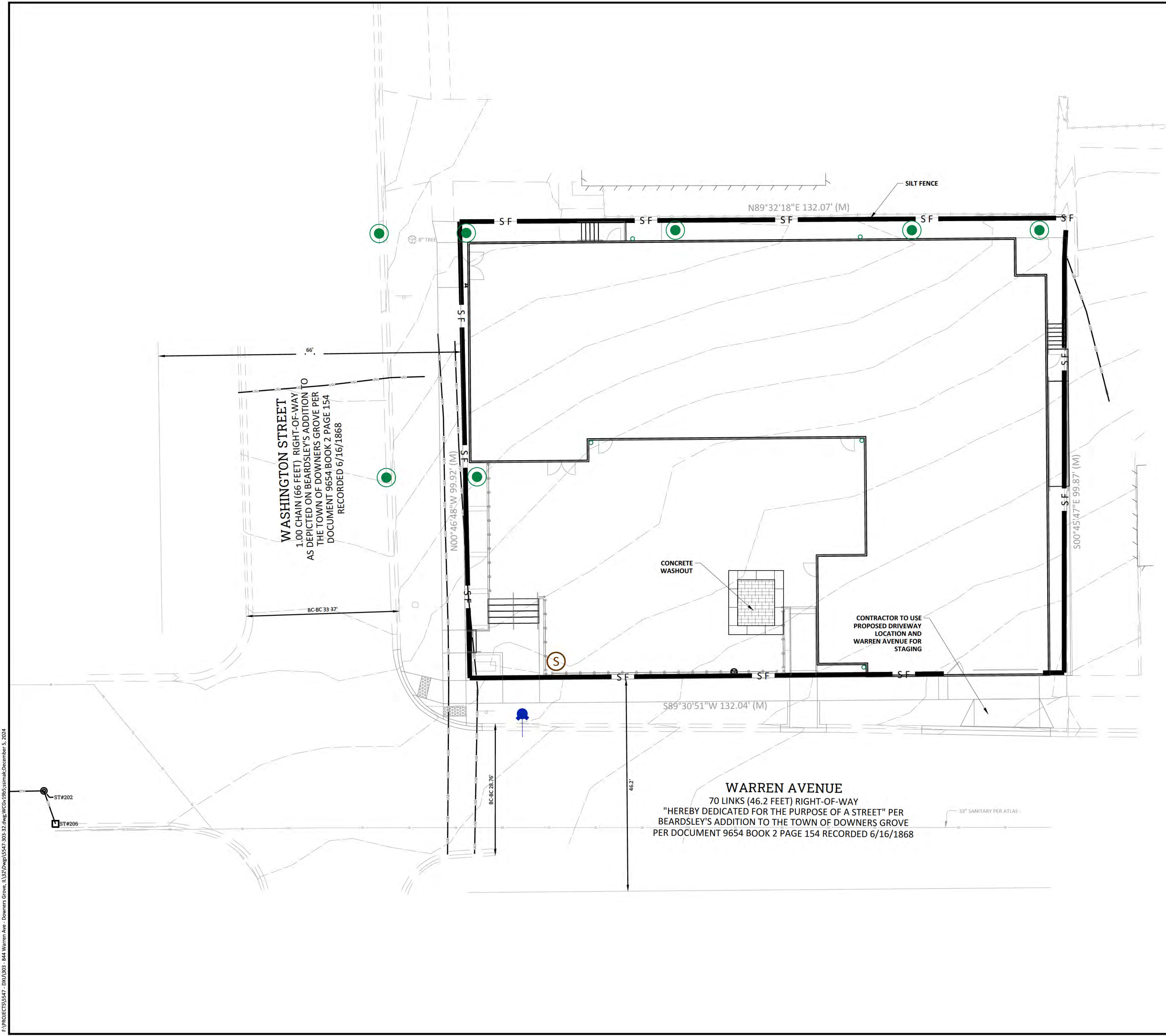
DESIGNED BY: SS
REVIEWED BY: BP
DATE: 10/25/2024
PRJ#: 5547-303-32



OFFICE LOCATION:
WEAVER CONSULTANTS GROUP
1310 BOND STREET, SUITE 108
NAPERVILLE, ILLINOIS 60563
(630) 717-4848
wcgrp.com

REUSE OF THIS DOCUMENT AND THE DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF WEAVER CONSULTANTS GROUP, AND IS NOT TO BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN AUTHORIZATION OF WEAVER CONSULTANTS GROUP. COPYRIGHT © 2024 WEAVER CONSULTANTS GROUP. ALL RIGHTS RESERVED.

SHEET #: C-6.1



- SOIL EROSION CONTROL NOTES:**
1. AN INITIAL SEDIMENTATION AND EROSION CONTROL INSPECTION PRIOR TO STARTING CONSTRUCTION. THE APPLICANT IS DIRECTED TO CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 630-434-5529 TO SCHEDULE THIS INSPECTION; THIS NOTIFICATION SHALL BE AT LEAST 24 HOURS IN ADVANCE OF CONSTRUCTION.
 2. THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE.
 3. STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN ANY DRAINAGE WAYS, FLOODPLAINS, WETLANDS, BUFFERS OF LPDAS,
 4. SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY SOIL STOCKPILE IF IT IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS INCLUDING A DOUBLE ROW OF SILT FENCE OR COIR ROLL.
 5. PROPERTIES DOWNSTREAM FROM THE SITE SHALL BE PROTECTED FROM EROSION IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION.
 6. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
 7. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN SEVEN (7) DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
 8. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.
 9. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
 10. ALL TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE VILLAGE OF DOWNERS GROVE STORMWATER AND FLOOD PLAIN ORDINANCE SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION AND CONTROL MEASURES ARE OPERATION.
 11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.

MUNICIPAL/AGENCY APPROVAL STAMP

DXU
412 WELLS STREET
2ND FLOOR
CHICAGO, IL 60607



THE REC LEAGUE
844 WARREN AVENUE
DOWNERS GROVE, IL
SOIL EROSION CONTROL PLAN

NO.	DATE	REVISION DESCRIPTION	BY
1	11/18/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/12/2024)	SS
2	12/2/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/22/2024)	SS
DESIGNED BY			SS
REVIEWED BY			BP
DATE	10/25/2024		
PRJ#	5547-303-32		

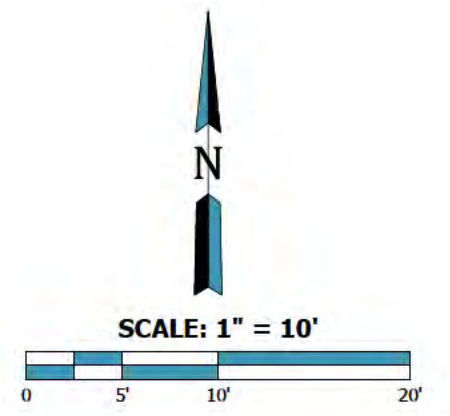
Weaver
Consultants
Group



OFFICE LOCATION:
WEAVER CONSULTANTS GROUP
1310 BOND STREET, SUITE 108
MORTGAGE, ILLINOIS 60563
(630) 717-4848
wcgrp.com

REUSE OF THIS DOCUMENT
AND THE DESIGN
INCORPORATED HEREIN, AS AN
INSTRUMENT OF PROFESSIONAL
SERVICE, IS THE PROPERTY OF
WEAVER CONSULTANTS GROUP,
AND IS NOT TO BE USED IN
WHOLE OR IN PART, WITHOUT
THE WRITTEN AUTHORIZATION
OF WEAVER CONSULTANTS
GROUP. COPYRIGHT © 2024
WEAVER CONSULTANTS GROUP.
ALL RIGHTS RESERVED.

SHEET #:
C-7

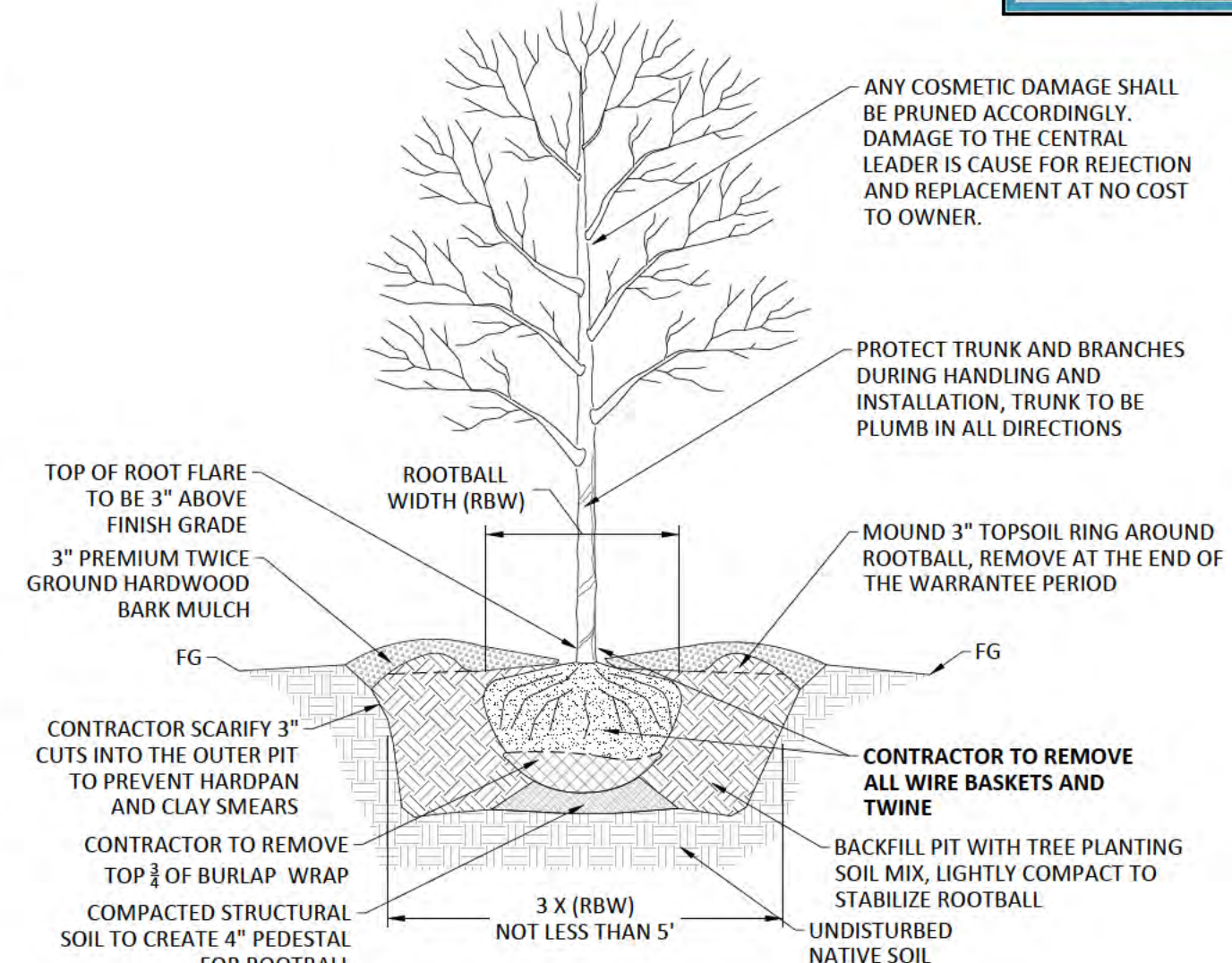




- ## TURFGRASS LEGEND



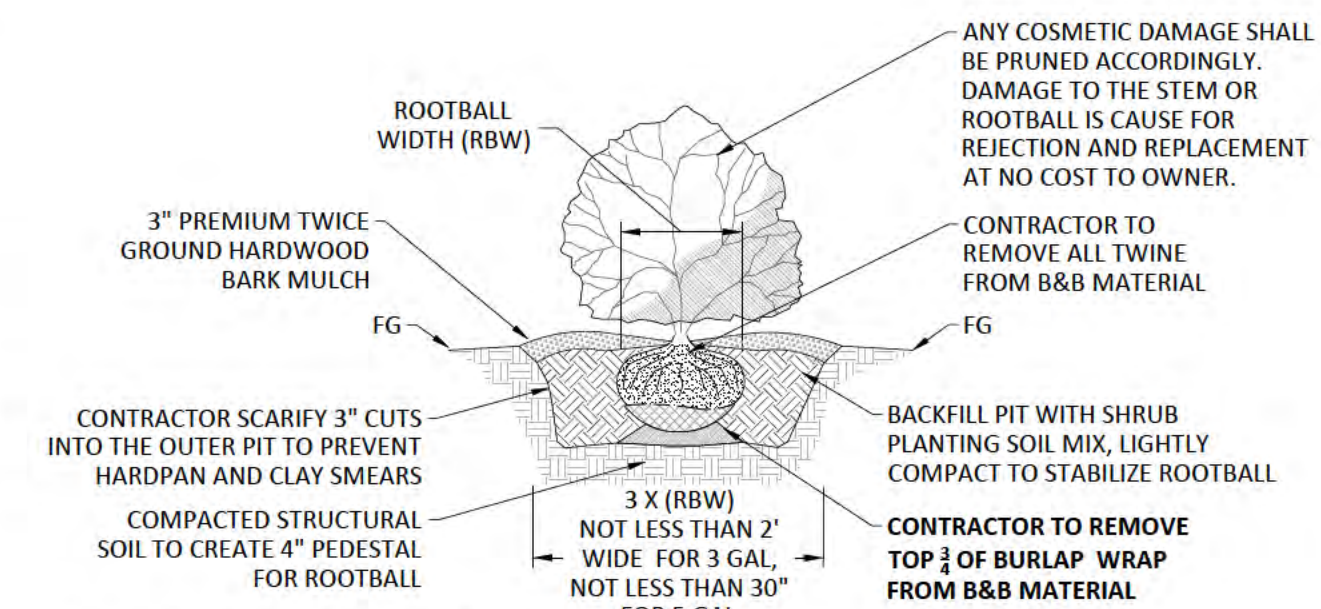
MUNICIPAL/AGENCY APPROVAL STAMP



1. TREE TO BE HANDLED BY THE ROOTBALL ONLY.
2. ENSURE POSITIVE DRAINAGE AWAY FROM TREE.
3. ALL TREES TO BE FIELD GROWN, ROOT PRUNED, AND SPADE DUG.
4. ALL TREES TO BE BALL AND BURLAP AS NECESSARY FOR ROOT PROTECTION, VIABILITY, HANDLING & TRANSPORT.

SHADE TREE PLANTING

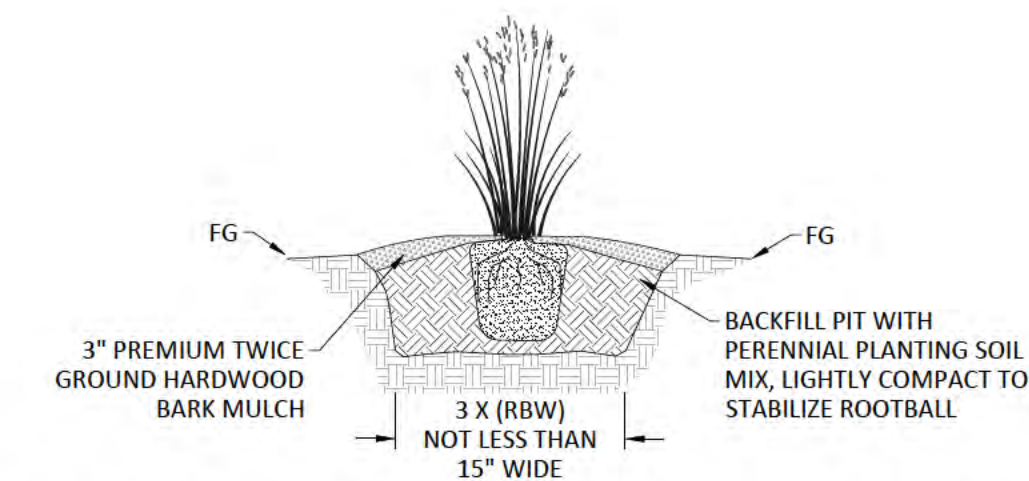
NOT TO SCALE



1. SHRUB TO BE HANDLED BY THE ROOTBALL ONLY.
2. ENSURE POSITIVE DRAINAGE AWAY FROM SHRUB.
3. CONTRACTOR TO ENSURE ALL CONTAINER GROWN PLANTS ARE NOT ROOT BOUND.
4. GENTLY SCARIFY EXTERIOR OF ROOTBALL.

SHRUB PLANTING

NOT TO SCALE



1. ENSURE POSITIVE DRAINAGE AWAY FROM PERENNIALS AND ORNAMENTAL GRASSES.
2. CONTRACTOR TO ENSURE ALL CONTAINER GROWN PLANTS ARE NOT ROOT BOUND.
3. GENTLY SCARIFY EXTERIOR OF ROOTBALL.
4. PERENNIAL BEDS SHALL BE TILLED TO A DEPTH OF 10" EXCEPT UNDER EXISTING TREES.
5. UNDER EXISTING TREES, CONTRACTOR TO DIG STAND ALONE PLANTINGS IN NATIVE SOILS. CONTRACTOR TO FIELD ADJUST IF LARGE ROOTS ARE ENCOUNTERED.

PERENNIAL/ ORNAMENTAL GRASS PLANTING

NOT TO SCALE

SEEDING NOTE:

1. AREAS TO GRADED AND PREPARED FOR SEEDING OR SOD SHALL INDICATE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL.

PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
<u>SHRUBS</u>					
	DSDH	8	DIERVILLA SESSILIFOLIA 'LPDC PODARAS' / COOL SPLASH DWARF HONEYSUCKLE	2 GAL.	CONT.
	ITLH	5	ITEA VIRGINICA 'SPRICH' / LITTLE HENRY® SWEETSPIRE	3 GAL.	CONT.
<u>GRASSES</u>					
	CAKF	9	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL.	CONT.
<u>PERENNIALS</u>					
	SNSH	10	SALVIA MEMOROSA 'SNOW HILL' / SNOW HILL MEADOW SAGE	1 GAL.	CONT.
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
<u>GROUND COVERS</u>					
	PAGC	20	PACHYSANDRA TERMINALIS 'GREEN CARPET' / GREEN CARPET JAPANESE PACHYSANDRA	FLAT	CONTRACTOR

DATE	REVISION DESCRIPTION	BY
4/18/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/12/2024)	SS
2/2/2024	REVISIONS PER VILLAGE COMMENTS #1 (11/22/2024)	SS



Memorandum

TO: Mr. Eric Styer
DxU Architects

FROM: Stephen B. Corcoran, P.E., PTOE
Director of Traffic Engineering

DATE: October 28, 2024

RE: Parking Demand Study
Restaurant/Golf
844 Warren Avenue
Downers Grove, Illinois

This memorandum analyzes the parking demand for the redevelopment of a property at 844 Warren Avenue. A previously demolished auto repair shop, now vacant land, will be replaced by a restaurant with indoor golf and outdoor seating in Downtown Downers Grove, Illinois. The purpose of this study is to determine if enough parking is available in the area.

Redevelopment Plan

The redevelopment site is located at 844 Warren Avenue east of Washington Street. It is in the northeastern part of the Downers Grove Downtown District with commuter parking and railroad tracks to the south, businesses to the east and west, and residential uses to the north.

An auto repair shop had occupied the site (2,265 square feet) with 13 parking spaces and an access drive on Warren Avenue and one on Washington Street. The site is currently vacant.

The proposed restaurant will be a two-story building totaling 15,642 square feet with an outdoor patio. No parking or access is proposed. Four bays within the building are for golf simulation games. Seating will be provided for 403 persons as follows:

Inside Seating	– 66 seats
Bar/Lounge	– 139 seats
Golf Simulation	– 36 seats
Outdoor Seating	– 162 seats
Total	– 403 seats

Please note that during cold or inclement weather, the outdoor seating would be unavailable, and the capacity of the building would be reduced by 40% to 241 seats.

Downers Grove Parking Requirement

Minimum off-street parking requirements do not apply in the Downtown Business (DB) zoning district. The site is within the DB district and requires no parking. Patrons and employees would park in the neighboring public lots around the downtown.

The Village Zoning Code would require 12.5 spaces per 1,000 sq. ft. or 1 space per 4 seats, whichever is greater, for a restaurant with a lounge outside of the downtown area. One hundred and ninety-six parking spaces would be required if this restaurant was located elsewhere based on the square footage. Only 101 spaces are required based on seating. Given its location in the downtown area and nearby public parking, the need for parking is minimized.

National Parking Data

National parking data for restaurants was reviewed to estimate the parking demand for the site. The Institute of Transportation of Engineers' publication *Parking Generation*, 6th Edition provides parking demand data on quality restaurants (Land Use Code 931) for Monday thru Thursday (210 vehicles), Friday (254 vehicles),

and Saturday (189 vehicles). The peak parking demand occurs from 7:00 to 9:00 PM in the evening. The ITE parking estimates are based on a suburban location with no adjustment for the downtown location. The village downtown parking study indicated that 18% of visitors did not drive to the downtown. This would reduce the ITE demand to 208 vehicles on a Friday.

Downers Grove Downtown Parking Study

The Village of Downers Grove staff provided parking information of public parking lots near the site including Lot F across the street from the site, Lots B and C west of Washington Street, and the new municipal center lot south of the tracks. The four lots have 394 total spaces. Peak morning occupancy counts at each lot are shown on **Table 1**. For the new municipal lot, it was assumed that 125 spaces of the 172 public spaces would be occupied by village and school district staff and public visitors during the day. After 4 PM, the commuter lots empty out and would be available for use by other users.

Table 1
Available Parking Spaces

Lot	Spaces	Peak AM Vehicles
Lot B	66	41
Lot C	66	40
Lot F	90	61
Lot H	172	125
Totals	394	267
Spaces Available		127

Analysis

Based on the Village requirement of 196 spaces and the estimated demand estimate of 208 vehicles, there is sufficient parking available near the site to accommodate the requirements during the evenings and weekends. During lunchtime, the 127 available parking spaces will meet the projected lunchtime demand.



Emily Hepworth <eheworth@downers.us>

844 Warren - official comment

Chris Johnson [REDACTED]

Mon, Nov 18, 2024 at 5:36 PM

To: eheworth@downers.us

I am in favor of the proposed development at 844 Warren and the idea of expanding the downtown. With that said, and not contingent on the approval of this project, I strongly recommend the village build a parking deck on the north side of the tracks to better serve the customers and employees of the existing and forthcoming businesses.

Chris Johnson - CEO

Classic Cinemas, a division of Tivoli Enterprises, Inc.

603 Rogers Street, Downers Grove, IL 60515

[REDACTED]
www.classiccinemas.com

[If you like what we do, please give us a review! If you have concerns, please let me know.](#)

PLEASE NOTE Email with executable attachments including executable signatures are rejected as security risks. Please do not send emails with executable attachments as they will be blocked and deleted.

Tivoli Enterprises Disclaimer:

This e-mail and any attachments may contain confidential and privileged information. Any dissemination or use of this information by a person other than the intended recipient is unauthorized and may be illegal.

VILLAGE OF DOWNERS GROVE
PLANNING AND ZONING COMMISSION MEETING

January 6, 2025, 7:00 P.M.

FILE 24-PCE-0034: A PETITION SEEKING APPROVAL FOR A PLANNED UNIT DEVELOPMENT AMENDMENT. THE PROPERTY IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF WASHINGTON STREET AND WARREN AVENUE, COMMONLY KNOWN AS 844 WARREN AVENUE, DOWNERS GROVE, IL (PINS: 09-08-125-004). ERIC SYTER, PETITIONER AND TIMOTHY CANNING OWNER

(This hearing was opened at the December 4, 2024 Meeting, but continued to the January 6, 2025 Meeting)

Eric Syter presented the petition, which proposed to improve the property with a new dining and entertainment facility that will provide multiple dining experiences, golf simulator, darts, billiards, and lounging areas. He expressed their goal is to provide an energetic, family-friendly, pedestrian-oriented neighborhood designation. He described the 15,000 square foot property as a two-story, L-shaped structure. He explained that the areas between the building, along the north and east property lines will be used for building maintenance and emergency egress and the property to the north and east will be residential, noting that they want the property to be as least disruptive as possible. Mr. Syter also discussed the basement level, patio levels, main entry, restaurant, kitchen, trash barrier, bar, outdoor lounge, elevations, materials, and the center bay, etc. He stated that the proposal is compliant with the comprehensive plan, meets and/or exceeds the requirements of the downtown design guidelines, and meets the approval of criteria.

Chairman Rickard asked for questions for the petitioner.

Commissioner K. Patel inquired about the intended hours of operation. Mr. Todd Davies stated 10 a.m. to 12 a.m. on the weekends and 10 a.m. to 11:00 p.m., Sunday through Thursday.

Commissioner Eberhardt asked for clarification on what relief they were asking for. Chairman Rickard added for them to address those five relief items. Mr. Syter responded that first they are asking for relief from the Build-to-Zone of 80%. Commissioner Eberhardt noted that the façade is supposed to be within 25 feet of the corner but they are at almost 50 feet. Mr. Syter stated that the orientation of the building was to open up the corner for the public and direct most of the energy to the south towards the railway and the main entrance to the building.

Commissioner Eberhardt asked how they would seat people in outdoor dining all year long. Mr. Syter responded that they have a snowmelt paving system and the goal is to utilize that as much of the year as possible. Commissioner Eberhardt expressed that she did not understand the rationale for not abiding by the zoning ordinance for the downtown by saying this area is going to be inhabited and active all year long and struggled with how dining could work year round.

Mr. Davies stated that the zoning requirements for the downtown put them at a certain height for the building and that would put them back in a corner into other people's backyards. He explained that they asked for relief on this L-shaped property because it felt more inviting than having a 32-foot

wall, and people would see an inviting courtyard and fire pit instead of walking straight into a lobby or restaurant.

Commissioner Eberhardt asked if they are expecting people to walk 50 feet to the front door unprotected and why the pergola is not on that side to provide a protected walk. Mr. Syter commented that they never thought about covering the walkway to the front door, as they wanted to leave that open an inviting. Commissioner Eberhardt asked how someone in a wheelchair would get to the front door versus the rest of their party. Mr. Syter responded they would all follow the same path where the ramp is located. Commissioner Eberhardt noted that the ramp is more then 90 feet from where the rest of people would walk. She also why the stairs are not near the ramp. Mr. Syter stated the ramp was in an area where the ramp only needed to be 12 feet, whereas if they put a ramp near the stairs, the ramp would have to be 80 feet. Mr. Zawila noted they review the building and accessibility codes on with every project that submits a building permit.

Mr. Syter discussed the rest of the relief they are asking for, which include a walkway 1 foot setback on the east and north side for the emergency egress and building maintenance purposes only, for the firepit be in the front yard, year round outdoor seating, and for the pergola to be tied to the property line instead of the required setback of 6 feet.

Commissioner Eberhardt stated she liked how they are facing everything away from the homes behind the property, but she did have an issue with the ramp and stairs being apart and the elevator on the inside being out the way from the stairs. Chairman Rickard commented that the extent of their input on the building design has to do with the exterior, as the interior is outside of their purview.

Commissioner Lincoln agreed with the inviting nature of the building and also agreed with striking some balance to allow patrons to share the same entrance. He asked how the operation would impact the neighborhood for people carrying golf bags around town for the golf simulator. Mr. Davies responded that they will have storage for 80 to 90 bags, and they also will provide clubs for people to use that do not bring clubs.

Commissioner Boyle expressed the biggest question for him was in terms of parking. Mr. Davies shared they had an expert study that a bulk of the business would be coming on Saturday and in the evenings, and the amount of parking they have and people walking 50-60 feet from other parking area should not be an issue.

Commissioner Toth agreed it has a very welcoming appearance.

Commissioner Eberhardt asked for clarification on dimensions of the outdoor seating. Mr. Syter responded that the outdoor area is 3,500 square feet and the actual dimensions were approximately 90 x 40 x 30. Commissioner Eberhardt asked if they looked at having anymore outdoor seating on the second level instead of having it all on the patio. Mr. Syter said there is an outdoor lounge on the second floor. He added they did consider an additional balcony with seating, but the look of it did not make sense and they felt they had enough on the first floor to handle the outdoor seating they would need.

Commissioner Lincoln voiced they are tasked with trying to weigh the relief and differences proposed versus the zoning code as written. He asked if they worked up any plans that followed the

zoning code just to see how it would work. Mr. Davies responded that it would become an eyesore if they did not ask for the relief. Commissioner Lincoln stated there was something to be said for something with so much diversity, but he wanted to make sure they are articulating specifically the benefit of this plan and that the reliefs outweigh what they could have done by following the rules.

Commissioner Frankovic asked about some of the options for using the outdoor space year round and how to keep it weatherproofed and usable. Mr. Davies answered that their belief was if it is a comfortable environment, people will definitely go out and have a cocktail and sit outside, even though they may not dine out there when it is cold, and they wanted to remove the outdoor parameters of March 15 to November 15. Mr. Syter added one option they had was upscale ice fishing huts, but the idea was to use the patio all year.

Commissioner Frankovic asked if the fire pit having space for 8 people was a specific required size or could they make it larger. She added that would be a wonderful for the community. Mr. Syter responded that the seating is not fixed.

Commissioner Eberhardt asked if the new house behind them had any comments, as they are going to be in the shade most of the year now. Mr. Davies responded that they did.

Chairman Rickard asked for public input.

Daniel O'Donnell voiced his support for the project. He believed it was a cool concept, is excited about expanding the downtown area into his neighborhood. He added that he likes the fact that Todd and Mike are Downers Grove residents and he trusts them.

Kelsey Brar stated she is also in support of the project. She said it was important to give them an opportunity, as they have shown to be true assets to the community and have their best interests at heart. She also agreed with having the open area out front instead of in their backyard. She noted having the building go up would also eliminate some of the train noise.

Greg Boltz commented that these guys give a lot to their community and having people from the community giving back to the community is fantastic.

Janet Winningham, wondered what consideration was given to the interaction with the train crossing. She noted that she has respect the restaurant operators, but 6:00 on a winter or fall night will be dark and they are going to have use parking lots on the other side of the train tracks, which could be dangerous. She voiced there is crosswalk now at the tracks on the north side and there is no place to stop, and worries about people having to stop on the tracks, and she fears these types of activities at this property could exacerbate that.

Dan Fryer explained that when they first moved to this community 11 years ago, he did not feel like downtown had much of an identity, but now it is a destination for people inside and outside of the community, and this new concept is unique and will further elevate the community.

Chairman Rickard asked for the staff report.

Emily Hepworth, Development Planner, stated this is a Planned Unit Development Amendment at 844 Warren Ave, located on the northeastern corner of the Warren Ave and Washington St

intersection downtown. She expressed that they provided a mailing notice to all property owners within 250 feet, a legal notice in the Daily Harold, posted two public notice signs, and received one public comment. She covered the site plan and provided a background on the PUD. She explained the petition was requesting deviations from the zoning ordinance that is similar to what was requested and approved in 2019. Ms. Hepworth went over renderings and downtown design guidelines. She voiced that the Comprehensive Plan placed the property within the downtown focus area and staff found the proposed development consistent with the intent of the Comprehensive Plan. She added that staff also found the proposal met the standards for a PUD Amendment.

Chairman Rickard asked for questions for staff.

Commissioner Boyle asked if the driving factor of pushing the pergola to the street to recreate frontage drove the deciding factor on the stairs being on one side and the ramp on the other. Ms. Hepworth deferred to the petitioner.

Commissioner Boyle voiced that given this is downtown business, the parking would be in the head-in spaces for the trains. Ms. Hepworth noted that the three lots identified where people can park are B, C, and F.

Commissioner Boyle asked what the intention was of the people parking in those spaces to go to a business on the north side of the street. Ms. Hepworth believed it is encouraged for everyone to use the pedestrian crossing, but if they park on Lot C, there is a sidewalk that runs between the parking spaces and the train tracks.

Commissioner Boyle added he does not want the decision to put the pergola up against the front to be the deciding factor in not softening the entrance more to give the applicant more opportunity to interact with the sidewalk. He asked if there was any street lighting or ambient lighting. Ms. Hepworth responded that as part of the building permit, they would require that they submit a photometric study to show where light would be.

Commissioner Lincoln expressed that having a crosswalk on the south side of Warren and Washington does seem concerning, as you cannot fit cars on the other side of the track.

Commissioner Eberhardt added that she was caught in that spot today and it was harrowing. She asked about the parking and if they would add any on the north side of the tracks. Mr. Zawila responded there are currently no plans to add any parking on the north side of the tracks, but they are going through the process to review the downtown with the Comprehensive Plan update.

Chairman Rickard asked the petitioner to come back up and address any comments or questions.

Mr. Syter stated that they are going to light the patio and the accessibility and entrances had to do with the substantial grade change. He added there also have been multiple concepts in regard to the pergola.

Chairman Rickard asked for discussion from the commissioners.

Commissioner Toth voiced it is a wonderful design and the layout will help it blend into the neighborhood better and will be well-received by the community. He was in support and also

agreed with the standards for a PUD. He noted that in regard to the outdoor year round seating, most outdoor dining experiences are on a sidewalk or in the street, which have safety concerns.

Commissioner Lincoln liked that thought about the location of the courtyard and had a lot of communication with the neighbors, and it seemed like it will be a nice variety to downtown. He commented in regards to the standards, he was leaning towards yes, but wished they had more say on the flow of people and the railroad tracks. He was still on the fence about the outdoor dining and wondered if they needed to change the typical rule in the zoning code of March 15 to November 15.

Commissioner Boyle supported the project and believed it was well thought through and agreed that providing relief made sense in this lot. He noted he would be willing to look beyond the elevation requirement to allow ingress/egress to have the ramp and stairs in the same location and allow people to congregate at the corner.

Commissioner Frankovic agreed with her fellow commissioners and believed the criteria was met for approval for a PUD. She added that she would like to see more diversity in activities since it is a family friendly destination. She also agreed the outdoor year round seating was part of the business plan and was incorporated in the plan.

Commissioner K. Patel concurred it was a great concept and idea and they were creative in the way they are using the space. He said the standards of approval for the PUD were met and supported it.

Commissioner V. Patel commented that it seemed like they have a plan around using the year round space and they met the criteria.

Commissioner Rutledge agreed they met the standards and criteria for the PUD Amendment. She liked the project and the diverse use of space. She is excited for the potential different types of people this would draw and noted it would add a flavor to the community. She added that in regard to the year round seating, she did not think they should restrict something that is part of their business plan, and she was in favor of the project.

Commissioner Eberhardt believed they met the requirements for the PUD but agreed to hold off on the year round idea. She was happy to hear the nearby and immediate neighbors were in support of this. She did note her concern on the railroad crossing and parking for safety reasons. She was in support of approval. She disagreed that the outdoor year round seating was part of the business plan, but they wanted the option to let people sit outside.

Chairman Rickard felt the standards were met and the five relief requests were acceptable for this location. He also agreed that the outdoor year round seating was part of the project and the fact that this was a PUD gave them the leverage to take this unique concept and get relief from it as part of the overall plan.

WITH RESPECT TO FILE 24-PCE-0034 BASED ON THE PETITIONER'S SUBMITTAL, THE STAFF REPORT, AND THE TESTIMONY PRESENTED, IT IS FOUNDED THE PETITIONER HAS MET THE STANDARDS OF APPROVAL FOR A PLANNED UNIT DEVELOPMENT AMENDMENT AS REQUIRED BY THE VILLAGE OF DOWNERS GROVE ZONING ORDINANCE AND IS IN THE PUBLIC INTEREST, AND THEREFORE, COMMISSIONER BOYLE MADE A MOTION THAT THE PLANNING

AND ZONING COMMISSION RECOMMEND TO THE VILLAGE COUNCIL APPROVAL OF FILE 24-PCE-0034, SUBJECT TO THE SIX CONDITIONS AS IDENTIFIED IN THE STAFF REPORT.

SECOND BY COMMISSIONER TOTH

ROLL CALL:

AYE: BOYLE, TOTH, FRANKOVIC, K. PATEL, V. PATEL, RUTLEDGE, LINCOLN, EBERHARDT, CHAIRMAN RICKARD

NAY: NONE

MOTION APPROVED. VOTE: 9-0

/s/ Celeste K. Weilandt
Recording Secretary

(As transcribed by Ditto Transcripts)