



Village of Downers Grove

Report for the Village Council Meeting

Table 1 - Council Agenda item.

Subject	310-330 Ogden Avenue and 4241 Florence Avenue - Planned Unit Development #68 Amendment
Submitted By	Stan Popovich, AICP Director of Community Development

Synopsis.

The petitioner is requesting approval of an Amendment to Planned Unit Development #68 to construct a new automobile dealership and to create a master signage plan at 330 Ogden Avenue.

Strategic Plan Alignment.

The goals for 2025-2027 Strategic Plan include acting a *Strong and Diverse Local Economy*.

Fiscal Impact.

N/A

Recommendation.

Approval on the June 9, 2026 Active Agenda per the Planning and Zoning Commission’s 8:0 positive recommendation. The Planning and Zoning Commission found that the proposal is compatible with the Comprehensive Plan and meets the

standards for a Planned Unit Development Amendment found in Section 28.12.040(c)(5).

Background.

Property Information and Zoning Request.

The petitioner is requesting approval of an amendment to Planned Unit Development #68 to construct a new automobile dealership. The 2.97-acre property is located on the north side of Ogden Avenue to the east and west of Florence Avenue and is zoned B-3/PUD #68, General Services and Highway Business/Planned Unit Development #68. The existing site currently consists of two buildings, one of which currently houses the Bentley and Lamborghini dealerships (330 Ogden Avenue), with the other (310 Ogden Avenue) is a used car dealership with accessory services areas. Parking for customers, employees and vehicle displays exist on the subject property west of Florence Avenue. At 4241 Florence Avenue there is vehicle inventory lot that completed construction in 2025.

PUD #68 was established in 2024 to allow the construction of a 13,600 square foot two-story service center addition to expand the existing 16,000 square foot building and to develop the 4241 Florence Avenue property into a vehicle inventory parking lot. While the current proposal is similar, the amendment is needed as significant changes have been made to the originally approved development plan for the dealership and service building; a master signage plan is now included.

The petitioner is proposing to improve the subject property by constructing a new automobile dealership building in two phases. In phase one, the building to the west (330 Ogden Avenue) will remain in place. The existing building on the east (310 Ogden Avenue) will be demolished and a new 18,812 square foot service center and showroom (Rolls Royce) along with a 3,456 square foot mezzanine will be constructed. In phase two, the 330 Ogden Avenue building will be demolished and an additional 17,433 square feet will be added to the new building to house two additional showrooms and associated facilities (Bentley and Lamborghini). Upon

completion, the new automobile dealership will have a total footprint of 36,245 square feet. The new dealership will house three showrooms (Rolls Royce, Bentley, and Lamborghini), service offices, a vehicle delivery bay, an automotive service center and ancillary uses including waiting areas, parts storage and break rooms. There are no proposed changes to the existing vehicle inventory lot at 4241 Florence Avenue.

The primary building façade will be composed of aluminum storefront windows, aluminum composite materials (ACM) panels, and steel framing members. The service center's second floor will mainly be open to the service center below with some space dedicated for parts storage. Immediately north of the new two-story service center, a new trash enclosure is proposed. The project will meet all Village lighting and landscaping requirements as further described in the Planning and Zoning Commission staff report.

Compliance with the Comprehensive Plan.

The Guiding DG Comprehensive Plan's Future Land Use Map designates the subject property as Corridor Commercial. Corridor commercial land uses are defined as commercial uses that are typically organized in a linear fashion and include a blend of neighborhood-oriented commercial retail, offices, auto dealerships, smaller regional commercial retail, service uses, and multi-family uses. Auto dealership businesses benefit from visibility and access without significantly contributing to traffic along the corridor or impact on nearby residential areas. The proposed development is consistent with the intent of the Guiding DG Comprehensive Plan as noted in the Planning and Zoning Commission report.

Compliance with the Zoning Ordinance.

The property is zoned B-3/PUD #68, General Services and Highway Business and Planned Unit Development #68. The bulk requirements of the proposed development in the B-3/PUD #68 zoning district and the requested deviations are summarized in Tables 7-8 and Table 9 of the Staff Report respectively.

Signage.

The petitioner is permitted up to 300 square feet of total signage and is requesting additional sign area for the development. Signage within the Planned Unit Development is proposed to be governed by a master signage plan that allows for a maximum of 400 square feet of signage and a total of three monument signs along the Ogden Avenue Street Frontage. Although 347 square feet of signage is identified below, the petitioner is requesting a maximum of 400 square feet to allow flexibility in the signage, as the final design has not been determined. In no case, will each ground sign exceed 36 square feet. The proposed sign package is summarized in Table 10 of the Staff Report.

Engineering and Public Improvements.

The petitioner's proposal complies with the Village's Stormwater and Floodplain Ordinance. The petitioner is required to provide on-site stormwater detention and provide best management practices for the proposed development. With a previous parking lot expansion (west of Florence Avenue), an underground detention basin was designed to provide on-site detention. This was designed as an "L" shaped detention area located along the northeast section of the property. The flow of water is limited by an outlet control structure that restricts the amount of water that is released. The released water is then treated by a mechanical water quality unit. The building permit review will require confirmation that both the restrictor and mechanical water quality unit are functioning properly.

Traffic and Parking.

A traffic impact study for the proposed development was completed by the petitioner. The study examined the existing Ogden Avenue traffic conditions and the future conditions based on the proposed construction of the new auto dealership. The study found that given the size of the dealership and luxury type vehicles that are sold and serviced, the dealership would generate a significantly lower volume of traffic than a typical dealership. Moreover, additional vehicle sales

and service appointments would be distributed throughout the day. As such, the increase in traffic from the expanded dealership was projected to be limited and the overall traffic to be generated by the expanded dealership will be lower than a typical dealership. It should also be noted that the vehicle deliveries are required to take place on private property. No changes are proposed to the existing vehicle inventory parking lot at 4241 Florence Avenue. Lastly, similar to other auto related use, a condition of approval will require that test drives are limited to arterial streets. The traffic study found no significant impacts to the existing road network.

Public Comment.

Staff did receive one inquiry from the public prior to the Planning and Zoning Commission meeting. The question was general in nature. During the Planning and Zoning Commission meeting two adjacent townhome property owners shared that the previous automobile dealership owners installed a drainage pipe from the parking lot at 4241 Florence Avenue into the townhome common space. The pipe is intended to drain overflow water into the detention area associated with the adjacent townhomes. The petitioner is working with the adjacent homeowners association to rectify their concerns.

Attachments.

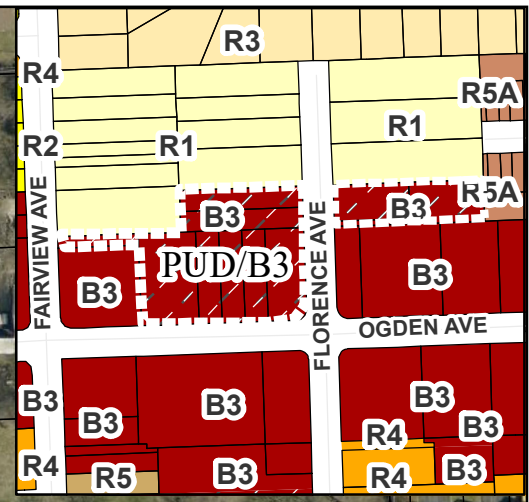
Aerial Map

Ordinance

Staff Report with attachments dated May 4, 2026

Draft Planning and Zoning Commission Minutes dated May 4, 2026

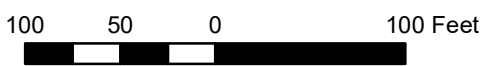
Updated building elevations





FAIRVIEW AVE

FLORENCE AVE

OGDEN AVE



330 Ogden Avenue - Location Map

-  Subject Property
-  Site Location

Ordinance

An Ordinance Approving an Amendment to Planned Unit Development #68 to Construct a New Automobile Dealership and Create a Master Signage Plan at 330 Ogden Avenue

WHEREAS, the Village Council has previously adopted Ordinance No. 6047, on May 14, 2024, designating the property described therein as Planned Unit Development #68; and,

WHEREAS, the Owners have filed a written petition with the Village conforming to the requirements of the Zoning Ordinance and requesting an amendment to Planned Unit Development #68 to allow construction of a new automobile dealership and for the creation of a master signage plan; and,

WHEREAS, such request was referred to the Planning & Zoning Commission of the Village of Downers Grove, and the Planning & Zoning Commission has given the required public notice, conducted a public hearing for the petition on May 4, 2026, and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Planning & Zoning Commission has recommended approval of the requested petition, subject to certain conditions; and,

WHEREAS, the Village Council has considered the record before the Planning & Zoning Commission, as well as the recommendations of Planning & Zoning Commission.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, DuPage County, Illinois, as follows:

SECTION 1. That the provisions of the preamble are incorporated into and made a part of this ordinance as if fully set forth herein.

SECTION 2. That a Planned Unit Development Amendment is hereby adopted authorizing the new automobile dealership and for the creation of a master signage plan and subject to the following conditions:

1. The Planned Unit Development shall substantially conform to the staff report dated May 4, 2026, architectural and landscape drawings prepared by Axios Architects dated March 20, 2026 and last revised April 16, 2026; engineering drawings prepared by WMA dated March 27, 2026 and last revised on April 17, 2026, and photometric drawings prepared by LSI Industries Inc. dated March 18, 2026 and last revised on April 16, 2026.
2. All test drives are limited to arterial streets as defined in the Comprehensive Plan. Arterial streets include: Ogden Avenue, Fairview Avenue, Highland Avenue, Main Street, and 55th Street.
3. A photometric plan must demonstrate reduction in the pole heights for the existing light fixtures located in the rear parking lot of the 330 Ogden Avenue property.
4. All vehicle deliveries must take place on private property. Deliveries may not take place on Florence Avenue or Ogden Avenue or any other street.

SECTION 3. That approval set forth in Section 2 of this ordinance is subject to the findings and recommendations of the Downers Grove Planning & Zoning Commission regarding File PZC-26-0015 as set forth in the minutes of their May 4, 2026 meeting.

SECTION 4. That the use is consistent with and complementary to the overall planned unit development site plan and with the requirements of the "B-3/PUD #68, General Services and Highway Business /Planned Unit Development" zoning district.

SECTION 5. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 6. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

By: Mayor

Passed:

Published:

Attest:

By: Village Clerk



Village of Downers Grove

Planning and Zoning Commission - Report

Table 1 - Detailed information on this Planning and Zoning Commission Report.

Meeting Location	Civic Center – Betty Cheever Council Chambers
Meeting Address	850 Curtiss St., Downers Grove, IL 60515
Meeting Date	May 4, 2026 at 7:00 PM
Subject	26-PZC-0015. 330 Ogden Avenue
Type	Planned Unit Development Amendment
Submitted by	Flora León, AICP, Senior Planner

Request.

The petitioner is requesting approval of an Amendment to Planned Unit Development #68 to construct a new automobile dealership and to create a master signage plan at 330 Ogden Avenue.

Notice.

The application has been filed in conformance with applicable procedural and public notice requirements.

General Information.

Table 2 – Details about the applicant's identity and location.

Applicant Name	Applicant Address
Axios Architects & Consultants Inc.	801 West Adams Chicago, IL 60606

Table 3 - Property ownership details for primary and additional owner(s).

Owner Name	Owner Address
Patricia Enterprises	1035 North Clark Chicago, IL 60610

Property Information.

Table 4 - Detailed subject property summary (parcel identification, size, and zoning)

Existing Zoning	B-3/PUD #68, General Services and Highway Business/Planned Unit Development #68
Existing Land Use	Automobile Dealership and Inventory Parking Lot
Property Size	2.97 acres (129,458 square feet)
PINs	09-04-110-023, -024, -026, -027, -028, -029, -030, 09-04-111-012, -027, -028

Table 5 - Details regarding the surrounding properties, zoning, and land uses.

Direction	Zoning	Future Land Use
East	B-3, General Services and Highway Business	Corridor Commercial
West	B-3, General Services and Highway Business	Corridor Commercial
North	R-1, Residential Detached House 1	Corridor Commercial
South	B-3, General Services and Highway Business	Corridor Commercial

Analysis.

Submittals.

This report is based on the following documents, which are on file with the Department of Community Development:

1. Project Narrative
2. Approval Criteria
3. Plat of Survey
4. Site Plan
5. Engineering Plans
6. Landscape Plans
7. Elevations
8. Sign Package
9. Traffic Impact Study
10. Photometric Plan

Project Description.

The petitioner is requesting approval of an amendment to Planned Unit Development #68 to construct a new automobile dealership. The 2.97-acre property is located on the north side of Ogden Avenue to the east and west of Florence Avenue and is zoned B-3/PUD #68, General Services and Highway Business/Planned Unit Development #68. The existing site currently consists of two buildings, one of which currently houses the Bentley and Lamborghini dealerships (330 Ogden Avenue), with the other (310 Ogden Avenue) is a used car dealership with accessory services areas. Parking for customers, employees and vehicle displays exist on the subject property west of Florence Avenue. At 4241 Florence Avenue there is vehicle inventory lot that completed construction in 2025.

PUD #68 was established in 2024 to allow the construction of a 13,600 square foot two-story service center addition to expand the existing 16,000 square foot building and to develop the 4241 Florence Avenue property into a vehicle inventory parking lot. While the current proposal is similar, the amendment is needed as significant changes have been made to the originally approved development plan for the dealership and service building; a master signage plan is now included.

The petitioner is proposing to improve the subject property by constructing a new automobile dealership building in two phases. In phase one, the building to the west (330 Ogden Avenue) will remain in place. The existing building on the east (310 Ogden Avenue) will be demolished and a new 18,812 square foot service center and showroom (Rolls Royce) along with a 3,456 square foot mezzanine will be constructed. In phase two, the 330 Ogden Avenue building will be demolished and an additional 17,433 square feet will be added to the new building to house two additional showrooms and associated facilities (Bentley and Lamborghini). Upon completion, the new automobile dealership will have a total footprint of 36,245 square feet. The new dealership will house three showrooms (Rolls Royce, Bentley, and Lamborghini), service offices, a vehicle delivery bay, an automotive service center and ancillary uses including waiting areas, parts storage and break rooms. There are no proposed changes to the existing vehicle inventory lot at 4241 Florence Avenue.

The primary building façade will be composed of aluminum storefront windows, aluminum composite materials (ACM) panels, and steel framing members. The service center's second floor will mainly be open to the service center below with some space dedicated for parts storage. Immediately north of the new two-story service center, a new trash enclosure is proposed.

The petitioner will maintain two existing access points onto Ogden Avenue. The westernmost access point will be widened to provide for a two-way drive aisle. Access along Florence Avenue will be relocated fifty (50) feet north so that it is in line with the access point for the existing vehicle inventory parking lot at 4241 Florence Avenue. Including the newly constructed vehicle inventory parking lot, the

petitioner is proposing 163 vehicle spaces in total. The proposed parking is designed to accommodate customer parking, service parking, employee parking, vehicle inventory, and electric vehicle charging stations.

The petitioner is proposing landscaping around the proposed new automobile dealership, in conformance with the Village requirements. The north and west property lines, adjacent to residential zoning districts, include various landscape materials and an eight-foot solid fence. Parking lot and site lighting is provided around the proposed development. A photometric plan has been submitted and identifies that the proposed lighting complies with the Village requirements. Two pedestrian connections between the building and Ogden Avenue and Florence Avenue are provided as required.

Compliance with the Comprehensive Plan.

The Guiding DG Comprehensive Plan's Future Land Use Map designates the subject property as Corridor Commercial. Corridor commercial land uses are defined as commercial uses that are typically organized in a linear fashion and include a blend of neighborhood-oriented commercial retail, offices, auto dealerships, smaller regional commercial retail, service uses, and multi-family uses. Auto dealership businesses benefit from visibility and access without significantly contributing to traffic along the corridor or impact on nearby residential areas. The petitioner is proposing to redevelop the site with a new automobile dealership. The automobile dealership, being an automotive use, has a regional draw and will attract commuters driving to, from, and throughout Downers Grove.

Land Use and Development: Land Use Plan.

- Corridor Commercial uses should be located in areas with a regional draw of a corridor where they will benefit from access and visibility without significantly contributing to traffic or impact on nearby residential areas.

Economic Development.

- Continue to develop a balanced mix of land uses is important for the Village's long-term fiscal health and economic viability.
- Targeted incentives, flexible zoning tailored to specific areas and public-private partnerships may be utilized to ensure that desired, necessary developments occur in the correct locations.
- Continue to maintain and invest in existing stable commercial and employment centers.
- Continue to work with local businesses to improve the physical appearance and market viability of existing commercial corridors.
- Encourage new developments and redevelopments to incorporate sustainable practices, including green infrastructure and EV charging stations.

Compliance with the Zoning Ordinance.

The property is zoned B-3/PUD #68, General Services and Highway Business and Planned Unit Development #68. The bulk requirements of the proposed development in the B-3/PUD #68 zoning district are summarized in the following table:

Requirements.

Table 6 - Zoning regulations for 330 Ogden Avenue.

Zoning Regulation	Required	Proposed
Building Ogden Avenue Setback (South)	75 feet from Ogden Avenue centerline	89.17 feet from Ogden Avenue centerline
Building Florence Street Setback (East)	25 feet	58.84 feet

Zoning Regulation	Required	Proposed
Building Side Interior Setback Adjacent to R-1 (North)	14.33 feet	101.98 feet
Building Side Interior Setback Adjacent to R-1 (West)	15.33 feet	16.99 feet
Building Rear Setback Adjacent to R-1 (West)	20 feet	N/A
Building Rear Setback Adjacent to B-3 (West)	N/A	N/A
Parking Ogden Avenue Setback (South)	50 feet from Ogden Avenue centerline	50 feet
Parking Florence Street Setback (East)	8 feet	8.35 feet
Parking Side Interior Setback (North)	9 feet	5.58 feet (Existing)
Parking Rear Setback (West)	20 feet	20 feet (Existing)
Other Floor Area	0.75 (max)	0.4
Other Building Height	60 feet (max)	27 feet
Other Open Space	10,064 square feet (10% of 100,064 square feet)	11,388 square feet (11.4% of 100,064 square feet)

Table 7 - Zoning requirements for the overall planned unit development (PUD).

PUD Overall Bulk Regulations	Required	Proposed
PUD Land Area	N/A	140,098.42 square feet
PUD Site Area (Excludes Right-of-Way)	N/A	129,458 square feet
Floor Area Ratio	0.75 (max)	0.4
Building Height	60 feet (max)	27 feet

PUD Overall Bulk Regulations	Required	Proposed
Building Coverage	N/A	36,201 square feet
Open Space	12,963.7 square feet (10% of 129,458 square feet)	19,828 square feet (15.32% of 129,458 square feet)
Parking and Stacking Spaces	43 (2 spaces per 1,000 square feet of showroom area, plus 0.4 spaces 1,000 square feet of outdoor display space, plus 2 per service bay)	163 (53 required spaces and 110 outdoor display spaces)

The following improvements require relief from the Zoning Ordinance regulations:

Deviation Requests.

Table 8 - Deviation requests and petitioner's rationale.

Improvement	Relief Request	Petitioner's Rationale
Monument Signs – Street Frontage	Requirement: One (1) per street frontage Proposed: Three (3) on Ogden Avenue	Each vehicle brand requires a pylon monument sign facing Ogden Avenue.
Total Sign Area	Requirement: 300 square feet Proposed: 400 square feet	Each vehicle brand requires wall signage facing Ogden Avenue. Because the site has three specific dealerships, additional wall signage is necessary to offer equal identity and exposure.

Improvement	Relief Request	Petitioner's Rationale
Vehicle Inventory Parking – Stall Width	Requirement: 9 feet Proposed: 8 feet	With the requested relief, efficient and orderly circulation is possible due to the very low turnover of the parking spaces as they will be used for storing vehicles only and will not be accessed by the general public

Signage.

The petitioner is permitted up to 300 square feet of total signage and is requesting additional sign area for the development. Signage within the Planned Unit Development is proposed to be governed by a master signage plan that allows for a maximum of 400 square feet of signage and a total of three monument signs along the Ogden Avenue Street Frontage. Although 347 square feet of signage is identified below, the petitioner is requesting a maximum of 400 square feet to allow flexibility in the signage, as the final design has not been determined. In no case, will each ground sign exceed 36 square feet.

Table 9 - A comprehensive signage package, including type, area, height, and location.

Location	Sign Type	Area	Height
South Façade - Bentley	Wall	42 square feet	N/A
South Façade - Lamborghini	Wall	55 square feet	N/A
South Façade – Rolls Royce	Wall	47 square feet	N/A
South Façade – Rolls Royce	Wall	45 square feet	N/A

Location	Sign Type	Area	Height
South Façade – Multi Brand Sign	Wall	50 square feet	N/A
Ogden Avenue	Monument	36 square feet	10 feet
Ogden Avenue	Monument	36 square feet	10 feet
Ogden Avenue	Monument	36 square feet	10 feet
Total	N/A	347 square feet	N/A

Engineering and Public Improvements.

The petitioner’s proposal complies with the Village’s Stormwater and Floodplain Ordinance. The petitioner is required to provide on-site stormwater detention and provide best management practices for the proposed development. With a previous parking lot expansion (west of Florence Avenue), an underground detention basin was designed to provide on-site detention. This was designed as an “L” shaped detention area located along the northeast section of the property. The flow of water is limited by an outlet control structure that restricts the amount of water that is released. The released water is then treated by a mechanical water quality unit. The building permit review will require confirmation that both the restrictor and mechanical water quality unit are functioning properly.

Traffic and Parking.

A traffic impact study for the proposed development was completed by the petitioner. The study examined the existing Ogden Avenue traffic conditions and the future conditions based on the proposed construction of the new auto dealership. The study found that given the size of the dealership and luxury type vehicles that are sold and serviced, the dealership would generate a significantly

lower volume of traffic than a typical dealership. Moreover, additional vehicle sales and service appointments would be distributed throughout the day. As such, the increase in traffic from the expanded dealership was projected to be limited and the overall traffic to be generated by the expanded dealership will be lower than a typical dealership. It should also be noted that the vehicle deliveries are required to take place on private property.

Access to the dealership lot is provided via access drives with stop sign control. The existing easternmost Ogden Avenue access drive will include a two-way drive aisle and left-turn movements to access the drive will be accommodated via the Ogden Avenue striped median as well as the taper for the Ogden Avenue westbound left-turn lane serving Fairview Avenue. The existing westernmost Ogden Avenue access drive be widened from twenty-one (21) feet to twenty-four (24) feet to provide a two-way drive aisle. Inbound and outbound left-turn movements from this access drive will be prohibited from 7:00 to 9:00 A.M. and from 3:00 to 6:00 P.M. via pavement markings and signage. The existing Florence Avenue access drive will be relocated 50 feet north of its current location and, will include a two-way drive aisle, and will mainly serve the employee parking and the vehicle inventory parking located behind the dealership. No changes are proposed to the existing vehicle inventory parking lot at 4241 Florence Avenue. Lastly, similar to other auto related use, a condition of approval will require that test drives are limited to arterial streets. The traffic study found no significant impacts to the existing road network.

Public Safety Requirements.

The Fire Prevention Division has reviewed the proposed development and determined that sufficient access to and around the site is provided for emergency vehicles. The site layout permits Fire Department apparatus the opportunity to enter and exit the site from both the Ogden Avenue and Florence Avenue curb cuts.

Neighborhood Comment.

Notice was provided to all property owners two hundred and fifty (250) feet or less from the subject property in addition to posting public hearing signs and publishing a legal notice in the Daily Herald. Staff did receive one call that was general in nature.

Standards of Approval.

The petitioner is requesting approval of a Planned Unit Development Amendment to construct a new automobile dealership at 330 Ogden Avenue. The review and approval criteria is listed below:

Planned Unit Developments, [Sec 28.12.040\(c\)\(5\) Review and Approval Criteria.](#)


- a. the zoning map amendment review and approval criteria of DGMC Section 28.12.030(i) in the case of new Planned Unit Development proposals;
- b. whether the proposed PUD development plan and map amendment would be consistent and in substantial compliance with the comprehensive plan, downtown design guidelines and any other adopted plans for the subject area;
- c. whether PUD development plan complies with the PUD overlay district provisions of DGMC Section 28.4.030;
- d. whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations; and
- e. whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

Draft Motion.

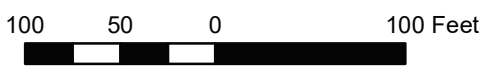
Staff will provide a recommendation at the May 4th, 2026 meeting. Should the Planning and Zoning Commission find that the request meets the standards of approval for a Planned Unit Development Amendment staff has prepared a draft motion that the Planning and Zoning Commission may make for the recommendation of 26-PZC-0015:

1. The Planned Unit Development shall substantially conform to the staff report, architectural and landscape drawings prepared by Axios Architects dated March 20th, 2026 and last revised April 16, 2026; engineering drawings prepared by WMA dated March 27th, 2026 and last revised on April 17, 2026, and photometric drawings prepared by LSI Industries Inc. dated March 18th, 2026 and last revised on April 16th, 2026.
2. All test drives are limited to arterial streets as defined in the Comprehensive Plan. Arterial streets include: Ogden Avenue, Fairview Avenue, Highland Avenue, Main Street, and 55th Street.
3. A photometric plan must demonstrate reduction in the pole heights for the existing light fixtures located in the rear parking lot of the 330 Ogden Avenue property.
4. All vehicle deliveries must be completed on private property. Deliveries may not take place on Florence Avenue or Ogden Avenue.



Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development



330 Ogden Avenue - Location Map

-  Subject Property
-  Site Location



Planned Unit Development

Form #PZC1

Review and Approval Criteria

Address of Project Site: 330 OGDEN AVE.

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.040.C.6. Review and Approval Criteria (Planned Unit Development)

The decision to amend the zoning map to approve a PUD plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision making bodies must consider at least the following factors:

1. The zoning map amendment review and approval criteria of Sec. 12.030.I.
See the analysis of zoning map amendment review and approval criteria in separate document.

The team will ensure compliance for map amendment review.

2. Whether the proposed PUD plan and map amendment would be consistent with the Comprehensive Plan and any other adopted plans for the subject area.

The PUD is consistent with the Village plan to widen the Ogden Ave commercial corridor.

3. Whether PUD plan complies with the PUD overlay district provisions of Sec. 4.030.

The PUD is and will be in full compliance.

4. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.

The PUD and the resulting dealership will provide additional tax revenue that will benefit the community in general.

5. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

The development takes into consideration all surrounding property owner's interest and meets or exceeds expectations.



xios Architects & Consultants Ltd.

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Tel. 312.750.1333 • Fax 312.750.1335

April 28, 2026

Flora Leon
Village of Downers Grove
850 Curtiss Street
Downers Grove, IL.

Re: Fields Auto Group - Rolls Royce, Lamborghini and Bentley Dealership description

Dear Flora,

The Fields Auto Group is developing the property at 330 Ogden Ave in Downers Grove, Illinois. The project includes the site development and new construction of an automotive service center and showrooms facilitating Rolls Royce, Bentley and Lamborghini vehicles.

The site development for the 330 Ogden Ave property includes new service structures along with new showrooms for the three brands. The property is 100,242 square feet. The project will be a two Phase project.

Phase I

The existing building to the west is to remain during Phase I construction.

Drawings are to be submitted for the entire precast shell and the complete buildout for the Rolls Royce Service Center and showroom housing approximately 18,812 square feet. Rolls Royce delivery is critical along with the understanding that a Certificate of Occupancy will be needed to operate the Rolls Royce brand prior to completing the Lamborghini and Bentley facilities. There will be a temporary exterior wall between the Rolls Royce facility and the Lamborghini/Bentley facility allowing the existing building to remain. Phase I construction will also include the infrastructure necessary to operate the service center and showroom for the Rolls Royce brand including all required fire protection. The Rolls Royce service center will also include a 3,456 square foot mezzanine.

Phase II will be to complete the Bentley and Lamborghini showrooms and associated facilities housing an additional 17,433 square feet for a total footprint area of 36,245 square feet.

As stated the project will include multi-vehicle showrooms, service offices, service reception, a vehicle delivery bay, associated service bays. The supporting elements include a parts mezzanine, various toilet rooms for both staff and public use, a staff break room and storage areas.

The new service center will be constructed of precast panels, and steel framing members, beams, bar joists etc. The showroom areas will consist of glass, steel and ACM panels.

Signage rendered is shown for representation purposes only. Final permit signage to be authorized by each brand vendor.

As part of this project a request for a sign variance is needed.

The rationale for this request is based on the requirements that each brand has equal identity and exposure.

Each of the brands require an identity pylon monument sign. Village of Downers Grove permits two signs, and a maximum of 300 s.f. We are requesting a variance for a third sign and an increase in the maximum signage ordinance of 300 s.f. to allow for wall signage in addition to the monument signage. The request is to increase the square footage to a maximum of 400 s.f.

We are requesting a reduction of the "Inventory Parking" from a stall width of 9' to a stall width of 8'.

Efficient inventory circulation due to the very low turnover of the parking spaces as they will be used for storing vehicles only. Only dealership personnel familiar with the operation of the parking lot will be parking vehicles.

Thank you

Bill G. Kokalias, Architect

Axios Architects & Consultants Inc.

801 W. Adams Street, Ste 205

Chicago, IL. 60606

Lic# 001-019545



PLAT OF TOPOGRAPHY

PREPARED BY
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 Woodstock, Illinois 60096
 Phone: 312-810-3007
 Email: z11@z11survey.com
 Website: www.z11survey.com

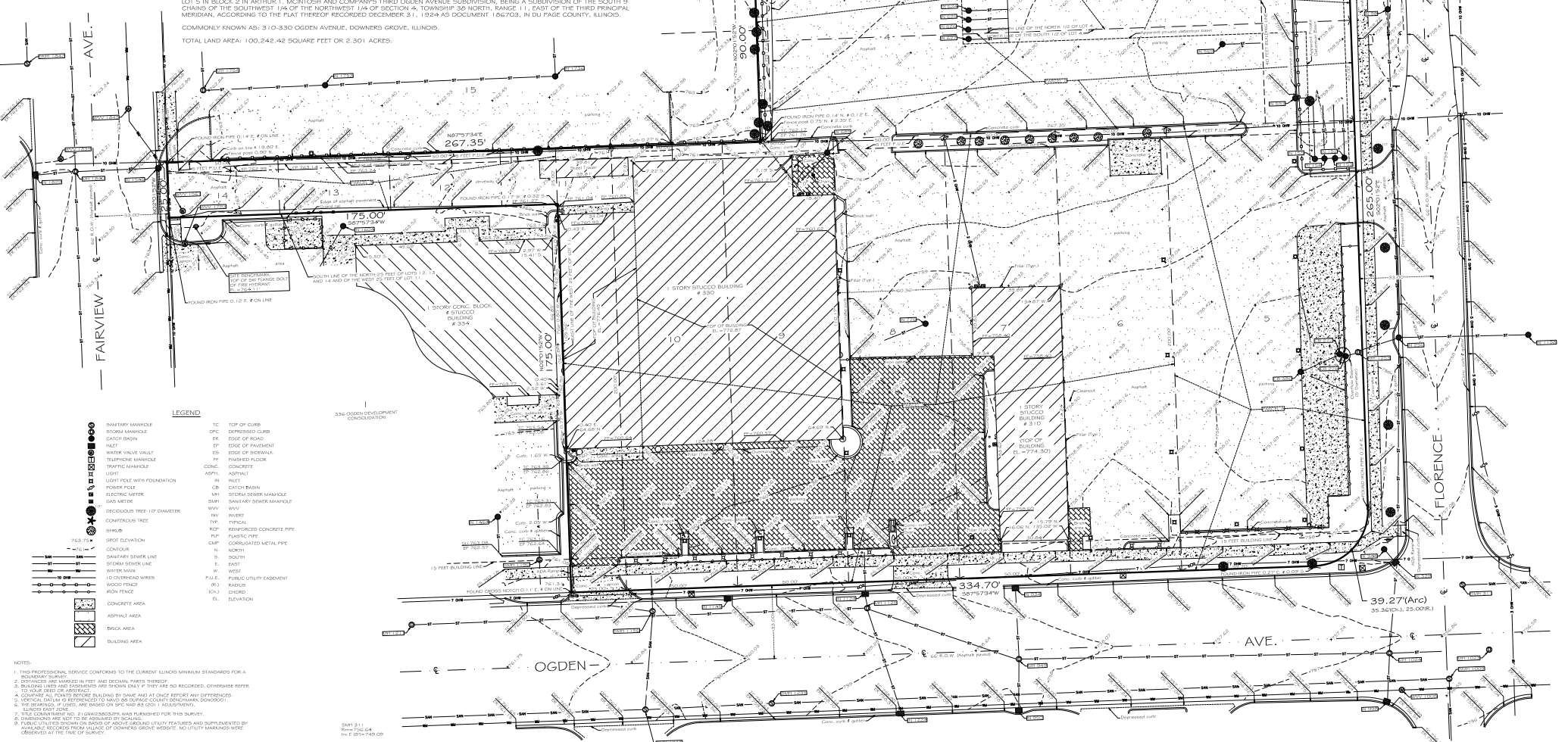
PARCEL 1:
 THE NORTH 1/2 OF LOT 4 IN BLOCK 2 IN ARTHUR T. MCINTOSH AND COMPANY'S THIRD OGDEN AVENUE SUBDIVISION, BEING A SUBDIVISION OF THE SOUTH 9 CHAINS OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 30 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1924 AS DOCUMENT 186703, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2:
 THE SOUTH 1/2 OF LOT 4 IN BLOCK 2 IN ARTHUR T. MCINTOSH AND COMPANY'S THIRD OGDEN AVENUE SUBDIVISION, BEING A SUBDIVISION OF THE SOUTH 9 CHAINS OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 30 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1924 AS DOCUMENT 186703, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 3:
 LOTS 7, 8, 9, 10; LOT 11 (EXCEPT THE WEST 25 FEET OF SAID LOT 11); THE NORTH 25 FEET OF THE WEST 25 FEET OF SAID LOT 11, AND THE NORTH 25 FEET OF LOTS 12, 13 AND 14, IN BLOCK 2 IN ARTHUR T. MCINTOSH AND COMPANY'S THIRD OGDEN AVENUE SUBDIVISION, BEING A SUBDIVISION OF THE SOUTH 9 CHAINS OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 30 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1924 AS DOCUMENT 186703, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 4:
 LOT 5 IN BLOCK 2 IN ARTHUR T. MCINTOSH AND COMPANY'S THIRD OGDEN AVENUE SUBDIVISION, BEING A SUBDIVISION OF THE SOUTH 9 CHAINS OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 30 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1924 AS DOCUMENT 186703, IN DU PAGE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 310-330 OGDEN AVENUE, DOWNERS GROVE, ILLINOIS.
 TOTAL LAND AREA: 100,242.42 SQUARE FEET OR 2.301 ACRES.



LEGEND

TC	TOP OF CURB
SPIC	DEPRESSED CURB
ER	EDGE OF ROAD
EP	EDGE OF PAVEMENT
ES	EDGE OF SIDEWALK
FR	FINISHED FLOOR
CONC	CONCRETE
ASPH	ASPHALT
LI	LIGHT POLE WITH FOUNDATION
EM	ELECTRIC METER
WH	WATER METER
CS	CATCH BASIN
SMH	STORM SEWER MANHOLE
SMW	SEWER MANHOLE
WV	WATER VALVE
HW	HYDRANT
TP	TYPICAL
RF	REINFORCED CONCRETE PIPE
FP	FLASTIC PIPE
CMF	CORRUGATED METAL PIPE
N	NORTH
S	SOUTH
E	EAST
W	WEST
FL	FORGE UTILITY EMBLEMMENT
PL	PLUMBING
EL	ELECTRICAL
RE	REVISION

- NOTES:**
- THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A PROFESSIONAL SURVEY.
 - BOUNDARIES SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 - BOUNDARIES SHOWN IN METERS AND DECIMAL PARTS THEREOF.
 - CONTIGUOUS AND ADJACENT PROPERTIES ARE SHOWN ONLY IF THEY ARE AS RECORDED, OTHERWISE REFER TO YOUR DEED OR ADJUTANT.
 - CONTIGUOUS AND ADJACENT PROPERTIES ARE SHOWN ONLY IF THEY ARE AS RECORDED, OTHERWISE REFER TO YOUR DEED OR ADJUTANT.
 - THE LOCATION OF ALL UTILITIES SHOWN IS BASED ON RECORDS, SURVEY DATA AND INFORMATION PROVIDED BY ADJACENT RECORDS FROM PUBLIC UTILITY COMPANIES. NO UTILITIES MARKED WERE OBSERVED AT THE TIME OF SURVEY.
 - THE LOCATION OF ALL UTILITIES SHOWN IS BASED ON RECORDS, SURVEY DATA AND INFORMATION PROVIDED BY ADJACENT RECORDS FROM PUBLIC UTILITY COMPANIES. NO UTILITIES MARKED WERE OBSERVED AT THE TIME OF SURVEY.
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DATE OF ISSUE: 11/11/2024
 COUNTY OF COOK, ILLINOIS
 PROJECT NO: 24-001
 DATE OF SURVEY: 10/15/2024
 DATE OF PLAT: 11/11/2024

Jul Zell
 PROFESSIONAL SURVEYOR
 NO. 3186
 CHICAGO, ILL.

SM1 1116	Rev=759.16	Inv=0.00	St=1116
SM1 1117	Rev=759.16	Inv=0.00	St=1117
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ORDER NO: 24-001
 ORDERED BY: [Redacted]
 FIELD WORK COMPLETED ON: 10/15/2024

330 Ogden Avenue - Fields Auto Group

Downers Grove

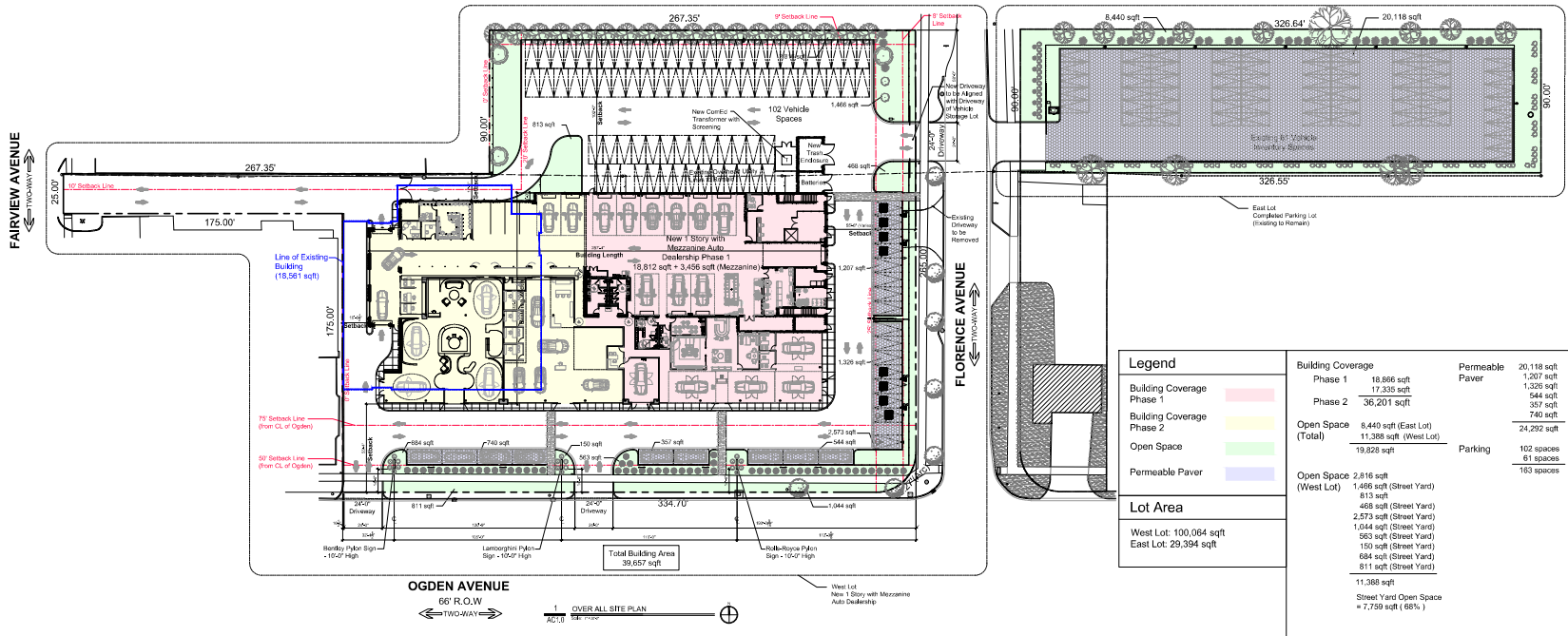
Illinois



ZONING DATA	
ZONING DISTRICT:	B-3 GENERAL SERVICES & HIGHWAY BUSINESS
LOT AREA:	WEST LOT: 100,064 SQFT EAST LOT: 29,394 SQFT
PROPOSED BUILDING AREA:	PHASE 1: 18,866 SQFT (GROUND FLOOR) 3,456 SQFT (MEZZANINE) PHASE 2: 17,335 SQFT (GROUND FLOOR) TOTAL: 39,657 SQFT
PROPOSED F.A.R.:	WEST LOT: 39,657 SQFT / 100,064 SQFT = .4 EAST LOT: 0
PROPOSED SETBACKS:	NORTHWEST: 17'-0" NORTHEAST: 102'-0" WEST: 16'-6 1/2" EAST: 55'-6" SOUTH: 55'-4"
BUILDING HEIGHT:	27'-0" (PARAPET)
PARKING INVENTORY:	CUSTOMER / EMPLOYEE: 29 DISPLAY PARKING: 9 SERVICE BAYS: 24 TOTAL: 163
LOADING BERTH:	0
SHEET INDEX	
ARCHITECTURAL	
AC1.0	ARCHITECTURAL COVER SHEET
AC1.1	ENLARGED SITE PLAN
AC1.2	FIRE TRUCK TURNING PLAN
LS1.0	LANDSCAPE PLAN
LS1.1	LANDSCAPE DETAILS
A1.0	FLOOR PLANS
A2.0	ELEVATIONS
A3.0	SECTIONS



NO.	DATE	DESCRIPTION
1	03/20/24	RFD
2	04/15/24	Revised RFD
3	04/15/24	Revised RFD
4	04/15/24	Revised RFD
5	04/16/24	Revised RFD
6	04/25/24	Revised RFD



Legend	
Building Coverage Phase 1	18,866 sqft
Building Coverage Phase 2	17,335 sqft
Open Space (Total)	8,440 sqft (East Lot) / 11,388 sqft (West Lot)
Permeable Paver	20,118 sqft
Parking	163 spaces

Lot Area	
West Lot:	100,064 sqft
East Lot:	29,394 sqft



NOT FOR CONSTRUCTION ESTIMATING PURPOSES ONLY

Scope/Owner: The addendum drawing indicates the general scope of the project in terms of the architectural design concept, the dimensions of the building, the type of structural system, and so on. All of the major items of construction. As a 'scope' document the drawing does not necessarily indicate or describe all work required for the full performance and completion of the work. These documents shall not be used for construction. They are prepared for the purpose of construction pricing only, with the understanding that the Contractor, Subcontractor and material supplier shall be responsible for the selection of adequate contracts to cover the installation of all items indicated, described, or implied.

ARCHITECTURAL COVER SHEET	
Project Number	1362
Date	02-24-2026
Drawn By	BK
Sheet No.	AC1.0



INTERNATIONAL CONTRACTORS, INC.
1 Mid-America Plaza | 7th Floor | Suite 700
O'Fallon, Illinois, U.S.A. | 630.583.5943



330 Ogden Ave

NO.	DATE	DESCRIPTION
1	03/20/24	RFD
2	04/15/24	Revised RFD
3	04/15/24	Revised RFD
4	04/15/24	Revised RFD
5	04/16/24	Revised RFD
6	04/25/24	Revised RFD

FIELDS
DOWNERS GROVE



NEW SALES &
SERVICE FACILITY
330 OGDEN AVE,
DOWNERS GROVE, IL

NOT FOR CONSTRUCTION
ESTIMATING PURPOSES ONLY

Scope/Disclaimer
This professional drawing indicates the general scope of the project in terms of the architectural design concept, the dimensions of the building, the type of structural system, and so on. It is not intended for use for construction. It is a "concept" document. The drawing does not necessarily indicate or describe all work required for the full performance and completion of the work. These documents shall not be used for construction. They are prepared for the purpose of construction pricing only, with the understanding that the Contractor, Subcontractor and material provider are to check all the work of record and quality of construction and that the Contractor, Subcontractor and material provider are to check the site conditions for the existence of adequate structure to cover the installation of all items indicated, described, or implied.

Sheet Name
ENLARGED SITE PLAN

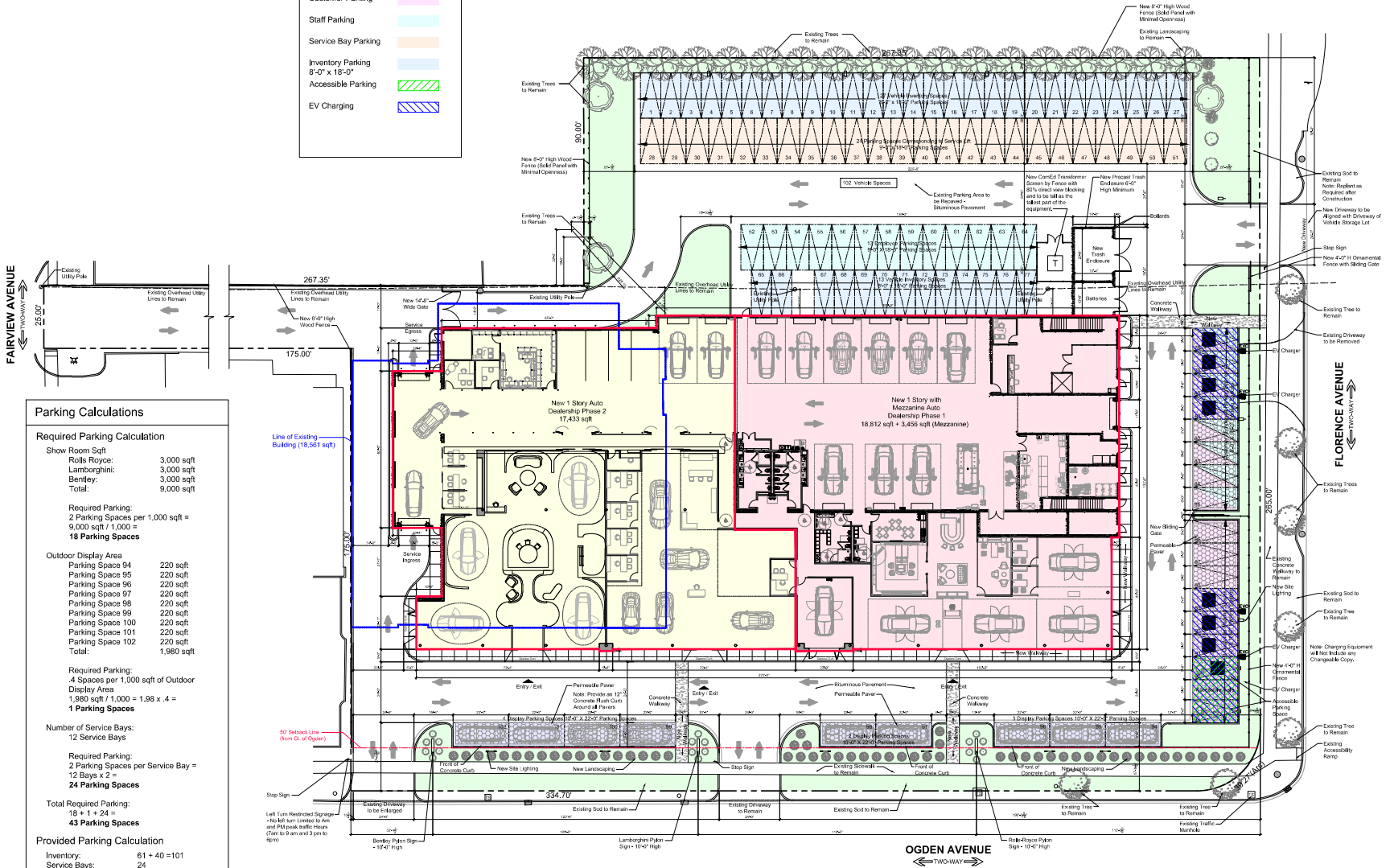
Project Number 1362
Date 02.24.2026
Drawn By BK
Sheet No.

AC1.1

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Legend

Building Coverage Phase 1	[Pink Box]
Building Coverage Phase 2	[Yellow Box]
Open Space	[Light Green Box]
Display Parking	[Light Blue Box]
Customer Parking	[Light Purple Box]
Staff Parking	[Light Cyan Box]
Service Bay Parking	[Light Orange Box]
Inventory Parking 8'-0" x 18'-0"	[Light Blue Box]
Accessible Parking	[Green Hatched Box]
EV Charging	[Blue Hatched Box]



Parking Calculations

Required Parking Calculation

Show Room Sqft	
Rolls Royce:	3,000 sqft
Lamborghini:	3,000 sqft
Bentley:	3,000 sqft
Total:	9,000 sqft
Required Parking:	2 Parking Spaces per 1,000 sqft = 9,000 sqft / 1,000 = 18 Parking Spaces

Outdoor Display Area

Parking Space 94	220 sqft
Parking Space 96	220 sqft
Parking Space 97	220 sqft
Parking Space 98	220 sqft
Parking Space 99	220 sqft
Parking Space 100	220 sqft
Parking Space 101	220 sqft
Parking Space 102	220 sqft
Total:	1,980 sqft
Required Parking:	4 Spaces per 1,000 sqft of Outdoor Display Area = 1,980 sqft / 1,000 = 1.98 x 4 = 1 Parking Spaces

Number of Service Bays:
12 Service Bays

Required Parking:
2 Parking Spaces per Service Bay = 12 Bays x 2 = **24 Parking Spaces**

Total Required Parking:
18 + 1 + 24 = **43 Parking Spaces**

Provided Parking Calculation

Inventory:	61 + 40 = 101
Service Bays:	24
Customer and Staff:	29 (2 Accessible)
Display:	9
Total Provide Parking:	163

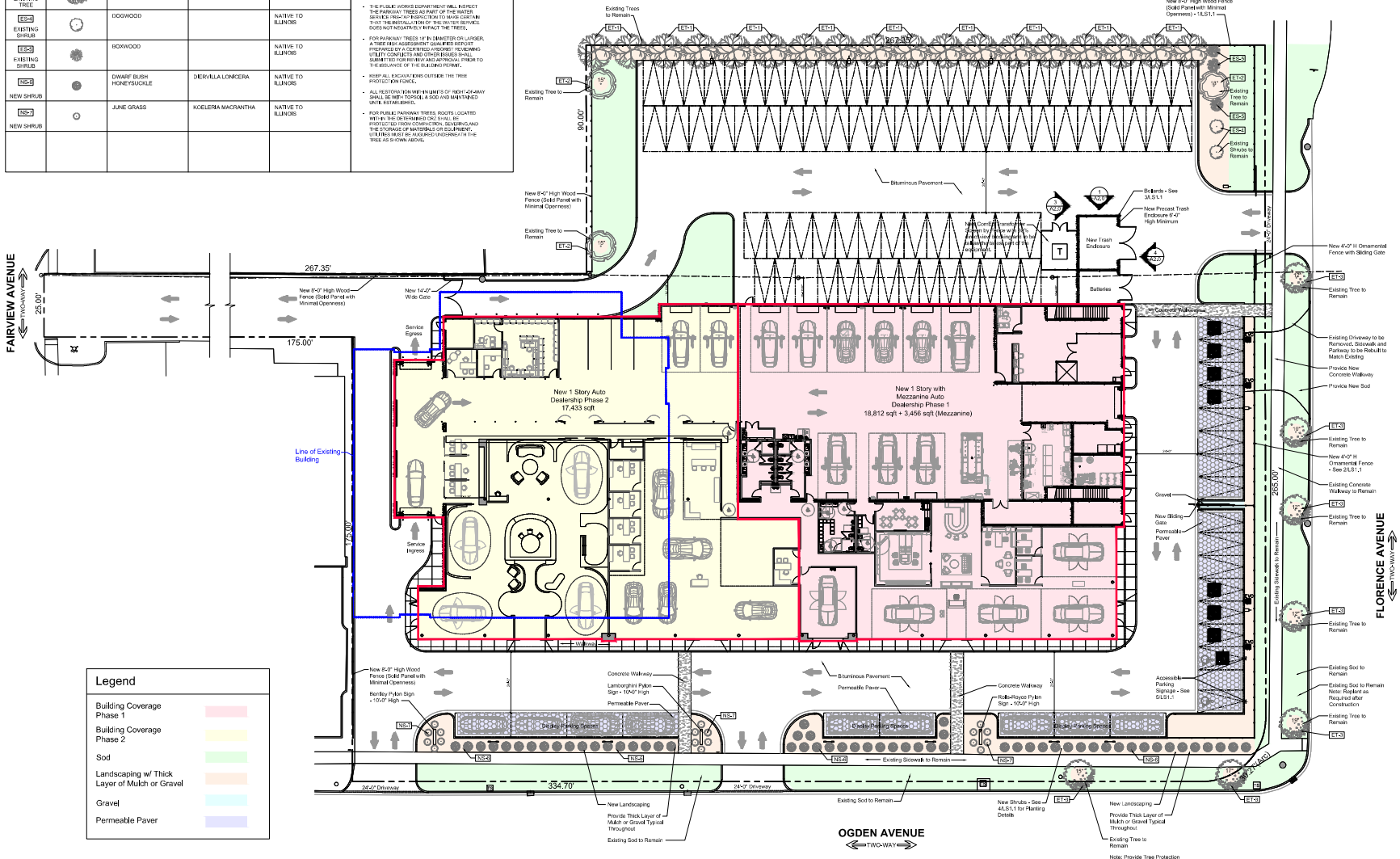
Note: Inventory Parking Spaces are 8'-0" x 18'-0"

1 ENLARGED SITE PLAN - WEST LOT

BUILDING TO BE FULLY SPRINKLERED AND HAVE FULL FIRE ALARM



PLANTING SCHEDULE					LANDSCAPE NOTES
MARK	SYMBOL	COMMON NAME	BOTANICAL NAME	NATIVE TO ILLINOIS	
ET1		DARK GREEN ARBORVITAE	THUJA OCCIDENTALIS 'NIGRA'	NATIVE TO ILLINOIS	<p>DOWNERS GROVE TREE PROTECTION STANDARDS</p> <p>EXISTING TREE CRITICAL ROOT ZONE SHALL BE THE AREA IMMEDIATELY SURROUNDING A TREE THAT RESULTS FROM THE CRITICAL ROOT ZONE. THE SIZE OF THE TREE, MEASURED FROM THE CENTER OF THE TREE TO THE FACE OF THE TRUNK, SHALL BE THE DETERMINING FACTOR. THE CRITICAL ROOT ZONE SHALL BE A RECTANGLE WITH THE TREE CENTERED IN THE CENTER OF THE RECTANGLE. THE CRITICAL ROOT ZONE SHALL BE A MINIMUM OF 1.5 TIMES THE TREE HEIGHT. THE CRITICAL ROOT ZONE SHALL BE A MINIMUM OF 1.5 TIMES THE TREE SPREAD. THE CRITICAL ROOT ZONE SHALL BE A MINIMUM OF 1.5 TIMES THE TREE SPREAD. THE CRITICAL ROOT ZONE SHALL BE A MINIMUM OF 1.5 TIMES THE TREE SPREAD.</p> <p>• A TREE PROTECTION FENCE SHALL BE INSTALLED FROM THE CRITICAL ROOT ZONE TO THE CRITICAL ROOT ZONE. THE FENCE SHALL BE A MINIMUM OF 4 FEET HIGH AND SHALL BE MADE OF 1/2" X 4" WOOD OR METAL PIPE-AND-RAIL.</p> <p>• THE PUBLIC WORKS DEPARTMENT SHALL RESPECT THE CRITICAL ROOT ZONE OF ALL EXISTING TREES. BEFORE ANY CONSTRUCTION OR MAINTENANCE WORK BEGINS, THE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED OF THE CRITICAL ROOT ZONE. THE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED OF THE CRITICAL ROOT ZONE. THE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED OF THE CRITICAL ROOT ZONE.</p> <p>• FOR PARALLEL TREES OF 10" DBH OR LARGER, A TREE RISK ASSESSMENT (TRA) REPORT SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL. THE TRA REPORT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. THE TRA REPORT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.</p> <p>• KEEP ALL EXCAVATIONS OUTSIDE THE TREE PROTECTION FENCE.</p> <p>• ALL EXCAVATIONS WITHIN THE CRITICAL ROOT ZONE SHALL BE REPAIRED TO ORIGINAL CONDITION. ALL EXCAVATIONS WITHIN THE CRITICAL ROOT ZONE SHALL BE REPAIRED TO ORIGINAL CONDITION. ALL EXCAVATIONS WITHIN THE CRITICAL ROOT ZONE SHALL BE REPAIRED TO ORIGINAL CONDITION.</p> <p>• FOR PUBLIC PARALLEL TREES, ROOTS LOCATED WITHIN THE CRITICAL ROOT ZONE SHALL BE PROTECTED FROM CONSTRUCTION. SOILS UNDER THE CRITICAL ROOT ZONE SHALL BE PROTECTED FROM CONSTRUCTION. SOILS UNDER THE CRITICAL ROOT ZONE SHALL BE PROTECTED FROM CONSTRUCTION.</p>
ET2		GINKGO	GINKGO BILBOA	NOT NATIVE TO ILLINOIS	
ET3		HONEY LOCUST	GLEDITSIA TRICANTHOS	NATIVE TO ILLINOIS	
ET4		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ET5		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ET6		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ET7		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ET8		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ET9		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ET10		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ET11		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ET12		BIRCH	BETULA PULCHRA	NATIVE TO ILLINOIS	
ES1		DWARF BUSH HONEYSUCKLE	DIERVA LANCEOLA	NATIVE TO ILLINOIS	
ES2		DWARF BUSH HONEYSUCKLE	DIERVA LANCEOLA	NATIVE TO ILLINOIS	
NS1		JUNE GRASS	COELERIA MACRANTHA	NATIVE TO ILLINOIS	
NS2		JUNE GRASS	COELERIA MACRANTHA	NATIVE TO ILLINOIS	



Legend

- Building Coverage Phase 1
- Building Coverage Phase 2
- Sod
- Landscaping w/ Thick Layer of Mulch or Gravel
- Gravel
- Permeable Paver

330 Ogdan Ave

NO.	DATE	DESCRIPTION
1	03/20/24	R/D
2	04/15/24	Revised R/D
3	04/15/24	Revised R/D
4	04/15/24	Revised R/D
5	04/15/24	Revised R/D
6	04/25/24	Revised R/D

FIELDS DOWNERS GROVE

NEW SALES & SERVICE FACILITY

330 OGDAN AVE.
DOWNERS GROVE, IL

NOT FOR CONSTRUCTION ESTIMATING PURPOSES ONLY

Scope Document

The attached drawing indicates the general scope of the project in terms of the architectural design concept, the dimensions of the building, the type of structural system, and the location of the major elements of construction. As a typical document the drawing does not necessarily indicate or describe all work required for the full performance and completion of the work. These documents shall not be used for construction. They are prepared for the purpose of construction pricing only, with the understanding that the Contractor, Subcontractor and material vendor shall be solely responsible for the inclusion of adequate amounts to cover the installation of all items indicated, described, or implied.

LANDSCAPE PLAN

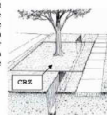
Project Number	1362
Date	02/24/2026
Drawn By	BK
Sheet No.	LS1.0

Downers Grove Parkway Tree Protection Requirements

Municipal Codes regarding trees, including tree protection requirements for public parkway trees, are located in Chapter 24 of the Downers Grove Municipal Code <http://www.downersgrove.il.gov/codes/chapter24>. Parkway tree protection shall involve avoiding damage to both the above ground tree trunk, including the benches, and the below ground root system. Roots are the most vital part of a tree with the majority of nutrient and water absorbing roots in the upper 18 to 24 inches of soil. Tree roots must be protected from severing or changes in their soil environment (such as compaction or grade changes) to prevent irreversible tree decline or death in the coming years.

The Critical Root Zone, or CRZ, is the area immediately surrounding a tree that needs to be protected from damage. The size of this area, measured from the center of the tree, is ideally a circle with a radius of one foot for each inch of trunk diameter. The depth of the CRZ extends 4 to 6 feet below the natural ground surface level. In a municipal parkway setting with utilities and paved or concrete surfaces, the CRZ cannot always be the ideal size. Instead, the CRZ has been defined from a rectangle around the parkway tree trunk with the minimum dimensions listed in the following table. At a minimum, the listed CRZ shall be fenced with 4 to 6 foot high temporary chain link construction fence secured to metal posts spaced no further than 10 feet apart. Whenever possible, the entire parkway shall be fenced in except where access has been permitted. Any exceptions shall be noted on the drawings submitted for a given permit.

Parkway Tree Diameter at 4" (minimum with no damage)	Width from street to property (minimum)	Length along street (minimum)	Depth
0 - 12.0 inches	10 feet	10 feet	4 feet
12.1 - 24.0 inches	10 feet	20 feet	4 feet
24.1 or more inches	10 feet	30 feet	4 feet



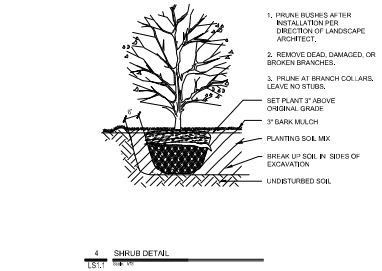
For public parkway trees, roots located within the determined CRZ shall be protected from compaction, severing, and the storage of materials and equipment. Utilities must be covered underneath the tree as shown above. In cases when severing of roots within a portion of the CRZ may be unavoidable (ex. sidewalk installation, curb replacement, water main or sanitary main disconnects in the parkway), subject to the approval of the Village Forester, the smallest possible area shall be disturbed and sharp clean cuts shall be made on root ends to promote wound closure and root regeneration. All CRZ fencing shall be a 6 foot high temporary chain link construction fence secured to metal posts spaced no further than 10 feet apart, and shall be maintained daily in good condition. Any exceptions to the fence dimensions or parkway positions shall be noted on the permit.

In addition to fines and citations that may be assessed for violations of any Chapter 24 municipal code (such as not maintaining fencing around the CRZ or unauthorized removal of parkway trees), violators may be subject to the following provisions:

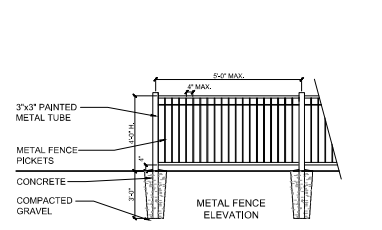
- issuance of an invoice for the monetary loss in tree value or partial value due to damage to either the above ground or below ground portions of the parkway tree, or unmitigated tree removal.
- forfeiture of bonds issued for the work should funds be sufficient to cover tree values and fines.
- costs of repairs, such as pruning or cabling, or costs for removal of the damaged parkway tree along with the stump if the tree cannot remain in the right-of-way.
- fines of \$200 for the 1st offense, \$1,000 for the 2nd offense, \$2,500 for 3rd and subsequent offenses.
- each day during which a violation continues shall be construed as a separate and distinct offense.

For more information, contact the Forestry Division at 434-5475 or 434-2476.

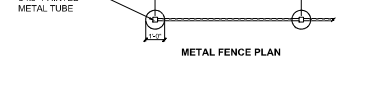
September 2007



4 SHRUB DETAIL
LS1.1



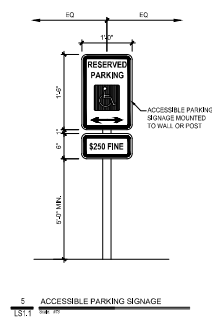
2 FENCE DETAIL
LS1.1



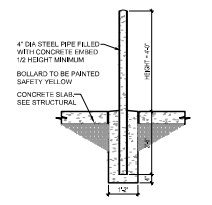
1 FENCE DETAIL
LS1.1



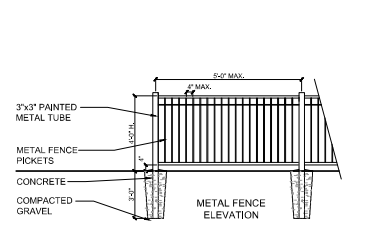
3 BOLLARD DETAIL
LS1.1



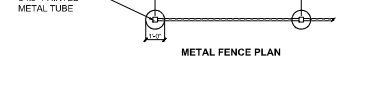
5 ACCESSIBLE PARKING SIGNAGE
LS1.1



3 BOLLARD DETAIL
LS1.1



2 FENCE DETAIL
LS1.1



1 FENCE DETAIL
LS1.1



3 BOLLARD DETAIL
LS1.1



INTERNATIONAL CONTRACTORS, INC.
1 Mile America Plaza | 7th Floor | Suite 700
Ogden, Illinois, U.S. | 618-583-5943




License No. 14889911
915 W. Adams Street
Ogden, IL 61850
Phone: 618-583-5943
Fax: 618-583-5943

330 Ogden Ave

No.	DATE	Description
1	03/20/24	RFD
2	04/15/24	Revised RFD
3	04/15/24	Revised RFD
4	04/15/24	Revised RFD
5	04/16/24	Revised RFD
6	04/25/24	Revised RFD

FIELDS
DOWNERS GROVE



NEW SALES & SERVICE FACILITY
330 OGDEN AVENUE
DOWNERS GROVE, IL

NOT FOR CONSTRUCTION
ESTIMATING PURPOSES ONLY

Scope Document
This addendum drawing indicates the general scope of the project in terms of the architectural design concept, the dimensions of the building, the type of structural system, and an overview of the major elements of construction. As a "scope" document this drawing does not necessarily indicate or describe all work required for the full performance and completion of the work. These documents shall not be used for construction. They were prepared for the purpose of construction pricing only, with the understanding that the Contractor, Subcontractor and material provider are to furnish all the work of record and quality construction and that the Contractor, Subcontractor and material provider shall be solely responsible for the inclusion of adequate amounts to cover the installation of all items indicated, described, or implied.

Sheet Name
LANDSCAPE DETAILS

Project Number 1362
Date 02/24/2026
Drawn By BK
Sheet No. **LS1.1**

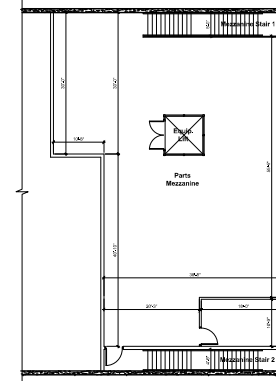
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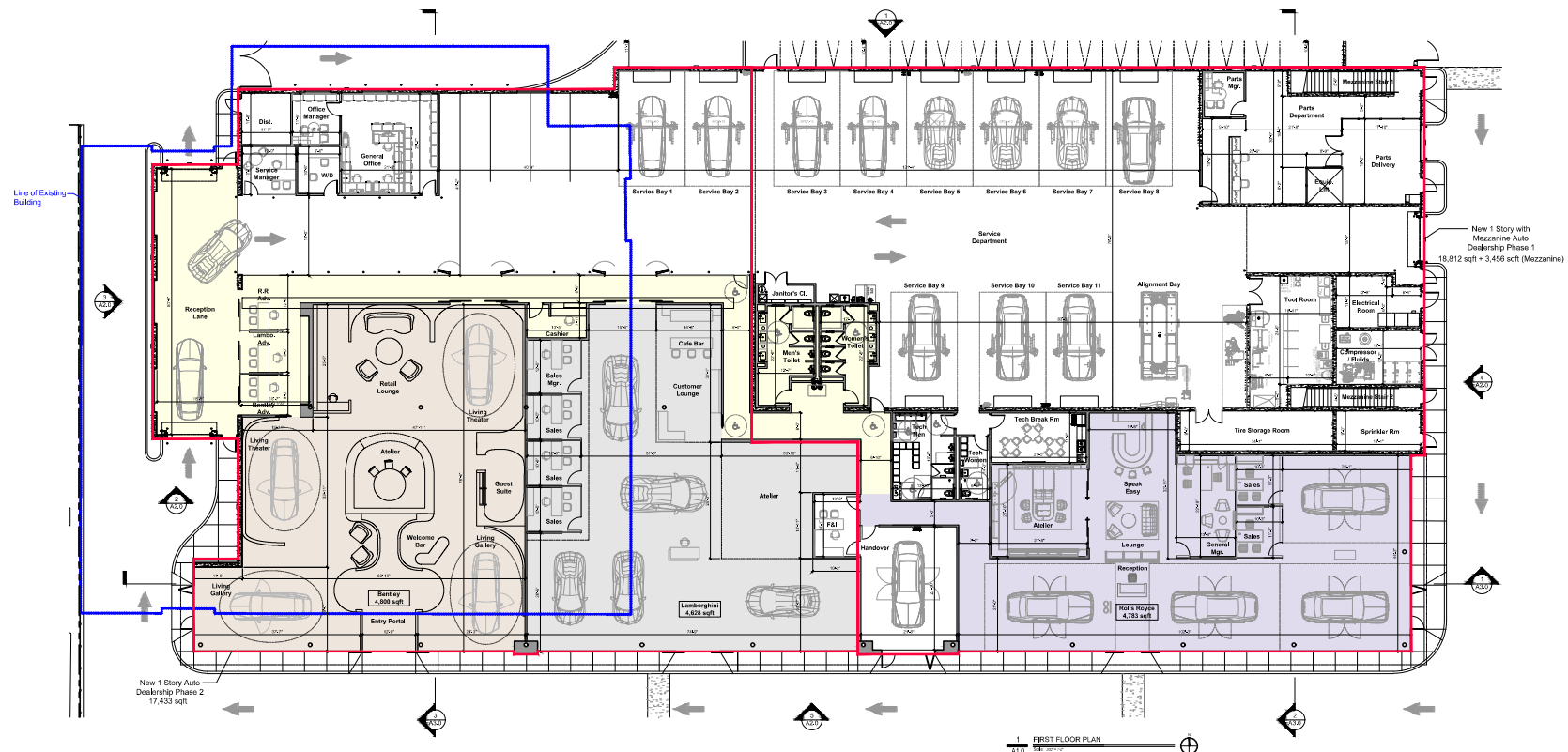
Legend	
Rolls-Royce Showroom	[Purple Box]
Lamborghini Showroom	[Grey Box]
Bentley Showroom	[Light Blue Box]
Customer Shared	[Yellow Box]
Dealer General Operations Area	[White Box]



2 MEZZANINE PLAN
A1.0

330 Ogden Ave

No.	DATE	Description
1	03/20/24	R.I.D.
2	04/15/24	Revised R.I.D.
3	04/15/24	Revised R.I.D.
4	04/15/24	Revised R.I.D.
5	04/15/24	Revised R.I.D.
6	04/25/24	Revised R.I.D.



1 FIRST FLOOR PLAN
A1.0

FIELDS DOWNERS GROVE

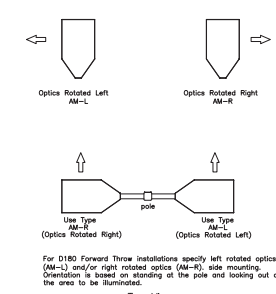
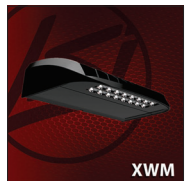
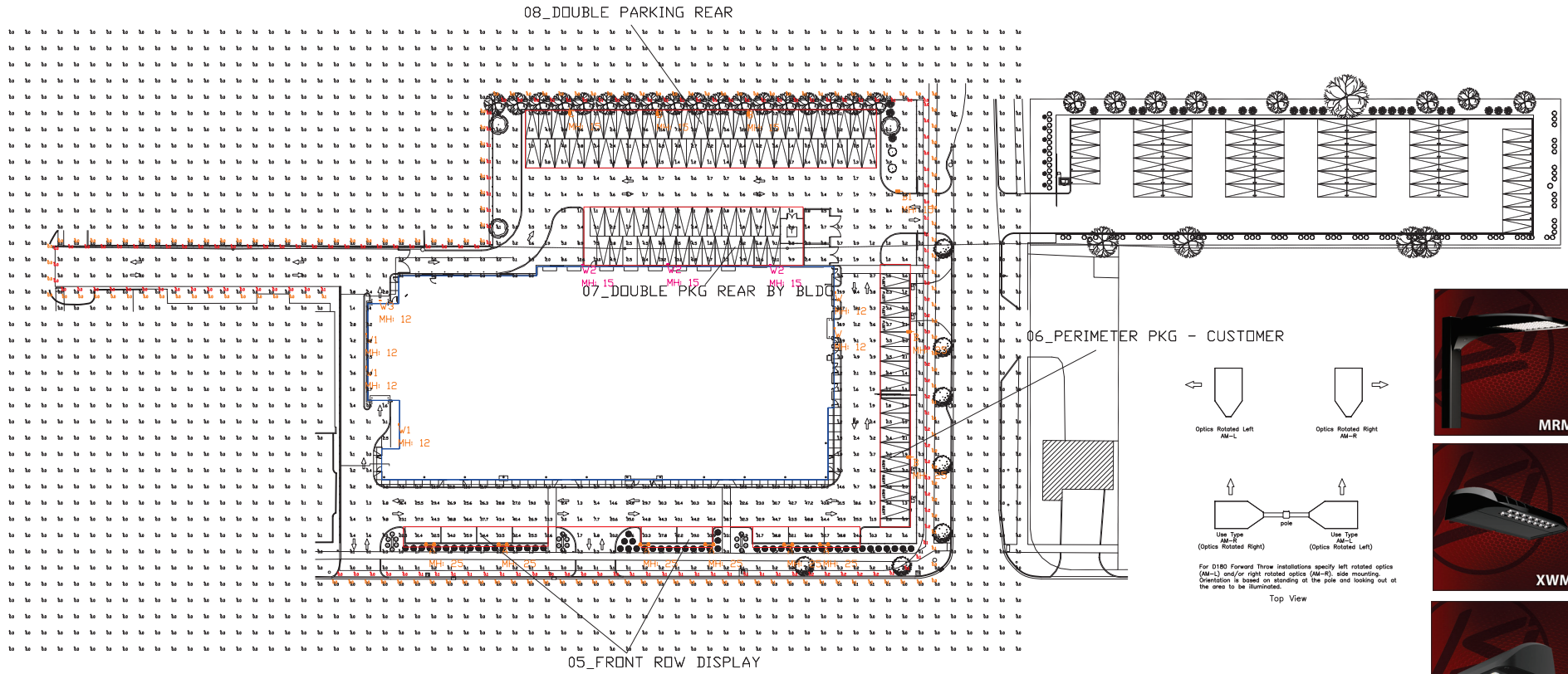
NEW SALES & SERVICE FACILITY
330 OGDEN AVE.
DOWNERS GROVE, IL

NOT FOR CONSTRUCTION
ESTIMATING PURPOSES ONLY

Scope Document
This preliminary drawing indicates the general scope of the project in terms of the architectural design concept, the dimensions of the building, the type of structural system, and an overview of the major elements of construction. As a 'concept' document the drawing does not necessarily indicate or describe all work required for the full performance and completion of the work. These documents shall not be used for construction. They were prepared for the purpose of construction pricing only, with the understanding that the Contractor, Subcontractor and material supplier are to check all the work of record and quality construction and that the Contractor, Subcontractor and material supplier shall be solely responsible for the inclusion of adequate amounts to cover the installation of all items indicated, described, or implied.

FLOOR PLANS

Project Number	1362
Date	02-24-2026
Drawn By	BK
Sheet No.	A1.0



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
00_ALL CALC'S # 4' ABOVE GRADE	Illuminance	Fc	1.95	68.8	0.0	N.A.	N.A.	4
01_COMMERCIAL PROPERTY LINE- SOUTH & EAST	Illuminance	Fc	0.67	0.3	0.0	N.A.	N.A.	N.A.
02_5' FROM COMMERCIAL PROPERTY LINE-SOUTH & EAST	Illuminance	Fc	0.04	0.2	0.0	N.A.	N.A.	N.A.
03_5' FROM RESIDENTIAL PROPERTY LINE-NORTH WEST	Illuminance	Fc	0.02	0.1	0.0	N.A.	N.A.	N.A.
04_RESIDENTIAL PROPERTY LINE- NDRTH, WEST	Illuminance	Fc	0.08	0.1	0.0	N.A.	N.A.	N.A.
05_FRONT ROW DISPLAY	Illuminance	Fc	36.09	60.8	12.6	2.86	4.83	
06_PERIMETER PKG - CUSTOMER	Illuminance	Fc	2.23	3.7	0.6	3.72	6.17	
07_DOUBLE PKG REAR BY BLDG	Illuminance	Fc	4.12	13.2	0.8	5.15	16.50	
08_DOUBLE PARKING REAR	Illuminance	Fc	2.42	12.0	0.1	24.20	120.00	

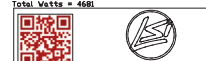
**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions. This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamp/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

The IES no longer uses the Cutoff Classification System for LED fixtures. The IES classifies LED fixtures with the BUG rating which refers to the Backlight-light-leakage system. An IES light of '00' most closely matches the old Full Cutoff rating.

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
A	6	A	3/80° 2RTD	MRM-LED-42L-SIL-10MM-103MM-R-50-70CRI-IL	26'	1.000	55324	628	B1-UG-G3
B	4	B	Single	MRM-LED-12L-SIL-4-50-70CRI-IL	15' EXISTING POLE	1.000	8001	85	B0-UG-G2
B1	1	B1	Single	MRM-LED-12L-SIL-4-50-70CRI-IL	15'	1.000	8001	85	B0-UG-G2
C	1	C	Single	MRM-LED-09L-SIL-FT-50-70CRI-IL	15' EXISTING POLE	1.000	6326	62	B0-UG-G2
V	2	V	Single	XWM-FT-LED-08L-50-70CRI	12'	1.000	8465	64	B2-UG-G2
W1	3	W1	Single	XWS-LED-03L-SIL-2-50-70CRI	12'	1.000	2953	19	B1-UG-G1
W2	3	W2	Single	XWM-4-LED-12L-50-70CRI	12'	1.000	11716	77	B2-UG-G3
W3	1	W3	Single	XWS-LED-01L-SIL-2-50-70CRI	12'	1.000	1526	10	B1-UG-G1

Total Project Watts
Total Watts = 4681



LIGHTING PROPOSAL LD-165243-2A

FIELDS RLLB
4637 FLORENCE
DOWNERS DRIVE, IL

SCALE: 1"=30' ARCH D 0 30



9575 West Higgins Road, Suite 400 | Rosemont, Illinois 60018
p: 847-518-9990 | f: 847-518-9987

MEMORANDUM TO: David Gonzalez
International Contractors, Inc.

FROM: Michael A. Werthmann, P.E., PTOE
Principal

DATE: April 20, 2026

SUBJECT: Preliminary Traffic Statement
Proposed Fields Auto Group Dealership Expansion
Downers Grove, Illinois

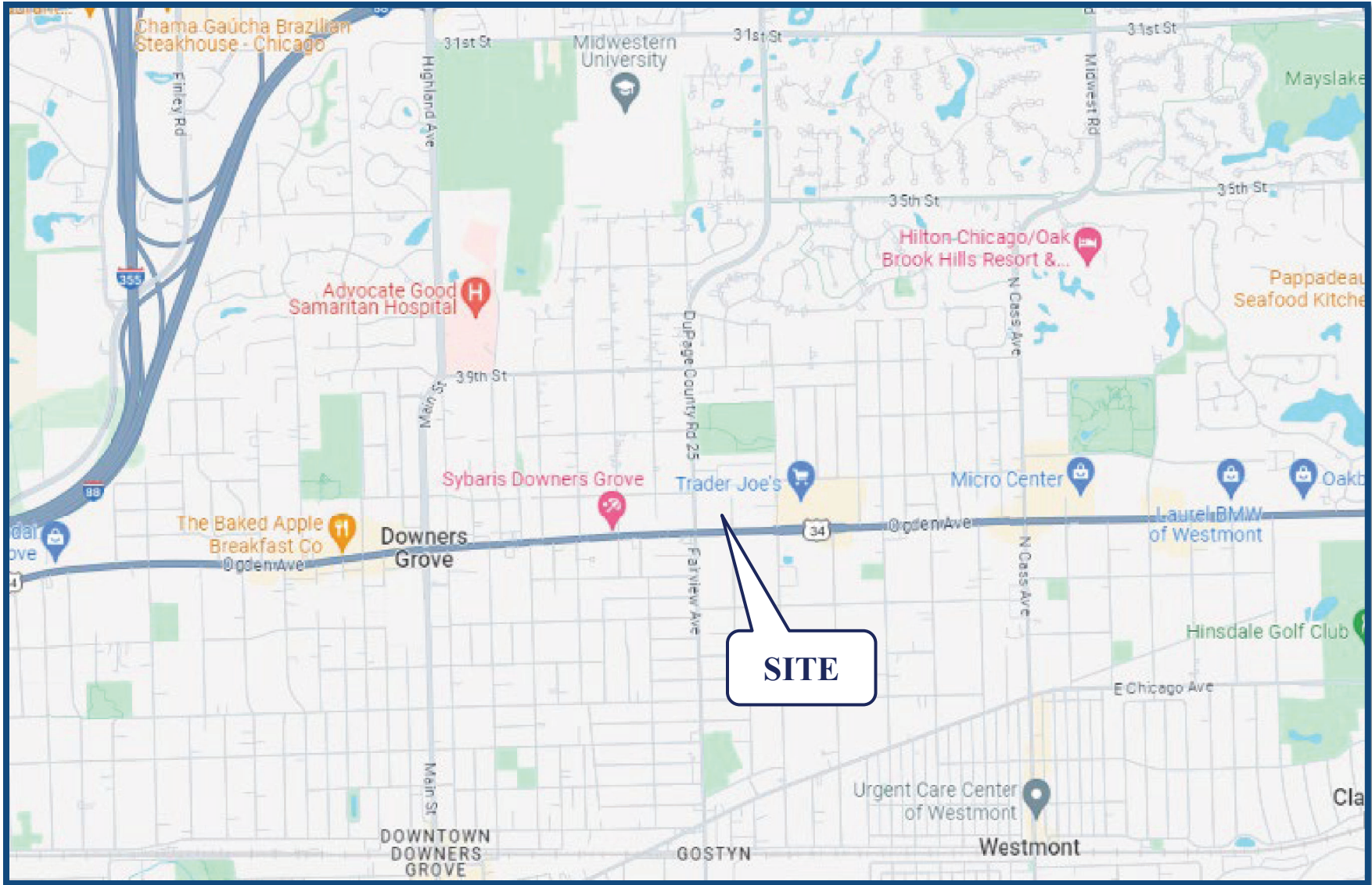
This memorandum summarizes the results and findings of a preliminary traffic statement prepared by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed expansion of the Fields Auto Group dealership located in Downers Grove, Illinois. The dealership, which sells and services primarily Rolls Royce, Bentley, and Lamborghini vehicles, is located in the northwest quadrant of the intersection of Ogden Avenue (U.S. Route 34) with Florence Avenue. In addition, a vehicle inventory parking lot is located on the east side of Florence Avenue immediately north of the commercial uses located along the north side of Ogden Avenue. Currently, the dealership has approximately 18,561 square feet of total space located in two buildings that contain a showroom/sales floor, a service department, and offices. Access to the dealership is currently provided via two access drives on Ogden Avenue and one access drive on Florence Avenue and access to the inventory parking lot is provided via one access drive on Florence Avenue. **Figure 1** shows the location of the dealership and **Figure 2** shows an aerial view of the dealership.

As proposed, both the eastern and western buildings will be expanded and remodeled to provide a total of 36,245 square feet of space. The primary purpose for the expanded dealership is to enlarge and relocate the service department as well as to enlarge the showroom/sales floor. As part of the expansion, access to the expanded dealership will be provided via the two existing Ogden Avenue access drives, the relocation of the Florence Avenue access drive approximately 50 feet north of its existing location, and the east-west alley located west of the dealership. A copy of the proposed site plan is included in the Appendix.

Existing Roadway Characteristics

The following summarizes the physical and operating characteristics of the area roadways.

Ogden Avenue (U.S. Route 34) is arterial road that extends in an east-west direction in the vicinity of the site and has two lanes in each direction divided by a center median. Left-turn movements to Florence Avenue are accommodated via a center, two-way left-turn lane. Ogden Avenue is under the jurisdiction of the Illinois Department of Transportation (IDOT), has an Average Annual Daily Traffic (AADT) volume of 27,100 vehicles (IDOT 2023), and has a posted speed limit of 35 mph.



Site Location

Figure 1



Aerial View of Site

Figure 1

Florence Avenue is generally a north-south, local road that has one vehicle lane in each direction. At its unsignalized intersection with Ogden Avenue, Florence Avenue has single-lane approaches that are under stop sign control. Florence Avenue is under the jurisdiction of the Village of Downers Grove.

Trip Generation

Table 1 provides a comparison of several physical and operating characteristics of the existing and proposed dealership as provided by the operator. As indicated previously, the dealership sells and services primarily Rolls Royce, Bentley, and Lamborghini vehicles. In addition, even with the expansion, the overall size of the dealership is smaller than a typical dealership. As such, given the size of the dealership and the luxury type vehicles that are sold/serviced, the dealership generates a significantly lower volume of traffic than a typical dealership. This is evident in the existing number of daily service appointments (see Table 1). Further, as shown in Table 1, the expanded dealership is projected to have a limited increase in the number of employees, vehicle sales, and service appointments. In addition, it is important to note that the additional vehicles sales and service appointments are anticipated to be distributed throughout the day. As such, the increase in traffic from the expanded dealership is projected to be limited and the overall traffic to be generated by the expanded dealership will be lower than a typical dealership.

Table 1

COMPARISON OF PHYSICAL AND OPERATING CHARACTERISTICS EXISTING DEALERSHIP VERSUS EXPANDED DEALERSHIP

	Existing Dealership	Proposed Expanded Dealership
Total Square Footage	18,561 s.f.	36,245 s.f.
Service Department Vehicle Lifts	9	12
Employees	30	40
Service Appointments per Week	10 - 15	20 - 30

Site Access and Circulation

Access to the expanded dealership is to be provided via the existing two access drives on Ogden Avenue, the relocation of the existing Florence Avenue access drive, and the east-west alley located west of the dealership. The customer parking will be located along the east side of the dealership and the employee and vehicle inventory parking will be located on the north side of the dealership. Two-way circulation will be provided along the east, south, and west sides of the dealership and one-way inbound access will be provided from the east-west alley to the employee and vehicle inventory parking. As such, two-way circulation will be provided via three sides of the dealership and all the access drives except the inbound only access drive.

The following summarizes the design and locations of the access drives serving the dealership:

- The existing eastern Ogden Avenue access drive is located on the north side of the road approximately 230 feet west of Florence Avenue and will primarily serve the customer parking, several parking spaces used for vehicle inventory, and the front of the dealership. In addition, the access drive will provide secondary access to the service department and the employee and vehicle inventory parking. This access drive has one inbound lane and one outbound lane. Left-turn movements to this access drive are accommodated via the Ogden Avenue striped median as well as the taper for the Ogden Avenue westbound left-turn lane serving Fairview Avenue.
- The existing western Ogden Avenue access drive is located on the north side of the road approximately 375 feet west of Florence Avenue and will primarily serve the service department and the front of the dealership. In addition, the access drive will provide secondary access to the customer parking and the front of the dealership. As proposed, this access drive will be widened from approximately 21 feet to 24 feet and will provide one inbound lane and one outbound lane. Further, inbound and outbound left-turn movements from this access drive will be prohibited from 7:00 to 9:00 A.M. and from 3:00 to 6:00 P.M. via pavement markings and signage.
- The existing Florence Avenue access drive serving the dealership is proposed to be relocated approximately 50 feet north of its current location and aligned opposite the vehicle inventory parking lot. The access drive will primarily serve the employee parking and vehicle inventory parking and provide secondary access to and from the service department and the customer parking. This access drive will provide one inbound lane and one outbound lane.
- Inbound and outbound access to the service department and inbound access to the employee and vehicle inventory parking will be provided via the east-west alley that currently terminates at the western property line of the dealership.

The outbound lanes at all the access drives should be under stop sign control. The four access drives will provide efficient and orderly access to and from the proposed expanded dealership with limited impact on the existing through traffic.

Access to the existing vehicle inventory parking lot located on the east side of Florence Avenue is provided via one access drive located on the east side of Florence Avenue approximately 250 feet north of Ogden Avenue. This access drive provides one inbound lane and one outbound lane, which is sufficient to accommodate the parking lot.

Appendix





Legend

- Building Coverage Phase 1
- Building Coverage Phase 2
- Open Space
- Display Parking
- Customer Parking
- Staff Parking
- Service Bay Parking
- Inventory Parking 8'-0" x 18'-0"
- Accessible Parking
- EV Charging

FAIRVIEW AVENUE

FLORENCE AVENUE

OGDEN AVENUE

Parking Calculations

Required Parking Calculation

Show Room Sqft
 Rolls Royce: 3,000 sqft
 Lamborghini: 3,000 sqft
 Bentley: 3,000 sqft
 Total: 9,000 sqft

Required Parking:
 2 Parking Spaces per 1,000 sqft =
 9,000 sqft / 1,000 =
 18 Parking Spaces

Outdoor Display Area

Parking Space 94	220 sqft
Parking Space 95	220 sqft
Parking Space 96	220 sqft
Parking Space 97	220 sqft
Parking Space 98	220 sqft
Parking Space 99	220 sqft
Parking Space 100	220 sqft
Parking Space 101	220 sqft
Parking Space 102	220 sqft
Total:	1,980 sqft

Required Parking:
 4 Spaces per 1,000 sqft of Outdoor Display Area
 1,980 sqft / 1,000 = 1.98 x 4 =
 1 Parking Spaces

Number of Service Bays:
 12 Service Bays

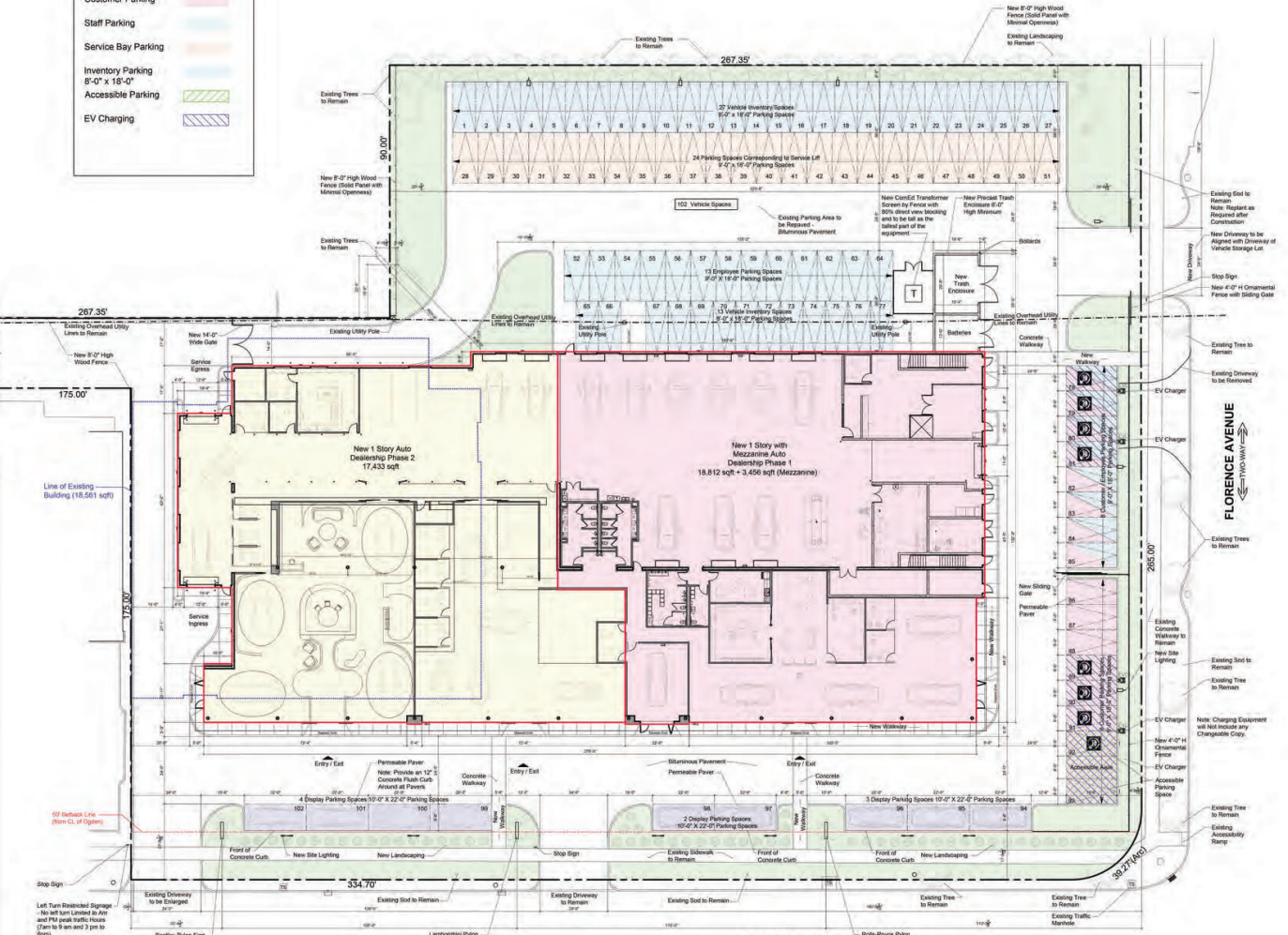
Required Parking:
 2 Parking Spaces per Service Bay =
 12 Bays x 2 =
 24 Parking Spaces

Total Required Parking:
 18 + 1 + 24 =
 43 Parking Spaces

Provided Parking Calculation

Inventory:	61 + 40 = 101
Service Bays:	24
Customer and Staff:	29 (2 Accessible)
Display:	9
Total Provide Parking:	163

Note: Inventory Parking Spaces are 8'-0" x 18'-0"



100 Objectives

No.	DATE	Description
1	03/29/25	POD
2	04/14/25	Revised POD
3	04/14/25	Revised POD
4	04/14/25	Revised POD
5	04/18/25	Revised POD

FIELDS DOWNERS GROVE



NEW SALES & SERVICE FACILITY
 330 OGDEN AVE.
 DOWNERS GROVE, IL

NOT FOR CONSTRUCTION
 ESTIMATING PURPOSES ONLY

ENLARGED SITE PLAN

Project Number: 1362
 Date: 02.24.2026
 Drawn By: ICI
 Scale: 1/8" = 1'-0"

AC1.1

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1 ENLARGED SITE PLAN - WEST LOT
 ACT1

BUILDING TO BE FULLY SPRINKLERED AND HAVE FULL FIRE ALARM



Village of Downers Grove

Planning and Zoning Commission – Minutes (DRAFT)

Table 1 - Detailed information on this Planning and Zoning Commission meeting.

Meeting Location	Civic Center – Betty Cheever Council Chambers
Meeting Address	850 Curtiss St., Downers Grove, IL 60515
Meeting Date	March 3, 2026 at 7:00 PM

File 26-PZC-0015.

The petitioner is seeking approval of a Planned Unit Development Amendment in the General Services and Highway Business/Planned Development #68 (B-3/P.D. #68) zoning district to construct a new automobile dealership. The property is located directly northwest of the intersection of Florence Avenue and Ogden Avenue, commonly known as 330 Ogden Avenue, Downers Grove, IL (PINs: 09-04-110-023, -024, -026, -027, -028, -029, -030, 09-04-111-012, -027, -028). Axios Architects & Consultants Inc. Petitioner and Patricia Enterprises, Owner.

David Gonzalez, Fields Auto Group and ICI representative, explained this petition is a request for an amendment to the already approved PUD. He stated Fields Auto Group has established over eighty (80) dealerships across the nation and they do special charity events. He noted the existing building and site condition do not allow Fields Auto Group to properly engage their operations and the existing facility is in dire need of improvements. They are proposing a new building that will house three (3) top brands, Bentley, Lamborghini, and Rolls-Royce, with three (3) showrooms as the main façade along Ogden Avenue, and the service side to be on the back end of the facility behind the showroom.

Lance Shalzi, with Axios Architects, expressed this is a collaboration between Fields Auto Group, ICI, Axios, and Downers Grove staff. He said the design development team is proposing an amendment to the previously approved PUD from 2024, including redesign of the west site along Ogden Avenue. He stated phase one will consist of Rolls-Royce will be

constructed first, totaling about eighteen thousand, eight hundred and twelve (18,812) square feet, along with a three thousand and four hundred and sixty (3,460) square foot mezzanine with a Rolls-Royce service center, showroom, and offices. He noted the showroom will be a glass enclosure with accented ACM panels above, and the west wall of phase one will include a temporary enclosure that will be removed during phase two. Phase two will involve completing the Bentley and Lamborghini showrooms and associated facilities, adding seventeen thousand, four hundred and thirty-three (17,433) square feet, for a total of thirty-six thousand, two hundred and forty-five (36,245) square feet. He expressed the two sites will contain one hundred and sixty-three (163) parking spaces. He added sixty one (61) inventory spaces already exist on the lot off Florence, and forty (40) additional proposed on the west site, and they are requesting a reduction of the proposed inventory spaces from the Downers Grove standard of nine (9) by eighteen (18) to eight (8) by eighteen (18), as it would provide efficient and orderly circulation and parking due to the very low turnover of the spaces, as they will be used for storing vehicles only. Mr. Shalzi added they proposed twenty-nine (29) customer and staff spaces on the north and east areas of the site. He noted there will be twenty-four (24) service bay spaces, nine (9) display spaces, permeable paving to mitigate impact on Downers Grove's stormwater system, and concrete pedestrian access walkways. He stated they are seeking to add three monument signs instead of the permitted two, as each brand requires their own sign, and asking for four hundred (400) square feet for the overall sign area instead of the max permitted of three hundred (300) square feet. He went over the truck turning radius, landscape plan, and floor plan. He expressed they will ensure compliance for the zoning map amendment review and they believe the PUD is consistent with the Village plan to widen the Ogden Ave commercial corridor. He added they will be in full compliance, provide additional tax revenue to benefit the community, take into consideration all surrounding property owners interest and meet and exceed expectations.

Chairman Rickard asked for questions for the petitioner.

Commissioner Eberhardt commented it looks like they are proposing twice as many service appointments on this PUD. Mr. Gonzalez answered yes, as they are adding the integration of Rolls-Royce.

Commissioner Rickard asked about the difference in traffic impact from the traffic study. Mr. Gonzalez responded this is a different type of business from a normal auto dealership, as service appointments are being done by going and picking up the car from the customer's house and then driving it back to them when complete.

Commissioner Barry inquired if this would be a separate ingress and egress for customers on Fairview or is it just being used by the dealership. Mr. Gonzalez answered they wanted to create a more open flow within the site by opening and creating a whole loop around the site so customers would not have to go down Florence.

Commissioner Wolf pointed out there were a lot of pedestrians and cyclists in their renderings, and asked if there were plans for improvement, as that area is unsafe especially for cyclists. Mr. Gonzalez answered they are not asking for any additional site entrances and are just conforming to the ordinance.

Commissioner Lincoln asked if having a sign for each brand facing Ogden Avenue was a hard requirement where they cannot operate the business without it. Mr. Gonzalez answered the hardship comes from there only being a 10-foot-high allowance by the Village, which would not allow for three logos, so that is the reason they are asking for that. He added they are respecting the ordinance as far as where they are located.

Commissioner Frankovic inquired if the turning radiuses would prevent any delivery vehicles from parking on Ogden once the development is complete. Mr. Gonzalez responded the WB-40 carries three to four cars and that is their understanding of how the operation will happen.

Commissioner Barry asked if putting the service center at the back would cause any noise issues. Mr. Gonzalez stated they are trying to create more separation to help with that. Mr. Zawila clarified that the previous plan included a service connection through the middle with a connected building, but that was removed. Now the service entrances are west and south with no direct service bay opening to the north and vehicles can circulate around the building, instead of through it.

Commissioner Lincoln inquired if they were doing anything particular with lighting, as the property to the north is right up to the fence line. Mr. Gonzalez responded they are changing all the lighting, bringing down lumens, and installing shields to every light fixture along every property line so there is less glare towards the neighbors. Mr. Zawila added there is a condition in the report requiring such that.

Chairman Rickard asked for public comment.

Paulis Narbutas, who has a neighboring lot the adjacent parking lot, brought forth an issue that the previous owners installed an unauthorized drainage pipe into their property with the intention of draining the water into the detention area behind them. He wanted the commission to take that into consideration when reviewing this approval process to build in a

type of procedure or process where the harm from that installation is repaired to their neighborhood and neighbors. Mr. Zawila expressed that would be a code enforcement inquiry, and he would note it and discuss with the team. He asked him to leave his contact information so he could look into it.

Mike Gladkowski, who is also in the same townhouse association as Mr. Narbutas, showed the Commission a picture people digging the drainage pipe into their water retention easement. Mr. Zawila asked him to provide his contact information and his team would take a look at it.

Chairman Rickard asked for the staff report.

Ms. Leon expressed the petition request is for a PUD Amendment to construct a new automobile dealership, with an existing zoning district is B-3/PUD #68. She said all noticing was completed and they received one question from the public that was general in nature. She went over the location map and existing plat of survey. She explained there are two buildings, one with the Bentley and Lamborghini dealership on 330 Ogden, and one that is a used car dealership with accessory services on 310 Ogden Avenue. She noted the inventory lot on the east side of Florence was constructed in 2025 and there are no proposed changes to that with this petition, and PUD #68 was established in 2024. She expressed the current proposal is similar, but there were enough changes that an amendment was required. She explained the new automobile dealership will be constructed in two phases and the only change to the existing access points on Ogden is widening the one on the west side to provide for a two-way drive aisle. She added there is another access point proposed on Florence Ave that would be shifted to the north 50 feet to line up with the access point for the inventory lot. She stated a traffic memo was part of the submission and found lower volume of traffic was associated with this type of dealership. She said the petitioner is including additional landscaping and an eight (8) foot solid fence along the north and west property line and there will be two pedestrian connections. The petitioner's proposal complied with the stormwater ordinance, will include three showrooms, service offices, a vehicle delivery bay, automotive service center, waiting areas, part storage, and breakrooms. She went over the elevations for the proposal and requested deviations, including the monument signs being three instead of two, total sign area for four hundred (400) square feet instead of the max of 300 square feet, and reducing the vehicle inventory parking stall from nine (9) feet to eight (8) feet. Ms. Leon shared the Comprehensive Plan calls for a balanced mix of land uses and ensuring long-term fiscal health and economic viability for the Village, targeted incentives, flexible zoning for specific areas, continuing to maintain an investment in existing, stable, commercial and employment centers, work with local businesses to improve physical appearance, and

encourage new development that include EV charging stations. Staff found that all standards for approval were met and recommended approval.

Chairman Rickard asked for questions for staff.

Commissioner Lincoln asked if there were other examples in the Village allowing the reduced parking width. Ms. Leon answered when they reviewed the Florence inventory lot, the width was reduced for those parking stalls and was part of the original approval. She noted that was only included on the Florence lot, and now they are asking for that deviation on this property.

Commissioner Eberhardt asked if customer parking remained to code. Ms. Leon answered yes.

Commissioner Lincoln inquired if the reason they are reviewing this is because there was a PUD for part of this lot and now, they are expanding it to cover the whole thing. Ms. Leon responded it is before them because the site plan changed, as well as a sign package.

Commissioner Lincoln asked if there were any other examples of allowing three signs when the code only allows two. Commissioner Eberhardt also asked how the signage square footage is calculated for these types of sites. Ms. Leon explained it depends on the tenant frontage, as they look at the frontage of the building and multiple it by one point five (1.5). She noted this building is large enough to have the maximum three hundred (300) square feet, and for a PUD it is common to have additional monument signs. Mr. Zawila added they have done this on a case-by-case basis, commonly done for PUDs with shopping centers and institutions. Ms. Leon further stated that shopping centers typically are allowed larger monument signs because they tend to be bigger lots zoned B-3, but monument signs for this particular lot are limited to thirty-six (36) square feet.

Chairman Rickard gave the petitioner the opportunity to come back up and address anything discussed or asked and/or add additional information. The petitioner declined.

Chairman Rickard asked for Commission deliberation.

Commissioner Barry understood the signage overall, as they are very distinct brands that all have their individual identity, and he liked that the building is further away from the residents on South Florence. He said they were compliant with the PUD before and they have taken a few extra steps to make it better.

Commissioner Frankovic concurred and felt the new building was a great improvement and consolidated everything nicely.

Chairman Rickard agreed.

Commissioner Lincoln said they could probably put the three logos on one sign instead of putting them on three different ones, and there are businesses all over that have to deal with unique requirements of a given town to make their signs a certain way. However, that was a small piece of the overall petition and everything else was very minor. He added the PUD is just changing the plan and everything matches what their zoning code would allow there, so it seems like a trivial PUD.

Commissioner Eberhardt appreciated how it pulled everything together and cleaned up the randomness that was there and is an asset to the community.

Commissioner Patel agreed with his fellow commissioners. He also felt the request from nine (9) feet to eight (8) feet was appropriate and reasonable since it was not accessible by customers.

Chairman Rickard felt all the standards of approval for PUD were met.

With respect to File 26-PZC-0015, based on the petitioner's submittal, staff report, and the testimony presented, it is found that the petitioner has met the standards of approval for a PUD amendment, as required by the Village of Downers Grove Zoning Ordinance, and is in the public interest. Therefore, Commissioner Lincoln made a motion that the Planning and Zoning Commission recommend the Village Council approve File 26-PZC-0015, subject the four (4) conditions outlined in the staff report.

The motion seconded by Commissioner Barry

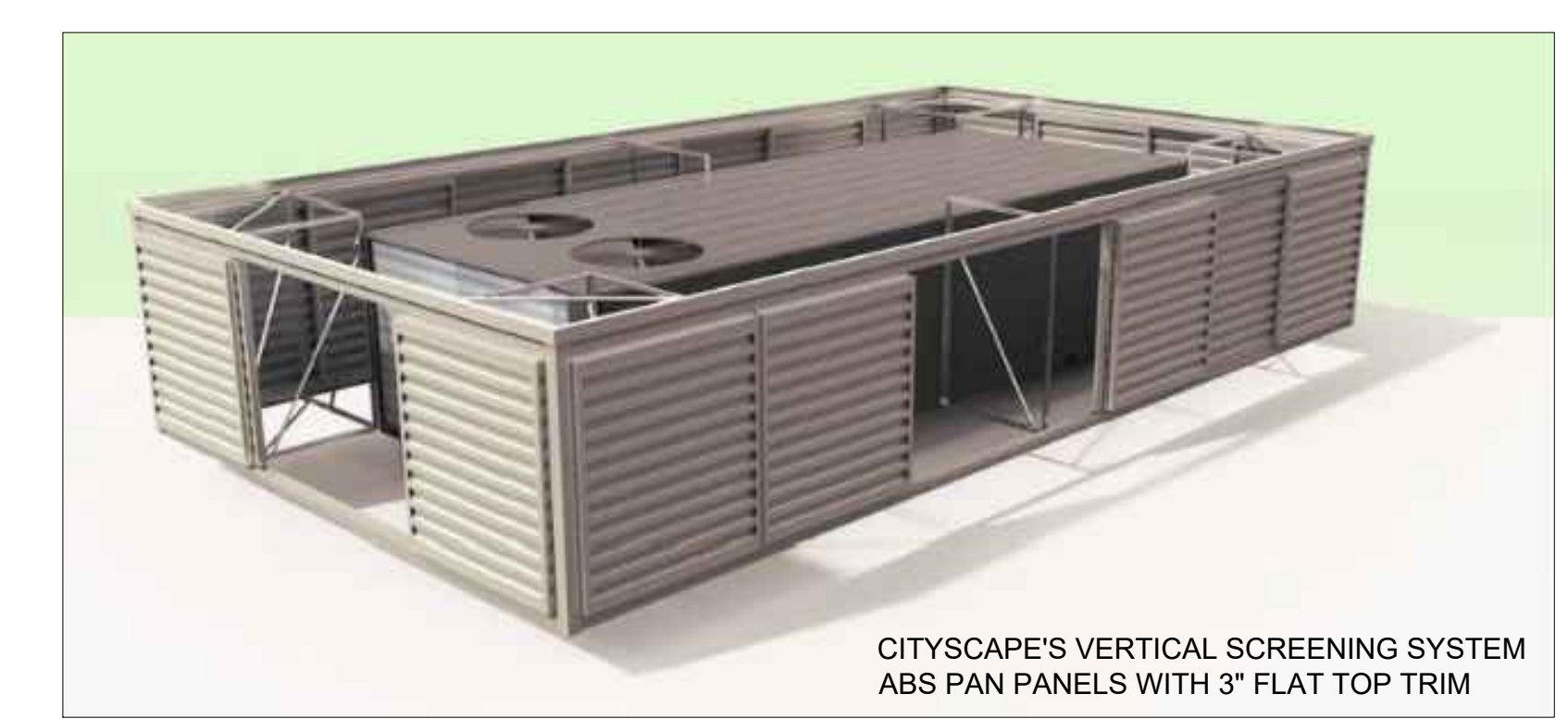
Roll Call:

Aye: Lincoln, Barry, Frankovic, Patel, Eberhardt, Reyes, Wolf, Chairman Rickard.

Motion Approved. Vote: 8-0

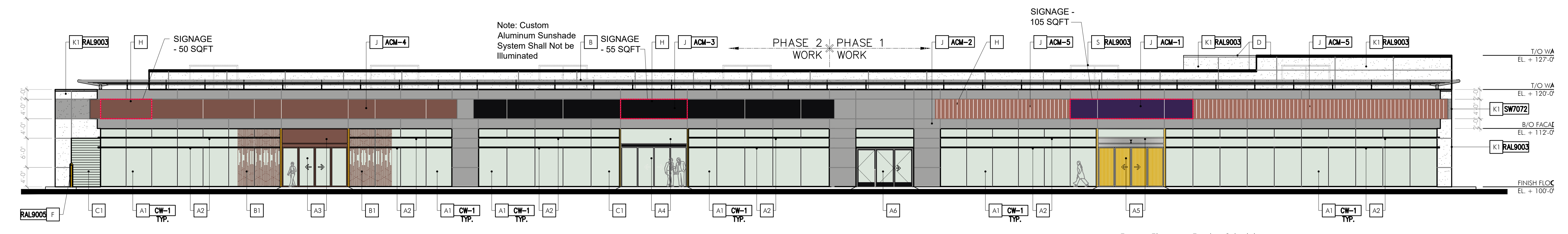


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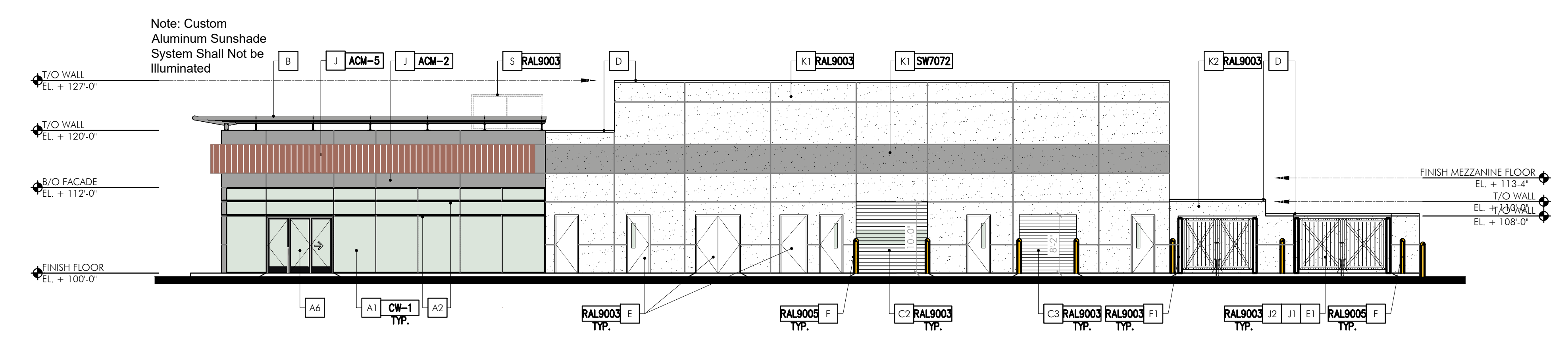


6 ROOFTOP EQUIPMENT SCREENING
AZ.0 Scale: 1/2" = 1'-0"

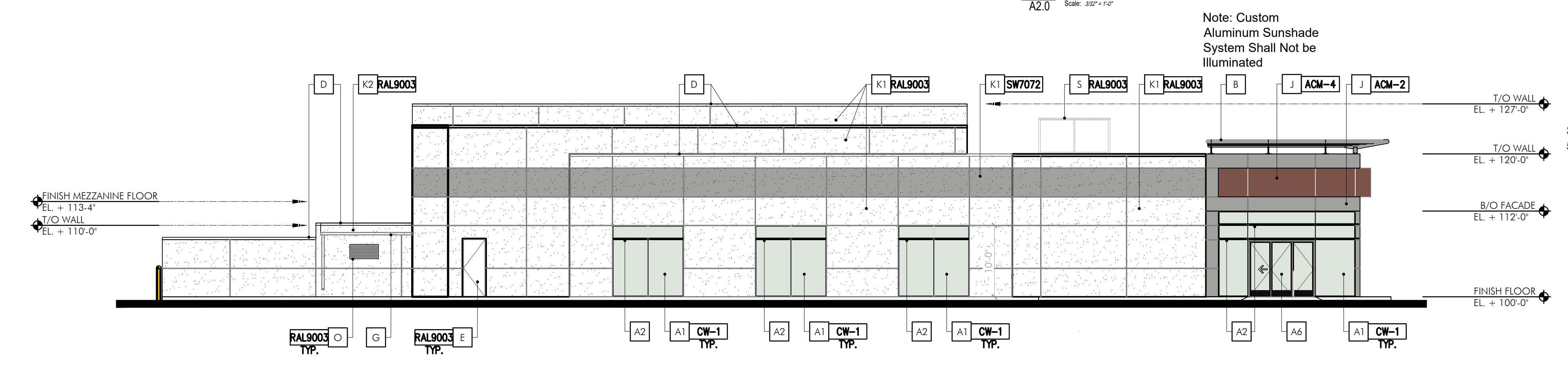
Signage area representation for reference purpose only, final signage package will be under separate permit cover



5 SOUTH ELEVATION
AZ.0 Scale: 3/32" = 1'-0"



4 EAST ELEVATION
AZ.0 Scale: 3/32" = 1'-0"

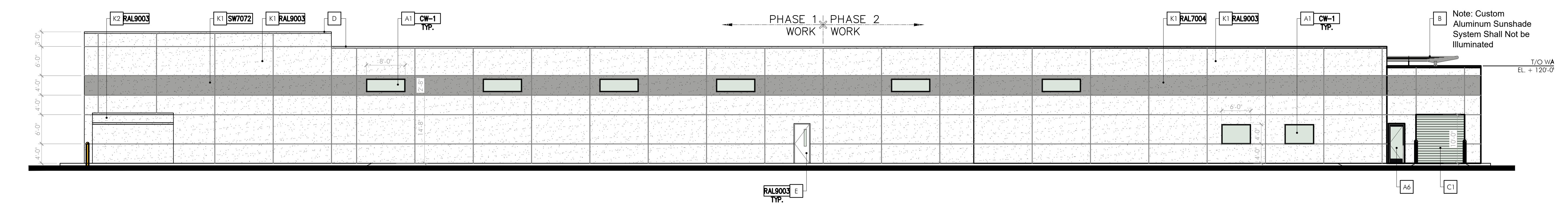


3 WEST ELEVATION
AZ.0 Scale: 3/32" = 1'-0"

Exterior Elevations Finishes Schedule

ACM-1	PURPLE SPIRIT ACM PANEL SYSTEM BY RE APPROVED VENDOR
ACM-2	ALUCORCHIO PLATINUM MICA FINISH ACM PANEL SYSTEM
ACM-3	BLACK FINISH ACM PANEL SYSTEM BY LAMBORGHINI APPROVED VENDOR
ACM-4	COPPER FINISH ACM PANEL SYSTEM BY BENTLEY APPROVED VENDOR
ACM-5	TEXTURED RIBBED ROSE GOLD FINISH ACM PANEL SYSTEM BY RE APPROVED VENDOR
RAL9003	MATCH SW RAL 9003 (SIGNAL WHITE) SEMI-GLOSS @ METALS SATIN @ WALLS & OTHER SURFACES
RAL9005	MATCH SW RAL 9005 (JET BLACK) SEMI-GLOSS @ METALS SATIN @ WALLS & OTHER SURFACES
SW7072	MATCH SW 7072 (DARKNE (GRN)) SEMI-GLOSS @ METALS SATIN @ WALLS & OTHER SURFACES
CW-1	BASE OF DESIGN: RITCO 700L SSG BLACK ANODIZED

- Exterior Elevations Notes**
- 1" ULTRA CLEAR LOW E INSULATED GLAZING SCRAMBLER 72 (2) STAIRWELL - STAIRWELL WITH CLEAR WET SLICONE SEALED VERTICAL BUTT JOINTS & THERMALLY BROKEN FRONT LOADED BLACK ANODIZED ALUMINUM CURTAINWALL SYSTEM
 - 2" BLACK ANODIZED ALUMINUM CURTAINWALL SYSTEM PROTECTIONS
 - BENTLEY COPPER FINISH ANODIZED ALUMINUM GLASS AUTOMATIC THERMO DOOR SYSTEM W/ BREAKAWAY FUNCTION. STEEL LAMB SUPPORTS TO RECEIVE MATCHING COPPER CLOSURES. PROVIDE MATCHING COPPER SHIMMER PANEL
 - LAMBORGHINI BLACK FINISH ANODIZED ALUMINUM GLASS AUTOMATIC THERMO DOOR SYSTEM W/ BREAKAWAY FUNCTION. STEEL LAMB SUPPORTS TO RECEIVE MATCHING BLACK CLOSURES. PROVIDE SHIMMER GLASS PANE MATCHING CURTAINWALL SYSTEM
 - BULL ROCK E LAMBORGHINI FINISH STAINLESS STEEL GLASS AUTOMATIC THERMO DOOR SYSTEM BY RE APPROVED VENDOR. STEEL LAMB SUPPORTS TO RECEIVE MATCHING CLEAR POLISHED SPANLED STEEL CLOSURES. PROVIDE SHIMMER GLASS PANE MATCHING CURTAINWALL SYSTEM
 - BLACK FINISH ANODIZED ALUMINUM GLASS DOOR SYSTEM TO MATCH CURTAINWALL SYSTEM WITH CLEAR POLISHED STAINLESS STEEL PULLS. ALL OTHER DOOR HARDWARE TO RECEIVE BLACK FINISH
 - YCONWAY CUSTOM ALUMINUM SHIMMER SYSTEM IN SILVER ANODIZED FINISH TO MATCH ACME SHIMMER FINISH
 - BENTLEY'S DIAMOND MOTO PATTERN INSTALLED AT INTERIOR SIDE OF CURTAINWALL SYSTEM
 - H-SPEED ALUMINUM ALL SLATS CLEAR VISION GLASS OVERHEAD DOOR W/ TRACK SYSTEM. DUST COVER, RACCON EYE SENSOR, AND STANDARD MANUFACTURERS LOCK W/ BLACK ANODIZED FINISH
 - H-SPEED ALUMINUM 4 SLATS CLEAR VISION GLASS. RADIATED OVERHEAD DOOR W/ TRACK SYSTEM. DUST COVER, RACCON EYE SENSOR, AND STANDARD MANUFACTURERS LOCK W/ WHITE FINISH
 - ALUMINUM INSULATED COILING DOOR W/ TRACK SYSTEM AND STANDARD MANUFACTURERS LOCK W/ WHITE FINISH
 - FACTORY PRE-FINISHED METAL CORING TO MATCH RAL 9003
 - HOLLOW METAL DOOR AND FRAME - FINISH AS SCHEDULED
 - ENGINEERED METAL DOOR FRAME W/ (2) 1X6 CLEAR WOOD FACE. PAINT TO MATCH RAL9003
 - MIBS 7' 0" X 8' 0" LONG ABOVE GRADE CONCRETE FILLED PAINTED STEEL BOLLARDS TYPICAL @ AS SHOWN - SEE FLOOR PLAN
 - MIBS 6' 0" X 7' 0" LONG ABOVE GRADE CONCRETE FILLED PAINTED STEEL BOLLARDS TYPICAL @ AS SHOWN - SEE FLOOR PLAN
 - GULFTEK DOWNPOUT SYSTEM AT BATTERY ENCLOSURE TO MATCH RAL9003
 - SIGNAGES BY BRAND/OWNER'S SIGNAGE VENDOR OF RECORD. PROVIDE POWER AND WALL BACK SUPPORT AS REQ'D - COORDINATE W/ SIGNAGE CONTRACTOR
 - ACM 4000 ALUMINUM COMPOSITE PANEL RAINSCREEN DRY BEVEL SYSTEM ON PILED WIPED W/OPR FINISH. AN BARRIER MEMBRANE ON 2" INTERIOR GRADE. TREATED PLYWOOD ON COLD FORMED FRAMING SYSTEM. BY CME W/ (2) 1X6 BATTIS INSULATION
 - 3/8" DIA CARTRIDGE BOLTS TO FRAME PAINTED RAL9003
 - COMMERCIAL GRADE LATCH W/ LOCKABLE HARDWARE + CANE BOLTS (1" PAIR) - PROVIDE WHEELS TO SUPPORT GATE + PVP SENS FOR CANE BOLTS TYP PAINTED RAL9003
 - PRECAST WALL PANEL SYSTEM W/ RUBBED + SMOOTH TEXTURE FINISH AT EXTERIOR SIDE. SMOOTH TEXTURE FINISH AT INTERIOR SIDE. INSULATE PANEL BELOW ROOF LINE. PAINT AS SCHEDULED.
 - ENCLOSURE ONLY - PRECAST WALL PANEL SYSTEM W/ RUBBED + SMOOTH TEXTURE FINISH AT EXTERIOR SIDE. SMOOTH TEXTURE FINISH AT INTERIOR SIDE. NON-INSULATED PANELS. PAINT AS SCHEDULED.
 - MECHANICAL LOUVER SYSTEM. PAINT AS SCHEDULED.
 - ROOF SCREEN SYSTEM AT RTUS ONLY | CITYSCAPE'S ENVISOR SYSTEM OR SIMILAR PER DETAIL SPECIFICATIONS. FINISH AS SCHEDULED. AS SHOWN FOR REPRESENTATION PURPOSES ONLY. FINAL LOCATION AND QUANTITY PER ROOF PLAN.



1 NORTH ELEVATION
AZ.0 Scale: 3/32" = 1'-0"

330 Ogden Ave

No.	DATE	Description
1	03/20/26	PUD
2	04/13/26	Revised PUD
3	04/14/26	Revised PUD
4	04/15/26	Revised PUD
5	04/16/26	Revised PUD
6	04/28/26	Revised PUD
7	04/30/26	Revised PUD
8	05/27/26	Revised PUD

FIELDS DOWNERS GROVE



NEW SALES & SERVICE FACILITY
330 OGDEN AVE.
DOWNERS GROVE, IL

NOT FOR CONSTRUCTION
ESTIMATING PURPOSES ONLY

Scope Document
This preliminary drawing indicates the general scope of the project in terms of the architectural design concept, the dimensions of the building, the type of structural system, and an outline of the major elements of construction. As a "scope" document this drawing does not necessarily indicate or describe all work required for the full performance and completion of the work. These documents shall not be used for construction. They were prepared for the purpose of construction pricing only with the understanding that the Contractor, Subcontractor and material men are to furnish all the work of sound and quality construction and that the Contractor, Subcontractor and material men shall be solely responsible for the inclusion of adequate amounts to cover the installation of all items indicated, described, or implied.

Sheet Name
ELEVATIONS

Project Number 1362
Date 02.24.2026
Drawn By BK & LS
Sheet No.

A2.0

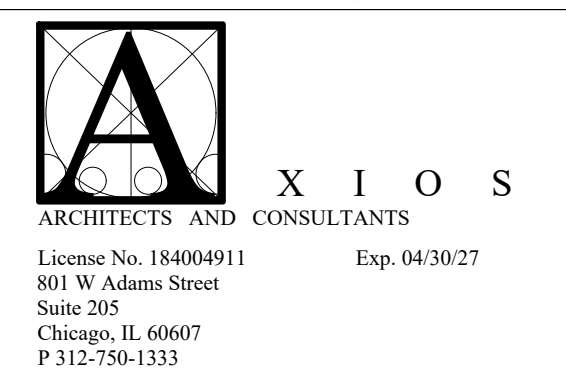
330 Ogden Avenue - Fields Auto Group

Downers Grove

Illinois



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1 Mid America Plaza | 7th Floor | Suite 700
Oakbrook Terrace, IL 60181 | 630.834.8043



330 Ogden Ave

No.	DATE	Description
1	03/20/26	PUD
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6	04/28/26	Revised PUD
7	04/30/26	Revised PUD
8	05/27/26	Revised PUD



Fields RRLB Downers Grove
Overall South-West View

signage area representation for reference purpose only, final signage package will be under separate permit cover



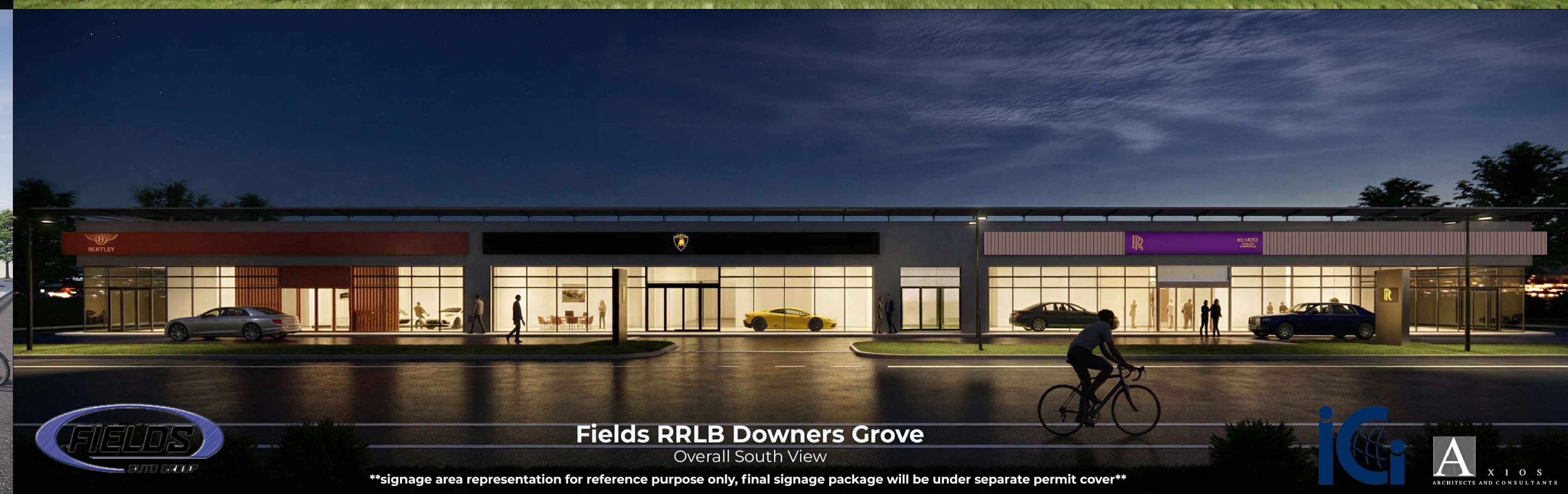
Fields RRLB Downers Grove
Overall South View

signage area representation for reference purpose only, final signage package will be under separate permit cover



Fields RRLB Downers Grove
Overall South-East View

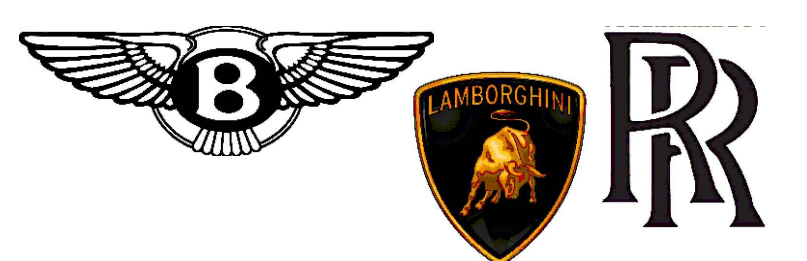
signage area representation for reference purpose only, final signage package will be under separate permit cover



Fields RRLB Downers Grove
Overall South View

signage area representation for reference purpose only, final signage package will be under separate permit cover

FIELDS DOWNERS GROVE



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RENDERINGS

Project Number	1362
Date	02.24.2026
Drawn By	BK & LS
Sheet No.	

R1.0