

**VILLAGE OF DOWNERS GROVE
PLAN COMMISSION**

VILLAGE HALL COUNCIL CHAMBERS
801 BURLINGTON AVENUE

May 6, 2024
7:00 p.m.

AGENDA

1. Call to Order

- a. Pledge of Allegiance

2. Roll Call

3. Approval of Minutes

- a. April 1, 2024

4. Public Hearings

- a. 24-PCE-0007: A petition seeking Special Use approval to construct an accessory structure on a lot of record prior to the construction of a principal structure. The property is currently zoned R-2, Residential Detached House 2. The property is located directly southwest of the intersection of Herbert Street and Morton Avenue, commonly known as 3928 Morton Avenue, Downers Grove, IL (PIN: 09-06-105-004). Evan and Melissa Richardson, Petitioner and Owner.
- b. 24-PCE-0010: A petition seeking approval for an Amendment to Planned Development #57. The property is currently zoned B-3/P.D. #57, General Services and Highway Business/Planned Unit Development #57. The property is located on the southwest corner of Finley Road and Opus Place, east of I-355 in Downers Grove, IL. (PIN: 06-31-101-017). Brad Swank, Petitioner and Midwestern University, Owner.
- c. 24-PCE-0011: A petition seeking Special Use approval for a vehicle body and paint finishing shop. The property is currently zoned M-1, Light Manufacturing. The property is located directly northwest of the intersection of Thatcher Road and Walnut Avenue, commonly known as 5230 Walnut Avenue, Downers Grove, IL. (PIN: 08-11-408-022). Daniel Resendiz, Petitioner and MacNeil Real Estate Holdings, Owner.

5. Adjournment

THIS TENTATIVE REGULAR AGENDA MAY BE SUBJECT TO CHANGE

VILLAGE OF DOWNERS GROVE
PLAN COMMISSION MEETING

April 1, 2024, 7:00 P.M.

Chairman Rickard called the April 1, 2024 meeting of the Downers Grove Plan Commission to order at 7:00 p.m. and led the Plan Commissioners and public in the recital of the Pledge of Allegiance.

ROLL CALL:

PRESENT: Chairman Rickard, Commissioners Boyle, K. Patel, V. Patel, Toth

ABSENT: Commissioners Dmytryszyn, Frankovic, Roche

STAFF: Planning Manager Jason Zawila, Development Planner Emily Hepworth, Flora León Senior Planner

OTHERS PRESENT: Scott Richard, Katie Callahan, Selma Moberg, Kevin McDonald, Sam DeStefano, Marlene Kastle, Norm Kerr, Ben West, Mark Levis

APPROVAL OF MARCH 4, 2024 MINUTES

Motion to approve by Commissioner Boyle, seconded by Commissioner Toth.

PUBLIC HEARINGS

Chairman Rickard explained the protocol for the public hearing process and swore in those individuals that would be speaking during the public hearing.

- A. 23-PCE-0031: A PETITION SEEKING APPROVAL FOR A PLANNED UNIT DEVELOPMENT, A REZONING FROM B-3, GENERAL SERVICES AND HIGHWAY BUSINESS AND R-1, RESIDENTIAL DETACHED HOUSE 1 TO B-3/PUD, GENERAL SERVICES AND HIGHWAY BUSINESS/PLANNED UNIT DEVELOPMENT, A SPECIAL USE TO EXPAND AN EXISTING AUTOMOBILE DEALERSHIP, AND A SPECIAL USE TO CONSTRUCT AN ACCESSORY STRUCTURE ON A LOT OF RECORD PRIOR TO THE CONSTRUCTION OF A PRINCIPAL STRUCTURE. THE PROPERTY IS CURRENTLY ZONED B-3, GENERAL SERVICES AND HIGHWAY BUSINESS AND R-1, RESIDENTIAL DETACHED HOUSE 1. THE PROPERTY IS LOCATED NORTH OF THE INTERSECTION OF OGDEN AVENUE AND FLORENCE AVENUE. ONE PORTION OF THE PROPERTY IS LOCATED DIRECTLY NORTHWEST OF THE INTERSECTION WHILE THE SECOND PORTION OF THE PROPERTY IS APPROXIMATELY 178 FEET NORTHEAST OF THIS INTERSECTION. (PINS: 09-04-110-023, -024, -026, -027, -028, -029, -030, 09-04-111-012, -027, -028). SAM DESTEFANO, PETITIONER, 330 OGDEN AVENUE INC. AND 4241 FLORENCE AVENUE, LLC, OWNERS.**

Ben West, Axios Architects, explained the Perillo Automotive Group is developing a property at 4241 Florence Ave and remodeling the existing property at 330 Ogden Ave. He stated the project included site development and construction of an automotive center housing Rolls-Royce, Bentley, and Lamborghini vehicles, and the Florence Ave parcel would be a parking lot. He stated the development would be a 20,000 square foot expansion of the existing car dealership, with additions to the existing

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building and the construction of a new service building. He said the new service building will occupy part of the existing pre-owned car lot and the existing sales building, bringing the total building area to 39,000 square feet. Mr. West expressed the existing access drive at Florence Avenue will be relocated 55 feet to the north, service vehicles will access the site from the new driveway, the combined sites will contain 175 outdoor parking spaces, the Florence Ave lot will be used for vehicle inventory storage only, the parking area will have a fence and open steel fence on the west, and the entire lot will be screened by new landscaping. He said proposed parking space dimensions were reduced from the Downers Grove standard down to 8 x 18, requested variances were appropriate, and width reductions and elimination of landscape items are appropriate. He discussed the west building will consist of showrooms, service valet, and customer restrooms, and the service building will consist of a service center, auto part storage, employee lounge, and restrooms. He also discussed signage, entitlement criteria, special uses, the zoning map amendment, and existing uses. Mr. West noted some concerns that arose during a neighborhood meeting on the project, including light pollution, surface stormwater runoff, and condition of the existing fence.

Chairman Rickard asked if any commissioners had any questions.

Commissioner K. Patel asked if the intention was to have the photoelectric timer for the lighting to have that on dusk to dawn. Mr. DeStefano stated he did not wish to have any lighting with the Florence Ave light, but any time something touches the security fence, lights will be activated.

Chairman Rickard asked the public for any questions or comments.

Norm Kerr, 1314 Maple Avenue, asked if there was going to be access off of Ogden into the dealership. He also asked if there was any demolition of the existing property or if they were adding to it. He added he was glad to see the dealership expanding with great cars. Chairman Rickard explained there was currently access from Odgen to the development, and the additional lot would have access off of Florence. He stated he believed it is selective demolition to connect what they're doing with existing.

Scott Richard, 1130 Warren Avenue, said it was in an appropriate location, but was surprised about the announcement of the parking lot not having lights. He expressed that was asking for trouble if you do not have any lighting with premium cars there. He commented he would like to see the businesses that come in try to soften the look with more greenery and foliage.

Mark Levis, resident, asked how the stormwater runoff would be handled.

Chairman Rickard asked for the staff report.

Flora Leon, Senior Planner, explained the petition was a request for a planned unit development, zoning map amendment, and two special uses, and stated the two lots for the parking lot were currently zoned R-1. She highlighted that all public noticing requirements were met, notices were mailed, the public hearing was posted in the newspaper, and signs were posted at the site, and staff received one phone call on concerns. She displayed and discussed the existing building footprints, the existing property survey, and the proposed site plan. Ms. Leon explained the special use for personal vehicle sales and proposal of a planned unit development would go from a B-3 zoning district to a B-3/PUD zoning district. She provided building renderings, discussed the entitlement request, and provided the goals of the Comprehensive Plan. Ms. Leon stated staff found special use criteria

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for both requests, the map amendment criteria, and planning unit criteria have all been met and recommended approval.

Chairman Rickard asked if the consolidation would include the Florence lot and still be considered administratively consolidating lots into one lot of record prior to issuing a permit. Ms. Leon explained the consolidation would be of all the pieces east of Florence and all pieces west, so it would not include the public right-of-way. There will be two separate lots, separated by the roadway instead of one.

Chairman Rickard asked if the fire department were dimensionally okay with the isle sizes provided in case of emergency to get into the lot. Ms. Leon responded the fire department did not express any concern.

Chairman Rickard asked if there were any questions for staff. There were none.

Chairman Rickard called the petitioner back up to answer any questions or make any comments.

Mr. DeStefano said on the showroom side of Ogden Avenue there is only going to be three cars displayed outside with the intent that their potential buyers already know that car is there and coming to view it and to give a more luxurious look to the dealership. He assured there would be lights on Florence that come on when someone comes near that fence, and said it would be virtually impossible to get a car out of the lot. He talked about the ingress/egress and noted they created a thorough way through the property to accept a hook and ladder.

Chairman Rickard asked if the common space between the townhouse development and the parking lot that was part of the stormwater solution was outside of the property and being handled by others.

Mr. West explained there were multiple measures being taken to mitigate stormwater issues, and the permeable pavement should allow a significant percentage of the stormwater to percolate down rather than running off on the site, or it will be collected by a perimeter gutter system. He stated they increased the setbacks beyond minimums. He assured this was all on their property. Mr. West stated they would be providing a landscape plan for building permit submittal and have contracted a landscaping company to conduct a survey for the existing trees and shrubbery on what needed to be kept or replaced.

Mr. DeStefano said it was a big deal for them to roll out a Rolls-Royce franchise in Downers Grove and it brings more elegance to the area, and they wanted to emulate that with the building.

Chairman Rickard as the commission for discussion.

Commissioner Toth stated it seemed to be a well thought out plan and very consistent with everything in the area.

Chairman Rickard agreed they did a good job of going through all the standards for the different requests.

Commissioner K. Patel thanked the petitioner for continuing to invest in Downers Grove, and this will be a great addition for the redevelopment of the existing building.

BASED ON THE PETITIONER'S SUBMITTAL, THE STAFF REPORT, AND THE TESTIMONY PRESENTED, COMMISSIONER K. PATEL MADE A MOTION THAT FOUND THAT THE PETITIONER HAS MET THE STANDARDS OF APPROVAL FOR A PLANNED UNIT DEVELOPMENT, A MAP AMENDMENT FROM B-3 GENERAL SERVICE AND HIGHWAY BUSINESS, AND R-1 RESIDENTIAL DETACHED HOUSE 1 TO B-3/PUD GENERAL SERVICES AND HIGHWAY BUSINESS PLANNED UNIT DEVELOPMENT, A SPECIAL USE TO EXPAND AN EXISTING AUTOMOBILE DEALERSHIP AT 330 OGDEN AVENUE AND A SPECIAL USE CONSTRUCT AN ACESSARY STRUCTURE PARKING LOT ON A LOT OF RECORD PRIOR TO THE CONSTRUCTION OF A PRINCIPLE STRUCTURE AS REQUIRED BY THE VILLAGE OF DOWNERS GROVE ZONING ORDINANCE AND IS IN THE PUBLIC INTEREST AND THEREFORE THAT THE PLAN COMMISSION RECOMMEND TO THE VILLAGE COUNCIL APPROVAL OF 23-PCE-0033, SUBJECT TO CONDITIONS THE FIVE CONDITIONS AS LISTED ON STAFF REPORT.

SECOND BY COMMISSIONER TOTH

ROLL CALL:

AYE: K. PATEL, TOTH, BOYLE, V. PATEL, CHAIRMAN RICKARD

NAY: NONE

MOTION APPROVED. VOTE: 5-0

B. 24-PCE-0006: A PETITION SEEKING APPROVAL FOR A SPECIAL USE FOR APARTMENTS/CONDOS WITH A PARKING VARIATION. THE PROPOSAL IS FOR SEVEN (7) UNITS ON THE SECOND FLOOR. THE PROPERTY IS CURRENTLY ZONED DC, DOWNTOWN CORE. THE PROPERTY IS LOCATED 30 FEET NORTH OF THE INTERSECTION OF MAIN STREET AND CURTISS STREET, COMMONLY KNOWN AS 5133 MAIN STREET, DOWNERS GROVE, IL. (PINS: 09-08-303-031). TIM WINTER, PETITIONER AND 5135 MAIN, LLC, OWNER.

Tim Winter, petitioner, stated they purchased the building two years ago with eight apartments on the second level that were not in good shape with mold and asbestos, and took time to get the residents out so they can clean it up. He explained that when they came up with a plan they realized the existing use of apartments were no longer valid and that is the reason for the seeking a special use permit. He noted they were also requesting a variance for parking. He said the only real changes to the exterior are updating the pink molding around the windows and roof to black to match the surrounding colors and replace the storefront door going up to the second floor. He expressed there was a question that came up in the public process about the alley in the back, so they will make a straighter path. He expressed the existing lay out and construction was not the most functional, so they will redo the existing rooms to make two 2-bedroom units, and five 1-bedroom units, and add washers and dryers.

Chairman Rickard asked the commissioners for any questions. There were none.

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Chairman Rickard asked for public comment.

Scott Richards said his biggest concern was what would be happening to the exterior, so he was happy to hear it would be minimal changes, because many people say the charm of downtown is what brings them there. He stated he would be surprised if people were willing to walk a block to and from the garage, and when restaurants open that would eliminate a lot of sidewalk parking.

Norm Kerr asked if the door on the north of the storefront is what is going to be effected as part of the plan. Chairman Rickard said his understanding was the door the feeds the units is the one that would be replaced and upgraded.

Chairman Rickard asked for the staff report.

Emily Hepworth, Development Planner, stated the property is located on the northeastern corner of Main Street and Curtiss Street and zoned Downtown Core. She said two public notice signs were posted at the site, all property owners within 250 feet of the property were provided a notice, and the notice was posted in Daily Herald. Staff received two public comments pertaining to the special use and requirements. She displayed the existing condition of the building and the proposed floorplan layout. She stated none of the changes being made to the property constitute a review of the downtown design guidelines. She discussed the parking variation and said the resident will be offered the option of purchasing permits for parking. Ms. Hepworth provided the special use criteria and the variation criteria, and said staff found all criteria had been met.

Chairman Rickard asked for questions for staff. There were none.

Chairman Rickard called the petitioner back up to answer any questions or make any comments.

Mr. Winter agreed that he would not want to walk a block and a half to get his car either, but they want a transit oriented downtown area. He confirmed the entrance of the front door was just north of Pierce Tavern, and they would be providing key fobs for security for residents.

Chairman Rickard asked the commissioners for discussion.

Commissioner K. Patel stated it was a really good plan to bring life back to the building. He said the standards have been met and gave his recommendation.

Commissioner Toth said removing hazardous materials and upgrading windows sounded like a good step in the right direction.

Chairman Rickard expressed the existing conditions are existing and have been that way for a long time, and agreed that needing the special use after being vacant after six months was very warranted to clean it up. He said it seemed like a great project and intended to support it.

BASED ON THE PETITIONER'S SUBMITTAL, THE STAFF REPORT, AND THE TESTIMONY PRESENTED, COMMISSIONER TOTH MADE THE MOTION THAT FOUND THAT THE PETITIONER HAS MET THE STANDARDS OF APPROVAL FOR THE SPECIAL USES AND VARIATION AS REQUIRED BY THE VILLAGE OF DOWNERS GROVE ZONING ORDINANCE AND IS IN THE PUBLIC INTEREST AND

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THEREFORE THAT THE PLANNING COMMISSION RECOMMEND TO THE VILLAGE COUNCIL APPROVAL OF 24-PCE-0006, SUBJECT TO THE CONDITION 1 AND 2 STATED IN THE STAFF REPORT.

SECOND BY COMMISSIONER V. PATEL

ROLL CALL:

AYE: TOTH, BOYLE, K. PATEL, V. PATEL, CHAIRMAN RICKARD

NAY: NONE

MOTION APPROVED. VOTE: 5-0

ADJOURNMENT

Mr. Zawila provided an update on upcoming meetings and previous cases.

THE MEETING WAS ADJOURNED. UPON A MOTION BY COMMISSIONER K. PATEL, SECOND BY COMMISSIONER V. PATEL. A VOICE VOTE FOLLOWED AND THE MOTION PASSED UNANIMOUSLY.

/s/ Celeste K. Weilandt
Recording Secretary

(As transcribed by Ditto Transcripts)



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
MAY 6, 2024 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
24-PCE-0007 3928 Morton Avenue	Special Use for an Accessory Structure on a Vacant Lot	Emily Hepworth, AICP Development Planner

REQUEST

The petitioner is requesting approval for a Special Use to construct an accessory structure (shed) on a lot of record prior to the construction of a principal structure.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER/PETITIONER: Melissa & Evan Richardson
3928 Morton Avenue
Downers Grove, IL 60515

PROPERTY INFORMATION

EXISTING ZONING: R-2, Residential Detached House 2
EXISTING LAND USE: Residential Lot and Vacant Residential Lot
PROPERTY SIZE: 34,017 square feet (0.78 acres)
PINS: 09-06-105-005

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-2, Residential Detached House 2	Single Family Detached
SOUTH:	R-2, Residential Detached House 2	Single Family Detached
EAST:	R-2, Residential Detached House 2	Single Family Detached
WEST:	R-2, Residential Detached House 2	Institutional/Public

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Location Map
2. Project Summary/Narrative
3. Special Use Criteria

- 4. Plats of Survey
- 5. Proposed Site Plan

PROJECT DESCRIPTION

The petitioner owns two (2) adjacent lots of record at 3928 Morton Avenue. There is a single family home on the northern lot and the southern lot is vacant. The petitioner is proposing to build a new shed on the vacant southern lot. Per the Zoning Ordinance, residential accessory structures may only be built on a lot with an existing principal structure (e.g. a house), unless a Special Use is granted.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

According to the Future Land Use Plan the subject property is designated as Single-Family Detached Residential. The proposed accessory structure is consistent with the residential uses in the vicinity. The proposal is consistent with the intent of the Comprehensive Plan.

COMPLIANCE WITH THE ZONING ORDINANCE

The property is zoned R-2, Single Family Residential. An accessory structure on a lot prior to a principal structure is an allowable special use in the R-2 district. The properties meet the requirements and are eligible for consideration of this special use. The proposed shed will meet the bulk requirements of the Zoning Ordinance as outlined in the table below:

3928 Morton Avenue	Required	Proposed
Front Setback	35 ft.	125.88 ft.
Side Setback	6 ft.	6 ft. (north), 73.98 ft. (south)
Rear Setback	6 ft.	35 ft.
Size	1,000 sq. ft. maximum	200 sq. ft.
Height	23 ft. maximum	9 ft. 11 in.

ENGINEERING/PUBLIC IMPROVEMENTS

All engineering provisions including stormwater regulations have been reviewed for compliance with the Stormwater and Floodplain Ordinance. The existing shed is located in a Localized Poor Drainage Area (LPDA), and will be removed. The proposed shed will not be in the LPDA and will meet the Village Ordinance.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division of the Fire Department has reviewed the application and has no concerns.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property line in addition to posting the public hearing sign and publishing a legal notice in the *Daily Herald*. Staff has received one comment, general in nature.

STANDARDS OF APPROVAL

Special Use

The petitioner is requesting approval for a Special Use to construct an accessory structure on a lot of record prior to the construction of a principal structure, as required by Section 28.6.010(a)(3).

Section 28.12.050.H Approval Criteria – Special Uses

No special use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed special use is constituent with and in substantial compliance with all Village

Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

- 1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located;*
- 2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
- 3. That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.*

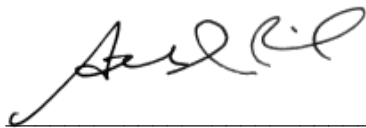
DRAFT MOTION

Staff will provide a recommendation at the May 6, 2024 meeting. Should the Plan Commission find that the request meets the standards of approval for the Special Use, staff has prepared a draft motion that the Plan Commission may make for the recommended approval of 24-PCE-0007:

Based on the petitioner's submittal, the staff report, and the testimony presented, I find that the petitioner has met the standards of approval for the Special Uses as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 24-PCE-0007, subject to the following condition:

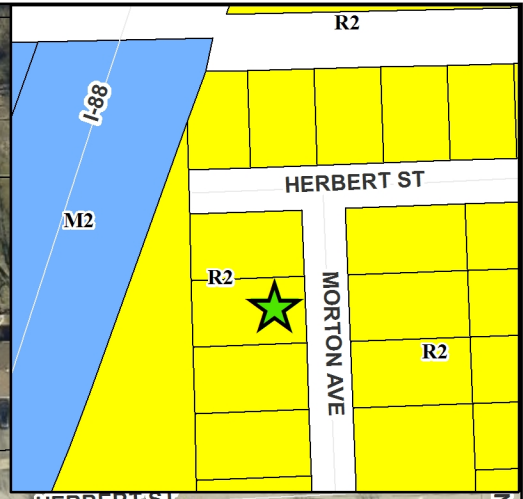
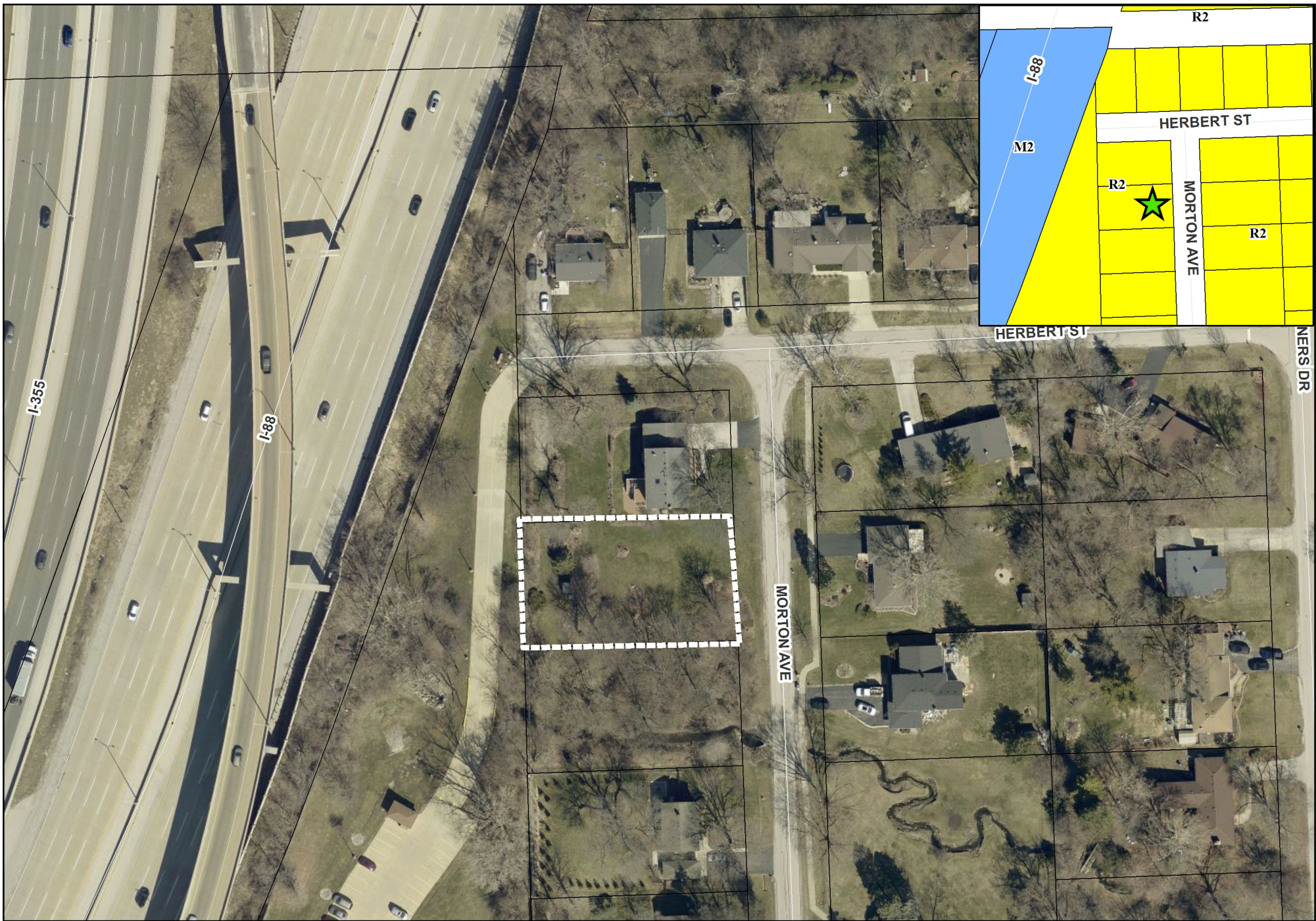
1. The proposed shed shall substantially conform to the plans and specifications attached to this report except as such plans may be changed to conform to Village codes, ordinances, and policies.
2. A restriction shall be recorded against the properties with the DuPage County Recorder of Deeds that requires demolition of the shed and patio that currently encroaches on to the subject property, prior to the sale of the properties if they are not transferred simultaneously to a single entity.

Staff Report Approved By:





Stanley J. Popovich, AICP
Community Development Director

SP:eih
-att



300 150 0 300 Feet

3928 Morton Avenue - Location Map

-  Subject Property
-  Sign Location

Evan and Melissa Richardson
3928 Morton Ave
Downers Grove, IL 60515

RE: Parcel Identification Number: 23-ACC-0066

Dear Plan Commission,

We recently purchased the property located at 3928 Morton Ave in Downers Grove as our primary residence.. The purchase of our property included the vacant lot to the south with a small 8 x 8 shed that was falling over, rotting and in disrepair. The 8 x 8 shed has since been deconstructed and removed from the property. We are requesting a Special Use Permit to construct a new Accessory Structure/ Shed on the southeast portion of the vacant lot. This petition is similar to many other petitions previously approved by the Plan Commission for accessory structures on properties adjacent to the principle residence.

While we just moved our family here in 2023, Melissa was born and raised in Downers Grove. We love our neighborhood and community. We plan to maintain the aesthetics of the shed and the beauty of the property by adding landscaping to surround this new addition. The shed will primarily serve the purpose of providing covered, secure storage for yard and garden maintenance items. Additionally, the shed will provide storage for recreational items for our young family. The addition of this shed contributes to the general welfare of the neighborhood by allowing the garage of the principle residence to be used for the parking of vehicles.

We are appreciative of your time and consideration in this matter. We look forward to working with the Village Council and Plan Commission on this project and future home improvement projects.

Sincerely,

Evan and Melissa Richardson



Special Uses

Form #PC02

Review and Approval Criteria

Address of Project Site: _____

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.050.H. Approval Criteria (Special Uses)

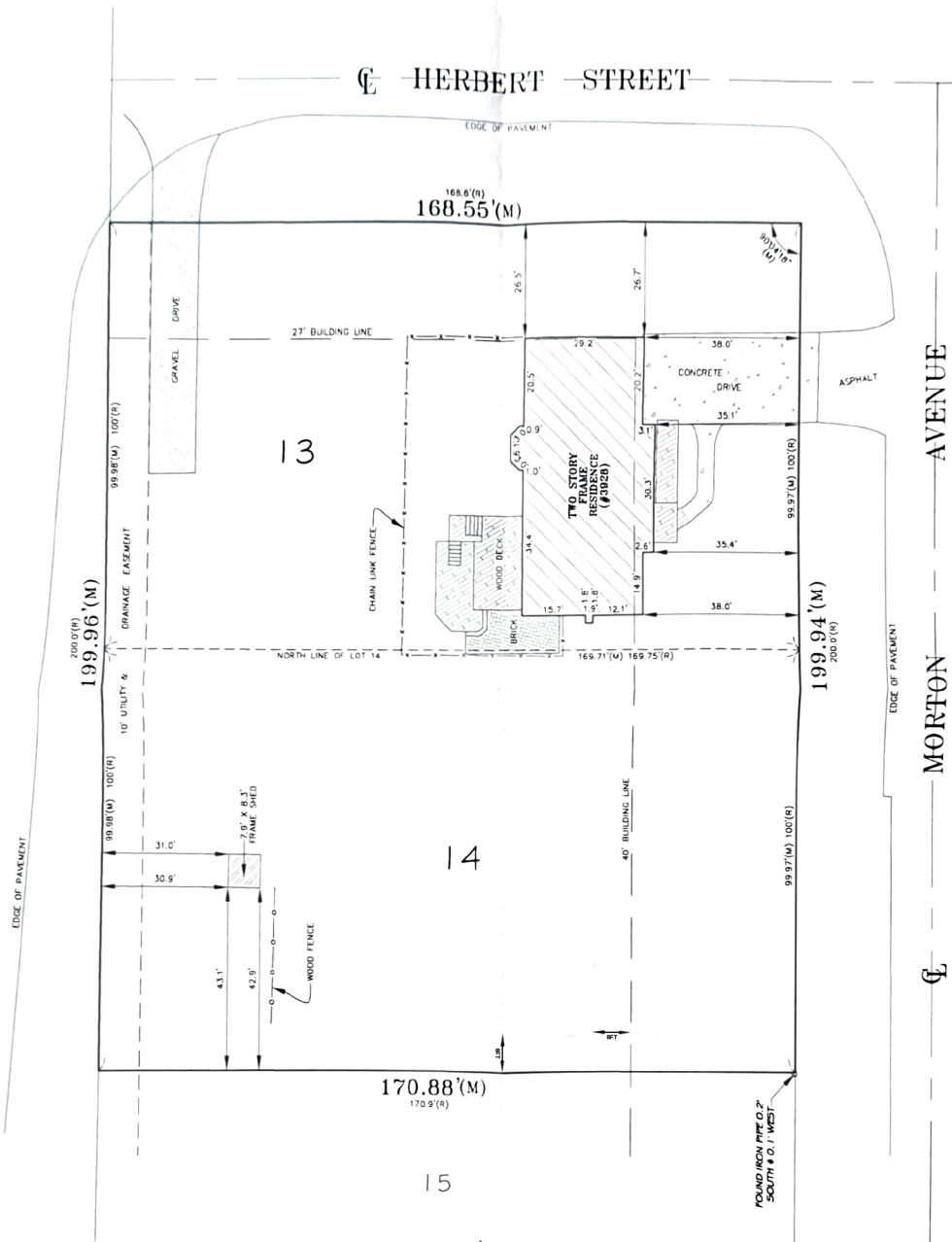
No special use may be recommended for approval or approved unless the respective review or decision making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located.
2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
3. That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.

PLAT OF SURVEY

OF

LOT 13 AND 14 IN BURLINGTON HIGHLANDS, BEING A SUBDIVISION OF PART OF SECTION 6, TOWNSHIP 30 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 26, 1953 AS DOCUMENT 693133, IN DUPAGE COUNTY, ILLINOIS.



LEGEND
 (R/M) - RECORD / MEASURED
 L - ARC LENGTH
 R - RADIUS
 CH - CHORD

AREA = 33,933 SQ. FT. MORE OR LESS

PREPARED FOR: CIESLA & PEARSE, P.C. (ATTORNEYS AT LAW)
 JOB ADDRESS: 3928 MORTON AVE., DOWNERS GROVE, IL
 SELLER/BUYER: HOUSE TRUST / RICHARDSON
 JOB NO.: 23-03-0048R

NEKOLA SURVEY, INC.
 PROFESSIONAL LAND SURVEYING SERVICES
 WWW.NEKOLASURVEY.COM
 400 N. SCHMIDT RD., STE. 203
 BOLINGBROOK, ILLINOIS 60440
 (630) 226-1530 PHONE (630) 226-1430 FAX
 DESIGN FIRM NO. 184.005564

NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT UNLESS FIELD MONUMENTATION OF



20 10 0 10 20
 SCALE: 1" = 20'



EASEMENT REVISED ON THE 3RD DAY OF APRIL, 2023.
 FIELD WORK COMPLETED ON THE 21ST DAY OF MARCH, 2023.
 (STATE OF ILLINOIS)
 (COUNTY OF WILL) SS

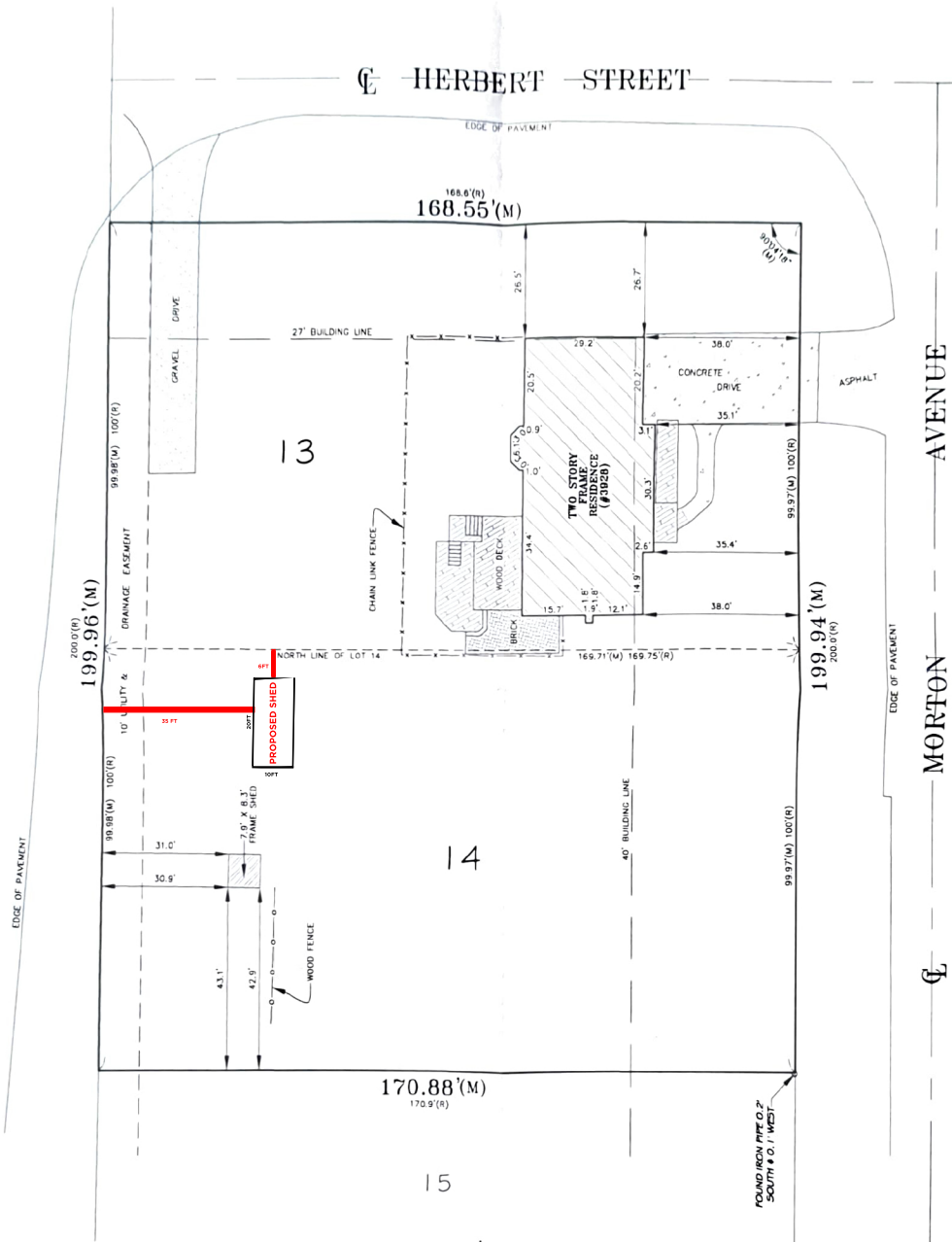
NEKOLA SURVEY INC. DOES HEREBY CERTIFY THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 2ND DAY OF APRIL, 2023.
Wayne W. Nekola

PLAT OF SURVEY

OF

LOT 13 AND 14 IN BURLINGTON HIGHLANDS, BEING A SUBDIVISION OF PART OF SECTION 6, TOWNSHIP 30 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 26, 1953 AS DOCUMENT 693133, IN DUPAGE COUNTY, ILLINOIS.



LEGEND
 (R/M) - RECORD / MEASURED
 L - ARC LENGTH
 R - RADIUS
 CH - CHORD

AREA = 33,933 SQ. FT. MORE OR LESS

PREPARED FOR: CIESLA & PEARSE, P.C. (ATTORNEYS AT LAW)
 JOB ADDRESS: 3928 MORTON AVE., DOWNERS GROVE, IL
 SELLER/BUYER: HOUSE TRUST / RICHARDSON
 JOB NO.: 23-03-0048R

NEKOLA SURVEY, INC.
 PROFESSIONAL LAND SURVEYING SERVICES
 WWW.NEKOLASURVEY.COM
 400 N. SCHMIDT RD., STE. 203
 BOLINGBROOK, ILLINOIS 60440
 (630) 226-1530 PHONE (630) 226-1430 FAX
 DESIGN FIRM NO. 184.005564

NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT UNLESS FIELD MONUMENTATION OF



EASEMENT REVISED ON THE 3RD DAY OF APRIL, 2023.
 FIELD WORK COMPLETED ON THE 21ST DAY OF MARCH, 2023.
 (STATE OF ILLINOIS)
 (COUNTY OF WILL) SS

NEKOLA SURVEY INC. DOES HEREBY CERTIFY THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 2ND DAY OF APRIL, 2023.
Wayne W. Nekola



Garden Shed - 10x20



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
MAY 6, 2024 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
24-PCE-0010 3300 Finley Road	PUD Amendment	Flora León, AICP Senior Planner

REQUEST

The petitioner is requesting approval of a Planned Unit Development amendment to Planned Unit Development #57, 3300 Finley Road to add College or University as an allowed use and an amendment to the master signage plan to establish a new companion animal clinic and teaching university.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

PETITIONER: DWL Architects (c/o: Brad Swank)
545 Metro PL S. Suite 450
Dublin, OH 43017

OWNER: Midwestern University (c/o: Kevin McCormick)
555 31st Street
Downers Grove, IL 60515

PROPERTY INFORMATION

EXISTING ZONING: B-3/P.D. #57, General Services and Highway Business/Planned Unit Development #57

EXISTING LAND USE: Vacant Commercial

PROPERTY SIZE: 703,709 square feet (16.15 acres)

PIN: 06-31-101-017

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
East:	O-R-M, Office-Research-Manufacturing	Office Corporate Campus
WEST:	O-R-M, Office-Research-Manufacturing/PD #31 R-1, Residential Detached House 1	Office Corporate Campus Park and Open Space
NORTH:	B-3, General Services and Highway Business/ PD #40	Regional Commercial
SOUTH:	Tollway Right-of-Way	N/A

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Location Map
2. Plat of Survey
3. Project Narrative
4. Approval Criteria
5. Engineering Plans
6. Landscape Plans
7. Architectural Plans
8. Master Sign Plan
9. Renderings
10. Photometric Plan
11. Traffic Narrative
12. Site Data Summary

PROJECT DESCRIPTION

The petitioner, Midwestern University (“Midwestern”), is requesting approval of a Planned Unit Development amendment to Planned Unit Development #57 in order to allow the establishment of a new companion animal clinic and teaching university. In order to facilitate the proposal, the petitioner is requesting adding the following use in the PUD: *College or University* and an amendment to the master signage plan for the subject property.

The 16.15 acre property, which is zoned B-3/P.D. #57, General Services and Highway Business/Planned Unit Development #57 is located on the southwest corner of Finley Road and Opus Place, east of I-355, commonly known as 3300 Finley Road. PUD #57 was approved in 2016 for the purposes of establishing a master signage plan for Fry’s Electronics Store, which closed in 2020. Access to the subject property is via a shared access with X-Sport Fitness at Opus Place and Finley Road and a right-in/right-out entrance at Finley Road and further north

The underlying zoning district of the Planned Unit Development is B-3, General Services and Highway Business. This zoning district does not list *College or University* as Permitted or a Special Use in the B-3 District. The petitioner is requesting the allowance of this additional use to accommodate their growing programs, as stated in their submitted narrative and findings. This petition also includes a request to update the master signage plan previously approved in 2016, this is further discussed below under “Signage.”

The new companion animal clinic and teaching university will include the renovation of the existing 152,080 square foot structure along with a 1,655 square foot addition. Improvements to both the interior and exterior will include:

- Teaching Spaces: Classrooms, multi-purpose learning rooms, and teaching/research laboratories.
- Animal Care Spaces: Exam rooms, surgery suites, ICU/emergency room spaces, and full radiology suite.
- Outdoor Spaces: Bereavement garden, a central animal and pedestrian walking area, and the addition of parking islands throughout the site.
- Screened Operational Area: Mechanical equipment, deliveries, and a trash enclosure area.

The existing building will also receive a new façade treatment. The existing precast concrete panels will be stained. New building materials will be primarily concreted masonry units (CMU) clad with brick facing, aluminum composite materials (ACM) panels, and aluminum framed windows. A metal canopy and aluminum storefront doors will be used to identify the building’s main entrance. The massing of each elevation will be broken up with the addition of new brick face columns and precast stone at the base.

COMPLIANCE WITH ZONING ORDINANCE

The property is a Planned Unit Development and is zoned B-3/PUD, General Service and Highway Business/Planned Unit Development #57. This zoning district does not currently permit a *College or University* use. An amendment to PUD #57 is requested per Section 28.4.030(g) which states the following:

(g) Allowed Uses. The uses to be allowed in a PUD must be identified as part of the PUD approval process along with all applicable conditions or supplemental use regulations that apply to such uses. Unless otherwise expressly stated, the Village Council may, through the PUD approval process, approve use types that are not allowed in the underlying zoning district as a means of accommodating mixed-use developments, housing diversity, economic development opportunities and promoting other Village policies.

As part of the Planned Unit Development request the petitioner will also update the site plan. The proposed improvements will meet the requirements of the Planned Unit Development and complies with the Zoning Ordinance as shown in the following table:

Table 1: Zoning Requirements, Overall PUD

	Required	Proposed
PUD Site Area	N/A	703,709 sq. ft.
Floor Area Ratio	0.75 (max)	0.22
Building Height	60 ft. (max)	47 ft.
Building Coverage	N/A	153,765 sq. ft.
Open Space	70,371 sq. ft. (10% of 703,709 sq. ft.)	204,086 sq. ft. (29% of 703,709 sq. ft.)
Parking Spaces	541 (Students = 150 @75% = 112.5 Clinic Space = (122,304/1,000) x 3.5)	598

Further discussed below, it should be noted that the proposal will see an overall area increase to green space through the addition of parking islands and the creation of a centralized green space. The open space area for the site will increase by 6,651 square feet.

SIGNAGE

Signage within the Planned Unit Development #57 is governed by a master signage plan that allows for a maximum sign area of 915 square feet, and an additional 273 square feet of permitted signage for a tollway monument sign and the shared Finley Road monument sign with X-Sport. An amendment to the PUD master signage plan is requested to construct a new centrally located monument sign that does not face a drivable right-of-way. This sign will be located along the north entrance and will be adjacent to what is identified as the central park that will be used for dog walking and pedestrian connections to the public sidewalk.

The petitioner is proposing the following signs which do not exceed the maximum allowable sign area of 915 square feet:

Table 2: Sign Package

Sign Type	Area	Height	Location
Wall Sign (North)	144 sq. ft.	N/A	North façade
Wall Sign (South)	330 sq. ft.	N/A	South façade
Wall Sign (West)	330 sq. ft.	N/A	West façade
Finley Road Monument Sign	48 sq ft	12 feet	Finley Road
Monument Sign	44 sq. ft.	6 feet	Central Park
Total	896 sq. ft.		

In addition to the 915 square feet allowable signage, the original sign package approval allows for a tollway monument sign and a shared monument sign approved through PD #40. The petitioner is not proposing a tollway monument sign but will be installing signage on the shared Finley Road monument sign with X-sport. A summary of the additionally proposed signage is provided below:

Table 2: Additional Permitted Signs

Type	Area	Sign Location
Shared Monument Sign	24 sq. ft.	Shared Monument Sign with X-Sport Fitness
Total	24 sq. ft.	

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Future Land Use Plan designates the site as Regional Commercial in the Comprehensive Plan. Regional Commercial comprises commercial uses that provide goods and services that draw patrons from within, and beyond, the Village. The Land Use Plan designates areas for regional commercial where excellent visibility and access provide the ability to draw from a regional customer base.

The Butterfield Focus Area Plan calls for

- Leverage the unique location of this focus area adjacent to two highways to attract new retail and office tenants.
- Reduce the heat island effect through a combination of providing shade on-site and using light colored building and paving materials.
- Development and redevelopment should be focused on attracting a regional customer base as well as providing services, retail, and entertainment to the substantial daytime population in the area

The Comprehensive Plan further states that the Regional Commercial land use

- Should continue to stay competitive and draw from the surrounding region, reinvestment should occur to improve the aesthetics and function of regional commercial uses.

The Comprehensive Plan also notes the following:

- Recognize, support, and encourage the catalytic role of new campuses and buildings of higher education in appropriate locations within the Village.

- Reinvestment should occur in the Finley Road/Butterfield Road area to improve the aesthetics and function of regional commercial uses.
- A policy of the Commercial Areas Plan is to strengthen the economy by creating more local jobs.
- Continue to support the operation of other important community service providers, including Midwestern University, Good Samaritan Hospital, and others and maintain positive and mutually beneficial relationships with each organization.

The proposed development is consistent with the Comprehensive Plan.

ENGINEERING/PUBLIC IMPROVEMENTS

The existing utilities servicing the building are sufficient for the proposed renovation and small addition to the existing building. The Downers Grove Sanitary District has provided conceptual approval of the proposal. The site includes an existing stormwater detention area. The overall area dedicated to green space will increase due to a reduction in parking, the addition of parking islands, and creation of a centralized green space. The open space for the site will increase by 6,651 square feet; as such additional stormwater management provisions for detention and Post Construction Best Management Practices (PCBMPs) are not required. All improvements will comply with the Village's Stormwater Ordinance and will be reviewed by the Village at the time of building permit review.

Two pedestrian connections will lead out toward the public sidewalk on Finley Road and also allow for connections toward the proposed centralized pedestrian connection and dog park area. As a condition of approval, a third connection, heading west towards the adjacent X-Sport Fitness gym, should be considered with the property owner of 3200 Finley Road. Lastly, the petitioner will also provide 25 bicycle parking spaces in the development.

TRAFFIC AND PARKING

A traffic narrative for the proposed development was completed by the petitioner. The study examined the existing and future traffic conditions based on the proposed development. The proposed development will typically operate Monday through Friday from 7:00A.M. to 4:30P.M. The study estimates a total of 73 employees and 150 students are expected to attend the companion animal clinic. The existing site currently includes a total of 826 parking spaces. The petitioner will be removing 228 parking spaces which will be converted to additional green space, a bereavement garden and dog run. After the removal of the 228 parking spaces, the development will provide 598 parking spaces where 541 are required. As such, the proposed development meets the required parking regulations.

Access to the site will continue to be provided from the east along Finley Road. The site shares a signalized access drive with X-Sport Fitness to the north at Opus Place and Finley Road. This intersection also includes a signalized pedestrian crossing. Additionally, the site has its own right-in and right-out access located approximately 230 feet south of the Opus Place and Finley Road intersection. The area roadway system was found to have sufficient reserve capacity to accommodate the traffic

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division reviewed the proposed development and determined that sufficient access to and around the site is provided for emergency vehicles. The loop around the buildings provides sufficient access around the property as needed. A condition of approval has been added to this request that will require the petitioner to provide a recorded agreement to remove the Enforcement of Fire Lane Restrictions on Private Property prior to the issuance of a commercial occupancy permit. The restriction is no longer necessary due to the proposed improvements.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property in addition to posting public hearing notice signs and publishing the legal notice in the *Daily Herald*. Staff has not received any comments from the public.

STANDARDS OF APPROVAL

The petitioner is requesting approval of a final Planned Unit Development Amendment to Planned Unit Development #57. The review and approval criterion for each request is listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Plan Commission should consider the petitioner's documentation, the staff report and the discussion at the Plan Commission meeting in determining whether the standards for approval have been met.

Section 28.12.040.C.6 Review and Approval Criteria

The decision to amend the zoning map to approve a PUD development plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

- a. The zoning map amendment review and approval criteria of Sec. 12.030.I, in the case of new Planned Unit Development proposals (not applicable).*
- b. Whether the proposed PUD development plan and map amendment would be consistent with the comprehensive plan and any other adopted plans for the subject area.*
- c. Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.*
- d. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.*
- e. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.*

DRAFT MOTION

Staff will provide a recommendation at the May 6, 2024 meeting. Should the Plan Commission find that the request meets the standards of approval for a Planned Unit Development Amendment, staff has prepared a draft motion that the Plan Commission may make for the recommended approval of 24-PCE-0010:

Based on the petitioner's submittal, the staff report and the testimony presented, I find that the petitioner has met the standards of approval for a Planned Unit Development #57 Amendment as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 24-PCE-0010, subject to the following conditions:

1. The Planned Unit Development Amendment shall substantially conform to the staff report; and architectural, engineering, landscape, photometric plan prepared by DWL Architects submitted on 03/29/24 last revised 04/26/24, except as such plans may be modified to conform to the Village codes and ordinances.
2. The care of animals defined as 'Animals, Farm' in Municipal Code section 28.25.040, shall be prohibited.
3. A recorded agreement to remove the Enforcement of Fire Lane Restrictions on Private Property as detailed in R1998-216635 shall be required prior to commercial occupancy issuance.
4. Using the existing Ingress and Egress Easement for Vehicular and Pedestrian Traffic Over

Common Area (R2005-1592905), consider with the property owner of 3200 Finley Road options to allow a pedestrian connection between both properties. At a minimum, a pedestrian connection will need to extend west on the subject property to allow connection to the property to the north.

Staff Report Approved By:

A handwritten signature in black ink, appearing to read "Stanley J. Popovich", written over a horizontal line.

Stanley J. Popovich, AICP
Director of Community Development

SP:fl
-att



KATHLEEN H. GOEPPINGER, PH.D.
PRESIDENT & CHIEF EXECUTIVE OFFICER

April 19, 2024

Mr. Stan Popovich
Downers Grove Community Development
801 Burlington Avenue
Downers Grove, IL 60515

Re: Preliminary Planning Development Submission for the Midwestern University
Companion Animal Clinic

Dear Downers Grove Plan Commission:

As President and Chief Executive Officer of Midwestern University, I am pleased to submit this request to renovate the existing structure located at 3300 Finley Road into a new Companion Animal Clinic to support the mission of the University.

To facilitate the Plan Commission's review of the proposed renovation, we have included the required drawings and documentation for Preliminary Planning Development, as well as the Petition for the Plan Commission.

Project Description and Overview of Midwestern University

Midwestern University is proud of its relationship with the Downers Grove Community and appreciates the support we continue to receive for our growth and development as a leading institution in healthcare education. Since its founding in 1900 in Hyde Park, Illinois, and our move to Downers Grove, Illinois in 1985, Midwestern University has developed and maintains an outstanding reputation for educating skillful, compassionate healthcare professionals who learn and embrace the philosophy of a patient-centered approach to treatment and care, and who are ready to address the needs of patients in the State of Illinois and beyond. We are very proud of our Downers Grove academic and clinic campuses and are very supportive of our local community.

Midwestern University is a private, not-for-profit graduate university that offers degrees in the health sciences on two campuses, in a team-oriented environment with dedicated and caring faculty and staff who are focused on teaching, research, and patient care. Midwestern University has over 6,000 students, and there are approximately 3,000 full-time students on the Downers Grove Campus, which has buildings that include didactic classrooms, state-of-the-art laboratory spaces, a library, and student housing. In addition, the University offers comprehensive patient care at its clinics near both campuses, including a

Dental Institute, a Family Medicine Practice, a Speech-Language Institute, a Physical Therapy Institute, and an Eye Institute.

Throughout the first two years of their education, students in all of our colleges at the Downers Grove Campus (Chicago College of Osteopathic Medicine, College of Health Sciences, College of Pharmacy-Downers Grove, College of Dental Medicine-Illinois, Chicago College of Optometry, College of Graduate Studies, and the College of Veterinary Medicine) attend on-campus lectures and laboratory sessions, and then complete clinical experiences in hospitals, clinics, pharmacies, and specialty rotations throughout the Midwest and other geographic regions.

Currently, our campus is endeavoring to provide updated facilities for our students and to accommodate our growing programs. The Companion Animal Clinic will provide teaching spaces such as classrooms, multi-purpose learning rooms, teaching and research laboratories, as well as animal care spaces including exam rooms, surgery suites, ICU and emergency room spaces, and a full radiology suite. The new facility will serve the entire community and their small animals' healthcare needs. It is both visible and accessible to the public, and it is our intention to make this renovated project reflect the quality of our programs.

The new Companion Animal Clinic will be located within the existing structure located at 3300 Finley Road and receive a new façade treatment for the building, as well as a total interior build-out area of 152,080 gross square feet (GSF) as a teaching clinic for the public. The use groups for the Companion Animal Clinic will consist of B (Office, Lab, Exam, etc.), with some A3 (Classrooms) and S2 (ancillary storage and mechanical rooms).

Midwestern University anticipates a large community benefit will be derived from this new facility. As a comparison, we have a similar teaching clinic on the Glendale, Arizona campus that handled 14,060 patient visits this past year. Midwestern University will be filling a great need for affordable companion animal health care. These clinic services will help the overall health of the community and become an important part of the reputation and services offered in Downers Grove, as well as receive recognition throughout the Chicagoland area. The University continues to invest its resources and is proud to be a great attractor for the economic development of both the Village of Downers Grove and the corporate community near its clinical campus.

Compliance with Future Land Use Plan

Total site for Planned Development #57 consists of 702,884 sq. ft. Including the proposed renovated facility, the amended overall site totals are as follows:

- Built-up Footprint: 153,735sq. ft.
- Paved Area: 334,601 sq. ft.
- Landscaped Open Areas: 204,086 sq. ft.
- Water Elements: 10,462 sq. ft.

These areas result in a Total Open Space (Landscape and Water) of 30.5%, which is well above the 20% noted in Article XVI Section 28-1612 of the Zoning Ordinance.

Compliance with the Zoning Ordinance for Planned Development #57 is regulated under Article 28 of the zoning ordinance. The parcel is currently zoned B-3, General Services and Highway Business. Section 28.5.010, in Article 28.V, of the Zoning Ordinance lists permitted Animal Services uses within a B-3 district; however, Midwestern University would like to request a PUD Amendment to add College or University as a permitted use within PD #57.

Traffic and Parking Concerns

As proposed, the clinic will fully build-out the existing facility. The usable space, storage and mechanical areas excluded, totals 130,761 sf. Classroom space occupies 8,457 sf of this space, while the remaining 122,304 sf is dedicated to veterinary clinic use.

The proposed site improvements will remove several parking spaces, resulting in a total of 598 parking spaces, including 12 handicapped spaces. We have provided a traffic narrative as a basis for ongoing discussion of development of an appropriate PUD parking ratio for the development. In addition, we believe that the existing site access is sufficient to accommodate the proposed traffic by the facility and no improvements exterior to the site are required.

Public Safety Requirements

The proposed facility already meets the height, area, and story requirements of the Downers Grove Building Code and will not be revised to be outside these requirements. The University will request a permit for a Mixed-Use B-Business facility with potentially some special use area. Appropriate egress, safety, and emergency requirements are planned.

Engineering/Public Improvements

Adequate public utility mains (water, sanitary, and storm sewers) are in place or located within the development and will be extended to the renovated facility as needed. Additional fire hydrants within 100 feet of the building fire department connections will be completed if necessary. Previously permitted stormwater detention is available to serve the site. It is understood that due to the net decrease in impervious area, additional stormwater management provisions of detention and PCBMPs are not required.

Access to the site will continue to be provided from the east along Finley Road. The existing access drives will be utilized for permanent and construction site access. Entrance monument signage in compliance with the previous PD #57 standards will be used to designate the entrance and directional signage to aid in the routing of trucks and cars to maintain a safe traffic flow. Adequate site lighting will be provided for the access road, entrance, and parking facilities.

The stormwater pollution prevention plan will be designed to protect and preserve the adjacent naturalized stormwater detention basin during construction and facility operations. Landscaping will be added around the building to add to the aesthetic appearance of the building and its relation to the surrounding environment and to maintain a high quality of visual appeal. A new green space within the existing parking lot will enhance the visual appeal of the site and work as a park that can be used by visitors and staff alike.

*Downers Grove Plan Commission
Re: Midwestern University New Companion Animal Clinic*

*April 19, 2024
Page 4 of 4*

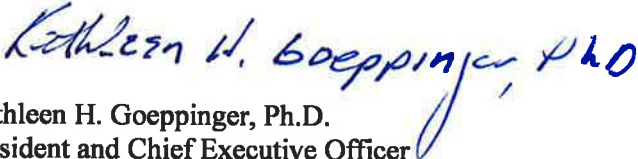
Anticipated Easement Revisions

Additional easements will be provided for electric and gas utilities if required by the respective agencies. Stormwater easements are proposed to be modified to reflect final connections to the new structures.

As on prior projects, we greatly appreciate the time and effort the Village of Downers Grove officials and staff spent reviewing all Preliminary Planning Development submissions.

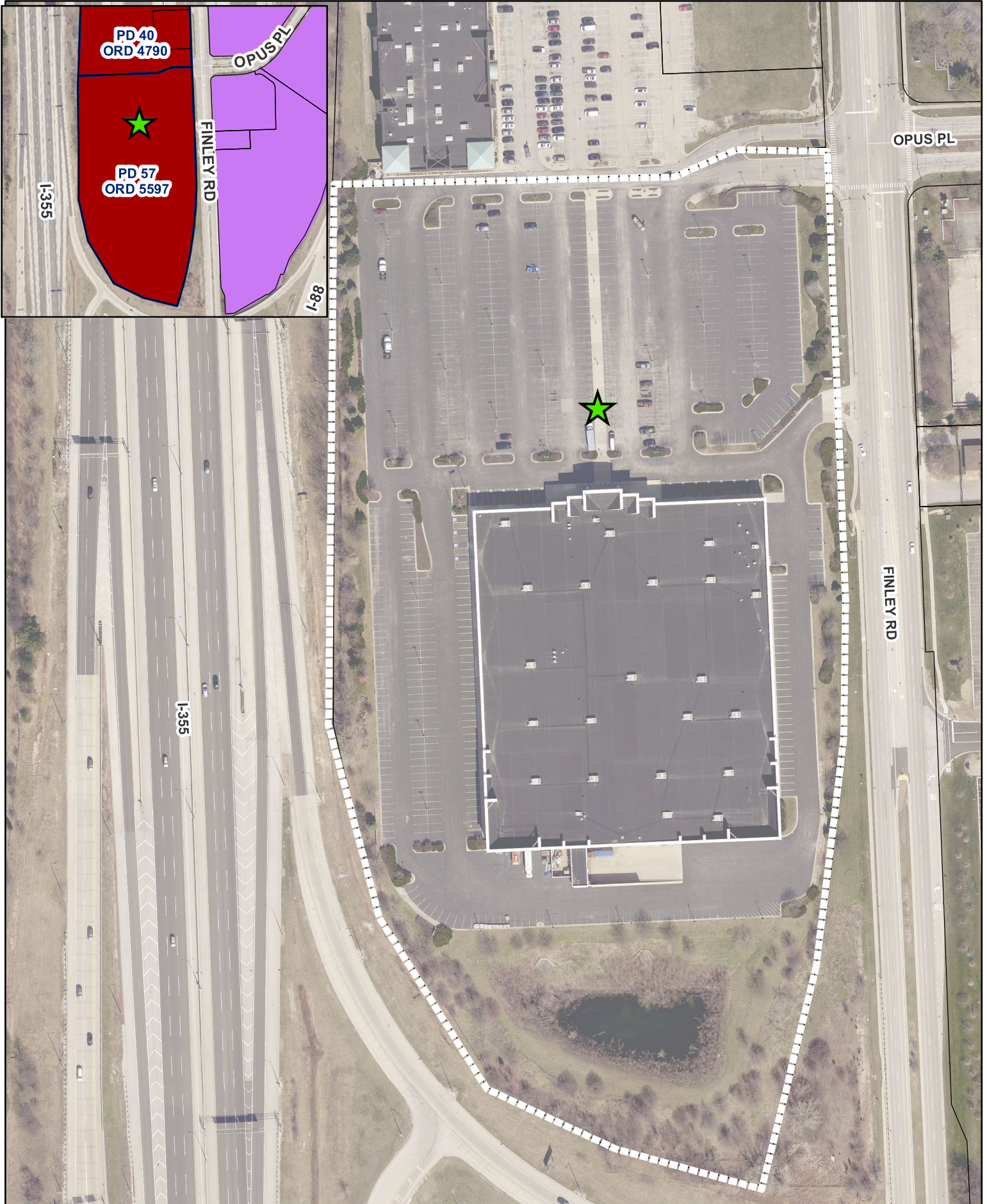
Please do not hesitate to call (623) 572-3490 with any questions you might have about the proposed projects or the attached documents.

Sincerely,


Kathleen H. Goepfinger, Ph.D.
President and Chief Executive Officer

Enclosures

KHG/mak



PD 40
ORD 4790

PD 57
ORD 5597

OPUS PL

FINLEY RD

I-355

88-1

OPUS PL



FINLEY RD

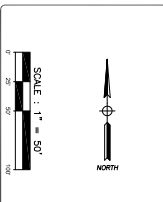
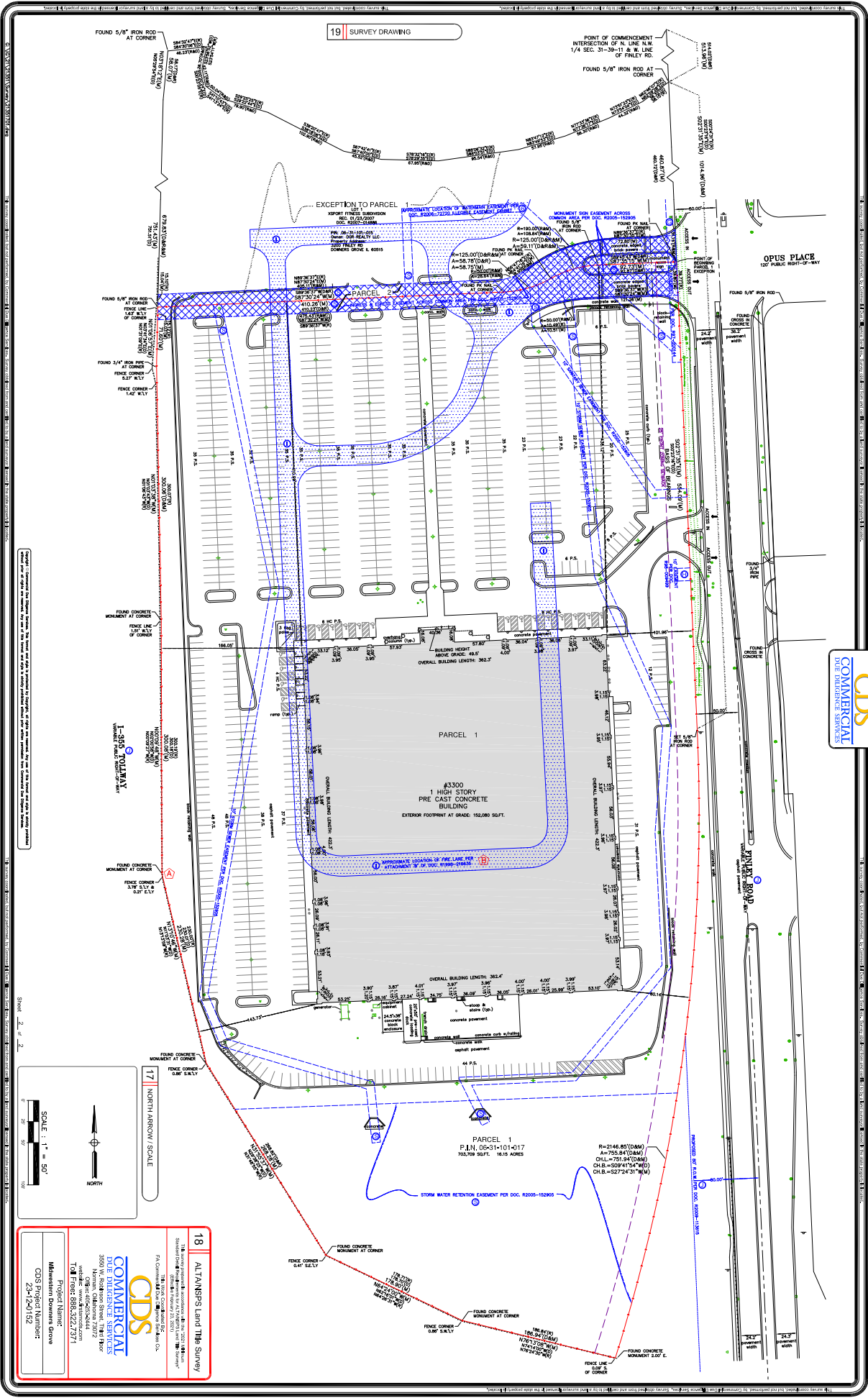
I-355



0 250 500 1,000
Feet

3300 Finley Road - Location Map

 Subject Property
 Project Location



18 ALTAMPS LAND TRIP SURVEY

1815 North Highway 101, Suite 100, Altamont, IL 61811
 618-244-1111
 www.cdscommercial.com

CDS COMMERCIAL SURVEYING SERVICES

Project Name:
 Midwestern Downs Grove
 CDS Project Number:
 ZC-124152

17 | NORTH ARROW / SCALE



Planned Unit Development

Form #PC01

Review and Approval Criteria

Address of Project Site: 3300 Finley Rd, Downers Grove, IL 60515

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.040.C.6. Review and Approval Criteria (Planned Unit Development)

The decision to amend the zoning map to approve a PUD plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision making bodies must consider at least the following factors:

1. The zoning map amendment review and approval criteria of Sec. 12.030.I.
See the analysis of zoning map amendment review and approval criteria in separate document.

We are requesting the addition of "College or University" as a permitted use.

2. Whether the proposed PUD plan and map amendment would be consistent with the Comprehensive Plan and any other adopted plans for the subject area.

This amendment would keep the site consistent with the Comprehensive Plan as use group E



3. Whether PUD plan complies with the PUD overlay district provisions of Sec. 4.030.

This development is consistent with the comprehensive plan, provides a public facility and se



4. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.

The Companion Animal Clinic will reduce the square footage of impermeable surfaces, reduc



5. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

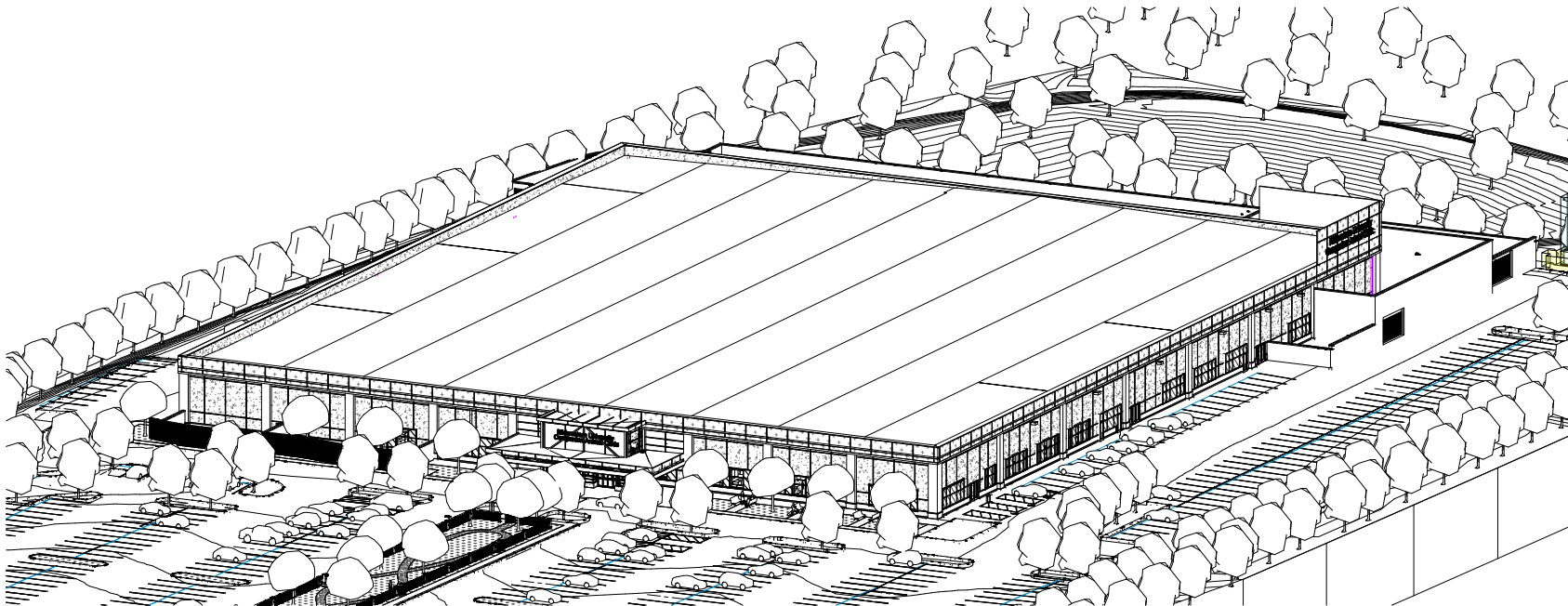
Yes.

04/26/2024

PUD SUBMITTAL

MIDWESTERN UNIVERSITY VETERINARY CLINIC

DOWNERS GROVE, ILLINOIS



DWL PROJECT NO. 2253.00



REVISIONS

No.	Description	Date

REV:

SITE PLAN

PROJECT NUMBER	
A021	
DESIGNED BY	ES/LH
DATE	4/26/24
SCALE	AS SHOWN
PROJECT NUMBER	2253.00

TOTAL PARKING SPACES:

EXISTING PARKING = 826 SPACES (808 REGULAR / 18 HANDICAPPED SPACES)
 REQUIRED PARKING = 541 REQUIRED
 2% HANDICAPPED SPACES = 11 REQUIRED
 PROVIDED PARKING = 598 (585 REGULAR / 13 HANDICAPPED SPACES)
 7 BIKE RACKS PROVIDED, EACH HOLDS 4 = 28 BIKE PARKING SPACES

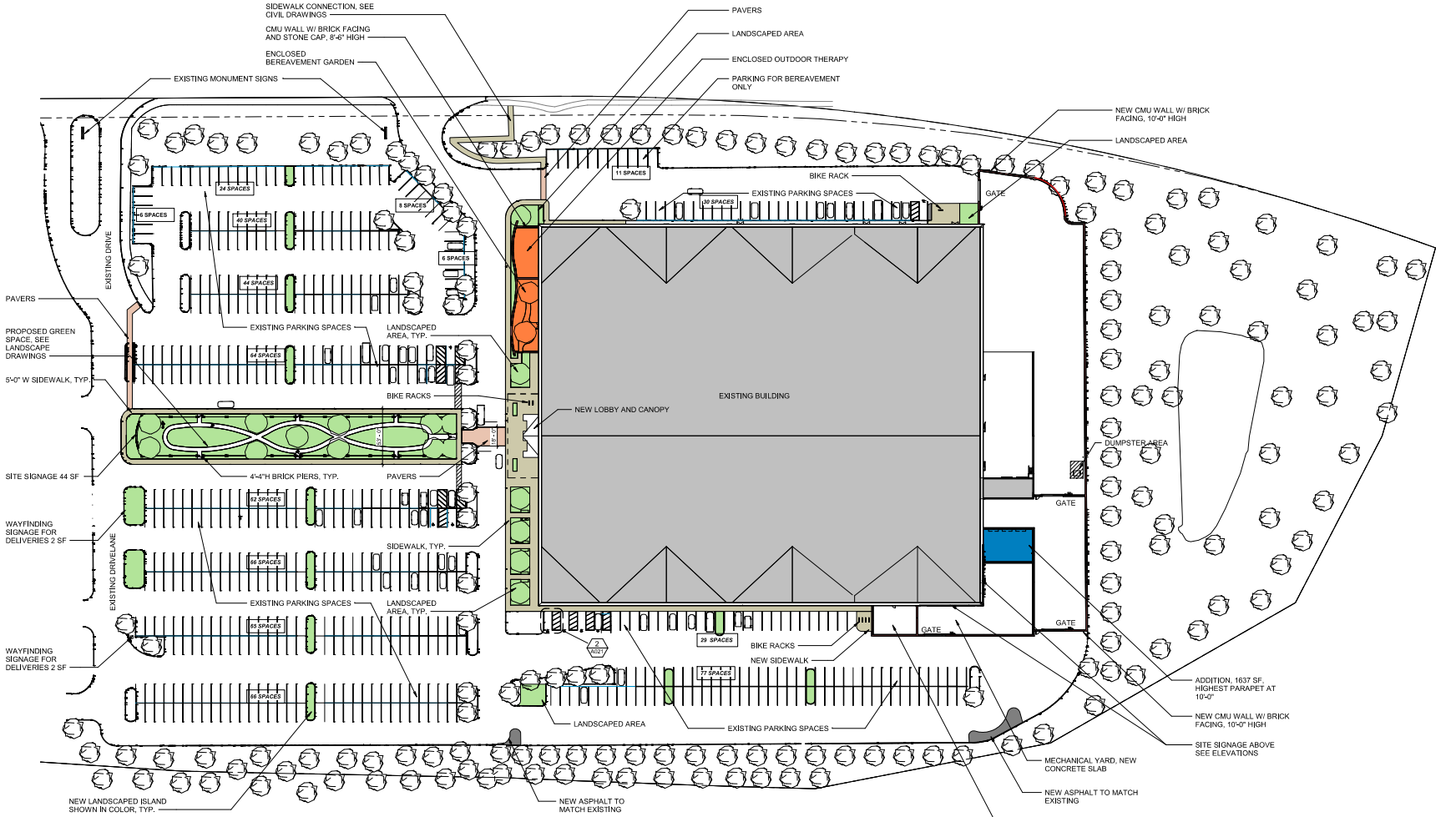
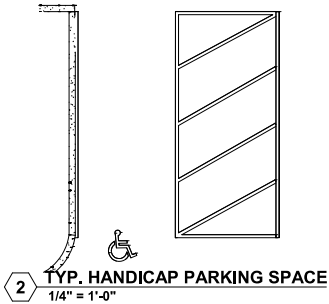
NOTES:

1) SPACE COUNT CHANGES SHOWN IN *ITALIC AND BOLD*.

ZONING ANALYSIS TABLE

PROJECT NAME	MMU COMPANION ANIMAL CLINIC			
ADDRESS	3300 FINLEY RD, DOWNERS GROVE, IL 60515			
PIN	631101017			
ZONING DISTRICT	B-3			
EXISTING USE	B			
PROPOSED USE	PLANNED UNIT DEVELOPMENT			
PETITION TYPE	PUD AMENDMENT TO ADD 'COLLEGE OR UNIVERSITY AS PERMITTED USE IN PD57			
DEVIATIONS				
Requirement	Factor	Required	Proposed/Existing	Meets Req.? Difference
Lot Area	Minimum	16.15 Ac (703,709 sf)	16.15 Ac (703,709 sf)	Yes -
Street Yard	Minimum	25'	101.39'	Yes -
Rear Yard	Minimum	-	143.73' / 166.05'	Yes -
Side Yard	Minimum	-	143.73' / 88.14'	Yes -
Height	Maximum	60'	47'	Yes -13'
Open Space	Maximum	10% (70,371 sf)	29% (204,086 SF)	Yes 133,715 sf
FAR (digital area)	Maximum	0.75 (936,279 sf)	0.22	Yes 0.53

Parking calculation:
 Students = 150 @ 75% = 112.5
 Clinic Space: (122,304 / 1,000) x 3.5 = 428.064
 Total = 540.5 = 541 spaces required



SITE PLAN
1" = 40'-0"



REVISIONS

No.	Description	Date

REV: _____
DATE: _____

FLOOR PLAN - MAIN LEVEL
A190
DRAWN BY: ESL/H
DATE: 4/26/24
CHECKED BY: BS
PROJECT NUMBER: 2253.00

FLOOR PLAN NOTES

- CONTROL DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
- CENTERLINE OF GRID AT COLUMNS
- FACE OF MASONRY AT CMU WALLS
- FACE OF FINISH AT EXTERIOR SIDE OF EXTERIOR WALLS
- FACE OF STUD AT INTERIOR SIDE OF EXTERIOR WALLS
- CENTERLINE OF WALL AT INTERIOR STUD WALLS
- DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALLS OR OFFSET WITH 4" CLEAR BETWEEN EDGE OF DOOR AND FACE OF PERPENDICULAR STUD WALL.
- FOR ACOUSTIC AND PRIVACY PURPOSES, ALL INTERIOR PARTITION WALLS AND INSULATION INCLUDING PLUMBING CHASES SHALL EXTEND TO UNDERSIDE OF DECK ABOVE UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND

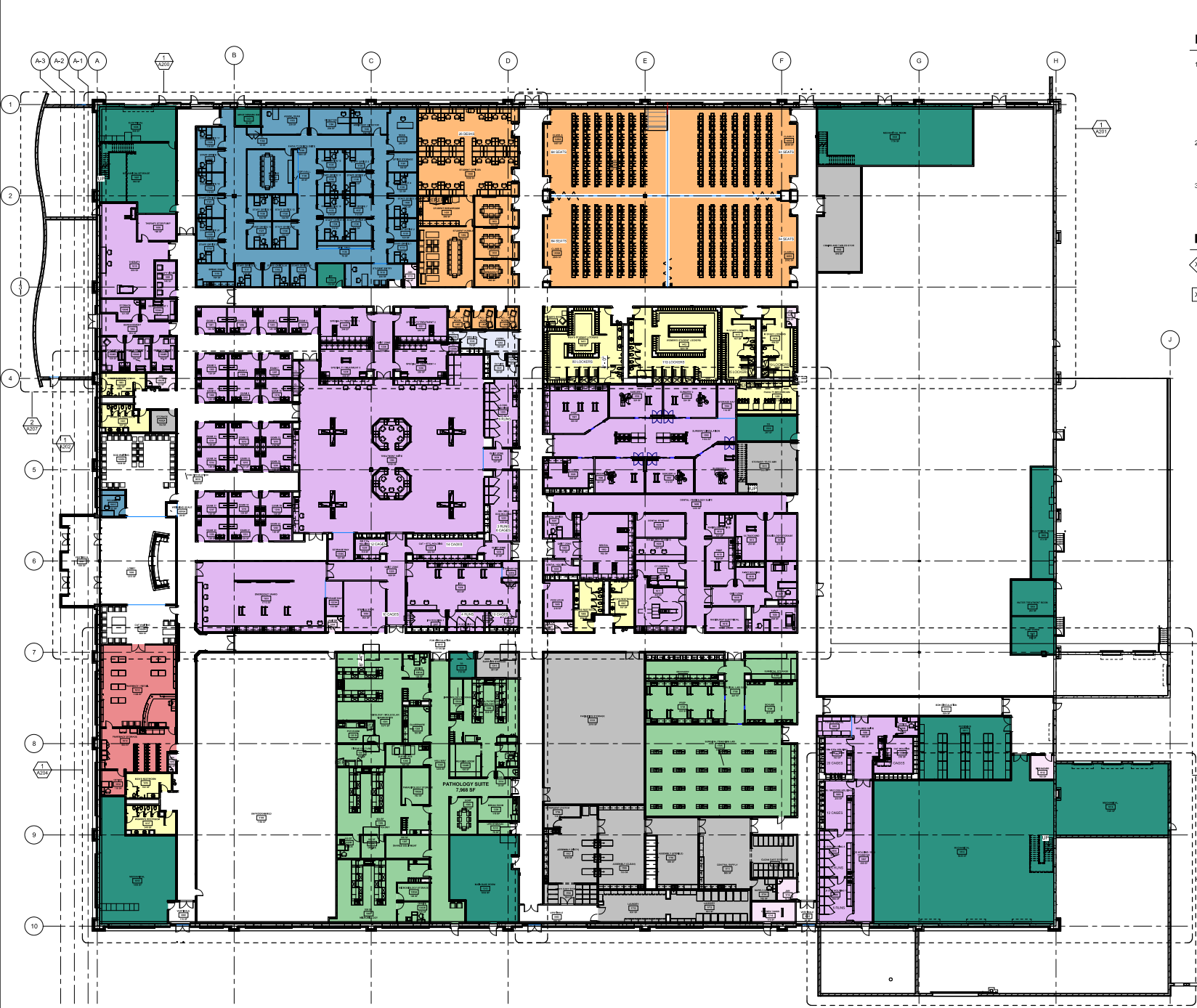
- XX DENOTES FLOOR, ROOF, CEILING OR WALL TYPE. REFER TO SHEET A240'S FOR ADDITIONAL INFORMATION.
- XX DENOTES WINDOW OR OPENING TYPE. SEE A701, A702 AND A703 FOR OPENING TYPES AND SCHEDULE.

Department

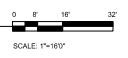
- CIRCULATION/UNPROGRAMMED
- CLASSROOMS/BREAKOUT
- COMMON SPACE
- ISOLATION
- LAB
- MECHANICAL
- OFFICES
- PHARMACY
- STERILIZATION/STORAGE
- TREATMENT/ICU
- UTILITY AND SUPPORT SPACES

KEYNOTE LEGEND

- 1 200'
- 1 200'
- 1 200'



MAIN LEVEL FLOOR PLAN
1/16" = 1'-0"





REVISIONS

No.	Description	Date

NO. 1000000000
DATE: 04/26/2024
BY: [Signature]

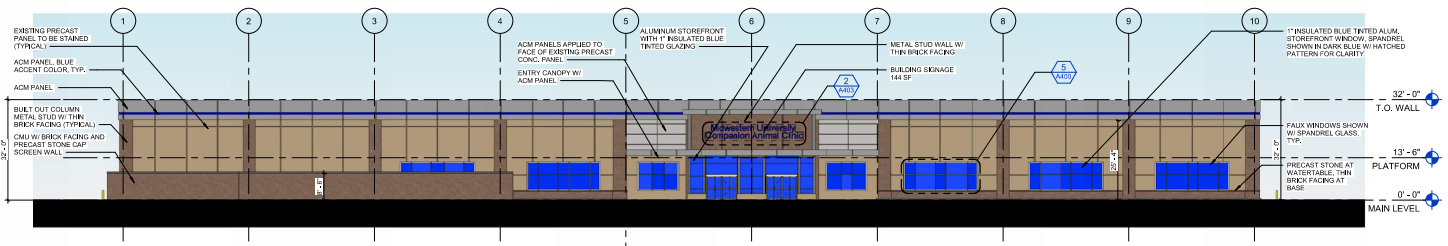
BUILDING ELEVATIONS

PROJECT NUMBER: **A400**

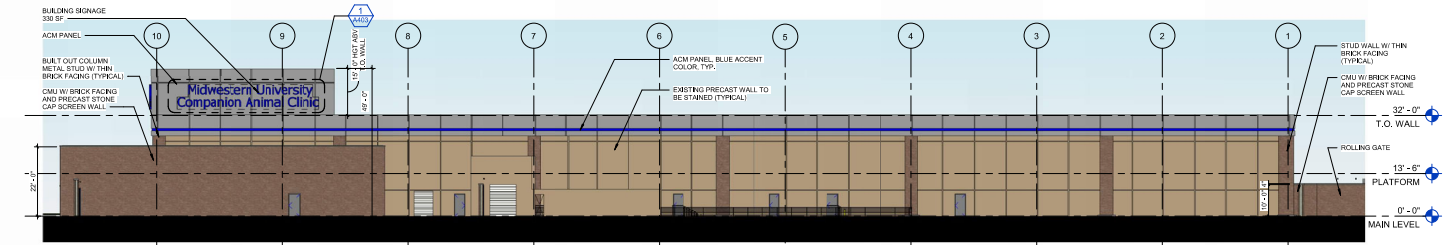
DESIGNED BY: ES/LH	ARCHITECT: BS
DATE: 4/26/24	PROJECT NUMBER: 2253.00

GENERAL NOTES

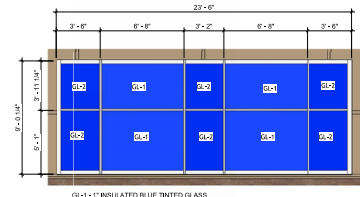
- ALL EXISTING EIFS TO BE REMOVED FROM THE EXTERIOR ELEVATIONS, INCLUDING CORNICES.
- THE BLUE STRIPE THROUGH THE ACM CORNICE IS NOT ILLUMINATED.



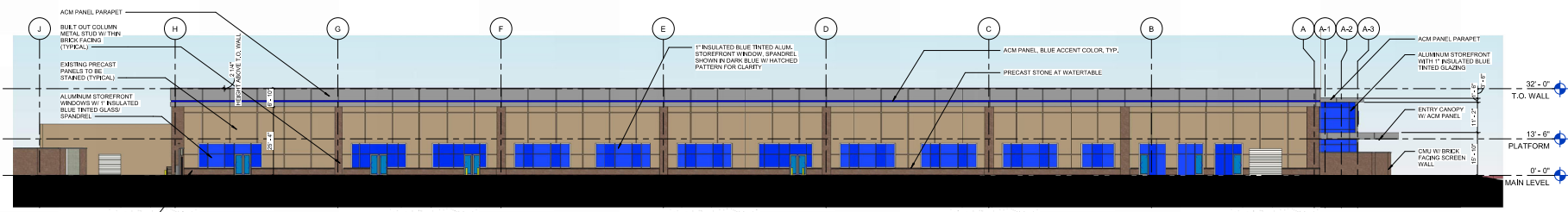
1 NORTH ELEVATION
1/16" = 1'-0"



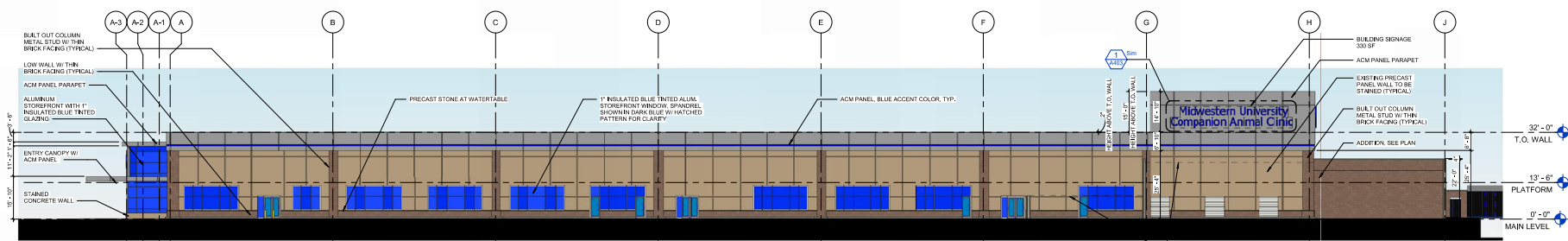
2 SOUTH ELEVATION
1/16" = 1'-0"



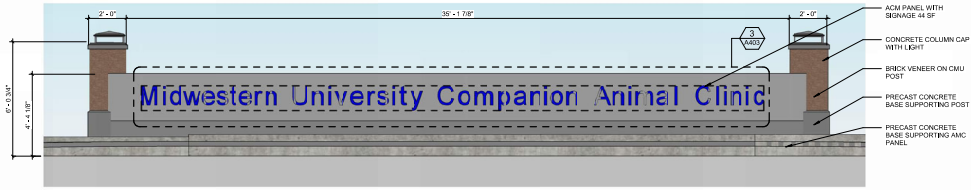
5 WINDOW DETAIL
1/4" = 1'-0"



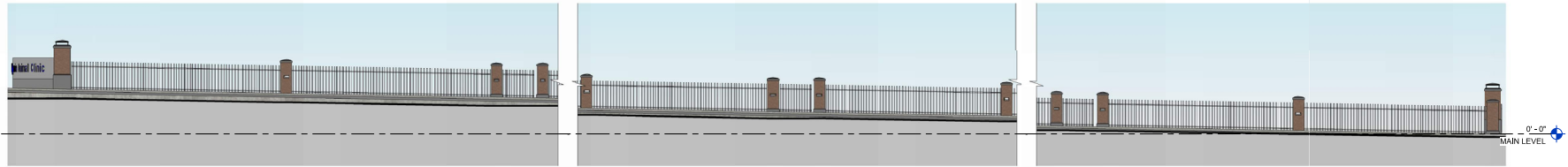
3 EAST ELEVATION
1/16" = 1'-0"



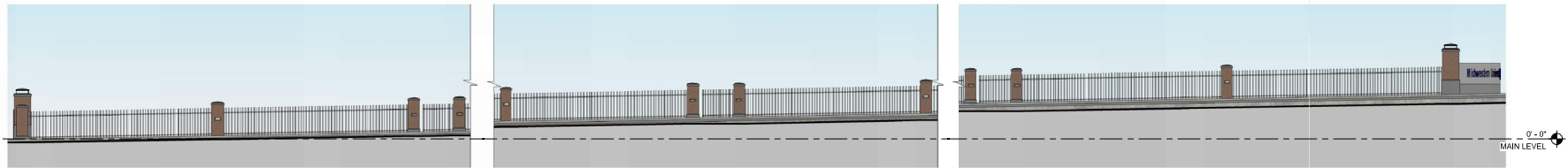
4 WEST ELEVATION
1/16" = 1'-0"



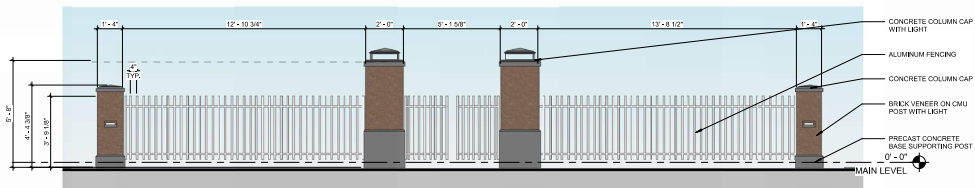
1 NORTH SITE ELEVATION
3/8" = 1'-0"



2 WEST SITE ELEVATION
3/16" = 1'-0"



3 EAST SITE ELEVATION
3/16" = 1'-0"



4 SOUTH SITE ELEVATION
3/8" = 1'-0"

MIDWESTERN UNIVERSITY
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3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

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No.	Description	Date

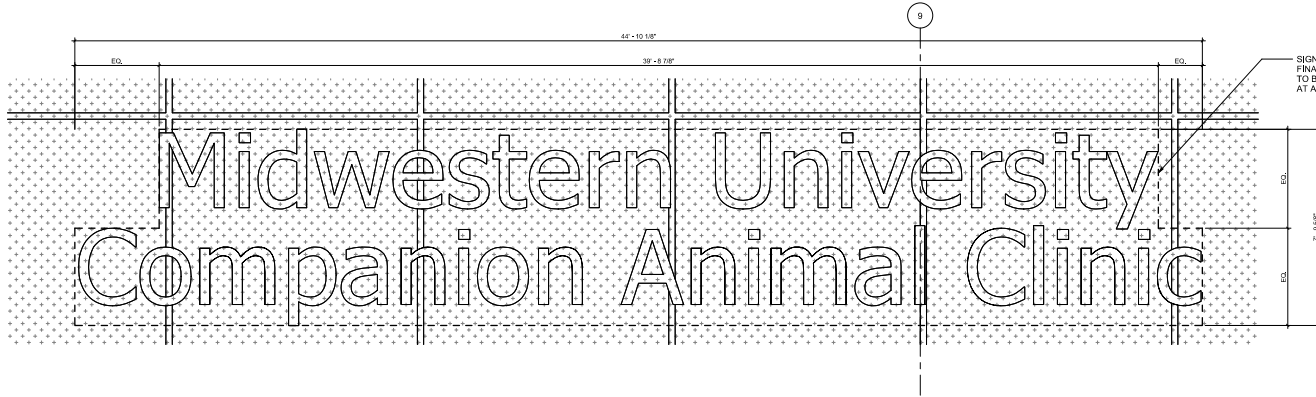
PROJECT NAME

SITE ELEVATIONS

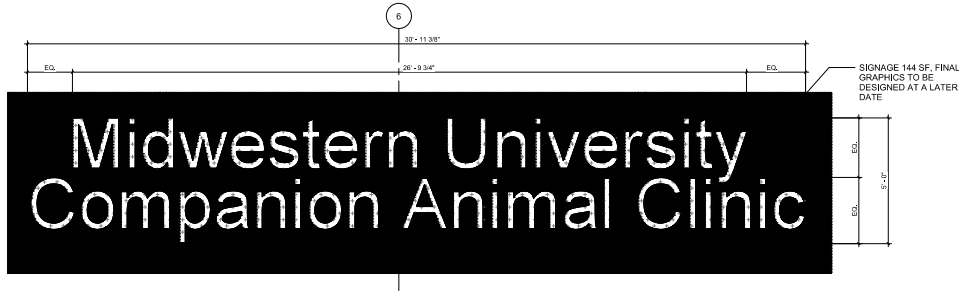
PROJECT NUMBER

A401

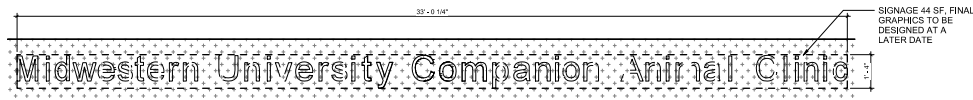
DESIGNED BY	ES/LH	CHECKED BY	BS
DATE	4/26/24	PROJECT NUMBER	2253.00



1 SOUTH AND WEST ELEVATION - BUILDING SIGNAGE
1/2" = 1'-0"



2 NORTH ELEVATION - BUILDING SIGNAGE
1/2" = 1'-0"



3 NORTH SITE ELEVATION - PARK SIGNAGE
1/2" = 1'-0"

SIGNAGE 330 SF.
FINAL GRAPHICS
TO BE DESIGNED
AT A LATER DATE

TOTAL SIGNAGE AREA:

CENTRAL PARK

NORTH ENTRANCE: 44 SF

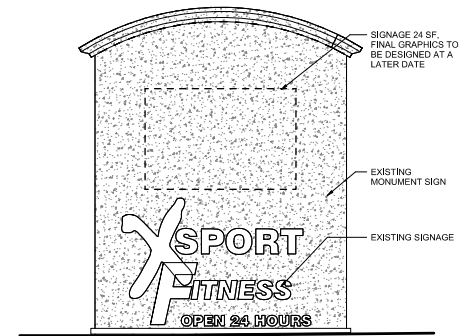
BUILDING

NORTH ELEVATION: 144 SF
WEST ELEVATION: 330 SF
SOUTH ELEVATION: 330 SF

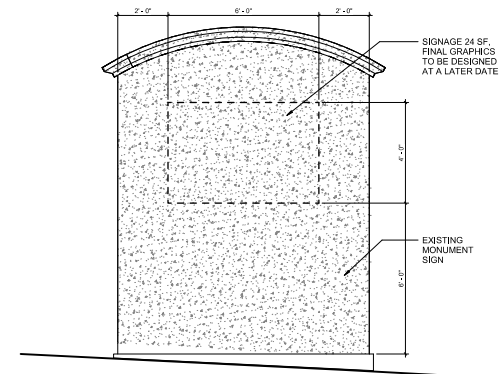
SITE

MONUMENT SIGN: 48 SF
WAYFINDING: 2 SF
WAYFINDING: 2 SF
TOTAL: 900 SF

SHARED MONUMENT BONUS SIGN DOES NOT COUNT ON CALCULATION.
ALL SIGNAGE NOT TO EXCEED PUD APPROVED LIMIT.



4 SHARED MONUMENT SIGN - BONUS SIGN
1/2" = 1'-0"
SIGNAGE AT BOTH SIDES OF MONUMENT



5 MAIN MONUMENT SIGN
1/2" = 1'-0"
SIGNAGE AT BOTH SIDES OF MONUMENT



REVISIONS

No.	Description	Date

REVISIONS

No.	Description	Date

SIGNAGE ELEVATIONS

PROJECT NUMBER
A403

DESIGNED BY ESLH	CHECKED BY BS
DATE 04/26/24	PROJECT NUMBER 2253.00



NORTH ELEVATION FROM CENTRAL GREEN SPACE



VESTIBULE WEST VIEW



CENTRAL GREEN SPACE VIEW FROM BUILDING



CENTRAL GREEN SPACE VIEW

DWL
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dw@architects.com

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COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

REV: _____
DATE: _____

EXTERIOR
RENDERS

PROJECT NUMBER
A405

DESIGNED BY ESLH	CHECKED BY BS
DATE 4/26/24	PROJECT NUMBER 2253.00



EAST AND NORTH ELEVATIONS



WEST AND SOUTH ELEVATIONS



REVISIONS		
No.	Description	Date

REV:

EXTERIOR
RENDERS AERIAL
IMAGES

DWG NUMBER
A406

DESIGNED BY ESLH	CHECKED BY BS
DATE 4/26/24	PROJECT NUMBER 2253.00



NORTH ELEVATION NEW ENTRY

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dwllarchitects.com

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3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS		
No.	Description	Date

REV:

**EXTERIOR
RENDERS**

A407

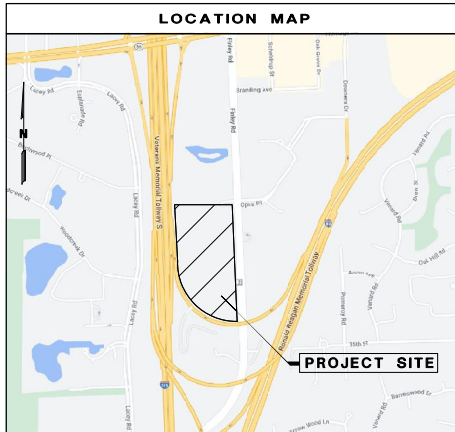
DESIGNED BY: ESLH	PLANNED BY: BS
DATE: 4/26/24	PROJECT NUMBER: 2253.00

PRELIMINARY ENGINEERING PLANS COMPANION ANIMAL CLINIC MIDWESTERN UNIVERSITY DOWNERS GROVE, ILLINOIS



LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER	1" PVC	1" PVC
FORCE MAIN	12" RCP	12" RCP
STORM SEWER	12" RCP	12" RCP
UNDERDRAIN	1" PVC	1" PVC
MANHOLE	Ø	Ø
CATCH BASIN	Ø	Ø
INLET	Ø	Ø
CLEANOUT	Ø	Ø
WATER MAIN	1" W	1" W
VALVE VAULT	Ø	Ø
VALVE BOX	Ø	Ø
FIRE HYDRANT	Ø	Ø
FLARED END SECTION	Ø	Ø
COMBINED SEWER	1" PVC	1" PVC
STREET LIGHT/PARKING LOT LIGHT	Ø	Ø
POWER POLE	Ø	Ø
STREET SIGN	Ø	Ø
FENCE	—	—
GAS MAIN	1" W	1" W
OVERHEAD LINE	—	—
TELEPHONE LINE	—	—
ELECTRIC LINE	—	—
CABLE TV LINE	—	—
HIGH WATER LEVEL	HL XXX	HL XXX
NORMAL WATER LEVEL	WL XXX	WL XXX
CONTOUR LINE	XXX.XX	XXX.XX
TOP OF CURB ELEVATION	TC XXX.XX	TC XXX.XX
TOP OF DEPRESSED CURB	PD XXX.XX	PD XXX.XX
PAVEMENT ELEVATION	P XXX.XX	P XXX.XX
SPOT ELEVATION	XXX.XX	XXX.XX
FINISHED FLOOR ELEVATION	FF + XXXX.XX	FF + XXXX.XX
TOP OF FOUNDATION	TF + XXXX.XX	TF + XXXX.XX
GRADE AT FOUNDATION	GF + XXXX.XX	GF + XXXX.XX
HIGH OR LOW POINT	Ø	Ø
OVERLAND FLOOD ROUTE	—	—
PAVEMENT FLOW DIRECTION	—	—
SMALL FLOW DIRECTION	—	—
DEPRESSED CURB AND GUTTER	—	—
REVERSE CURB AND GUTTER	—	—

INDEX OF SHEETS	
C-100	COVER SHEET
C-200	EXISTING CONDITIONS PLAN - NORTH
C-201	EXISTING CONDITIONS PLAN - SOUTH
C-300	DEMOLITION PLAN - NORTH
C-301	DEMOLITION PLAN - SOUTH
C-400	GRADING PLAN - NORTH
C-401	GRADING PLAN - SOUTH
C-500	UTILITY PLAN - NORTH
C-501	UTILITY PLAN - SOUTH
C-600	PAVING PLAN - NORTH
C-601	PAVING PLAN - SOUTH



DISTURBED AREA = 2.50 ACRES



THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS SUPERVISION, DIRECTION AND MEANS & METHODS OF CONSTRUCTION

ABBREVIATIONS			
AC	ACRE	HWL	HIGH WATER ELEVATION
BC	BACK OF CURB	INV	INLET
BTM	BOTTOM	INV	INVERT
CB	CATCH BASIN	LF	LINEAL FEET/FOOT
CFS	CUBIC FEET PER SECOND	LP	LIGHT POLE
CD	CATCH BASIN	LT	LEFT
DIA	DIAMETER	L/W	LOWEST GRADE ADJACENT TO RETAINING WALL
DI	DIAMETER IRON WATER MAIN	MAX	MAXIMUM
EL	ELEVATION	MI	MINIMUM
EP	EDGE OF PAVEMENT	MI	MINIMUM
FF	FINISHED FLOOR	NW	NORMAL WATER ELEVATION
FS	FLARED END SECTION	OC	OUTLET CONTROL STRUCTURE
FT	FOOT/FEET	P	PAVEMENT ELEVATION
GF	GUTTER ELEVATION	PVC	POLYVINYL CHLORIDE PIPE
GR	GRADE AT FOUNDATION	R	RADIUS
GR	GRADE RING ELEVATION	RCP	REINFORCED CONCRETE PIPE
HDS	HIGH DENSITY POLYETHYLENE PIPE	RT	RIGHT
HYD	FIRE HYDRANT	RTM	RIM ELEVATION
HMA	HOT MIX ASPHALT	ROW	RIGHT OF WAY
SAN	SANITARY SEWER	SM	SANITARY MANHOLE
SM	SANITARY MANHOLE	STA	STATION
STM	STORM SEWER	STM	STORM SEWER
SY	SQUARE YARD	SWP	STORMWATER POLLUTION PREVENTION PLAN
TC	TOP OF DEPRESSED CURB	TC	TOP OF CURB
TF	TOP OF FOUNDATION	TF	TOP OF FOUNDATION
T/W	TOP OF RETAINING WALL	TP	TOP OF PAVEMENT
VB	VALVE BOX	VC	VERTICAL CURVE
VV	VALVE VAULT	W	WALK ELEVATION
W	WALK ELEVATION	WM	WATER MAIN
WM	WATER MAIN	VPI	VERTICAL POINT OF INTERSECTION

BENCHMARKS	
SOURCE BENCHMARKS (NMS MONUMENT DESIGNATION 0166, PID 06321)	DISSETT DISK ON THE SOUTH END OF THE EAST BRIDGE WALL FOR THE OVERPASS, 170.0 FEET NORTH OF THE CENTERLINE OF A CENTRALISLAND DRIVE AND 12.0 FEET EAST OF THE CENTERLINE OF NORTH ROAD/FINLEY ROAD. ELEVATION = 711.01 (NAVDS89)
SITE BENCHMARK #11	CROSS ON TOP OF SOUTHWEST BONNET BOLT OF FIRE HYDRANT AT SOUTHWEST CORNER OF FINLEY ROAD AND OPUS PLACE. ELEVATION = 160.87
SITE BENCHMARK #12	CROSS ON TOP OF SOUTHWEST BONNET BOLT OF FIRE HYDRANT IN CURB (S&W) WEST OF THE SOUTHWEST CORNER OF THE 1 STORY, STUCCO BUILDING AT 3300 FINLEY ROAD. ELEVATION = 757.75

NOTES:
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
- STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT 305) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION
- STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION
- VILLAGE OF DOWNERS GORVE CODE OF ORDINANCES
- DOWNERS GROVE SANITARY DISTRICT STANDARDS AND ORDINANCES, (SHALL GOVERN ALL SANITARY SEWER CONSTRUCTION)
- DUPAGE COUNTY STORMWATER ORDINANCE
IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

DRAINAGE CERTIFICATION

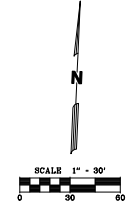
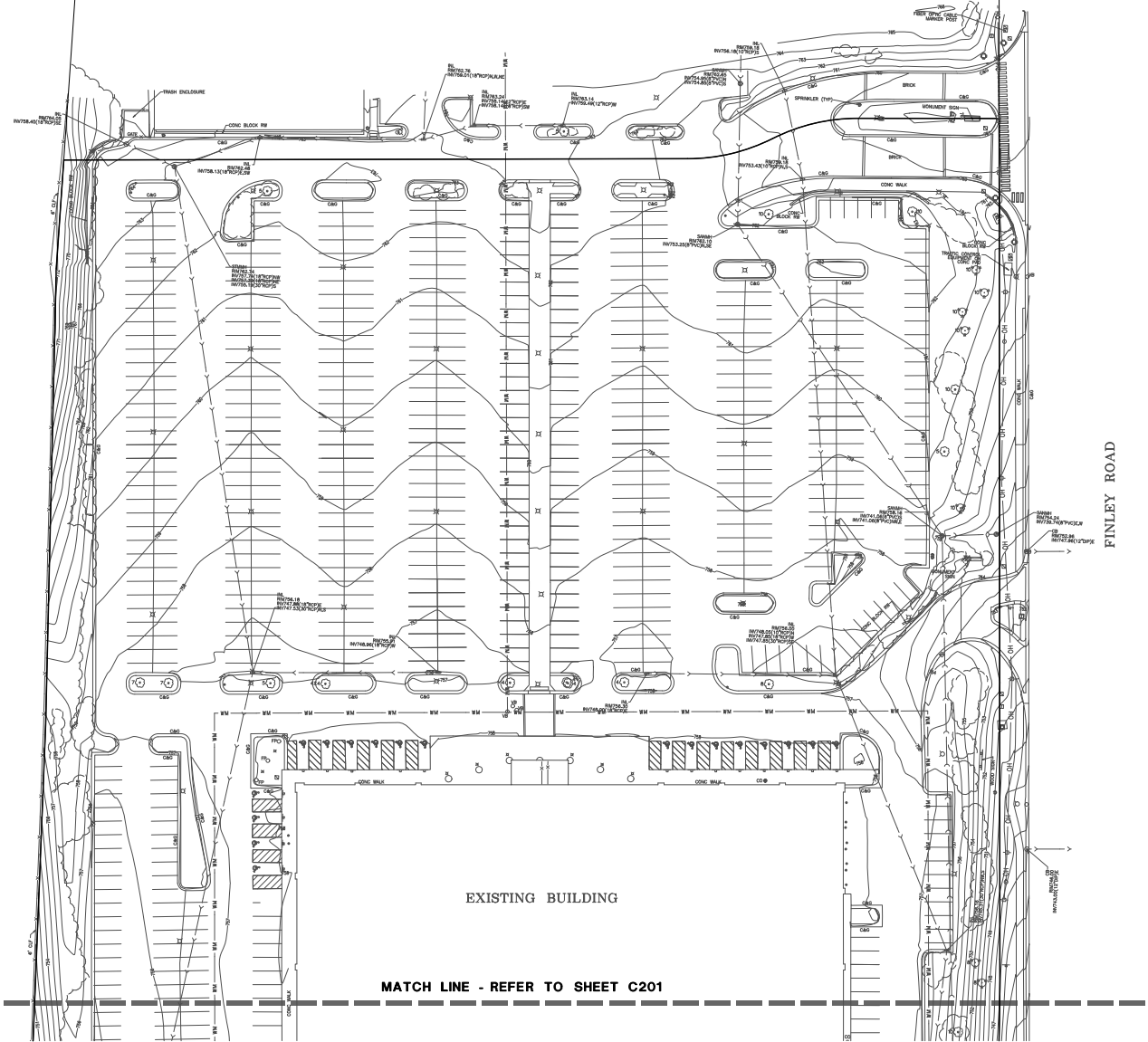
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

[Signature]
LICENSED ENGINEER

[Signature]
ENGINEER'S SEAL

IL-955

XSPORT FITNESS



GENERAL NOTES:
 1. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON MARCH 11, 2024. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.

DWL
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 545 Metro Place S, Ste 450
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 d@aol.com

M Health Consultants, LLC
 10000 W. 12th St., Suite 100
 Overland Park, KS 66213
 913.666.1100

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
 3300 FINLEY ROAD
 DOWNERS GROVE, IL 60515



REVISIONS

No.	Description	Date

PUD SUBMITTAL

NET:

EXISTING CONDITIONS PLAN - NORTH

SHEET NUMBER
C200

DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

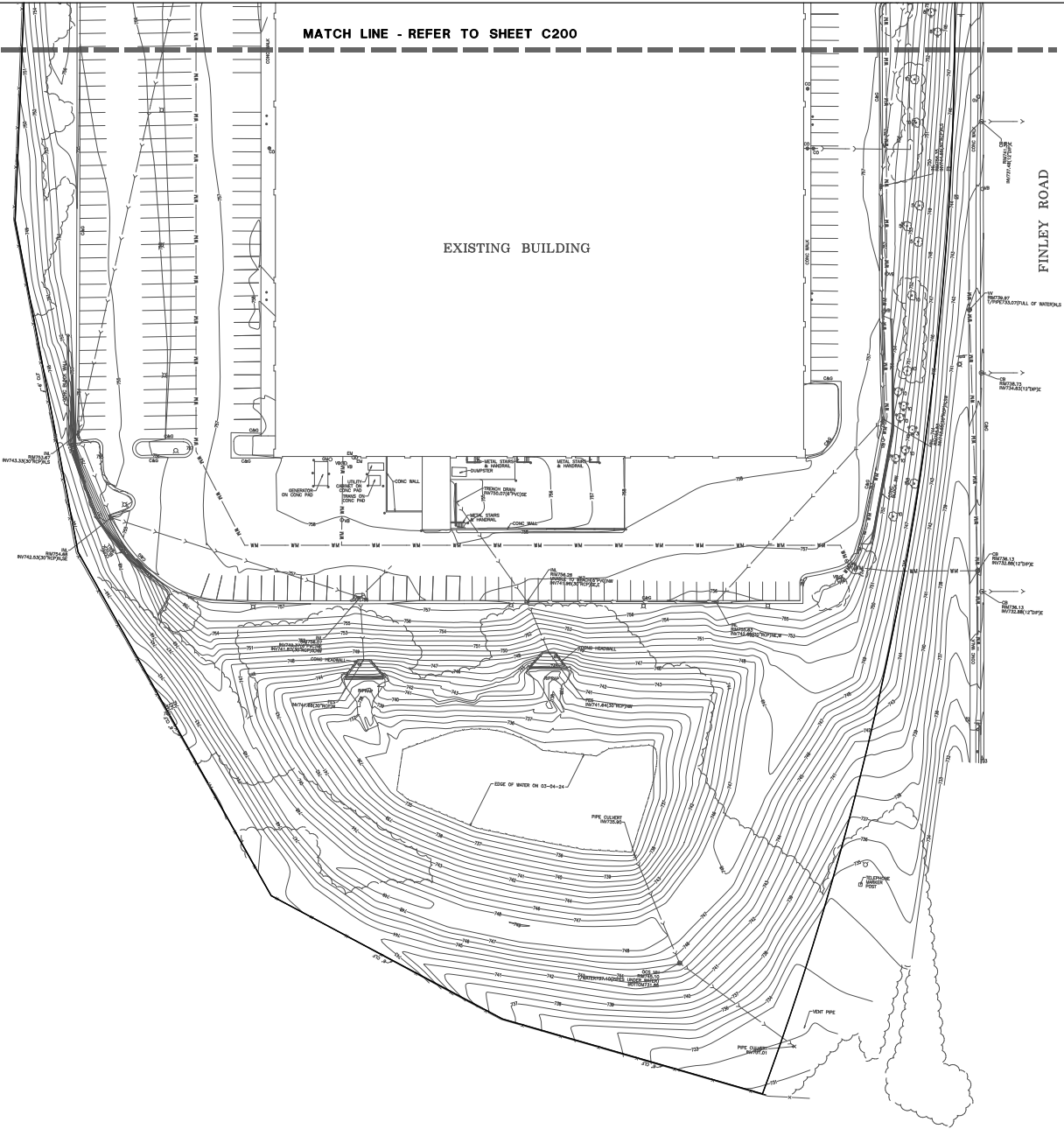
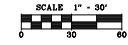
DWL ARCHITECTS PC
 545 Metro Place S, Ste 450
 Dublin, OH 43017
 614.365.6100
 d@aol.com

IL-3655

MATCH LINE - REFER TO SHEET C200

EXISTING BUILDING

FINLEY ROAD



DWL
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545 Metro Place S, Ste 450
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614.365.6100
dw@dwlects.com

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913.666.1100

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3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS
No. Description Date

PUD SUBMITTAL

NET:

SHEET TITLE
**EXISTING
CONDITIONS
PLAN - SOUTH**

SHEET NUMBER
C201

DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

4/25/24 10:58 AM C:\Users\jtw\OneDrive\Documents\2253\2253.dwg



REVISIONS		
No.	Description	Date

NO. DESCRIPTION DATE

PUD SUBMITTAL

DATE: 04/25/24

PROJECT: 24-01

DEMOLITION PLAN - NORTH

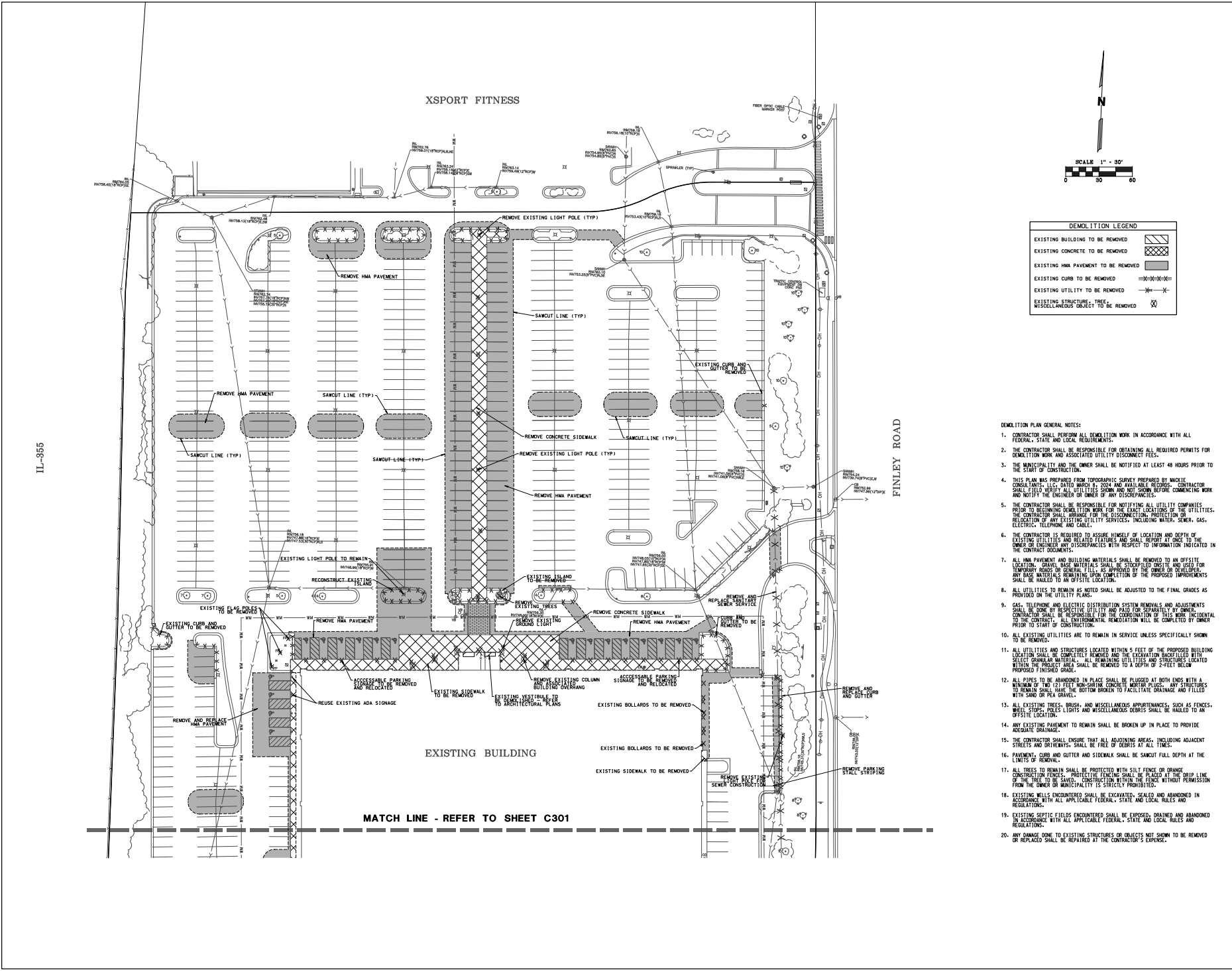
SHEET NUMBER: **C300**

DESIGNED BY: JT

CHECKED BY: ST

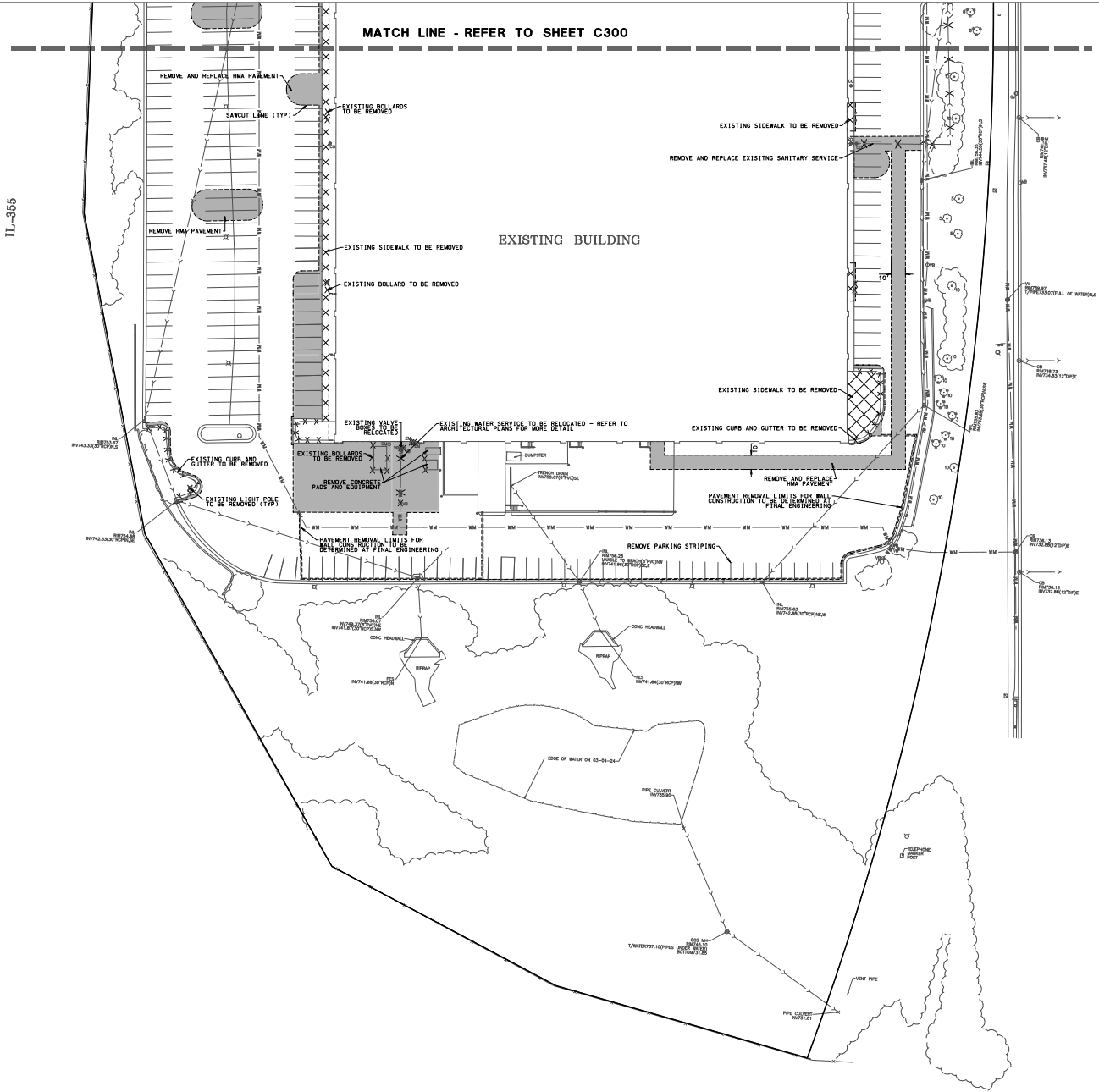
DATE: 4/25/24

PROJECT NUMBER: 2253.00



IL-955

DWL ARCHITECTS, INC. 545 METRO PLACE S, STE 450, DUBUQUE, OH 43017
 DWL ARCHITECTS, INC. 10000 WOODLOCH FOREST DR., SUITE 100, DUBUQUE, OH 43017
 DWL ARCHITECTS, INC. 10000 WOODLOCH FOREST DR., SUITE 100, DUBUQUE, OH 43017



N

SCALE 1" = 30'

0 50 100

REFER TO SHEET C300
FOR DEMOLITION GENERAL NOTES

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS		
No.	Description	Date

PUD SUBMITTAL

NET:

SHEET NUMBER
C301

DESIGNED BY: JT DRAWN BY: ST
DATE: 4/25/24 PROJECT NUMBER: 2253.00

DWL ARCHITECTS, INC. 100% RESPONSIBLE DESIGNER
 HEALTH CONSULTANTS, LLC 100% RESPONSIBLE DESIGNER
 4/25/24 11:58 AM



REVISIONS

No.	Description	Date

PUD SUBMITTAL

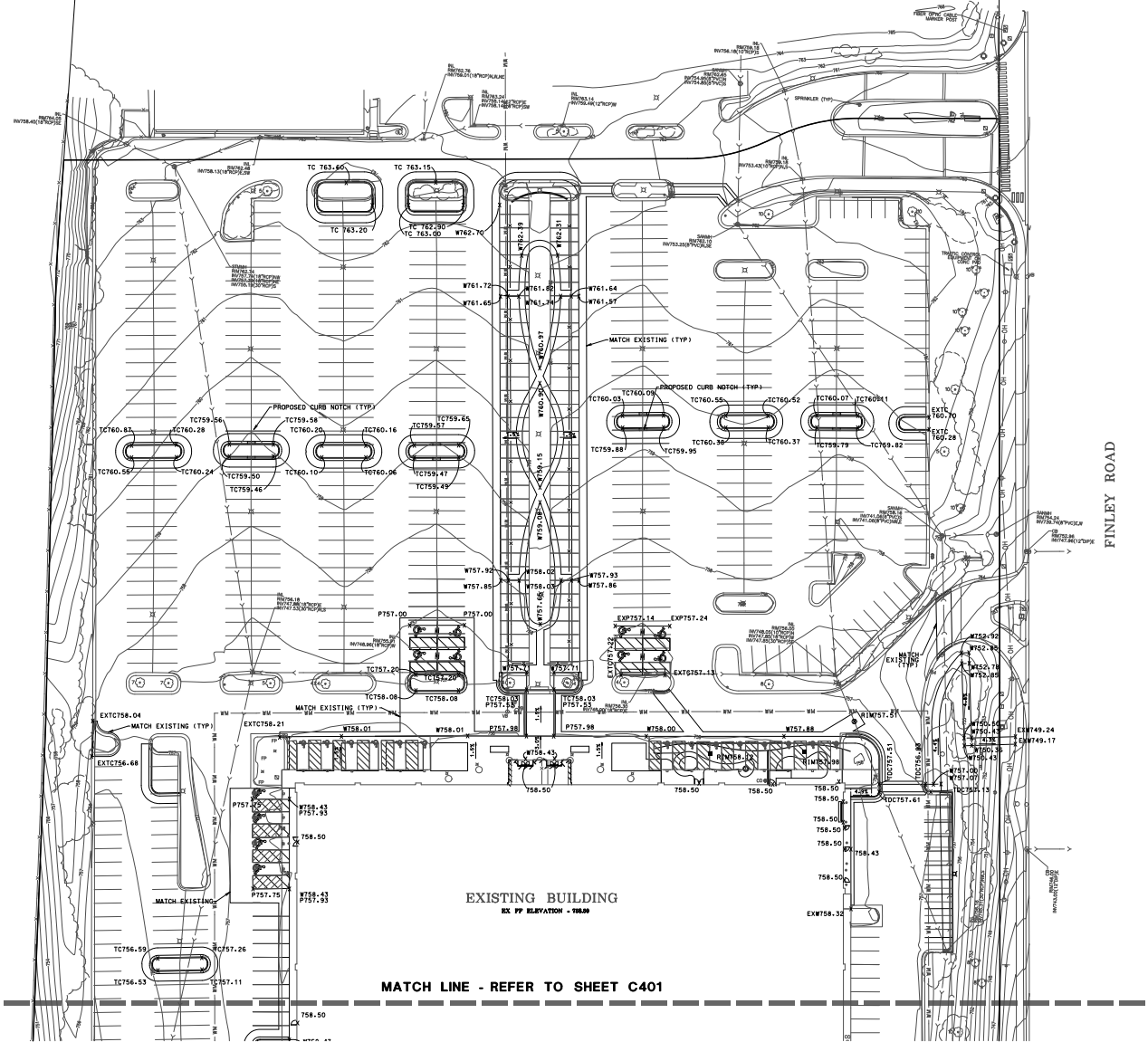
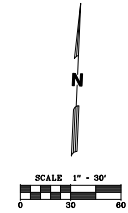
NET:

GRADING PLAN
- NORTH

C400

DATE 4/25/24	BY JT	CHECKED BY ST	PROJECT NUMBER 2253.00
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XSPORT FITNESS

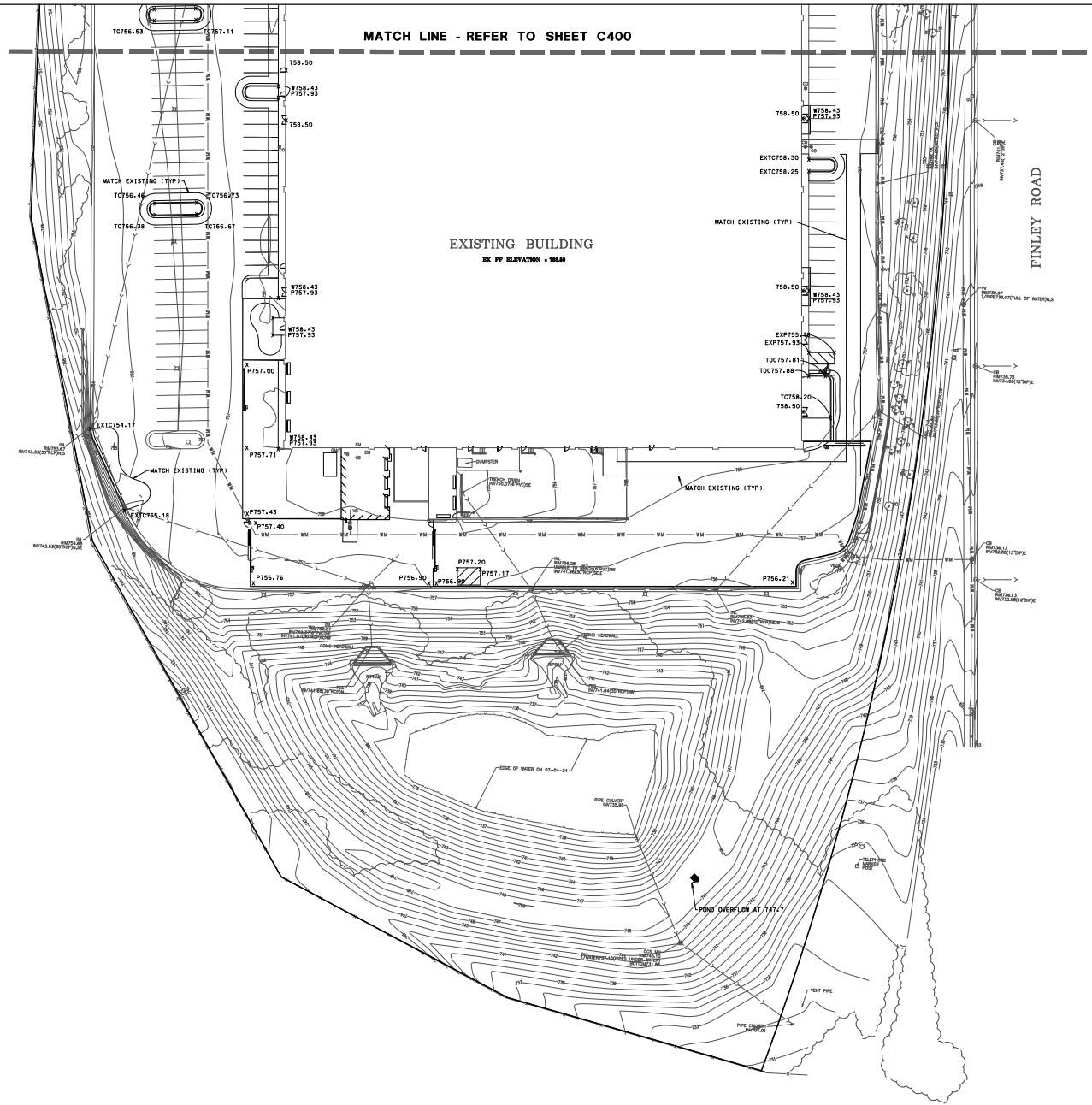


GRADING PLAN GENERAL NOTES

- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON MARCH 8, 2024. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH 6-INCHES OF TOPSOIL AND SEED.
- EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL CURB ELEVATIONS ARE TO BE TOP OF CURB. ALL DITCH ELEVATIONS ARE 0.5' BELOW TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
- GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
- OVERFLOW DRAINAGE ROUTES AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
- DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
- CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OF PERMISSION HAS BEEN OBTAINED.

IL-955

IL-3855



REFER TO SHEET C400
FOR GRADING GENERAL NOTES

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MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNS GROVE, IL 60515



REVISIONS		
No.	Description	Date

PUD SUBMITTAL

NET:

DATE OF GRADING PLAN - SOUTH

SHEET NUMBER
C401

DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

DWL ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER. MINORITY AND FEMALE OWNERSHIP AND CONTROL IS ENCOURAGED.



REVISIONS

No. Description Date

PUD SUBMITTAL

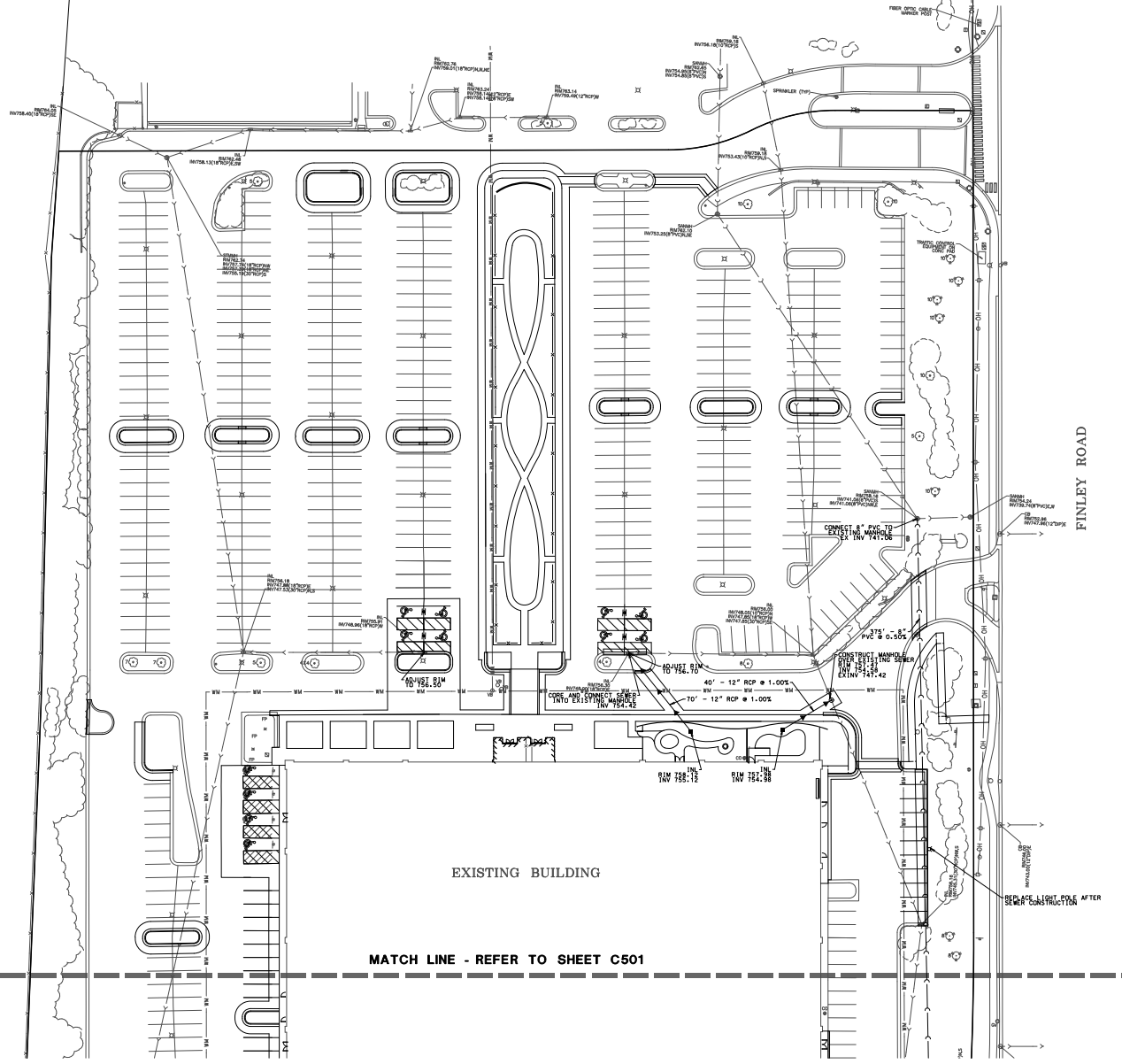
NET:

UTILITY PLAN - NORTH

SHEET NUMBER
C500

DESIGNED BY: JT
DRAWN BY: ST
DATE: 4/25/24
SCALE: 1" = 30'

XSPORT FITNESS



UNDERGROUND UTILITY GENERAL NOTES

1. ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
2. ALL SANITARY SEWER, LESS THAN 15 FEET DEEP, SHALL BE PVC, SDR 26, UNLESS OTHERWISE INDICATED OR APPROVED FROM A LISTED WITHIN THE CONSTRUCTION SPECIFICATIONS AS APPROVED BY THE MUNICIPALITY. ALL SANITARY SEWER GREATER THAN 15 FEET DEEP, SHALL BE PVC, SDR 21, UNLESS OTHERWISE INDICATED. PVC SANITARY SEWER SHALL HAVE ELASTOMERIC JOINTS IN CONFORMANCE WITH ASTM D-9572.
3. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52, ANNA C-600 WITH "HUSH-IN" TYPE JOINTS, UNLESS OTHERWISE INDICATED. ALL WATER MAIN SHALL HAVE A MINIMUM OF 5'-0" OF COVER FROM TOP OF WATERMAIN TO FINISHED GRADE.
4. ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE, MINIMUM CLASS 111, WITH ASTM C15 PIPE AND C443 JOINTS, UNLESS OTHERWISE INDICATED.
5. GRANULAR TRENCH BACKFILL (CA-11) SHALL BE PROVIDED FOR ALL SANITARY, WATER AND STORM UTILITIES WHEN THE TRENCH UNITS FALL WITHIN 180 FEET OF STREETS, SIDEWALKS, DRIVEWAYS AND AS NOTED ON THE SANITARY TRENCH DETAILS ON PAGE 5.
6. ALL WATERMAIN AND WATER SERVICE LINES SHALL BE PROTECTED FROM OTHER UTILITIES IN ACCORDANCE WITH SECTION 41-2.01 OF THE STANDARD SPECIFICATIONS FOR MAILED AND SBER CONSTRUCTION IN ILLINOIS.
7. ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY, UTILITY COMPANIES OR FIELD MEASUREMENTS. THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
8. CONTRACTOR SHALL VERIFY ALL BUILDING SERVICE LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
9. CONTRACTOR TO VERIFY CANOPY AND ROOF DRAIN CONNECTION LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS BEFORE CONSTRUCTION.
10. LOCATION OF ALL BUILDING SEWAGE CONNECTIONS TO BE APPROVED BY VILLAGE FIRE MARSHAL.
11. CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
12. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
13. A TEN (10) FOOT MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE WATERMAIN SERVICE AND THE SANITARY OR STORM SEWER SERVICES.
14. IN CASE OF CONFLICTS, THE MUNICIPALITY STANDARDS AND NOTES SHALL TAKE PRECEDENCE.
15. PLUMBING CONTRACTOR TO MAKE ALL CONNECTIONS WITH BUILDING SERVICES CONSTRUCTED BY UTILITY CONTRACTOR. SITE UTILITY CONTRACTOR TO CONSTRUCT SERVICES TO WITHIN 6 FEET OF BUILDING, EXCEPT INTO BUILDING 1-FOOT ABOVE FLOOR WITH BLIND FLANGE AND PROVIDE TESTING.
16. EXISTING PAVEMENT REMOVED FOR UTILITY CONSTRUCTION SHALL BE DONE BY THE RESPECTIVE UTILITY COMPANY AND PAID FOR SEPARATELY BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT.
17. EXISTING OR PROPOSED MANHOLES, CATCH BASINS, INLETS AND VALVE VALES IS INDICATING OVER 12-INCHES OF ADJUSTMENT THINGS SHALL USE AN ADDITIONAL BASE SECTION TO MAINTAIN A MAXIMUM OF 12-INCH TOTAL ADJUSTMENT RING DEPTH.

IL-955

EXISTING BUILDING

MATCH LINE - REFER TO SHEET C501

FINLEY ROAD

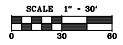
IL-3855

MATCH LINE - REFER TO SHEET C600

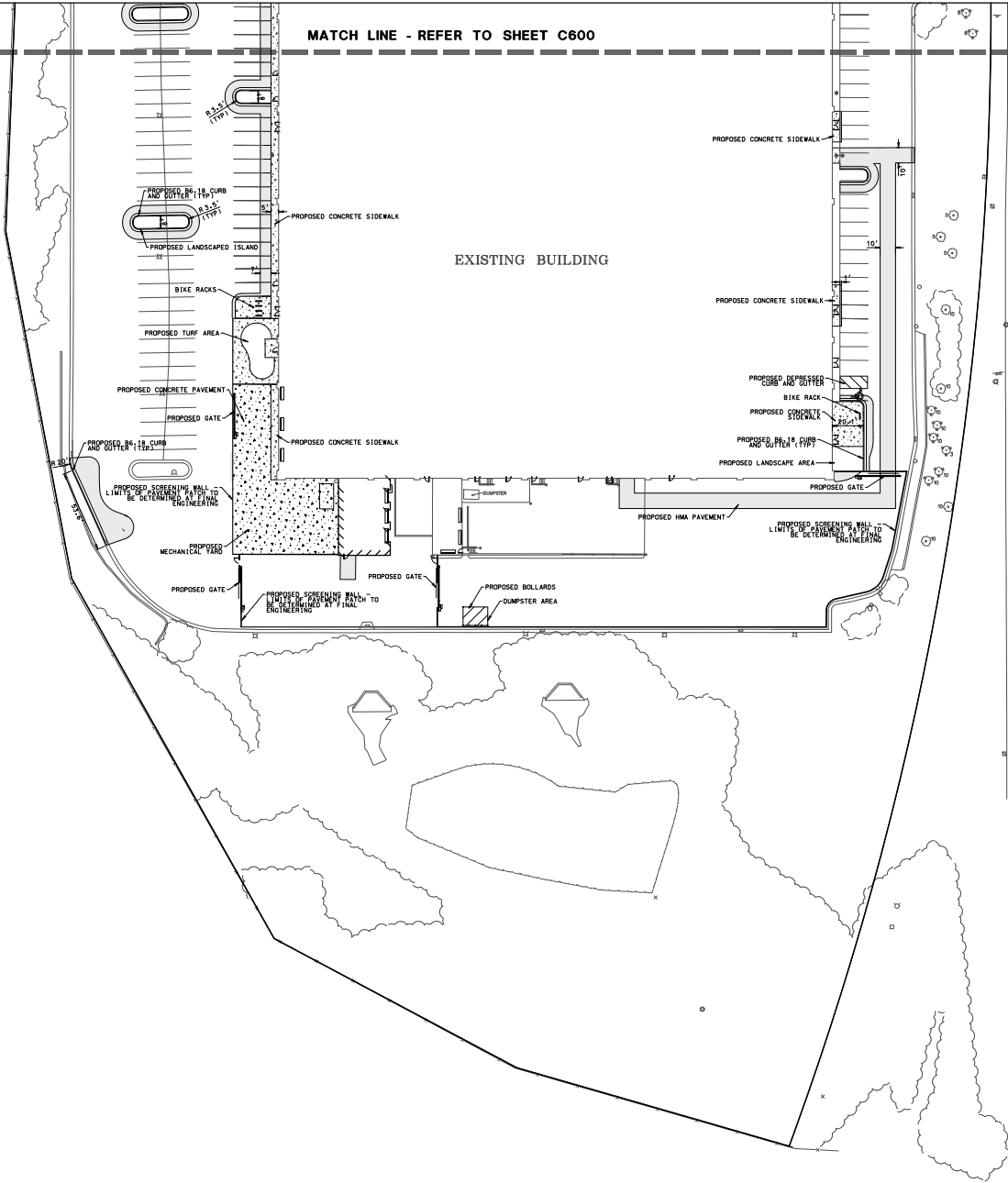
EXISTING BUILDING

FINLEY ROAD

IDENTIFY AND ADDRESS SIDEWALK, TURF AND BIKE RACKS WITHIN ENGINEERING PLANS



REFER TO SHEET C600 FOR PAVING GENERAL NOTES



DWL
ARCHITECTS^{PC}

545 Metro Place S, Ste 450
Dublin, OH 43017
614.385.6100
dw@dwlects.com

M **Multi-Consultants, LLC**
10000 Woodloch Forest Dr., Suite 100
Dublin, OH 43017
614.385.6100
mcl@multi-consultants.com

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS		
No.	Description	Date

PUD SUBMITTAL

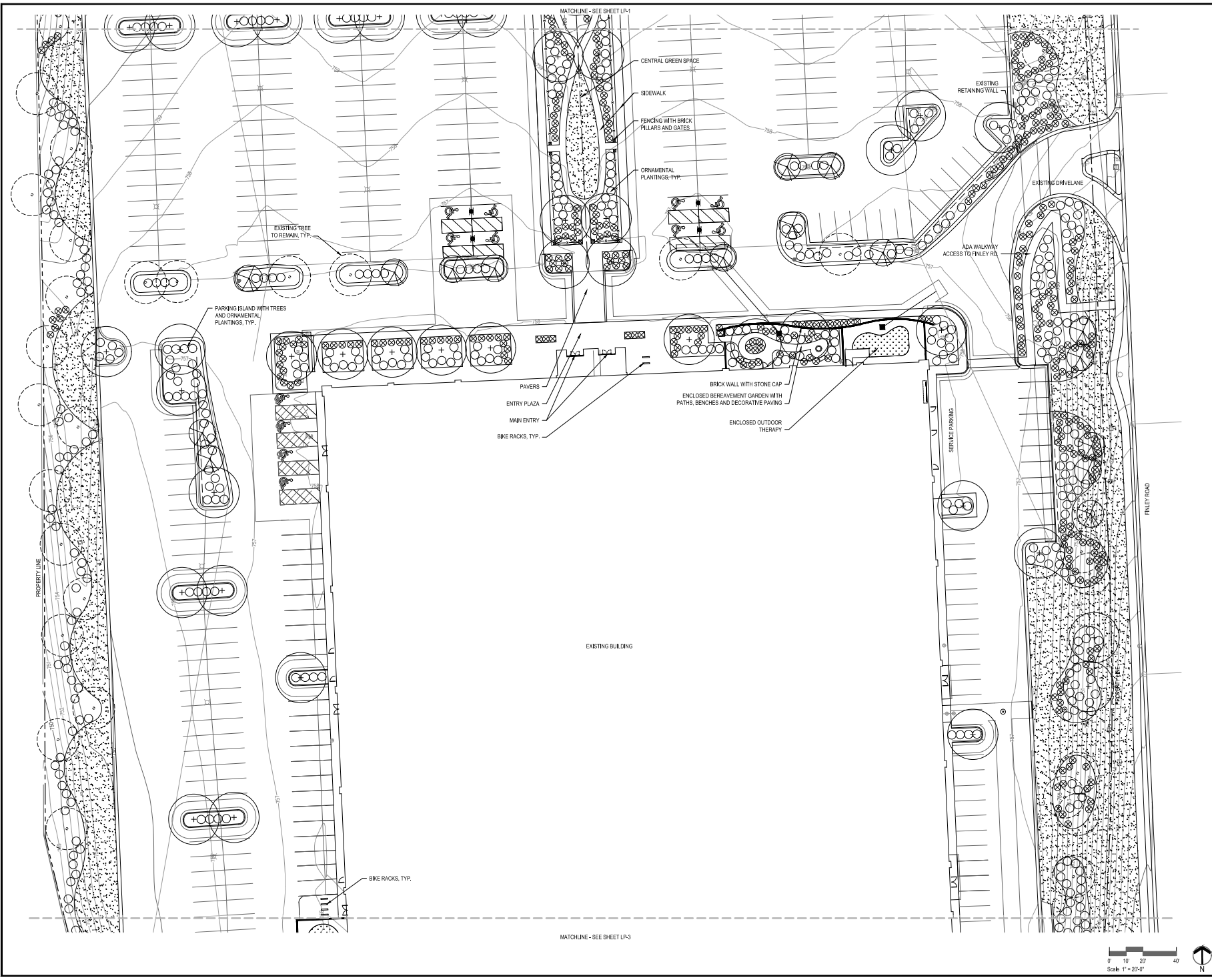
NET:

PROJECT
PAVING PLAN - SOUTH

SHEET NUMBER
C601

DESIGNED BY JT	CHECKED BY ST
DATE 4/25/24	PROJECT NUMBER 2253.00

2024/04/25 10:00 AM DWL (C601) PAVING PLAN - SOUTH.dwg



DWL
ARCHITECTS+
545 Metro Place S, Ste 450
Dublin, OH 43017
614.965.6100
dwlandarchitects.com

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



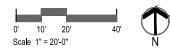
REVISIONS
No. Description Date

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DWL ARCHITECTS + PLANNERS INC.

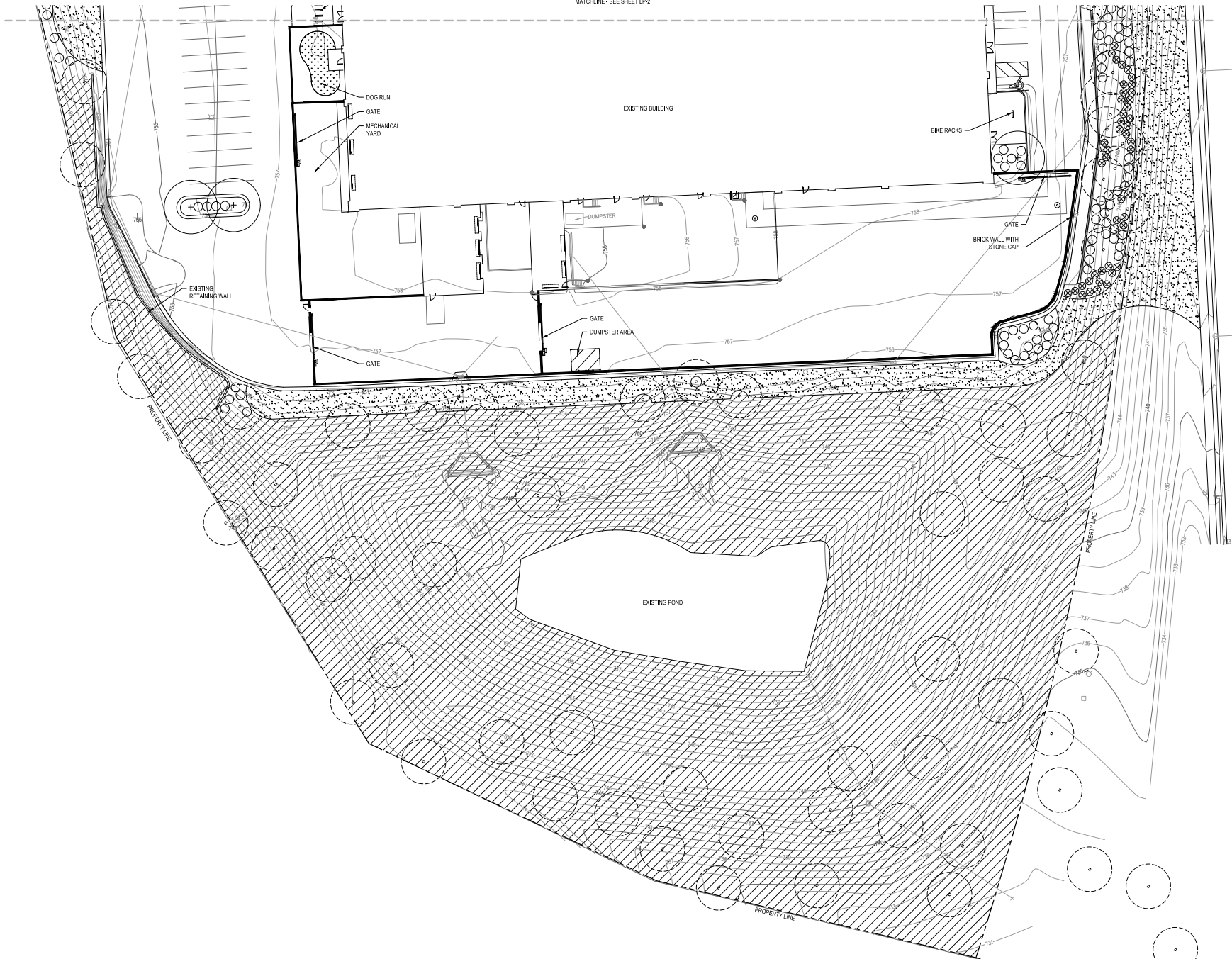
SHEET TITLE:
Clinic Landscape
Development Plans

SHEET NUMBER:
LP-2

DATE:	04/25/24	DESIGNED BY:	LM
SCALE:	1" = 20'-0"	PROJECT NUMBER:	2253.000



MATCHLINE - SEE SHEET LP-2



DWL
ARCHITECTS+

545 Metro Place S, Ste 450
Dublin, OH 43017
614.965.8100
dwlarchitects.com

MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

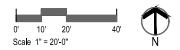
No.	Description	Date

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DWL ARCHITECTS + PLANNERS INC.

SHEET TITLE
Clinic Landscape
Development Plans

SHEET NUMBER
LP-3

DATE	DESIGNED BY	CHECKED BY
04/25/24	LB	LM
PROJECT NUMBER	2253.00	





Traffic Narrative Midwestern University Companion Animal Clinic 3300 Finley Road Downers Grove, Illinois

Midwestern University plans to renovate the existing structure located at 3300 Finley Road into a new Companion Animal Clinic with a new façade treatment and interior build out. The existing site will be improved with features including additional parking lot islands, a centralized dog park, mechanical equipment yards, outdoor treatment areas, and a bereavement garden adjacent to the building.



Existing Conditions

The clinic site is located immediately west of Finley Road, east of I-355 and south of Butterfield Road. The site shares a signalized access drive with XSport Fitness to the north at Opus Place & Finley Road and has its own right-in, right-out access located northeast of the building. Finley Road is under DuPage County Division of Transportation jurisdiction. Finley Road is generally a north-south road that extends from Crescent Blvd to Ogden Avenue (IL 34). The portion of Finley Road adjacent to the site provides two lanes in each direction and a posted speed limit of 45 miles per hour. According to the Illinois Department of Transportation, this segment of Finley Road carried an Annual Average Daily Traffic (AADT) volume of 20,800 vehicles in 2016 and 10,900 vehicles in 2020.

The signalized intersection provides two lanes of travel in both the north and south directions along Finley Road and signalized left-turn lanes. The left turn lane into the clinic site has approximately 209 feet of storage. The access drive into the site provides a single lane entering the site, while the lanes exiting the site onto Finley Road include a right/thru lane and a left-turn lane. A signalized pedestrian crossing is also provided.



Proposed Conditions

Parking for the proposed clinic will be accommodated in the existing parking lot, located south of the signalized intersection. As proposed, the clinic will fully build-out the existing facility. As shown on the attached Parking Calculation Area Exhibit, the usable space, storage and mechanical areas excluded, totals 130,761 sf. Classroom space occupies 8,457 sf of this space, while the remaining 122,304 sf is dedicated to veterinary clinic use.

According to Midwestern University, the clinic will be open Monday through Friday from 7:00 AM to 4:30 PM, will have 73 employees, and an anticipated enrollment of 150 students. However, only approximately half of the students are anticipated to be at the proposed clinic on any given

day. Employees and students will likely arrive and depart throughout the day. Based on the hours of the proposed clinic's operation, the peak hour of the proposed clinic generated traffic will likely be earlier than that of the roadway traffic during the weekday morning and evening time periods.

Based on recent data provided from Midwestern University's Glendale Arizona Clinic, we anticipate approximately 54 patient visits per day to the clinic. Given the anticipated student, employee, and patient populations the existing site access appears to be sufficient and would likely not exceed that of the former site use of Fry's Electronics.

The existing parking lot provides 826 parking spaces, of which 18 are handicapped accessible parking spaces. The proposed site improvements will remove several parking spaces, resulting in a total of 598 parking spaces, including 13 handicapped spaces. Anticipating a need for parking for 75% of the students results in a requirement of 112.5 parking spaces. Utilizing a ratio of 3.5 spaces/1,000 sf as directed by the Village for the 122,304 sf of clinic space results in requirement of 428.06 parking spaces. Together, this total parking requirement is 541 parking spaces. Based on anticipated student, staff, and public visits, the 598 parking spaces in the current site plan are adequate to support the needs of the Companion Animal Clinic.

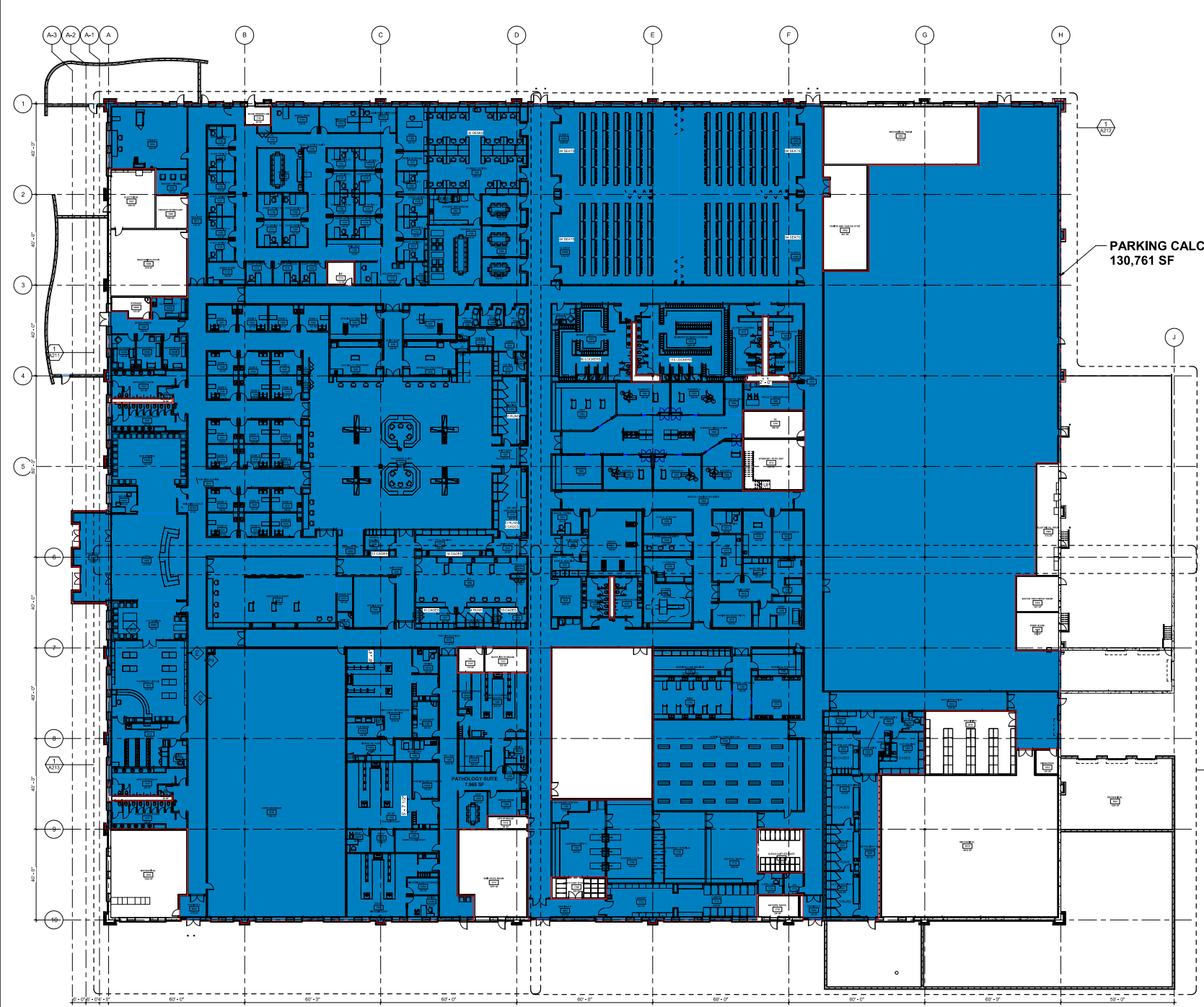


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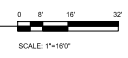
REV: _____
PROJECT NUMBER: _____

PARKING CALCULATION AREA	
A208	
DESIGNED BY: ES	CHECKED BY: BS
DATE: 03/18/24	PROJECT NUMBER: 2253.00



PARKING CALCULATION AREA:
130,761 SF

MAIN LEVEL FLOOR PLAN
1/16" = 1'-0"



SHEET NOTES

1. ALL LIGHT FIXTURES SHOWN ARE EXISTING UNLESS NOTED OTHERWISE.

DWL
ARCHITECTS+

545 Metro Plaza S, Ste 450
Downers Grove, IL 60117
614.965.6100
dw@architects.com



MIDWESTERN UNIVERSITY
COMPANION ANIMAL CLINIC
3300 FINLEY ROAD
DOWNERS GROVE, IL 60515



REVISIONS

ML Description Date

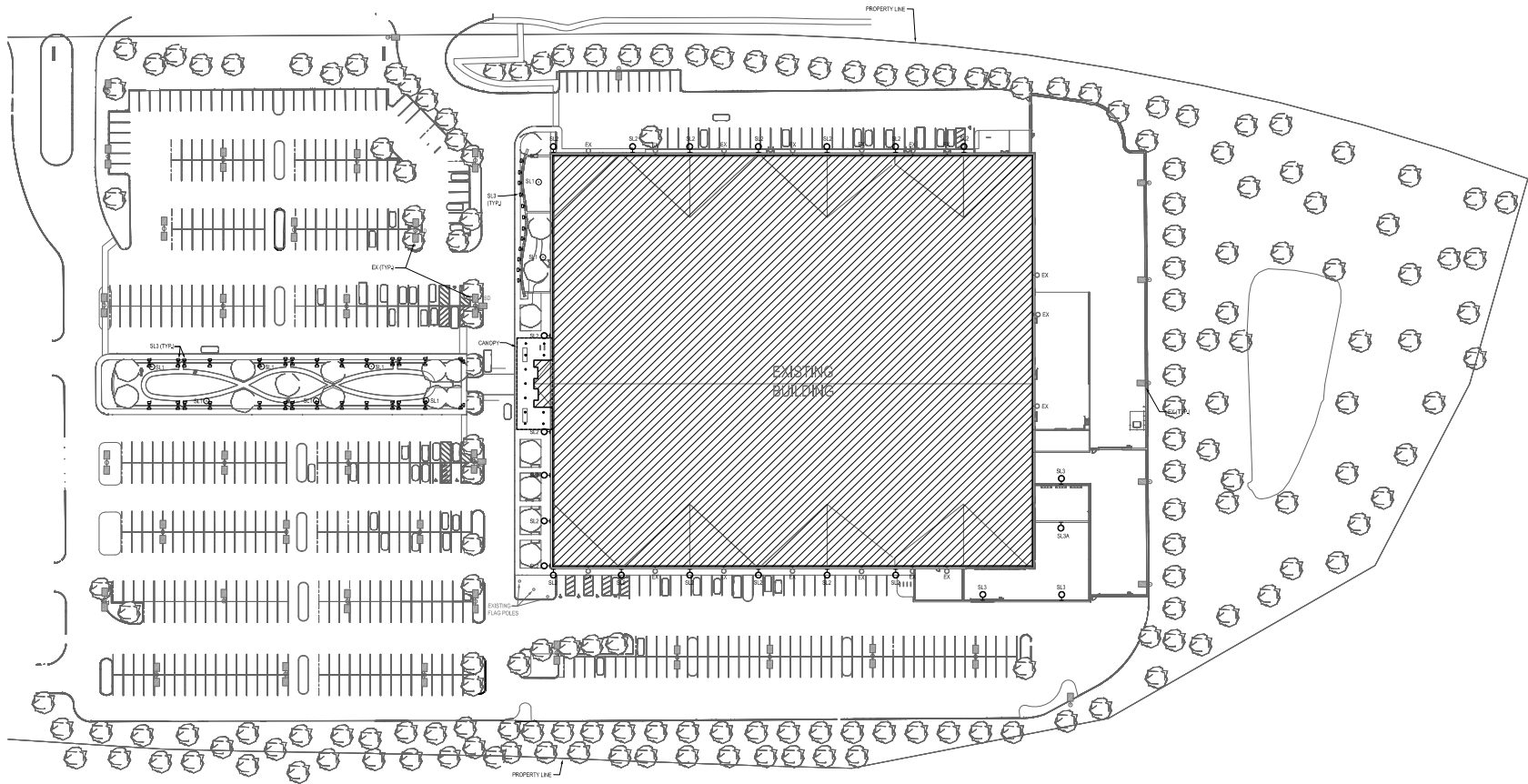
PROJECT STATUS

KEY:

SITE LIGHTING PLAN

E-01

DATE	ML	BY	JPS
03/29/24			2253.00



SITE LIGHTING PLAN
SCALE: 1" = 40'-0"

9/14/2023 10:40:17 AM



REVISIONS

No.	Description	Date

PROJECT STATUS

REV:

SHEET NUMBER
E-02

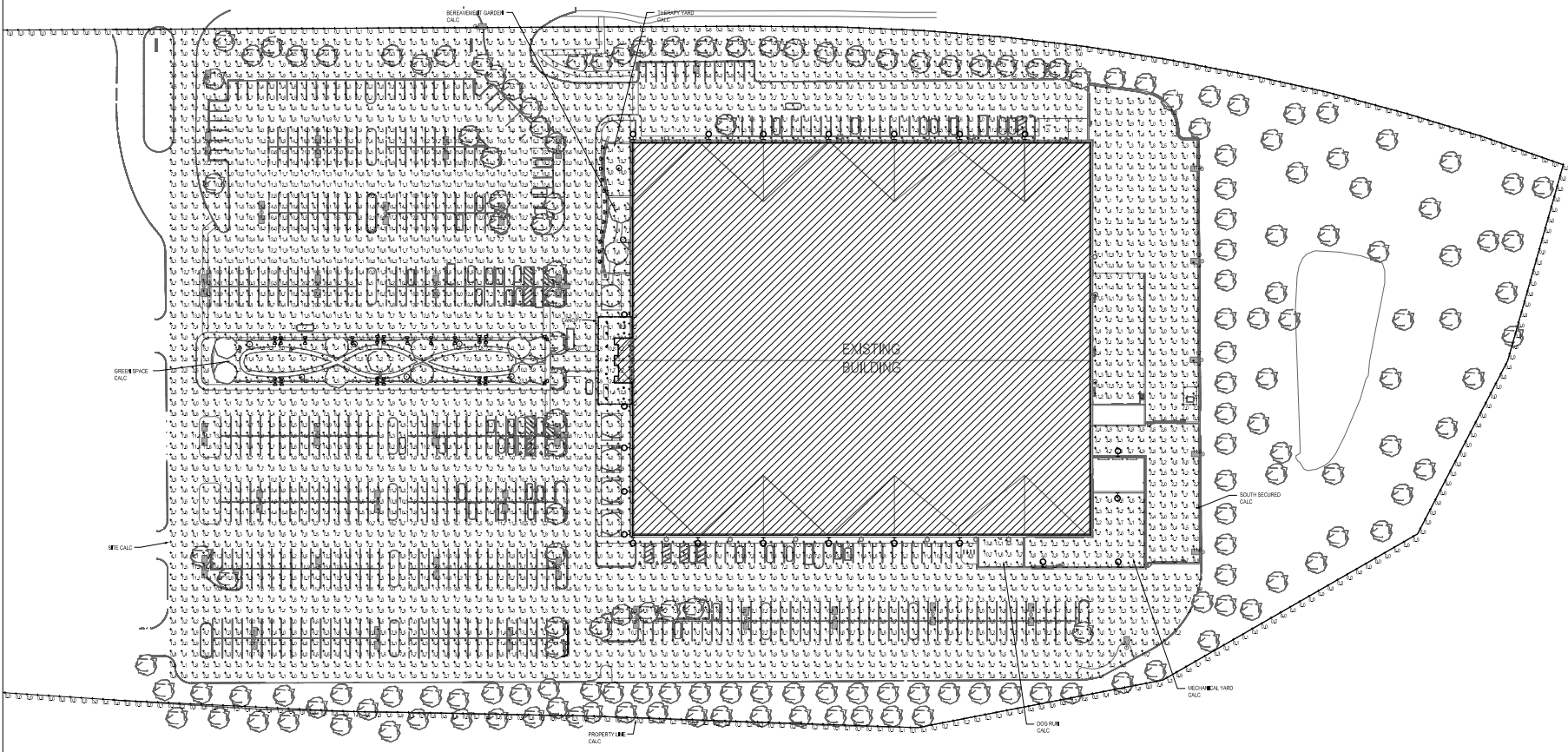
DATE	BY	CHKD BY
03/29/24	ML	IPS
03/29/24	ML	IPS

Legend

Land Use	Color	Code	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)
Recreation/Garden	Light Green	RL	1,428	1,428	1,428	1,428
Open Space	Light Green	RL	1,428	1,428	1,428	1,428
Other Space	Light Green	RL	1,428	1,428	1,428	1,428
Impervious Area	Dark Green	RL	1,428	1,428	1,428	1,428
Other	Dark Green	RL	1,428	1,428	1,428	1,428
South-Southwest	Dark Green	RL	1,428	1,428	1,428	1,428
Other	Dark Green	RL	1,428	1,428	1,428	1,428

Legend

Symbol	Code	Assignment	Value/Units	Unit	Code	Value/Units	Unit



SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 40'

9/14/2023 10:40:17 AM

PROFLO LIGHTING & STANDARDS CO. SL1
2921 Lee Flores Blvd., Littleton, CO 80120 TEL: 303.664.9344 FAX: 303.903.9451

KR & KS

DESCRIPTION
These pole-top, high efficiency luminaires are applied with special aluminum reflectors and fully enclosed lamp for glare-free compliance.

FEATURES
• 100% reflectance
• High efficiency
• Fully enclosed lamp
• Glare-free compliance

INSTALLATION
• Mounting height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted
• Pole height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted

DETAILS
• Mounting height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted

CONTACT
Proflo Lighting & Standards Co.
11111 E. 1st Ave., Suite 100, Denver, CO 80231
www.proflo.com

PROFLO LIGHTING & STANDARDS CO. KR, KS

DESCRIPTION
Heavy gauge, pole-top luminaires. Heavy gauge, pole-top luminaires. Heavy gauge, pole-top luminaires.

FEATURES
• 100% reflectance
• High efficiency
• Fully enclosed lamp
• Glare-free compliance

INSTALLATION
• Mounting height: 30' to 40'
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CONTACT
Proflo Lighting & Standards Co.
11111 E. 1st Ave., Suite 100, Denver, CO 80231
www.proflo.com

UP-DOWN CYLINDER CYLINDER

DESCRIPTION
UP-DOWN CYLINDER CYLINDER

FEATURES
• 100% reflectance
• High efficiency
• Fully enclosed lamp
• Glare-free compliance

INSTALLATION
• Mounting height: 30' to 40'
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• Mounting height: 30' to 40'
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CONTACT
TMS LIGHTING

UP-DOWN CYLINDER CYLINDER

DESCRIPTION
UP-DOWN CYLINDER CYLINDER

FEATURES
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• High efficiency
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INSTALLATION
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DETAILS
• Mounting height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted

CONTACT
TMS LIGHTING

BEACON GEOPAK Series 2

DESCRIPTION
GEOPAK Series 2

FEATURES
• 100% reflectance
• High efficiency
• Fully enclosed lamp
• Glare-free compliance

INSTALLATION
• Mounting height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted

DETAILS
• Mounting height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted

CONTACT
Current

BEACON GEOPAK Series 2

DESCRIPTION
GEOPAK Series 2

FEATURES
• 100% reflectance
• High efficiency
• Fully enclosed lamp
• Glare-free compliance

INSTALLATION
• Mounting height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted

DETAILS
• Mounting height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted

CONTACT
Current

UP-DOWN CYLINDER CYLINDER

DESCRIPTION
UP-DOWN CYLINDER CYLINDER

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CONTACT
TMS LIGHTING

UP-DOWN CYLINDER CYLINDER

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DETAILS
• Mounting height: 30' to 40'
• Pole diameter: 4" to 6"
• Pole material: Aluminum
• Pole finish: Anodized or painted

CONTACT
TMS LIGHTING



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
MAY 6, 2024 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
24-PCE-0011 5230 Walnut Avenue	Special Use for vehicle body and paint finishing shop	Emily Hepworth, AICP Development Planner

REQUEST

The petitioner is requesting approval of a Special Use to operate a vehicle body and paint finishing shop at 5230 Walnut Avenue.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER: MacNeil Real Estate Holdings
1 MacNeil Court
Bolingbrook, IL 60440

PETITIONER: Daniel Resendiz
Auto Body Unlimited
5100 Thatcher Rd
Downers Grove, IL 60615

PROPERTY INFORMATION

EXISTING ZONING: M-1, Light Manufacturing
EXISTING LAND USE: Light Industrial Business Park
PROPERTY SIZE: 1.43 acres (62,206.7 square feet)
PINS: 08-11-408-022

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	M-1, Light Manufacturing	Light Industrial / Business Park
SOUTH:	R-6, Residential Apartment/Condo 6	Office / Corporate Campus
EAST:	ORM, Office, Research & Manufacturing	Light Industrial / Business Park
WEST:	M-1, Light Manufacturing	Light Industrial / Business Park

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Location Map
2. Project Narrative
3. Special Use Criteria
4. Plat of Survey
5. Floor Plan
6. Site Plan

PROJECT DESCRIPTION

The petitioner is requesting approval of a Special Use to operate a vehicle body and paint finishing business at 5230 Walnut Avenue. The property is zoned M-1, Light Manufacturing. The proposed use is an allowable Special Use in the M-1 district.

The petitioner, Autobody Unlimited, is currently located at 5100 Thatcher and is seeking Special Use approval to expand into a larger space at 5230 Walnut Avenue. The business will provide automotive body repair, painting, and detail service. All business operations will be conducted internally, with the 26,000 square foot building accommodating office space, one vehicle print spray booth, nine vehicle service bays, and 15 vehicle storage spaces with no vehicles to be stored outside of the building. The petitioner is proposing to remodel the interior of the building and make site improvements, but will not be remodeling the building façade.

COMPLIANCE WITH THE ZONING ORDINANCE

The subject property is zoned M-1, Light Manufacturing. Per Section 28.5.010 of the Zoning Ordinance, a vehicle body and paint finishing shop is an allowable Special Use. In addition to the interior build out, the petitioner will provide pedestrian connections to the public sidewalk in addition to a construction of a landscaping island in the parking lot.

With regards to off-street parking, the petitioner's application states that there are nine proposed vehicle service bays, thus the petitioner is required to have 18 parking spaces per Section 28.7.030 and 28.7.130. Including the vehicle service area, the building will house business office space for the petitioner, requiring 11 additional parking spaces. There are 29 outdoor parking spaces and 15 interior parking spaces, for a total of 44 spaces provided with this proposal, which meets the requirements of the Zoning Ordinance.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Comprehensive Plan designates the land use of the property as light industrial/business park, which recommends uses dedicated to design, assembly, processing, packaging, storage and transportation of products, in addition to promoting the attraction of contemporary industrial users in the Belmont/Ellsworth Industrial Park. The Comprehensive Plan further recommends that improvements should be made to existing buildings, parking lots and the public rights of-way. The Comprehensive Plan also places this property within the Belmont/Ellsworth Focus Area. The Belmont/Ellsworth Focus Area key concepts include reduction of the heat island effect through providing shade on-site. These recommendations are met with the additional landscaping and pedestrian connections provided on the subject property.

The proposed use is consistent with the Comprehensive Plan.

ENGINEERING/PUBLIC IMPROVEMENTS

While there are no public improvements proposed, two site improvements are proposed. Two pedestrian connections from the public sidewalks along Thatcher Road and Walnut Avenue are proposed to connect an entrance door on the south side of the building to the public right of way. A landscape island is

proposed directly west of the parking row adjacent to the south building wall, in compliance with Section 28.8.030.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division of the Fire Department has reviewed the application and has no concerns.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property line in addition to posting the public hearing sign and publishing a legal notice in the *Daily Herald*. Staff received two phone calls and the attached communications expressing concerns about the use, specifically related to potential odors and environmental impacts from the spray booth, in addition to noise and traffic impact from the proposed use and the Ellsworth Business Park.

The petitioner confirmed that their business is registered with the Illinois EPA, the regulatory body for such items as business waste and air quality control. The petitioner also confirmed they are compliant with all IEPA rules and regulations. With their existing business operations, the IEPA reviews waste pickup and requires the business to log and properly dispose of all paint waste. The IEPA also ensures that no waste dumping occurs on site. The petitioner has stated that they use water based paint for their painting applications, which is the current industry standard, which replaced more volatile chemicals that were previously used for spray booth operations.

The Village requires a spray booth permit to ensure all applicable building and fire codes are met. The Building Code requires all spray booths must meet certain ventilation requirements. Once the spray booth is installed a final inspection is completed. With a spray booth, the Village's Fire Prevention Division conducts annual inspections of the spray booth ensuring that the air filters are maintained, in addition to fire protection equipment is in service and also maintained. Additionally, Municipal Code Section 28.10.040 requires the petitioner to meet operational performance standards for noise and odors for the proposed use.

The petitioner will also address these concerns at the Plan Commission public hearing.

STANDARDS OF APPROVAL

The petitioner is requesting a Special Use approval for a vehicle body and paint finishing shop. The review and approval criteria is listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Plan Commission should consider the petitioner's documentation, the staff report, and the discussion at the Plan Commission meeting in determining whether the standards for approval have been met.

Section 28.12.050.H Standards for Approval of Special Uses

No special use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the petitioner has presented evidence to support each of the following conclusions:

- (1) That the proposed use is expressly authorized as a Special Use in the district in which it is to be located.*
- (2) That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
- (3) That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements*

in the vicinity.

DRAFT MOTION

Staff will provide a recommendation at the May 6, 2024 meeting. Should the Plan Commission find that the request meets the standards of approval for a Special Use, staff has prepared a draft motion that the Plan Commission may make for the recommended approval of 24-PCE-0011:

Based on the petitioner's submittal, the staff report, and the testimony presented, I find that the petitioner has met the standards of approval for a Special Use as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 24-PCE-0011, subject to the following conditions:

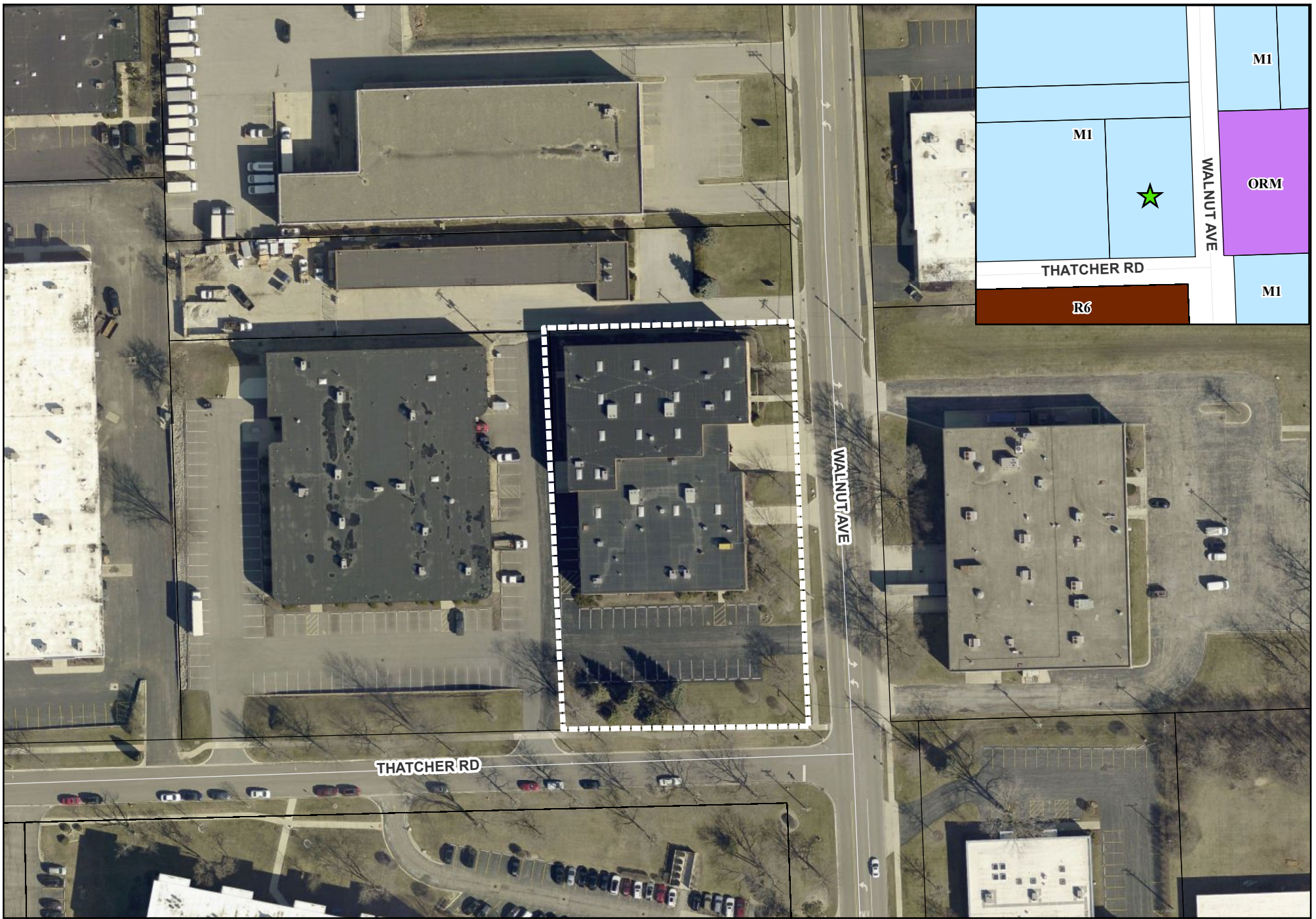
1. The Special Use shall substantially conform to the staff report, plans and documents attached to this report except as such plans may be modified to conform to the Village codes and ordinances;
2. No vehicles may be test driven in residential neighborhoods. All test drives are limited to arterial streets as defined in the Comprehensive Plan. Arterial streets include Ogden Avenue, Belmont Road, Warren Avenue, and Main Street.
3. Inoperable vehicles are not permitted to be stored outside.

Staff Report Approved By:





Stanley J. Popovich, AICP
Community Development Director

SP:eih
-att



300 150 0 300 Feet

5230 Walnut Avenue - Location Map

 Subject Property
 Sign Location



5100 Thatcher Rd. ♦ Downers Grove, IL 60515
630/964-9694 ♦ Fax 630/964-4978

Tuesday, April 30, 2024

To Whom It May Concern,

AutoBody Unlimited, a cornerstone in our community for over three decades, is seeking a Special Use approval to relocate our operations two blocks from our current location. As a dedicated automotive repair service, we specialize in a comprehensive range of auto body repair and painting services. Our commitment to quality and customer satisfaction has been the driving force behind our long-standing reputation.

Our operations encompass a full spectrum of auto body work, including but not limited to, collision repair, paint jobs, and customization services. We employ a team of certified professionals who leverage the latest in automotive repair technology to ensure every vehicle is returned to its pre-accident condition or better. Our facility is equipped with state-of-the-art tools and equipment, enabling us to handle projects of any scale efficiently.

The proposed relocation is a strategic move to enhance our service capabilities and accessibility. This special use will allow us to continue providing top-tier automotive repair services in a more modern and spacious facility, further contributing to our community's economic vitality.

We respectfully request your support in our application for this Special Use, ensuring AutoBody Unlimited's legacy of quality service and community partnership continues for years to come.

Sincerely,

Daniel Resendiz
Owner



Special Uses

Form #PC02

Review and Approval Criteria

Address of Project Site: 5230 Walnut Ave.

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.050.H. Approval Criteria (Special Uses)

No special use may be recommended for approval or approved unless the respective review or decision making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located.

Auto Body Repair is an authorized Special Use in the M1 zoning district

2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

We would like to hire more technicians but can not do so at our current location due to space

3. That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.

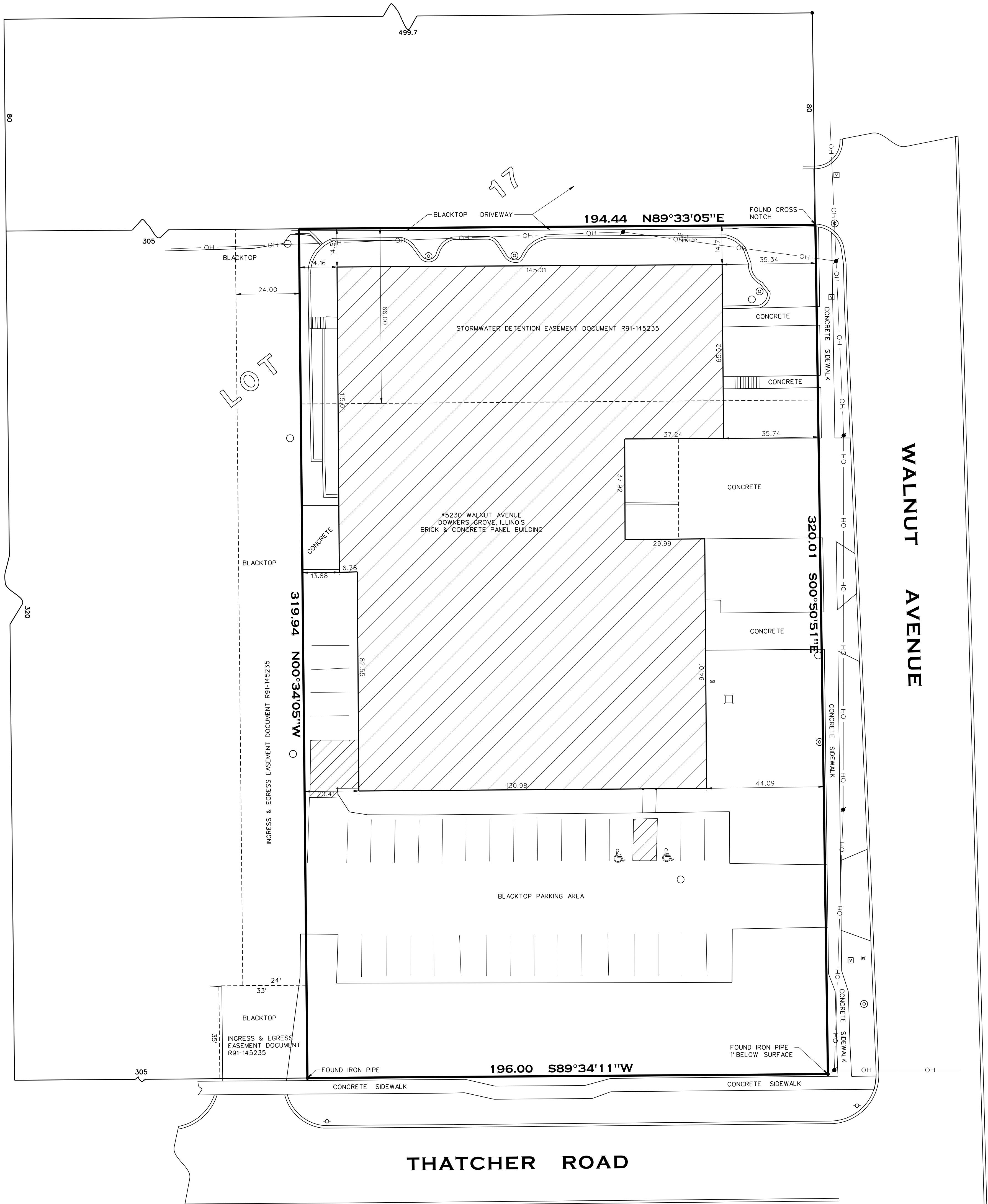
We have always maintained a extremely clean AND SAFE ENVIRONMENT FOR EMPLOYEES AND THE NEIGHBORHOOD BOTH INSIDE AND OUT OF OUR BUILDING

PLAT OF SURVEY

LOT 17 IN ARTHUR T. MC INTOSH AND COMPANY'S FIRST ADDITION TO BELMONT, BEING A SUBDIVISION OF PART OF SECTIONS 1, 2, 11 AND 12, TOWNSHIP 38 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 13, 1919 AS DOCUMENT 137824, IN DUPAGE COUNTY, ILLINOIS (EXCEPT FROM SAID LOT 17 THE NORTH 80 FEET THEREOF DESCRIBED AND BOUNDED AS FOLLOWS:
 COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 17 AND RUNNING SOUTHERLY ALONG THE WEST SIDE OF SAID LOT 17, A DISTANCE OF 80 FEET; THENCE EASTERLY 500 FEET PARALLEL WITH THE NORTH LINE OF SAID LOT 17 TO THE EAST LINE OF SAID LOT 17; THENCE NORTHERLY ON THE EAST LINE OF SAID LOT 17 A DISTANCE OF 80 FEET TO THE NORTHEAST CORNER OF SAID LOT 17; THENCE WESTERLY ALONG THE NORTH LINE OF SAID LOT 17, A DISTANCE OF 499.7 FEET TO THE POINT OF BEGINNING; AND EXCEPT FROM SAID LOT 17 THE WEST 305 FEET THEREOF AS MEASURED ALONG THE SOUTH AND NORTH LINES THEREOF)



2/15/2024 4:27:31 PM



LEGEND

	SANITARY MANHOLE		MAILBOX
	SANITARY CLEANOUT		DOWNSPOUT
	STORM MANHOLE		LIGHT POLE
	STORM CATCH BASIN		OVERHEAD LIGHT POLE
	STORM INLET		ELECTRIC MANHOLE
	STORM CLEANOUT		TRAFFIC SIGNAL POLE
	FLARED END SECTION		TRAFFIC CONTROL BOX
	TRANSFORMER		TRAFFIC SIGNAL VAULT
	ELECTRICAL BOX		RAILROAD SIGNAL POLE
	CABLE T.V. BOX		RAILROAD SIGNAL VAULT
	TELEPHONE BOX		UTILITY POLE
	TRAFFIC CONTROL BOX		OVERHEAD WIRES
	ELECTRIC HANDHOLE		UNDERGROUND ELECTRIC
	COMMUNICATION MANHOLE		UNDERGROUND GAS
	TELEPHONE MANHOLE		UNDERGROUND TELEPHONE
	ELECTRIC METER		UNDERGROUND FIBER OPTIC
	GAS METER		UNDERGROUND CABLE T.V.
	GAS VALVE		WATER MAIN
	B-BOX		SANITARY SEWER
	WATER VALVE		STORM SEWER
	WATER VALVE VAULT		FENCE LINE
	FIRE HYDRANT		GUARD RAIL
	POST INDICATOR VALVE		DECIDUOUS TREE
	WATER METER		PINE TREE
	PARKING METER		DRIVE IRON PIPE
	SIGN		FOUND IRON PIPE
	FLAG POLE		CROSS CUT IN CONCRETE
	PIPELINE MARKER		M - MEASURED DIMENSION
			R - RECORD DIMENSION

SURVEYOR'S CERTIFICATE

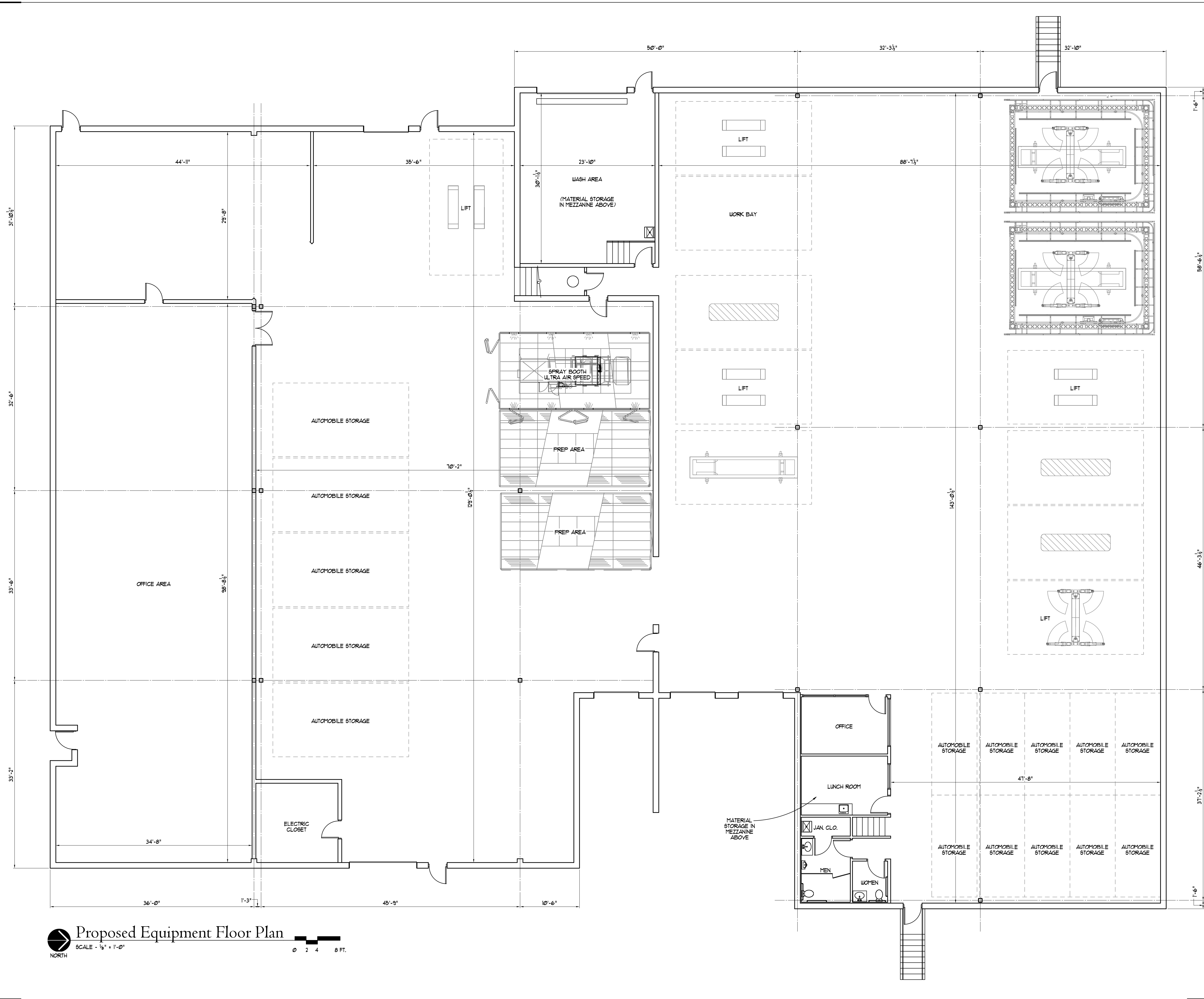
STATE OF ILLINOIS)
 COUNTY OF DUPAGE)SS
 THIS IS TO CERTIFY THAT WEBSTER, McGRATH AND AHLBERG, LTD. HAVE MADE A BOUNDARY SURVEY OF THE PROPERTY DESCRIBED IN THE ABOVE CAPTION, AS SHOWN BY THE ANNEXED PLAT, WHICH IS A CORRECT AND TRUE REPRESENTATION OF SAID SURVEY.
 ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS. FIELD WORK COMPLETED 02/15/2024.
 GIVEN UNDER MY HAND AND SEAL AT WHEATON, ILLINOIS THIS 15TH DAY OF
 FEBRUARY, A.D. 2024
 WEBSTER, McGRATH AND AHLBERG, LTD.
 BY: _____
 ILLINOIS LAND SURVEYOR NO. 2689
 LICENSE EXPIRATION DATE: NOVEMBER 30, 2024
 207 S. NAPERVILLE STREET
 WHEATON, ILLINOIS 60187
 (630) 668-7603



Rev	Date	Description	By
PLAT OF SURVEY			
LOCATION: 5230 WALNUT AVENUE DOWNERS GROVE, ILLINOIS			
PREPARED FOR: MACNEIL REAL ESTATE HOLDINGS, LLC 1 MACNEIL COURT BOLINGBROOK, ILLINOIS 60444			
JOB #: 40531		DATE: 02/15/2024	SCALE: 1"=20'
SURV: GA		DRAWN: GA	DESIGN:
FILE #: D-31716		SHEET # 1 of 1	
WEBSTER, McGRATH & AHLBERG LTD. LAND SURVEYING - CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE Over a Century of Service to our Clients 2100 Manchester Road, Building A, Suite 203 Wheaton, Illinois 60187 ph: (630) 668-7603 web: www.wmahl.com Design Firm License No. 184-203101			

C:\Users\gary.ahlberg\Documents\ACTIVE-PROJECTS\40531-11510-DuPage\SUR\40531 SURVEY.dgn

Tuesday, April 16, 2024 7:36 PM
 C:\DataCAD 22\Drawings\240207\240207.aec



Proposed Equipment Floor Plan
 SCALE = 1/8" = 1'-0"
 NORTH
 0 2 4 8 FT.

Mark J. Rupsis - Architect
 822 Mumby Drive
 Joliet, Illinois 60435
 630.740.6956 FAX - 630.405.6764
 www.mjrps.com

Interior Non-Structural Renovation Plans for
Autobody Unlimited
 5230 Walnut Avenue
 Downers Grove, Illinois 60515
 MacNeil Real Estate Holdings, LLC

Issued for	Date
SPECIAL USE PERMIT	3-14-24

Revisions	Date
REVIEW COMMENTS	4-16-24

I hereby certify that these plans were prepared under my direct supervision, & to the best of my knowledge conform to the building codes & ordinances of DOWNERS GROVE, ILLINOIS



Mark J. Rupsis
 DATE: 3-14-24

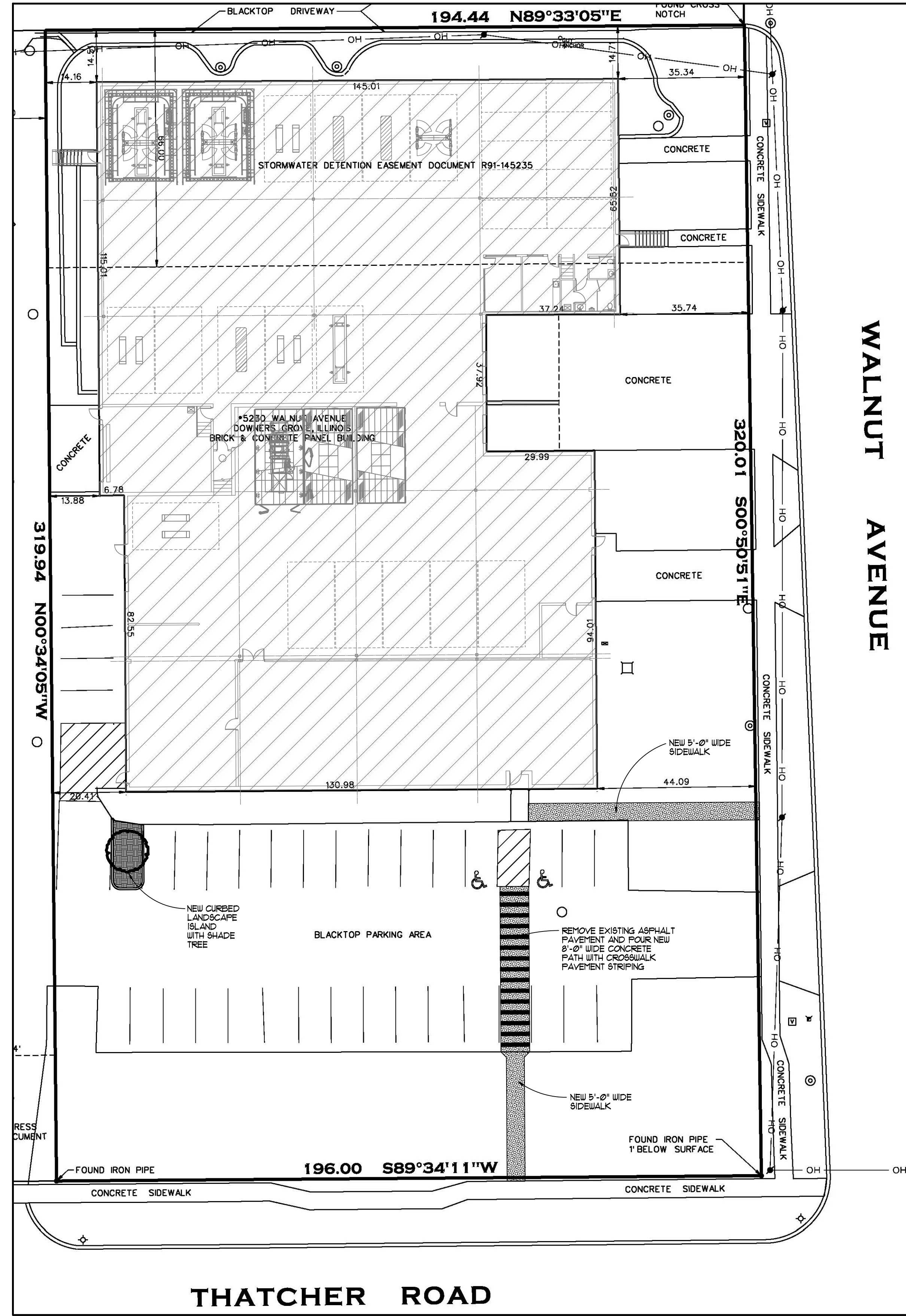
Proposed Equipment Floor Plan

Drawn by: MUR
 Checked by: MUR

Job no: 2402.07

Sheet: AI

FOR SHEETS: AI
 LICENSE EXPIRES: 11-30-24



Site Plan
 SCALE - 1" = 20'-0"
 NORTH



Issued for	Date
SPECIAL USE PERMIT	3-14-24
Revisions	Date
REVIEW COMMENTS	4-16-24

Proposed Site Plan

Drawn by: MUR
 Checked by: MUR

Job no: 2402.07

Sheet:

A2

Interior Non-Structural Renovation Plans for
Autobody Unlimited
 5230 Walnut Avenue
 Downers Grove, Illinois 60515
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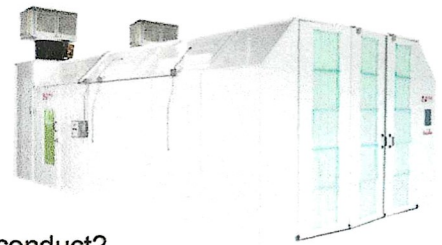
WALNUT AVENUE

THATCHER ROAD

To the Plan Commission of the Village of Downers Grove:

My name is John Bauer. I live in the Cameo West condo at 5300 Walnut Ave Downers Grove Ill. I would like to voice my opposition to the petition seeking Special Use approval for a vehicle body and paint finishing shop 24-PCE-00111 with questions for the following reasons:


1. Whether using solvent-based or waterborne paint, it is nearly impossible to avoid volatile organic compounds (VOCs)
2. Exposure to VOCs can cause eye, nose, and throat irritation; shortness of breath; headaches; fatigue; nausea; dizziness; and skin problems. Higher concentrations of VOCs can irritate the lungs, as well as damage the liver, kidney, and central nervous system.
3. In a workshop environment, it can often take hours for overspray to clear. This increases the risk of breathing in materials of Volatile Organic Compound (VOC's) emissions, which are harmful to human health and vegetation when present at high enough concentrations. This presents a significant risk to the surrounding environment. For this reason, paint booths serve a great deal of responsibility by keeping us and others safe from illnesses that could be long-term or fatal.
4. Does the spray booth have three- or two-stage NESHAP filtration? If it is two-stage, it means that your overspray will pass through 2 different filters before it is exhausted. If it is a three-stage filtration, it will go through three different filters. This is to ensure that the air is properly filtered of all contaminants before exhausted. Do they have a NESHAP sanding booth with two MERV 11 filter boxes for recirculated air? https://cfpub.epa.gov/si/si_public_record_report.cfm?Lab=NRMRL&dirEntryId=90529
5. What Environmental, and Economic Impacts and Additional Analyses were conducted as required by the EPA? https://www.epa.gov/system/files/documents/2022-11/FR-PaintStripping_Final%20Rule.pdf
 - A. What are the affected facilities?
 - B. What are the air quality impacts?
 - C. What are the cost impacts?
 - D. What are the economic impacts?
 - E. What are the benefits?
 - F. What analysis of environmental justice did they conduct?
 - G. What analysis of children's environmental health did they conduct?
6. Our Condo building is approximately 300 feet south of the 5230 Walnut property in question and has 155 senior residents residing here. When the wind blows out of the North, Northwest, or Northeast, are we guaranteed to be free from these toxic smells? If compliance is not guaranteed, then I/we would like to have it recorded so that we can take legal action!
7. The person spraying in the spray booth is protected with a respirator - we are not!
8. We are also concerned about the sound level of this shop working on cars and would like guarantees on that as well.
9. Lastly, everyone facing this body shop has to look at the demolished cars from their balconies that are parked in the lot waiting to be repaired.



Below are websites with regulations and laws for setting up an Auto Body shop with variances in Urban areas.

- https://www.epa.gov/system/files/documents/2022-11/FR-PaintStripping_Final%20Rule.pdf
- https://19january2017snapshot.epa.gov/sites/production/files/2013-12/documents/auto_refinishing_spray_booth_filters.pdf
- <https://cleanair.camfil.us/2018/03/15/can-fight-air-pollution-auto-body-workshops/>
- <https://relyonusa.com/6h-rule-compliance-for-spray-booths/>

Sincerely,


John Bauer 4-27-2024

To: Downers Grove Planning Commissioner

From: Michael S. Marlow, 5300 Walnut Ave., [REDACTED]

Date: April 27, 2024

Subject: Proposed Special Zoning Permit 5320 Walnut Ave. Auto Body & Paint Shop

I am a resident of the Cameo West Condominium located across from proposed auto body repair and painting facility. The location of such business directly opposite a residential condo is objectionable and detrimental to our condo community.

As a back ground our condo is a senior living (55+) residence consisting of 120 units and approximately 165 individuals. Many of our residents face environmental and respiratory issues which are common to our age demographic.

Pollution control and devices for particulate collection is essential but perhaps more important is the continuing inspection of such devices. One time inspection at the time of buildout does not insure compliance with pollution standards. Just as with food providers, continuous repeated inspection is required. Simple smell or visual observation does not guarantee lack of pollution particulate.

Other factors include where vehicles will be stored as they await restoration. I do not believe all car can be inside in bays at all times. Looking at damaged cars from our balconies is not a pleasant image.

What impact will tow car and flat bed trailer delivery have to traffic or noise level. Will their be restricted hours for delivery.

Simply suggesting to a owner of repair shop that they plant tree as a screen does not instill confidence of compliance. It should be mandated as part of approval.

In summary location seems imprudent. Thank you for reviewing my concerns and objections.



Michael S. Marlow
[REDACTED]

5300 Walnut Avenue, [REDACTED]
Downers Grove, IL 60515
[REDACTED]

May 1, 2024

RE: File 24-PCDE-0011 – Special Zoning

Dear Emily Hepworth:

I reside in the Cameo Condominium complex which is a 51 and over senior community. My concerns regarding the above petition are as follows:

- Noxious fumes and particulates from the paints and chemicals emanating from the source and affecting our health.
- Increased traffic flow along Thatcher Avenue, and cars parked everywhere while waiting to be worked on.
- Noise level from machinery and other equipment interfering with our living environment.
- Cars being towed and dropped off at the facility at all hours of the night.
- Cameo Condominiums are located in a residential area and, therefore, we should not be subjected to such an environmental hazard, especially at our age.

Thank you for your time and attention to my concerns.

Sincerely,

Carol Mysicka
Cameo 5300 Resident



Emily Hepworth <eheworth@downers.us>

Use of a building across from Cameo

1 message

Carol O'Toole [REDACTED]
To: eheworth@downers.us

Tue, Apr 30, 2024 at 12:58 PM

I live at 5300 [REDACTED], Walnut Avenue, Downers Grove IL 60515.

After attending a meeting at Cameo last night (April 29, 2024), I have become concerned about the impact on my health and property. The information presented to us seemed to suggest major problems. I refer you to Cameo resident John Bauer's letter.

I am also concerned about the loss of property value, the health of our employees and visitors.

My ability to attend the meeting on May 6 is not possible due to my handicap. If possible, my son or daughter-in-law may attend. They are residents of Downers Grove.

Thank you for your consideration.

Carol A. O'Toole
[REDACTED]



Emily Hepworth <eheworth@downers.us>

Special Use approval for a vehicle body and paint finishing shop 24-PCE-00111

1 message

Don Tuskey [REDACTED]

Tue, Apr 30, 2024 at 6:51 PM

To: "eheworth@downers.us" <eheworth@downers.us>

Dear Ms. Hepworth, I volunteer at a food pantry in Naperville. Boyz Body Works is right across from us. In the summer workers open the doors and other volunteers have reported the odor of paint emanating from that building. While I realize any business will insist that they follow all the rules, people are people and will do what they want to do for their comfort or pleasure. I am

against granting this Special Use Approval.

Thank you for your consideration.

Don Tuskey

5300 Walnut Avenue

[REDACTED]

Downers Grove, IL

69515-4121

May you be well, may you be happy, may you be peaceful and may you be loved.

