



Village of Downers Grove

Planning and Zoning Commission – Agenda

Table 1 - Detailed information on this Planning and Zoning Commission Meeting

Meeting Location	Civic Center – Betty Cheever Council Chambers
Meeting Address	850 Curtiss St., Downers Grove, IL 60515
Meeting Date	September 21, 2026 at 7:00 PM

Call to Order.

Roll Call.

Approval of Minutes.

A. August 24, 2026

Public Hearing.

A. 26-PZC-0044:

The petitioner is seeking approval of a zoning exception to allow a vertical extension of a nonconforming wall. The property is south of the intersection of Dunham Road and Blanchard Street, commonly known as 5708 Dunham Road, Downers Grove, IL (PIN: 09-18-207-048). Petitioner and Owner, Tim Neal.

B. 26-PZC-0047:

The petitioner is seeking approval of a petition seeking a rezoning from R-3, Residential Detached House 3 to R-4, Residential Detached House 4. The property is north of the intersection of Carpenter Street and Summit Street, commonly known as 5412 Carpenter Street, Downers Grove, IL (PIN: 09-08-311-014). Petitioner and Owner, Andrew Anderson.

C. 26-PZC-0039:

The petitioner is seeking approval of a Planned Unit Development Amendment and a Special Use Amendment to construct a mixed-use 13-unit apartment building. The property is currently zoned DC/P.D. #74, Downtown Core/ Planned Development #74. The property is located on the on the west side of Forest Avenue between Gilbert Avenue and Curtiss Street, commonly known as 5112-5120 Forest Avenue (PINs: 09-08-301-008, -009, -030, and -031) Petitioner, Brownstone Homes, LTD; Owners, Brownstone Homes, LTD and 1024 Division Commons, LLC.

At the August 24, 2026 meeting, per the petitioner's request, this case was continued to the September 21, 2026 meeting.

Public Comments.

Adjournment.



Village of Downers Grove

Planning and Zoning Commission – Minutes

Table 1 - Detailed information on this Board or Commission meeting.

Meeting Location	Civic Center – Betty Cheever Council Chambers
Meeting Address	850 Curtiss St., Downers Grove, IL 60515
Meeting Date	August 24, 2026 at 7:00 PM

Call to Order.

Roll Call.

Present: Barry, Eberhardt, Frankovic, Lincoln, Patel, Reyes, Wolf, Chairman Rickard

Absent: None

Approval of Minutes.

A. August 3, 2026

Motion to approve the minutes by Chairman Rickard. The motion passed by voice vote, with Commissioner Reyes abstaining.

Public Hearing.

A. 26-PZC-0039:

The petitioner is seeking approval of a Planned Unit Development Amendment and a Special Use Amendment to construct a mixed-use 9-unit apartment building. The property is currently zoned DC/P.D. #74, Downtown Core/Planned Development #74. The property is located on the west side of Forest Avenue between Gilbert

Avenue and Curtiss Street, commonly known as 5112-5120 Forest Avenue (PINs: 09-08-301 -008, -009, -030, and -031) Petitioner, Brownstone Homes, LTD; Owners, Brownstone Homes, LTD and 1024 Division Commons, LLC.

Chairman Rickard shared the petitioner requested to continue the item until the September 21st, 2026 meeting for additional time to refine their application and request.

Commissioner Patel made a motion to continue File 26-PZC-0039 to the September 21, 2026 Planning and Zoning Commission Meeting.

The motion was seconded by Commissioner Lincoln.

Aye: Barry, Eberhardt, Frankovic, Lincoln, Patel, Reyes, Wolf, Chairman

Nay: None

Motion Passed. Vote 8-0.

B. 26-PZC-0037

The petitioner is seeking approval of a Map Amendment to rezone the subject property from M-1, Light Manufacturing, to O-R-M, Office-Research-Manufacturing. The property is located approximately 50 feet north of the intersection of Warrenville Road and Cross Street, commonly known as 2500 Warrenville Road, Downers Grove, IL (PIN: 08-01-300-015). Petitioner, Andrew Scott; Owner, 2500 Warrenville LLC.

Curt Pascoe, Executive Vice President of Development with Kurv Industrial, presented their request for the approval of a Map Amendment to rezone the property from M-1 to O-R-M. He noted they recently obtained approval to rezone and redevelop the adjoining property to the east. He explained the subject property contains 7.9 acres and has a 89,000 square foot office building that is functionally obsolete and expected to be fully vacant by early 2027. He said the subject lot was subdivided in 2025 when they purchased and redeveloped the adjoining property.

He stated they are asking to rezone the parcel from M-1, light manufacturing, to O-R-M, as the Village wants to create a consistent zoning framework along the Warrenville Rd corridor. He added the light industrial redevelopment they are proposing is consistent with the surrounding land uses and would be permitted within the O-R-M District. He voiced that Kurv plans to replace the obsolete office building with a 173,000 square foot modern light industrial facility and the site plan was designed to function with all the truck operating areas and parking occurring off of public right-of-way, and the Warrenville Road frontage will be enhanced with architectural features, green space, and additional landscaping. He stated the project will represent a significant reinvestment and established employment corridor, support the Village's economic development goals, strengthen the local tax space, and support a diversified employment base while encouraging continued investment in business and industrial areas.

Chairman Rickard asked for confirmation this was strictly for them to decide if the zoning was appropriate. Mr. Moran answered yes, and anything to do with the site plan and building elevations is to be reviewed by permit later.

Chairman Rickard asked for questions for the petitioner.

Commissioner Patel asked if there was a proposed tenant for the space. Mr. Pascoe answered they are in talks with tenants for the current space that was recently completed, but for this building, they would not require tenants to move forward with the investment so they would look to break ground on the project next year and then complete it at the end of 2027.

Commissioner Lincoln stated the current Comprehensive Plan talks about a business park in that area. He asked for Mr. Pascoe to speak to that. Mr. Pascoe responded that rezoning from M-1 to O-R-M supports the types of developments like they did next door by creating a more cohesive plan throughout, and they are comfortable with the O-R-M zoning and businesses and the use that allows, whereas M-1 zoning can be more industrial in nature. Therefore, the O-R-M is more business park friendly than the existing designation. Mr. Zawila added the land use

category for underlying subject property is light industrial and business park, so a variety of uses can be placed there per the Guiding DG recommendations. Andrew Scott, Zoning Counsel from Dykema, stated when they have assemblages like this, it does not lend itself well to a comprehensive, broader business park, but it has business park elements.

Commissioner Lincoln inquired if the property is currently vacant or partially vacant, and how it had been that way. Mr. Pascoe commented the last tenant would be vacating the building in early 2027. Jon Pozerycki, Chicago Region Market Officer with Kurv Industrial, added they were under contract for this property 2 years ago, when it was one-third vacant, and the tenant that made up the other two-thirds are leaving at the end of the year.

Chairman Rickard asked for public comment. There were none.

Chairman Rickard asked for the staff report.

Carter Moran, Planner, explained the petition is for a Map Amendment from M-1, Light Industrial, to O-R-M at 2500 Warrenville Road. He said all the notice requirements were met and they received no public comment. He showed the existing lot conditions and the area under construction. He shared a Planned Unit Development and Plat of Subdivision were approved in February 2025, as well as the rezoning of 2300 Warrenville Road from M-1 to O-R-M. He went over the site plan and proposed site improvements, including a new warehouse and office building, parking area, and associated stormwater detention facilities. He discussed the Comprehensive Plan as it relates to this property and petition and the criteria for a Zoning Map Amendment. He said staff has found all standards of approval were met and recommended approval of the petition.

Chairman Rickard asked for questions for staff. There were none.

Chairman Rickard invited the petitioner back up to respond to any comments or add any other information. The petitioner had nothing further to add.

Chairman Rickard asked for Commission deliberation.

Commissioner Frankovic commented that it made sense to unify the area zoning wise and the proposed development would result in something cohesive and more usable than what is there currently. She also felt it fit with the Comprehensive Plan.

Commissioner Reyes agreed and felt it would help with redevelopment for the area.

Commissioner Barry stated it would make it consistent across the way.

Commissioner Eberhardt voiced right now the big parking lot in front of the small building did not really go with the rest of the Warrenville Rd area, so this seemed like a good location for the O-R-M Zoning District.

Commissioner Lincoln shared he would usually look for more time being vacant, but it made sense to keep it consistent, and it is a good place for it, as it not next to any houses or other places where they would have to worry about noises or smells.

Commissioner Patel agreed with his fellow commissioners and felt all the standards were met.

Commissioner Wolf concurred with her fellow commissioners comments.

Chairman Rickard agreed as well. He added the standards were in place to make sure they are not zoning a property to be adversarial to surrounding properties, but in this case they are taking the one oddball and making it blend in with surrounding properties.

With respect to File 26-PZC-0037, based on the petitioner's submittal, staff report, and the testimony presented, it is found that the petitioner has met the standards of approval for a Zoning Map Amendment as required by the Village of Downers Grove Zoning Ordinance, and is in the public interest. Therefore, Commissioner Patel made a motion that the Planning and Zoning Commission recommend the Village Council approve File 26-PZC-0037.

The motion seconded by Commissioner Reyes.

Aye: Barry, Eberhardt, Frankovic, Lincoln, Patel, Reyes, Wolf, Chairman

Nay: None

Motion Passed. Vote 8-0.

C. 26-PZC-0042

The petitioner is seeking approval of a Special Use to construct a new automobile dealership. The property is currently zoned B-3, General Services and Highway Business. The property is located approximately 470 feet northeast of the intersection of Finley Road and Ogden Avenue, commonly known as 2100 Ogden Avenue, Downers Grove, IL (PIN: 08-01 -401-003). Petitioner, GMZ Real Estate Group; Owner, WJK 2100 Associates, LTD.

Todd Smutz, Director of Development with GMX Real Estate Group, expressed they are proposing the redevelopment of the Bill Kay Corvette Dealership on 2100 Ogden Ave to a brand-new Rivian dealership with a sales and service.

Lesley Dare, Rivian Real Estate Lead, stated their proposed facility is much more than a traditional auto dealership and will provide top-tier, by appointment only routine maintenance and minor repairs, and there will be no stacking of vehicles or overcrowded storage. She shared they are very excited to get started and become a lasting part of Downers Grove.

Mr. Smutz explained the existing site is located on 2100 Ogden Avenue and is approximately 4.6 acres and zoned B-3, General Service and Highway Business. He said they are proposing demolition of the existing buildings and all the asphalt pavement for an entire redevelopment of the site, with a 51,000 square foot dealership building with showroom and service bays. He stated it will have 71 public parking stalls, 174 private parking stalls, 3 ADA stalls in front of the showroom, 17 level two charges, and 3 fast chargers. He added they are reducing the access from two points of access to Ogden Avenue to one. He went over the

photometric plan, landscape plan, and building elevations. He expressed the special uses they are requesting include the personal vehicle repair and maintenance and personal vehicle sales and rental special uses, and went over how their request is in line with those uses. He introduced their design engineering team.

Chairman Rickard asked for clarification on the address. Mr. Zawila responded there are two addresses on the property, but it was changed to 2100 for simplicity of the packet for the overall site, which will also most likely be the address for the property once developed.

Chairman Rickard asked for questions for the petitioner.

Commissioner Patel asked if the 174 private spaces are for vehicle inventory and if all vehicle deliveries must occur on private property and cannot take place on Ogden Avenue. Mr. Smutz answered yes for the 174 spaces being for vehicle inventory, and there is a designated area along the northern parking bank for semitruck drop-off. He confirmed there would not be any stacking or temporary parking for the delivery trucks on Ogden Avenue.

Commissioner Eberhardt inquired about bringing it down to one point of entry/exit. Mr. Smutz said they felt the existing access would not be acceptable to IDOT.

Commissioner Eberhardt inquired how many people would be coming in and out. Javier Millan, Principal with KLOA, answered they tested the weekday morning and evening peak hours, as well as Saturday midday, and according to IT, they generate 100 cars total in and out in the evening, and a about 125 cars on Saturday. He said under existing conditions, there are two access drives, with the eastern access drive being slightly offset to the road to Wilson Avenue, and anytime they can remove offset intersections is a positive. He added in this case, having the one access drive will be acceptable because of the volume of traffic and Ogden Avenue has a two-way left turn lane. He added that in exiting the dealership, the two-way left turn lane gives them a chance of making a two-part left turn as well.

Commissioner Reyes asked if the new driveway was going to be wide enough for a delivery truck to drive through if they are coming east to west. Mr. Millan responded they performed the turns to make sure the turning path of the delivery vehicles can make that turn and go around the building.

Commissioner Frankovic inquired if the chargers would be accessible for the public or just the dealership. Ms. Dare answered for the dealership, but if a customer is there getting service, shopping, or meeting with a sales consultant, they can charge it.

Commissioner Lincoln asked for confirmation that the closest Rivian location in the western suburbs was Oak Brook, which is sales only. Ms. Dare confirmed that was correct. She added one of their priorities for the last 2 ½ years was looking for a west side home, and Downers Grove was one of their top sites.

Commissioner Lincoln inquired if 85% was what they were aiming for the native plants. Mr. Smutz answered yes.

Commissioner Lincoln asked if they were also considered permeable pavers for sidewalk and pavement. Mr. Smutz responded they are reducing the overall impervious surfaces on the site, and they designed the site to detain all the stormwater runoff at the rear of the site and the small pond at the front. He said they would have to have a discussion on further reducing permeable pavers.

Commissioner Reyes asked about where test drives would happen. Ms. Dare stated Ogden Avenue, Belmont and Finley Road, Highland Avenue, Main Street and 55th Street.

Chairman Rickard inquired if there were any outdoor storage areas other than the trash enclosure. Ms. Dare answered no.

Chairman Rickard asked for public comment. There were none.

Chairman Rickard asked for the staff report.

Flora Leon, Senior Planner, explained the petition is for 2100 Ogden Avenue, for a Special Use to construct a new automobile dealership. She said the site is about 4.5 acres, and the existing zoning district is B-3, General Service and Highway Business, which allows the proposed use with a special use. She said all notice requirements were met and they received one call and were asked one question while she was on the site visit, which were general in nature. She noted the petitioner is proposing to demolish the two existing building footprints on site. She went over the site plan, including the building footprint, access point, pedestrian connections, trash enclosure, and provided the elevations for the building and proposed materials. She shared the goals of the Comprehensive Plan related to the petition and the special use criteria. Staff found the four standards of the special use were met.

Chairman Rickard asked for questions for staff.

Commissioner Lincoln asked if the previous occupant of the property had a vehicle service center or sales only. Mr. Zawila responded the smaller building on the west side of the lot was for service. Chairman Rickard added there was a garage in the back of the main building where they worked on vehicles.

Chairman Rickard invited the petitioner back up to add any other information or address anything that came up. Mr. Smutz expressed they are excited to support the development and appreciation their consideration.

Chairman Rickard asked for Commission deliberation.

Commissioner Barry commented the entire stretch of Ogden Avenue is car dealerships, so this was consistent with the use around there and a significant upgrade from what they have there currently.

Commissioner Frankovic agreed it was consistent with what is already in the area and added it will be very prominent and enhance the area. She recommended having some chargers for the public to use.

Commissioner Eberhardt agreed with her fellow commissioners.

Commissioner Lincoln concurred and said it was nice to have more of a regional draw car dealership. He appreciated the commitment to a lot of the environmental aspects and asked that they consider permeable pavement.

Chairman Richard agreed and expressed that it very easily met the standards.

With respect to File 26-PZC-0042, based on the petitioner's submittal, staff report, and the testimony presented, it is found that the petitioner has met the standards of approval for a Special Use to construct a new automobile dealership, as required by the Village of Downers Grove Zoning Ordinance, and is in the public interest. Therefore, Commissioner Lincoln made a motion that the Planning and Zoning Commission recommend the Village Council approve File 26-PZC-0042, subject to the conditions in the staff report.

The motion seconded by Commissioner Frankovic.

Aye: Barry, Eberhardt, Frankovic, Lincoln, Patel, Reyes, Wolf, Chairman

Nay: None

Motion Passed. Vote 8-0.

Adjournment.

The meeting was adjourned. Upon a motion by Commissioner Lincoln, second by Commissioner Eberhardt. A voice vote followed and the motion passed unanimously.



Village of Downers Grove

Planning and Zoning Commission - Report

Table 1 - Detailed information on this Planning and Zoning Commission Report.

Meeting Location	Civic Center – Betty Cheever Council Chambers
Meeting Address	850 Curtiss St., Downers Grove, IL 60515
Meeting Date	September 21, 2026 at 7:00 PM
Subject	26-PZC-0044. 5708 Dunham Road
Type	Zoning Exception
Submitted by	Carter Moran, Planner

Request.

The petitioner is seeking a vertical zoning exception to allow for a second-story addition to be 5.8 feet from the north property line where a six-foot (6') side (interior) setback is required per Section 28.2.030 of the Zoning Ordinance.

Notice.

The application has been filed in conformance with applicable procedural and public notice requirements.

General Information.

Table 2 – Details about the petitioner's identity and location.

Petitioner Name	Petitioner Address
Timothy Neal	5829 Carpenter Street. Downers Grove, IL 60516.

Table 3 - Property ownership details for primary and additional owner(s).

Owner Name	Owner Address
Timothy and Victoria Neal	5708 Dunham Road. Downers Grove, IL 60516.

Property Information.

Table 4 - Detailed subject property summary (parcel identification, size, and zoning)

Existing Zoning	R-3, Residential Detached House 3
Existing Land Use	Single-Family Detached
Property Size	15,054 square feet (0.35 acres)
PINs	09-18-207-048

Table 5 - Details regarding the surrounding properties, zoning, and land uses.

Direction	Zoning	Future Land Use
East	R-4, Residential Detached House 4	Single-Family Detached
West	R-3, Residential Detached House 3	Single-Family Detached
North	R-3, Residential Detached House 3	Single-Family Detached
South	R-3, Residential Detached House 3	Single-Family Detached

Analysis.

Submittals

This report is based on the following documents, which are on file with the Department of Community Development:

1. Location Map
2. Project Narrative

3. Approval Criteria
4. Plat of Survey
5. Elevations
6. Floor Plans

Project Description

The petitioner is requesting a zoning exception to vertically extend walls located in the required side (interior) setback. The property is located southwest of the intersection of Blanchard Street and Dunham Road and is zoned R-3, Residential Detached House 3. The existing single-family home is considered a legal non-conforming structure as it was constructed lawfully, but has become non-conforming due to Zoning Ordinance revisions.

The northern exterior walls of the house are set back 5.8 feet from the north property line. The minimum side (interior) setback in the R-3 zoning district is 6 feet, per Section 28.2.030 of the Municipal Code. As such, the petitioner is requesting an exception to vertically extend walls of the encroaching part of the house to accommodate a second-floor addition. Per the requirements of the Zoning Ordinance, the petitioner does not propose windows on the second story of the encroaching wall. Aside from the current legal non-conforming side (interior) setback, the proposed addition will meet all requirements of the Zoning Ordinance.

Analysis

As noted above, the petitioner is requesting an exception from the required side (interior) to extend the addition vertically where it is prohibited per Section 28.2.030 of the Zoning Ordinance. To grant the exception, standards for the Zoning Exception in Section 28.12.080.G, and the nonconforming structure alterations criteria in Section 28.11.040.C.2 of the Zoning Ordinance, must be met.

Findings of Fact

The petitioner has outlined the request in the attached narrative letter and supplemental documents. The petitioner will further address the proposal and justification to support the requested exception to the Planning and Zoning Commission at the public hearing.

Section 28.12.080.G Standards and Review Criteria

Zoning Exceptions require evaluation per Section 28.12.080 of the *Zoning Ordinance, Standards and Review Criteria*: "Zoning exceptions may be approved by the Planning and Zoning Commission only when the board determines that any specific standards associated with the authorized zoning exception and the following general approval criteria have been met:"

- (1) The exception is consistent with all relevant purpose and intent statements of this zoning ordinance and with the general purpose and intent of the comprehensive plan;*

The purpose of the Zoning Ordinance is to protect and promote the public health, safety and general welfare and implement the policies and goals of the Guiding DG Comprehensive Plan. The proposed vertical extension will not cause harm to the health, safety and general welfare of the community or immediate neighborhood. Additionally, the proposed addition advances the goals of the Guiding DG Comprehensive Plan which includes re-investment in the current housing stock and encouraging a variety of housing types, sizes and prices. This standard is met.

- (2) The exception will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare;*

The proposed vertical extension will not have an adverse impact on adjacent properties, the character of the area, or public health, safety and welfare.

The proposed vertical extension meets all other bulk requirements of the Zoning Ordinance.

- (3) The exception will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations;*

The proposed vertical extension continues a second floor of a home that is consistent with other two-story homes in the surrounding area. The only required relief item is the extension itself, so the standards of the Zoning Ordinance are otherwise met. This standard is met.

- (4) The exception demonstrates high-quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity; and*

The proposed addition vertically extends the existing brick wall with siding, a combination of materials common to the surrounding residential neighborhood. This material constitutes high-quality design and is compatible with nearby single-family residences. This standard is met.

- (5) Adverse impacts resulting from the zoning exception will be mitigated to the maximum extent feasible.*

The proposed vertical extension does not encroach farther into the side setback than the existing house, representing a mitigation of impacts on the surrounding neighborhood. The proposed second-story addition meets the requirements of the R-3 zoning district, limiting adverse impacts. This standard is met.

Section 28.11.040.C.2 Alterations and Expansions

Additionally, extending existing building walls located within a required setback requires conformity with Section 28.11.040.C.2 of the Zoning Ordinance, which states that “a structure with a nonconforming setback may not be expanded

horizontally or vertically within the required setback area, except that the Planning and Zoning Commission may approve either a horizontal or vertical extension of the non-conforming exterior walls of a detached house in accordance with the zoning exception procedures of Section 28.12.080. In order to approve such horizontal or vertical extension, the Planning and Zoning Commission must find that all of the following criteria have been met”:

- a) *The extended wall will comply with all other applicable lot and building regulations (other than the nonconforming setback);*

The proposed addition will comply with all other applicable lot and building regulations as identified in Section 28.2.030 of the Zoning Ordinance. This standard is met.

- b) *The extension will not obstruct farther into the required setback than the existing exterior building wall and will not extend the horizontal length of the nonconforming building wall more than fifteen percent (15%) of its existing length;*

The proposed vertical extension encroaches no farther into the required 6-foot setback than the existing exterior building wall and does not include any horizontal extension. The extension will comply with all other applicable lot and building regulations as identified in Section 28.2.030 of the Zoning Ordinance. This standard is met.

- c) *The horizontal or vertical wall extension does not include windows that allow views onto an abutting lot occupied by a detached house;*

The vertical extension does not include any windows in the second story building wall. This standard is met.

- d) *The appearance of the expansion will be compatible with the adjacent property and neighborhood; and*

The siding material proposed conforms to the design aesthetics of single-family residences in the surrounding neighborhood. This standard is met.

- e) *The expansion will not be detrimental to the existing character of development in the immediate neighborhood or endanger the public health, safety, or general welfare.*

The proposed vertical extension will not have an adverse impact on adjacent properties, the character of the area, or public health, safety and welfare.

The proposed extension will meet all other bulk requirements of the Zoning Ordinance. The proposed vertical extension is compatible with the existing residential neighborhood and the addition will complement the character of the area. This standard is met.

Neighborhood Comment

Notice was provided to all property owners 250 feet or less from the subject property in addition to posting the public hearing sign and publishing a legal notice in the Daily Herald. Staff received one public inquiry prior to the hearing which was general in nature.

Recommendation and Motion.

Based on the analysis above, staff believes the standards and criteria for granting the vertical exception have been met. Staff recommends approval of the requested exception subject that it shall substantially conform to the staff report dated September 21, 2026 and architectural drawings prepared by Design House Architectural Services dated June 11, 2026, except that such plans may be modified to conform to the Village codes and ordinances.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development



130 65 0 130 Feet



5708 Dunham Road - Location Map



Subject Property



Sign Location

August 5, 2026

Village Of Downers Grove
Zoning Board of Appeals
850 Curtiss Street
Downers Grove, IL 60515

The goal of our project is to modernize and expand this existing home, providing much needed additional bedroom space for my growing family. The north side of the home predates the current zoning setback by roughly 2.4". Extending the home vertically to create an second floor allows the creation of a necessary two addition bedrooms. It also improves the overall appearance of the home.

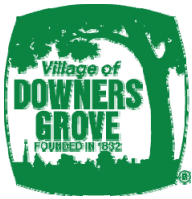
The requested zoning exception is consistent with the zoned residential usage. The proposed exception will not dominate adjacent construction: note that the roof line similarly matches that of the existing adjacent property. The character and aesthetics of the home will be improved with the addition of the second story to create an attractive design. I see no adverse impacts resulting from the zoning exception. If any arise, however, we will mitigate them to the maximum extent possible.

I have had my pre-meeting with the Village Staff and appreciate their helping me to comply with the requested zoning exception. In summary, I am:

- Adding additional square footage over the existing first floor
- Modernizing the home's interior (new kitchen and HVAC system)
- Residing and reroofing the entire home

Sincerely,

Tim Neal



Zoning Exception

Address of Project Site: 5708 Dunham Road, Downers Grove, IL 60516

A zoning exception grants relief to specific zoning regulations for non-conformities that would not otherwise meet the standards and review criteria for a variation.

From the Downers Grove Municipal Code [Chapter 28 – Zoning Ordinance](#), Article 12.080, Zoning Exceptions:

Section 28.12.080.B Authorized Exceptions

The zoning board of appeals is authorized to grant the following zoning exceptions:

1. Expansion of non-conforming uses, in accordance with Sec. 11.030.C.2;
2. Re-establishment of an abandoned non-conforming use, in accordance with Sec. 11.030.F.1.d; and
3. Extension of an existing building wall located within a required setback, in accordance with Sec. 11.040.C.2.

The following standards must be addressed in order for the Zoning Board of Appeals to grant a zoning exception.

Section 28.12.080.G Standards and Review Criteria

Zoning exceptions may be approved by the zoning board of appeals only when the board determines that any specific standards associated with the authorized zoning exception and the following general approval criteria have been met:

1. The requested zoning exception is consistent with all relevant purpose and intent statements of this zoning ordinance and with the general purpose and intent of the comprehensive plan;

The purpose of the Zoning Ordinance (Section 28.1.060) is to protect and promote the public health, safety and general welfare and implement the policies and goals of the Comprehensive Plan. The proposed extension will not cause harm to the health, safety and general welfare of the community or immediate neighborhood. Additionally, the proposed addition advances the goals of the Comprehensive Plan which includes re-investment in the current housing stock and encourages a variety of housing types, sizes and prices.

2. The requested zoning exception will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare;

The proposed extension will not have an adverse impact on adjacent properties, the character of the area, or public health, safety and welfare. The proposed vertical extension meets all other bulk requirements of the Zoning Ordinance. The proposed addition will have windows that face an adjacent right-of-way. As such the windows will not impact abutting property owners and property across the right-of-way.

3. The proposed zoning exception will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations;

The addition continues the existing structure vertically. The window additions on the proposed expansion face a right-of-way and will not impact property owners across the right-of-way. The scale of the proposed addition is consistent with the surrounding homes in the vicinity, and with the exception of the requested relief item, meets the requirements of the Zoning Ordinance.

4. The proposed zoning exception demonstrates high-quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity; and

The overall renovation and exterior improvements will lead to a cohesive high-quality design. The structure is compatible with other nearby single family residential properties.

5. Any adverse impacts resulting from the zoning exception will be mitigated to the maximum extent feasible.

While windows will be included as part of the vertical addition, they will face a right-of-way and areas that meet set back criteria. There will be no added windows along this side to mitigate adverse impacts of the addition.

PLAT AND CERTIFICATE OF SURVEY

PARCEL ONE:

LOT 2 IN BROGMUS RESUBDIVISION OF LOTS 26, 27 AND THE SOUTH HALF OF THE 28 IN BLOCK 6 IN BUNGE'S RESUBDIVISION, BEING A RESUBDIVISION OF BUNGE'S SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 18 AND PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BROGMUS RESUBDIVISION RECORDED JUNE 6, 1958 AS DOCUMENT 882422, IN DUPAGE COUNTY, ILLINOIS.

CONTAINS 15,054 SQ. FT.

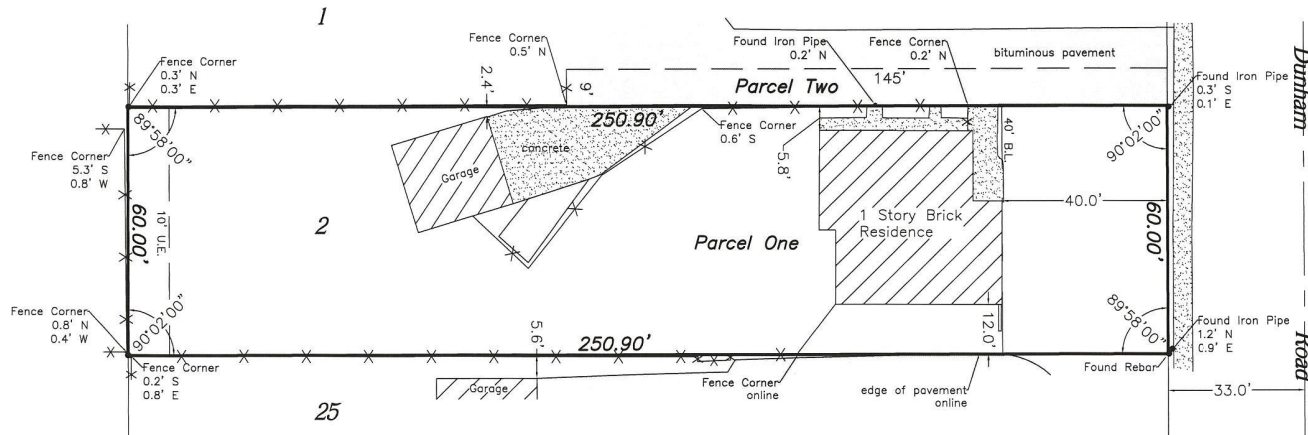
PARCEL TWO:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL ONE, AS DESCRIBED AS FOLLOWS: THE SOUTH 9 FEET OF THE EAST 145 FEET OF LOT 1 IN BROGMUS RESUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 6, 1958 AS DOCUMENT 882422, IN DUPAGE COUNTY, ILLINOIS.

SELLER'S NAME: CARL & MARGARET MALSACK

PROPERTY ADDRESS: 5708 DUNHAM ROAD, DOWNERS GROVE, IL 60516

PIN: 09-18-207-048



-----LEGEND-----
 ————— Boundary of property surveyed
 • Found iron pipe
 B.L. Building line
 U.E. Utility easement

STATE OF ILLINOIS)
 COUNTY OF DEKALB)SS

THIS IS TO CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY I HAVE MADE OF PROPERTY HEREON SHOWN AND DESCRIBED. ALL DISTANCES SHOWN IN FEET AND DECIMALS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

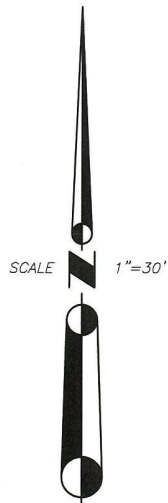
FIELD WORK COMPLETED OCTOBER 17TH, 2025, WITNESS MY HAND AND SEAL AT DEKALB, ILLINOIS THIS 21ST DAY OF OCTOBER, 2025. AND, AS REVISED THIS 27TH DAY OF OCTOBER, 2025.

L. A. Doogs
 LESLIE AARON DOOGS

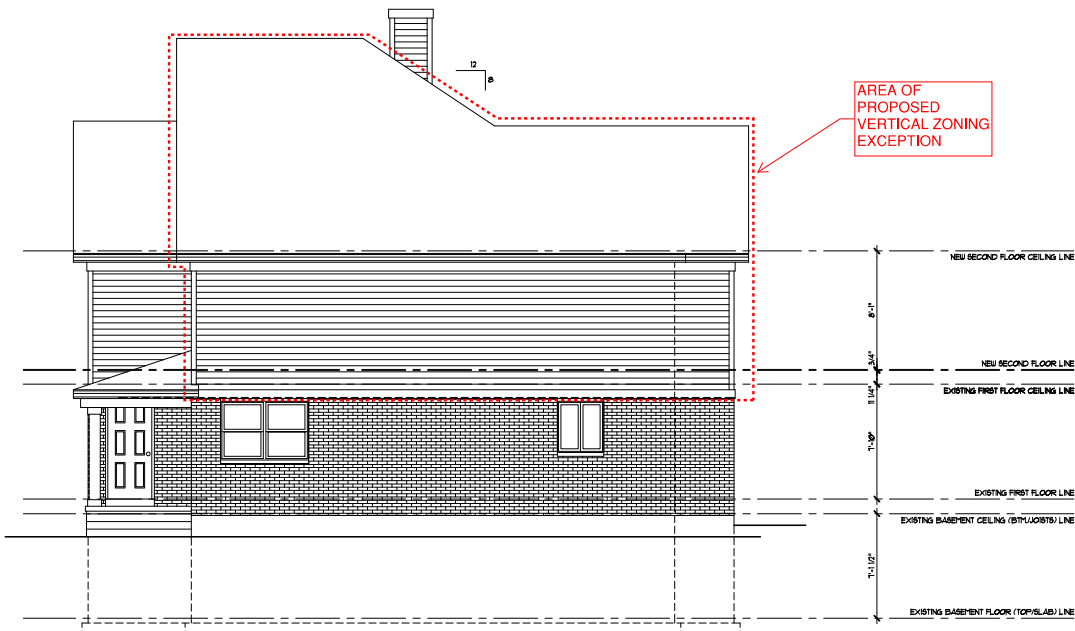
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3833
 LICENSE EXPIRATION DATE: NOVEMBER 30TH, 2026



JADE Hanna Surveyors
 155 N 3rd Street
 Dekalb, IL 60115
 (815) 756-2189
 Info@Hannasurveyors.com
 License No. 184006622



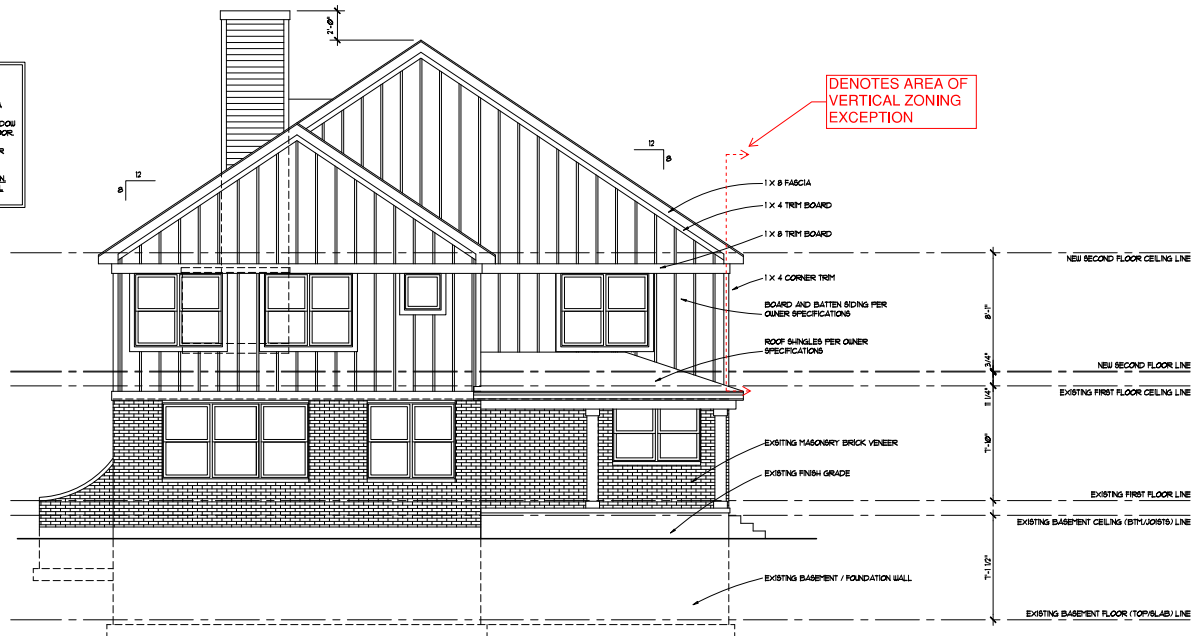
FOR: MYERS LAW OFFICE
 JOB NO. 17964



NEW RIGHT SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

GENERAL NOTE:

IN EACH BEDROOM, AT LEAST ONE EGRESS (ESCAPE) WINDOW SHALL HAVE A MINIMUM CLEAR OPENABLE AREA OF 5.7 SQ. FT. AND A MINIMUM CLEAR HEIGHT OF 7'-0" AND A MINIMUM CLEAR WIDTH OF 7'-0". THE REQUIRED WINDOW SHALL NOT BE MORE THAN 48" ABOVE THE FINISHED FLOOR. EXCEPTION: GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQ. FT. WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW IS LESS THAN 5'-0" AND GREATER THAN 1'-0" ABOVE FIN. GRADE THE WINDOW SHALL BE PROVIDED WITH A FALL PROTECTION.



NEW FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

**SECTION R301 DESIGN CRITERIA
R301.2(1)**

GROUND SNOW LOAD (PSF)	25 POUNDS / SQUARE FOOT
WIND SPEED	15 MPH TOPO EFFECT NO
SEISMIC DESIGN CATEGORY	A
WEATHERING	SEVERE
FROST LINE DEPTH IN INCHES	42 INCHES
TER-RITE	MODERATE - HEAVY
WINTER DESIGN TEMPERATURE	-4° F (MINUS 4 DEGREES F)
ICE SHIELD	YES
FLOOD HAZARD	SEE LOCAL ORDINANCE(S)

BUILDING CODES

ALL WORK SHALL CONFORM TO THE FOLLOWING ADOPTED CODES OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS
2001 INTERNATIONAL RESIDENTIAL CODE W/AMENDMENTS
2001 INTERNATIONAL FIRE, GAS CODE
2001 INTERNATIONAL MECHANICAL CODE
2009 NATIONAL ELECTRIC CODE (NEC)
CURRENT STATE OF ILLINOIS ENERGY CONSERVATION CODE
BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE 318-19
LATEST STATE OF ILLINOIS PLUMBING CODE
LATEST STATE OF ILLINOIS HANDICAP ACCESSIBILITY CODE
VILLAGE OF DOWNERS GROVE, ILLINOIS AMENDMENTS TO ABOVE LISTED CODES
VILLAGE OF DOWNERS GROVE, ILLINOIS MUNICIPAL CODE

DRAWING INDEX

- A1 EXTERIOR ELEVATIONS
- A2 EXTERIOR ELEVATIONS
- A3 EXISTING FOUNDATION PLAN
- A4 EXISTING / NEW FIRST FLOOR PLAN
- A42 NEW SECOND FLOOR PLAN
- A5 EXISTING / NEW FIRST FLOOR FRAMING PLAN
- A52 NEW SECOND FLOOR FRAMING PLAN
- A6 ROOF PLAN
- A7 ELECTRICAL PLANS
- D1 DEMO - EXTERIOR ELEVATIONS / FLOOR PLAN
- D2 DEMO - EXTERIOR ELEVATIONS

DESIGN HOUSE ARCHITECTURAL SERVICES
THIS IS TO CERTIFY THAT THESE PLANS AND/OR REPORTS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODES / AMENDMENTS OF DOWNERS GROVE, ILLINOIS



06-11-05

ALBERTO AGAMA CONSULTING ARCHITECT
EXPIRES 1/30/2026

REVISIONS	BY
PERMIT SET	JAC



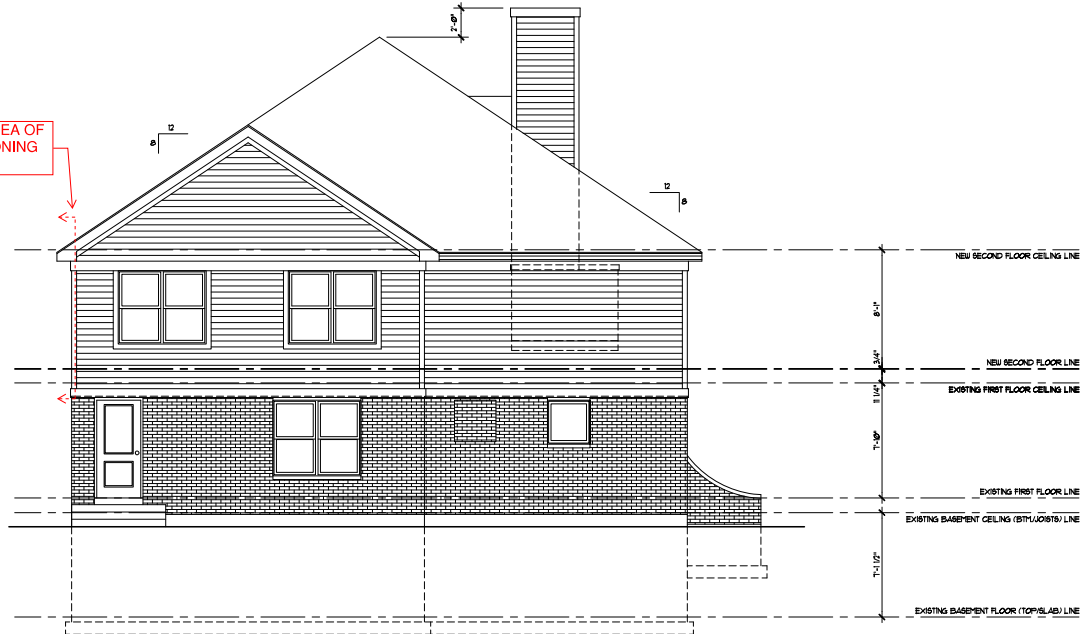
James A. Childress
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Professional Design Firm
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Yorkville, Illinois 60550
office 630. 385. 2482
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email: JAC@dhagroup.com
P.E. License No. 18002653

ADDITION TO THE NEAL RESIDENCE
5708 DUNHAM ROAD
DOWNERS GROVE, ILLINOIS

DATE:	06/11/2026
SCALE:	AS NOTED
DRAWN BY:	JAC
PROJECT NO:	251001
SHEET	
OF	11 SHEETS

NEW EXTERIOR ELEVATIONS

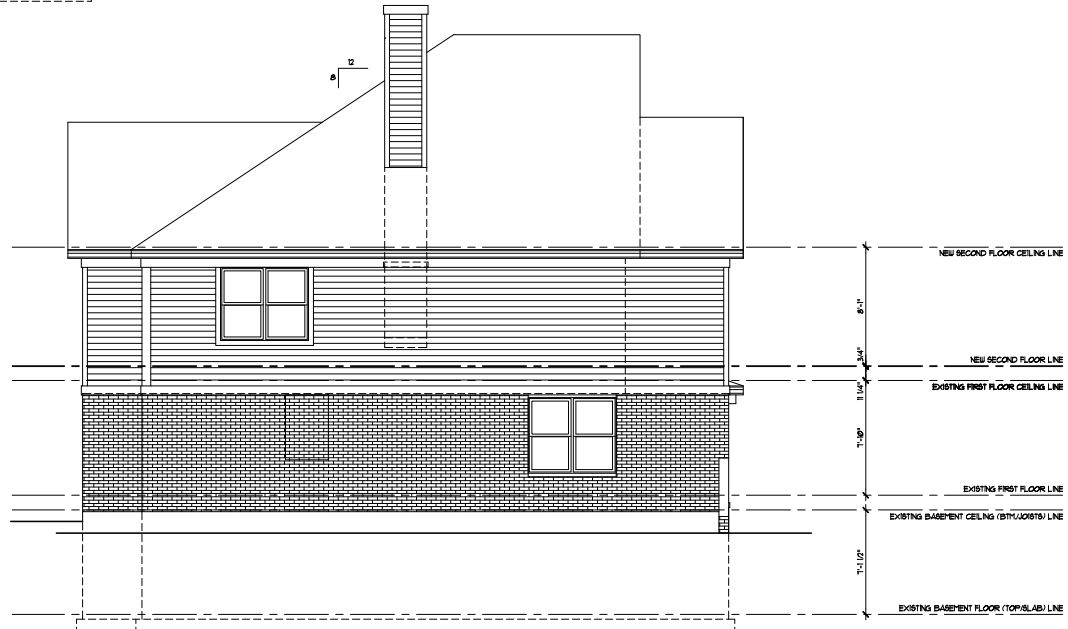
DENOTES AREA OF
VERTICAL ZONING
EXCEPTION



NEW REAR ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

GENERAL NOTE:
IN EACH BEDROOM, AT LEAST ONE EGRESS (ESCAPE) WINDOW SHALL HAVE A MINIMUM CLEAR OPENABLE AREA OF 5.7 SQ. FT. AND A MINIMUM CLEAR HEIGHT OF 2'-0" AND A MINIMUM CLEAR WIDTH OF 2'-0". THE REQUIRED WINDOW SHALL NOT BE MORE THAN 40" ABOVE THE FINISHED FLOOR EXISTING.
GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW IS LESS THAN 24" AFD, AND GREATER THAN 12" ABOVE FIN, GRADE THE WINDOW SHALL BE PROVIDED WINDOW FALL PROTECTION.



NEW LEFT SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

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REVISIONS	BY
PERMIT SET	JAC

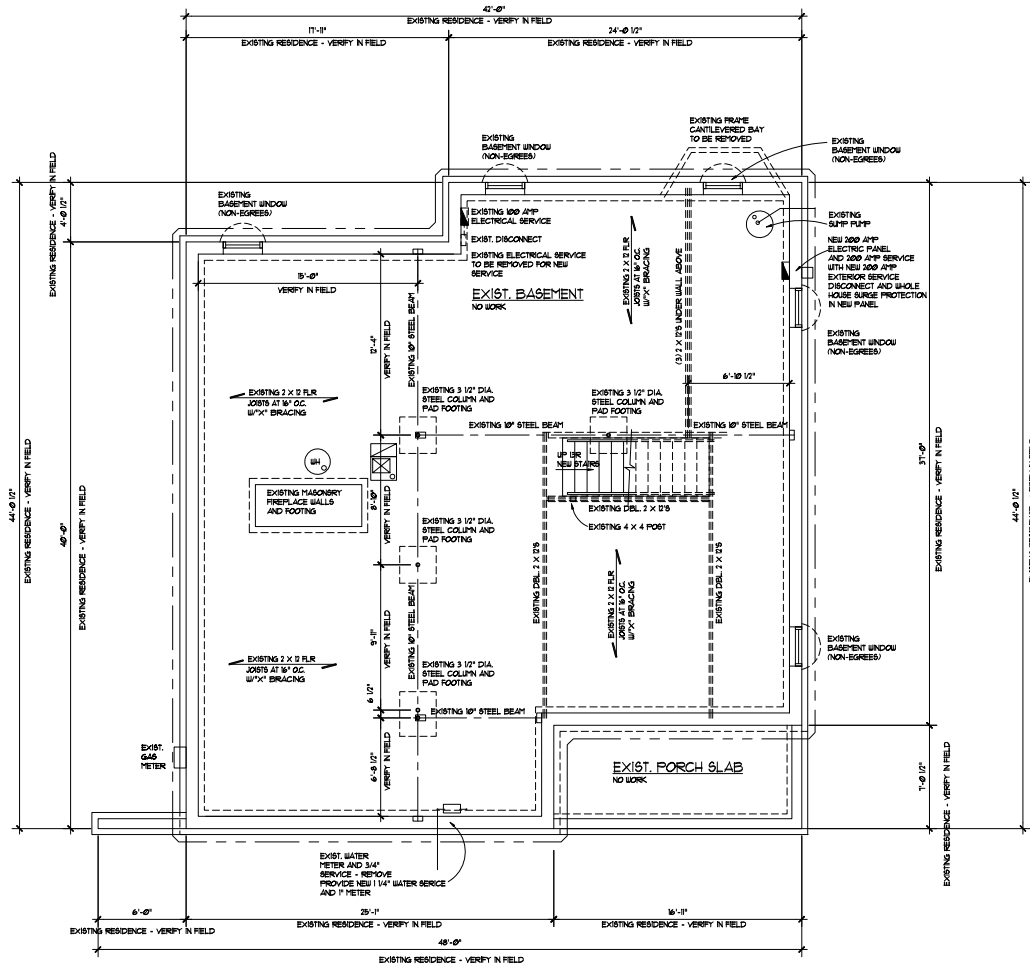


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NEW EXTERIOR ELEVATIONS

ADDITION TO THE NEAL RESIDENCE
5108 DUNHAM ROAD
DOWNERS GROVE, ILLINOIS

DATE:	06/11/2016
SCALE:	AS NOTED
DRAWN BY:	JAC
PROJECT NO:	251001
SHEET	
A2	
OF	8-SHEETS



EXISTING FOUNDATION / BASEMENT PLAN
SCALE: 1/4" = 1'-0"
EXISTING BASEMENT SLAB 1,517 SQ. FT.

ADDITION TO THE NEAL RESIDENCE
5108 DUNHAM ROAD
DOWNERS GROVE, ILLINOIS

DATE: 06/04/2006
SCALE: AS NOTED
DRAWN BY: JAC
PROJECT NO: 25/0001
SHEET
43
OF 8 SHEETS

REVISIONS BY
PERMIT SET JAC
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EXISTING FOUNDATION PLAN

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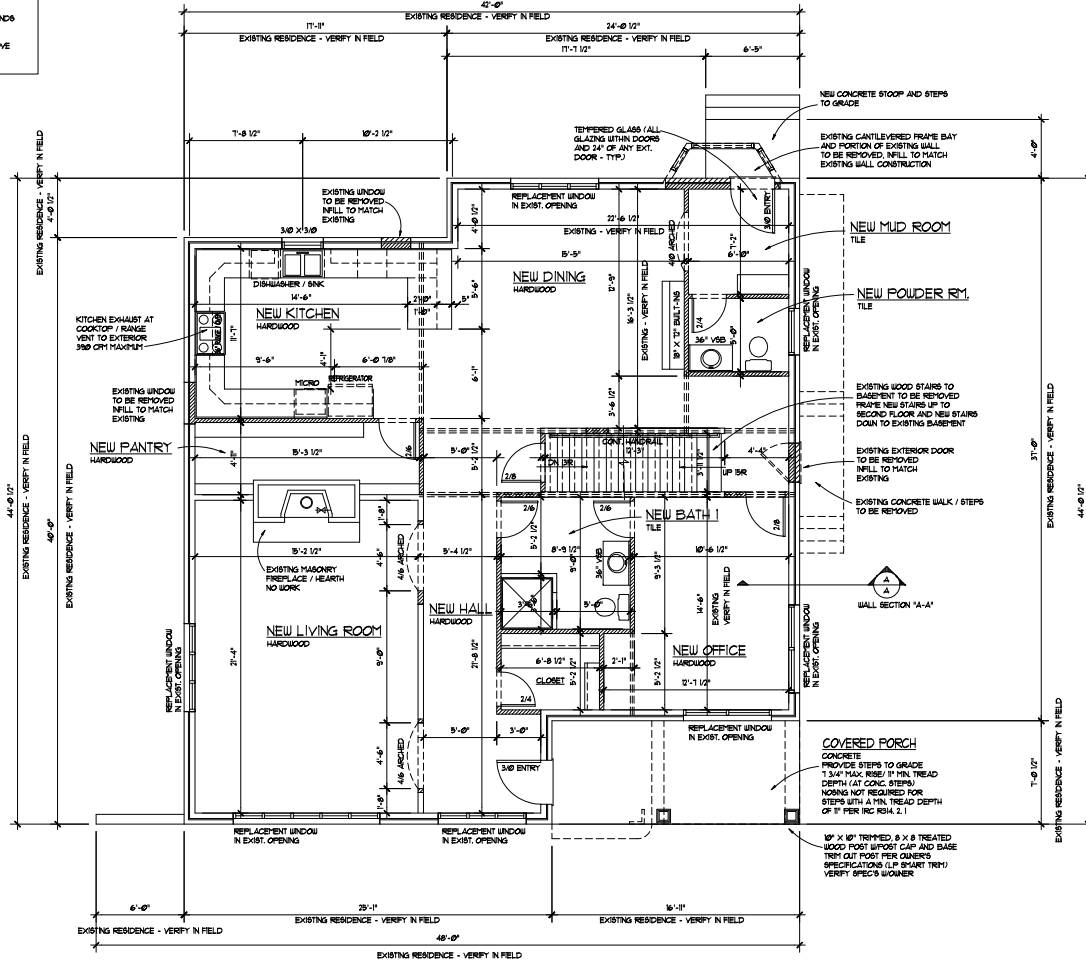
GENERAL NOTES

- VERIFY ALL DIMENSIONS IN FIELD PRIOR TO COMMENCING ANY WORK.
- ALL NEW CONCRETE FOUNDATIONS SHALL REST ON 3000 PSI MIN. BEARING SOIL AT A DEPTH OF 4" BELOW FINISHED GRADE MIN.
- ALL FOUNDATION WALLS SHALL BE POURED CONCRETE WITH A MINIMUM 3000 PSI 28 DAY STRENGTH.
- ALL BEAMS, HORIZONTALS AND RAFTERS SHALL BE PER THE DESIGN CRITERIA CHART CONTAINED WITHIN THESE PLANS (SEE FRAMING PLANS).
- PROVIDE DOUBLE FRAMING AT ALL OPENINGS. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS AND BELOW BATHTUBS AND WHIRLPOOL TUBS.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING WALLS ARE DIMENSIONED 3/4" UNO.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO APPLICABLE CODES AND PRACTICES.
- (2) 2 X 4 HEADER IS TYPICAL FOR ALL DOOR/WINDOW OPENINGS UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR GLAZING TO CONFORM TO ROUGH OF THE 2007 IRC INCLUDING GLAZING IN ALL TUB / SHOWER ENCLOSURES (HAZARDOUS LOCATIONS).
- SMOKE DETECTORS WITH BATTERY BACKUP SHALL BE UNWOUND FOR SMOKE/HEAT ACTIVATION AND INTERCONNECTED TO OTHER FLOORS.
- ALL ELECTRICAL INSTALLATION SHALL BE PER THE CURRENTLY ADOPTED NATIONAL ELECTRIC CODE (NEC) AND ANY AMENDMENTS - ALL WIRING IN METALLIC (RFT/CONDUIT).
- ALL PLUMBING TO MEET STATE OF ILLINOIS PLUMBING CODE TEST REQUIREMENTS.
- PROVIDE REQUIRED PREBIDDING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL/HORIZONTAL) BETWEEN STORES AND BETWEEN TOP STORY AND ROOF SPACE IN ACCORDANCE WITH IRC R602.3 AND R602.6.

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING PURRED SPACES AT THE CEILING AND FLOOR LEVEL AND AT 16'-0" INTERVALS BOTH VERTICALLY / HORIZONTALLY.
- AT ALL CONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS JOISTS, DROP CEILING AND CONVE CEILING.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF EACH RUN ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R301.8.
- AT THE OPENINGS AROUND VENTS, PIPES, DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION - USE ROCK WOOL OR MINERAL WOOL 2" FIRE CALK OR OTHER APPROVED CAULKING - FIREPLACE GAS LINE TO BE SEALED PER ALL CODES OF DOWNERS GROVE, ILLINOIS BUILDING DEPARTMENT.
- FRAMING OVER GLASS THAT OVERHANGS MATERIAL SHALL BE INSTALLED AS BACKING MATERIAL FOR WALL. TILE APPLIED TO TUB / SHOWER AREAS AND WALL PANELS IN SHOWER AREAS WHICH ARE IN DIRECT CONTACT WITH WATER OR HIGH HUMIDITY.
- A PERMANENT CERTIFICATE COMPLETED BY THE BUILDER SHALL BE ON A WALL WHERE THE SERVICE / ELECTRICAL SERVICE PANEL IS LOCATED. THE CERTIFICATE SHALL LIST THE PRESCRIPTION R-VALUES OF INSULATION THROUGHOUT THE HOUSE, DUCTS INSIDE CONDITIONED SPACES, FACTORS FOR REPERATION.
- THE CONTRACTOR SHALL PROVIDE A FINAL CERTIFIED BLOWER DOOR TEST AND AIR DUCT TEST REPORT PRIOR TO OR AT FINAL INSPECTION.
- MECHANICAL MANUFACTURERS CUT SHEETS AND PLANS ARE REQUIRED AND MUST BE AVAILABLE ON-SITE AT THE TIME OF INSPECTIONS.
- PROVIDE ONE-LAYER OF AIR INFILTRATION BARRIER (T-PLY, OR EQUAL) BEHIND TUBS AND SHOWER WALLS.
- ALL SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS NOT COMPLETELY LOCATED WITHIN THE THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- PIPE INSULATION IS TO BE A MINIMUM OF R-3 FOR THE MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE ONE HUNDRED-FIVE (105°) DEGREES F AND BELOW FIFTY-FIVE (55°) DEGREES F.
- CUTTING, DRILLING AND NOTCHING OF JOISTS, BEAMS AND RAFTERS. NOTCHING IT SHALL NOT EXCEED ONE SIXTH (1/6) OF THE DEPTH OF THE MEMBER SHALL NOT BE LONGER THAN ONE THIRD (1/3) OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE THIRD (1/3) OF THE SPAN NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE FOURTH (1/4) OF THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS FOUR INCHES (4") OR GREATER SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS.
- DRILLING THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE THIRD (1/3) OF THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN TWO INCHES (2") TO THE TOP OR BOTTOM OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN TWO INCHES (2") TO THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE LOCATED IN THE MEMBER WHERE THE MEMBER IS ALSO NOTCHED. THE HOLE SHALL NOT BE CLOSER THAN TWO INCHES (2") TO THE NOTCH.
- THE HOUSE SHALL BE PROVIDED WITH A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM. THE SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUCTS AND CONTROLS. THIS SYSTEM AND ALL ASSOCIATED PLANS, DOCUMENTATION AND SPECIFICATIONS SHALL BE PROVIDED BY THE PROJECT APPLICANT AND OR THE DESIGNER / PROVIDER. OR INSTALLER OF THIS SYSTEM (PERMIT APPLICANT SHALL PROVIDE MANUAL 17, REPORT).
- AN AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES THAT ARE ON THE EXTERIOR WALLS.
- NO HORIZONTAL TIGHT VENTS NOT MORE THAN 48" FROM THE VERTICAL ARE PERMITTED. FLOOR DRAINS ARE EXEMPT FROM THIS REQUIREMENT.
- NOTCHING - ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH.
- DRILLING - ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 1/2" OF THE STUD WITHIN THE EDGE OF THE HOLE IS NO MORE THAN 1/2" TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.
- THE INSTALLED MECHANICAL VENTILATION SYSTEMS SHALL BE TESTED AND VERIFIED TO PROVIDE THE MINIMUM FLOW RATES. TESTING SHALL BE PERFORMED IN ACCORDING TO THE VENTILATION EQUIPMENT MANUFACTURERS INSTRUCTIONS, OR BY USING A FLOW HOOD OR BOX FLOW GRID, OR OTHER ANEMOMETER MEASURING DEVICE AT THE FANS INLET TERMINALS OR GRILLS, OUTLET TERMINAL OR GRILLS, OR IN THE CONNECTED VENTILATION DUCTS. A WRITTEN REPORT OF THE RESULTS OF THE TEST BY AN APPROVED THIRD PARTY CONDUCTING THE TEST SHALL BE SIGNED AND PROVIDED TO THE LOCAL BUILDING OFFICIAL.

STAIR SPECIFICATIONS

MAX RISE - 1 3/4" / MINIMUM TREAD 10"
BALUSTERS SHALL NOT PERMIT A 4" SPHERE TO PASS THRU 3" OC.
PROVIDE CONTINUOUS HANDRAILS / GUARDRAILS. RAILINGS SHALL BE ABLE TO WITHSTAND 200 LBS. LATERAL FORCE. RAILINGS SHALL BE CONTINUOUS THE ENTIRE FLIGHT. GUARD RAILING IS AT 36" ABOVE TREAD / FLOOR. CONTINUOUS HANDRAILS AT 34" - 38".
HANDRAIL GRIP SIZE SHALL BE A MINIMUM OF 1 1/4" / MAXIMUM OF 2".
HANDRAILS SHALL HAVE A MIN. 1" SP. SPACE BETWEEN RAIL WALL.
MINIMUM 6'-8" HEADROOM ABOVE ANY STAIR TREAD.
HANDRAILS ARE REQUIRED TO RETURN OR TERMINATE TO A WALL. VERIFY IF OWNERS STANDARD HANDRAIL. NAILERS SHALL RETURN AT ENDS.
ALL AREAS UNDER STAIRS SHALL BE FINISHED WITH 1/4" 12" CORTALL AND 1/4" F. GUARDRAIL POSTS FOR RAISED WALKING SURFACE MORE THAN 36" ABOVE GRADE ARE REQUIRED TO BE SPACED NO MORE THAN 6'-0" OC. THIS APPLIES TO OPEN SIDE OF STAIRS.



ADDITION TO THE NEAL RESIDENCE
5708 DUNHAM ROAD
DOWNERS GROVE, ILLINOIS

DATE: 06/12/2016
SCALE: AS NOTED
DRAWN BY: JAC
PROJECT NO: 2514001
SHEET: A4.1
OF 8 SHEETS

REVISIONS BY
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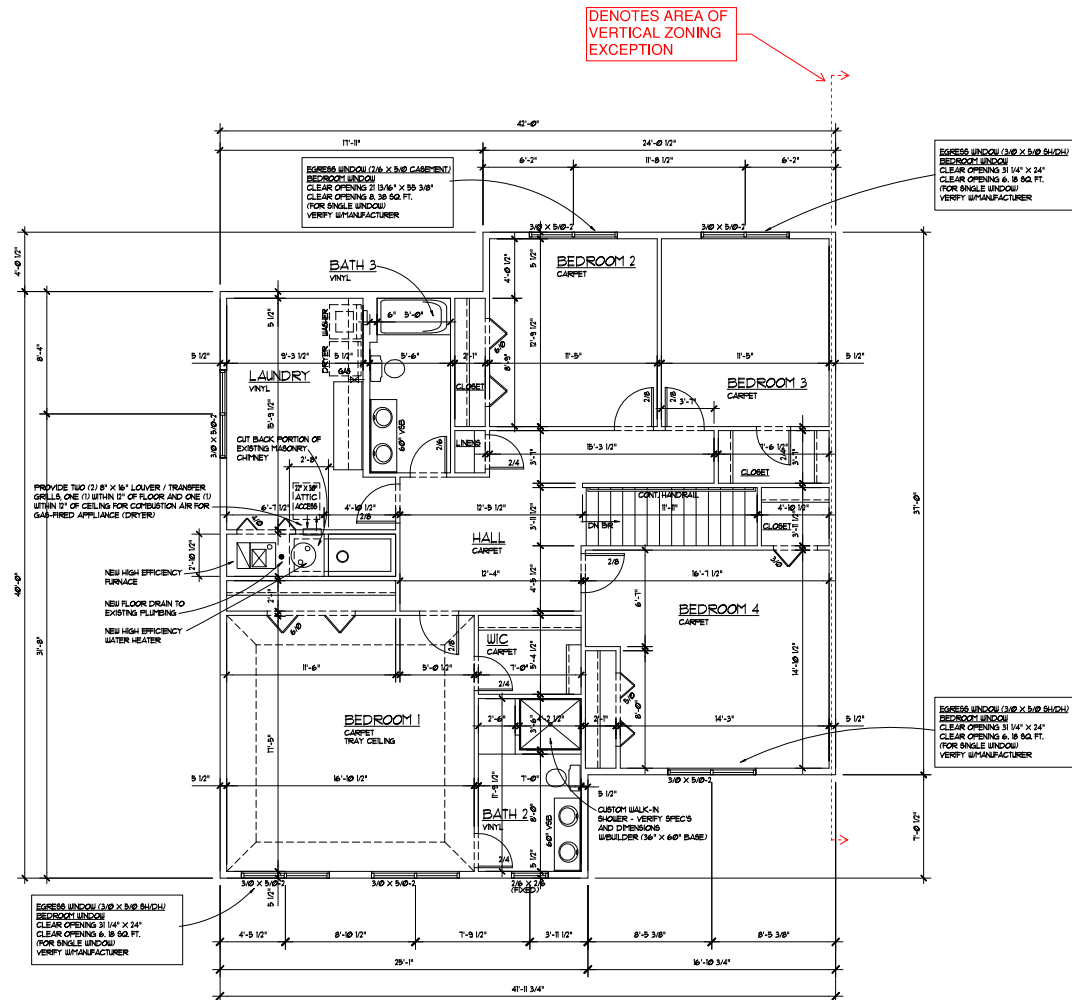
DESIGN HOUSE
JACQUES BOYES LLC

James A. Childress
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NEW FIRST FLOOR PLAN

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NEW SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING FIRST FLOOR - REMODELED 1,608 SQ. FT.
NEW SECOND FLOOR 1,611 SQ. FT.
TOTAL (REMODELED / NEW) 3,219 SQ. FT.

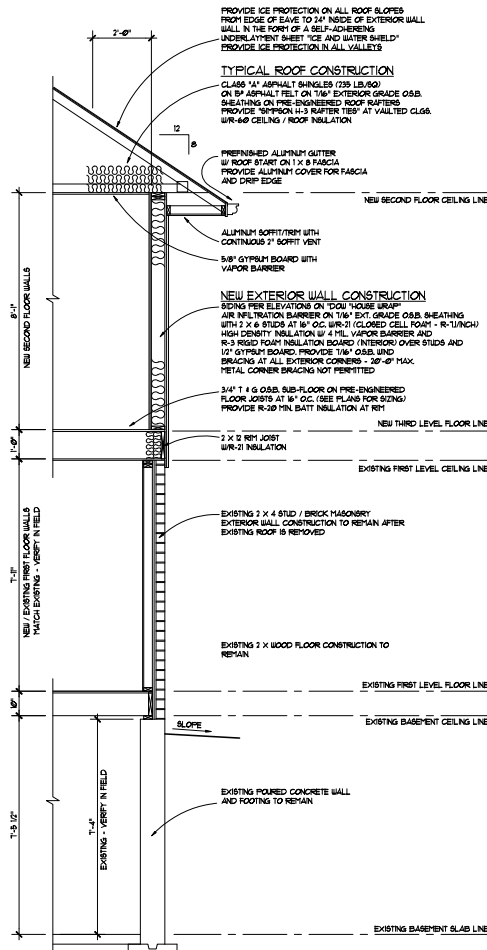
DENOTES AREA OF
VERTICAL ZONING
EXCEPTION

ADDITION TO THE NEAL RESIDENCE
5108 DUNHAM ROAD
DOWNERS GROVE, ILLINOIS

DATE: 06/04/2006
SCALE: AS NOTED
DRAWN BY: JAC
PROJECT NO: 254001
SHEET
A4.2
OF 8 SHEETS

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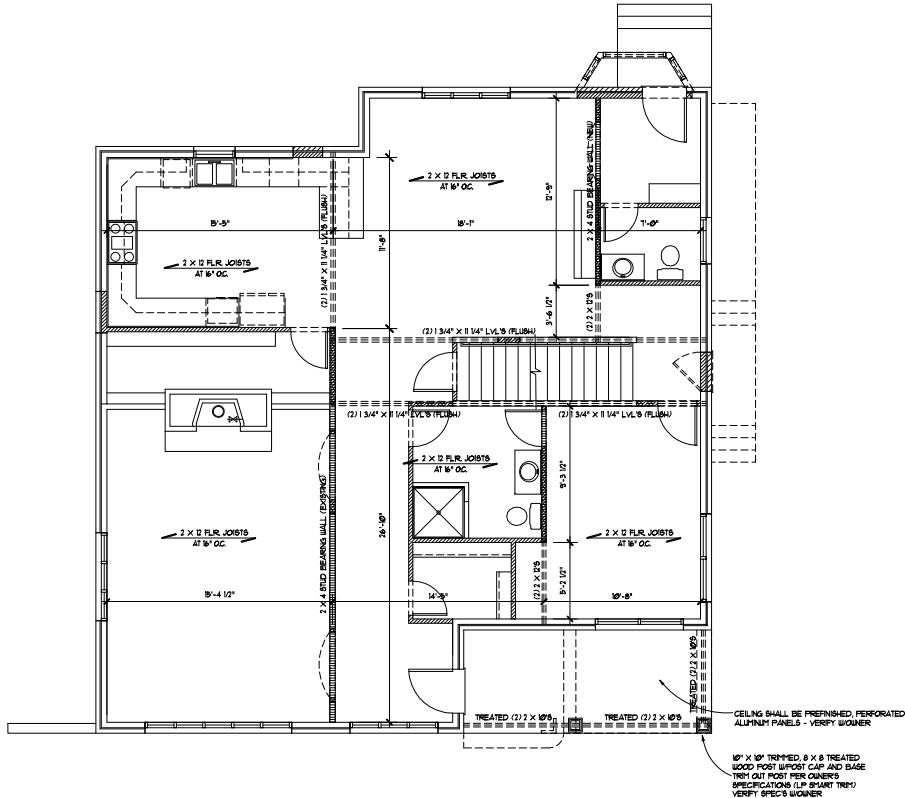
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TYPICAL WALL SECTION "A"

SCALE: 1/2" = 1'-0"

GENERAL NOTE:
ALL EXPOSED INSULATION AND INSULATION FACINGS SHALL
HAVE A FLAME SPREAD RATING UNDER 25, AND A SMOKE
DEVELOPED FACTOR UNDER 450



EXISTING / NEW FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

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REVISIONS		BY
PERMIT SET	JAC	
DESIGN HOUSE ARCHITECTURAL SERVICES, LLC  James A. Childress Alberto Agama An Illinois Licensed Professional Design Firm 4562 Garritano St., Unit F Yorkville, Illinois 60550 office 630.385.2492 mobile 630.399.3094 email: JAC@DHASymail.com P.E. License No. 184026533		
ADDITION TO THE NEAL RESIDENCE		FIRST FLOOR FRAMING PLAN
5108 DUNHAM ROAD		
DOWNERS GROVE, ILLINOIS		
DATE:	06/04/2016	
SCALE:	AS NOTED	
DRAWN BY:	JAC	
PROJECT NO.	2510001	
SHEET	A5.1	
OF	8-SHEETS	

DESIGN CRITERIA

UNIFORMLY DISTRIBUTED LIVE LOADS (LL) / DEAD LOADS (DL) WHERE APPLICABLE	
ATTIC WITH LIMITED STORAGE	20 LL / 10 DL
ATTIC WITHOUT STORAGE	10 LL / 10 DL
ATTICS (HABITABLE)	30 LL / 10 DL
EXTERIOR BALCONIES / DECKS	60 PSF UNIFORM / NO LESS THAN OCCUPANCY DERIVED
FIRE ESCAPES	40 LL / 10 DL
GAUGERAILS AND HANDRAILS	200 LL
GAUGERAILS IN-FILL COMPONENTS	50 LL
PASSENGER VEHICLE GARAGES	50 LL
ROOMS OTHER THAN SLEEPING ROOMS	SEE FRAMING SPECIFICATIONS
SLEEPING ROOMS	30 LL / 10 DL
STAIRS	40 LL
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	
ROOF	SEE FRAMING PLANS FOR ROOF TRUSS SPECIFICATIONS
FLOORS	L/360

UNIFIED SOILS CLASSIFICATION STATEMENT / DESIGN CRITERIA FOR THIS PROJECT

DESIGN PRESENTED TO BE FROM TABLE R405.1 OF THE 2006 INTERNATIONAL RESIDENTIAL CODE BOOK GROUP 1 WITH A UNIFIED SOIL CLASSIFICATION SYSTEM SYSTEM. NO OTHER SETTING. IF SOIL DOES NOT MEET THIS DESCRIPTION, NOTIFY BUILDER BEFORE PROCEEDING WITH WORK.

STRUCTURAL FRAMING LUMBER:

ALL 2 X 4 TO 2 X 10 STUDS, FLOOR JOISTS, HEADERS UP TO 30'-0"

GRADE SPRUCE PINE-FIR (SPF-PF) 2, BASE PD = 875, TE = (1.4) 1, 600,000

ALL 2 X 10 FLOOR JOISTS, HEADERS 8'-0" TO 30'-0"

GRADE HEM-FIR 2 (DOHERSTIC) BASE PD = 850, TE = (1.3) 1, 300,000

ALL 2 X 6 AND 2 X 8 HEADERS UP TO 24'-0"

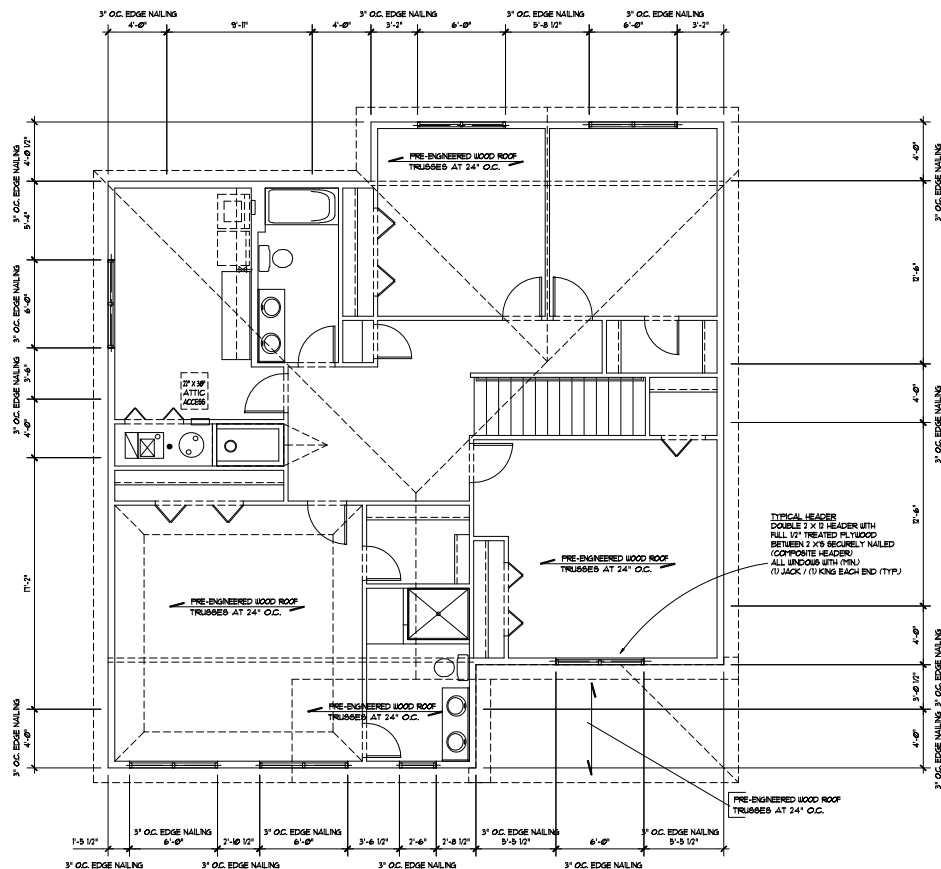
GRADE DOUGLAS FIR-LARCH, BASE PD = 825, TE = (1.6) 1, 600,000

ALL 2 X 10S AND 2 X 12S (JOISTS, HEADERS) 22'-0" TO 32'-0"

GRADE DOUGLAS FIR-LARCH 1, BASE PD = 825, TE = (1.6) 1, 600,000

ALL FRAMING LUMBER NOT NOTED AS "DOHERSTIC" IS CANADIAN IN ORIGIN. ALL DESIGN VALUES AND ALLOWABLE SPANS ARE FROM CANADIAN WOOD COUNCIL "US SPAN BOOK FOR MAJOR LUMBER SPECIES, CANADIAN AND US SPECIES GROUP" 2009 EDITION, AS PUBLISHED BY THE CANADIAN WOOD COUNCIL OR FROM THE WESTERN WOOD PRODUCTS ASSOCIATION "WESTERN LUMBER SPAN TABLES" (PUBLISHED 1993, 2000). ALL IN-GRADE DESIGN VALUES CONFORM TO 1991 NDS.

LATERAL WALL BRACINGS AND SHEAR WALL SHEATHING SPECIFICATIONS
THIS MODEL HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM:
15 MPH WIND SPEED, EXPOS. B
(ASCE 7-10 WIND MAP PER IRC R602.1.1)
50 MPH WIND SPEED MAP, EXPOS. B
(ASCE 7-10 WIND MAP PER IRC R602.1.1)
RISK CAT. 2 & SEISMIC CAT. A/B
30 MPH IN 2009 & 2005 IRC
1.5 X IN 2005 / 2009 / 2005 IRC
WIND SPEED MAPS
ENGINEERED DESIGN WAS COMPLETED PER IRC (SECTION 609) AND ASCE 7, AS PERMITTED BY R602.1 OF THE IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.
EXTERIOR WALL SHEATHING SPECIFICATIONS
1/2" OSB, OR 5/8" CLS WOOD:
FASTEN SHEATHING W/ 3 3/8" X 6/10 NAILS AT 8" O.C. AT EDGES AND 12" O.C. IN THE PANEL FIELD (TYPICAL UNLESS NOTED OTHERWISE)
ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2 X HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES AND EDGE FASTENING.
ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE ARE CONSIDERED SHEAR WALLS.
ALT. STAPLE CONNECTION SPEC: 1 3/4" X 1/8" GA STAPLES (1/16" CROWN) AT 3" O.C. AT EDGES AND AT 8" O.C. IN FIELD
3" O.C. EDGE NAILING
AT DESIGNATED AREAS - FASTEN PANELS EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING WITH:
2 3/8" X 6/10 NAILS AT 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE FOR THIS SPECIFICATION. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2 X HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.
GENERAL NOTES
REFER TO LATERAL BRACING DETAILS ON THIS WALL BRACING SHEETS
DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, UNLESS NOTED OTHERWISE
ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING
ALL SHEAR WALLS HAVE DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" X 6/10 NAILS AT 24" O.C. OR 3" X 6/10 NAILS AT 16" O.C. PROVIDES (5) 3" X 6/10 NAILS OR (1) 3" X 6/10 NAILS AT EACH LAP SPICE
PRE-MANUFACTURED PANELIZED WALLS:
FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED WOODS OR PLYWOOD WITH 3" X 6/10 NAILS AT 4" O.C. (THRU ONE END ONLY)
BRACED WALL PANELS SHALL EXTEND THE FULL HEIGHT FROM THE BOTTOM PLATE TO THE TOP OF DOUBLE PLATES



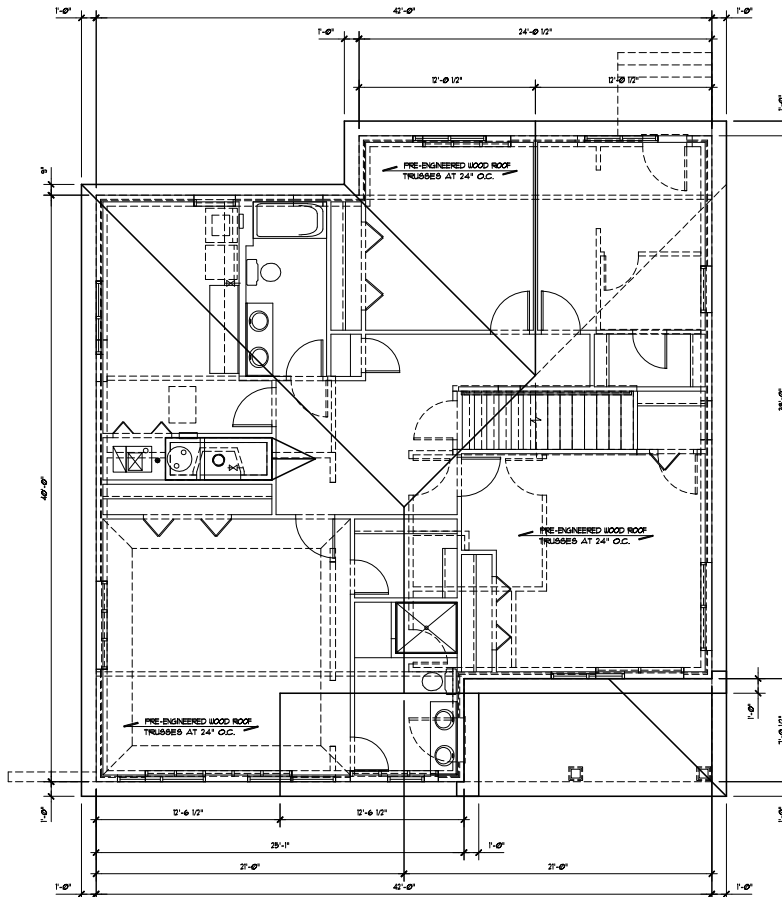
NEW SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

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PERMIT SET	JAC
DESIGN HOUSE ARCHITECTURAL SERVICES, LLC James A. Childress Alberto Agamir An Illinois Licensed Professional Design Firm 4562 Garritano St., Unit F Yorkville, Illinois 60550 office 630.385.2492 mobile 630.399.3094 email: JAC@designhousellc.com P.E. License No. 184005633	
ADDITION TO THE NEAL RESIDENCE 5108 DUNHAM ROAD DOWNERS GROVE, ILLINOIS	
DATE:	06/11/2016
SCALE:	AS NOTED
DRAWN BY:	JAC
PROJECT NO:	2514001
SHEET	A5.2
OF	5 SHEETS

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WOOD / CARPENTRY:

- ALL WOODS AND WOOD CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES WITH MODIFICATIONS AS SPECIFIED HEREIN:
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
NATIONAL FOREST PRODUCTS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
SOUTHERN PINE INSPECTION BUREAU, STANDARD GRADING RULES FOR SOUTHERN PINE LUMBER
TRUSS PLATE INSTITUTE, DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES
AMERICAN PLYWOOD ASSOCIATION GUIDE TO PLYWOOD FLOORS, PLYWOOD SHEATHING FOR WALLS AND ROOF
AMERICAN WOOD PRESERVERS ASSOCIATIONS STANDARDS
- ALL STRUCTURAL LUMBER (OTHER THAN FLOOR JOISTS) SHALL BE SPRUCE-PINE-FIR # 2 OR LEM-FIR # 2
MINIMUM STRESS GRADE LUMBER, UNLESS NOTED OTHERWISE. SEE SHEET A-1 FOR FLOOR JOIST SPECIFICATIONS
Fb = 875 PSI, Fv = 70 PSI, E = 1,400,000 PSI
- ALL LAMINATED VENEER LUMBER (LVL) SHALL BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
Fb = 2,600 PSI, Fv = 285 psi, E = 1,900,000 psi (LSL - BEAMS) Fb = 1,700 PSI, Fv = 400 psi, E = 1,300,000 psi
- DESIGN, FABRICATION AND INSTALLATION OF WOOD STRUCTURAL ROOF TRUSSES AND CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
2021 INTERNATIONAL RESIDENTIAL CODE
DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES
ALL MEMBERS OF TRUSSES TO BE FABRICATED FROM STRESS GRADE LUMBER HAVING THE FOLLOWING MINIMUM PROPERTIES:
Fb = 1,400 PSI, Fv = 950 PSI
F(c) PARALLEL = 1,100 PSI, F(c) PERPENDICULAR = 345 PSI
- THE DESIGN FOR WOOD ROOF TRUSSES ARE AS FOLLOWS:
DEFLECTION UNITS: LIVE LOADS: DEAD LOADS:
GROUND SNOW LOAD - 25 PSF FLOOR JOISTS: SPAN / 480 SPAN / 240
FLAT ROOF SNOW LOAD - 30 PSF ROOF TRUSSES: SPAN / 360 SPAN / 240
SNOW LOAD IMPORTANCE FACTOR - 1.0 ROOF RAFTERS (WHERE APPLICABLE) SPAN / 240 SPAN / 180
ROOF LIVE LOAD - 20 PSF (MIN.) CEILING JOISTS (WHERE APPLICABLE) SPAN / 360 SPAN / 240
DEAD LOAD - 17 PSF ROOF ROOF BEAMS: SPAN / 240 SPAN / 180
FLOOR LIVE / DEAD / TOTAL LOADS:
LIVING AREAS (SLEEPING) - 10/30/40 PSF WIND LOADS:
LIVING AREAS (NON-SLEEPING) - 10/40/50 PSF SEE WIND DESIGN NOTES ON "18" SHEETS
STAIRS - 10/40/50 PSF WIND DESIGN NOTES BY OTHERS
DECKS - 10/40/50 PSF
BALCONIES - 10/60/70 PSF
- ALL POINT LOADS, PARTIAL UNIFORM LOADS OR COMBINATIONS THEREOF SHALL BE DETERMINED BY THE TRUSS MANUFACTURER AND ACCOUNTED FOR IN THE FINAL DESIGN OF THE TRUSSES. THE TRUSS SYSTEM SHALL BE ENGINEERED TO ACCEPT ALL IMPOSED LOADS AS DICTATED ABOVE.
- TRUSS MANUFACTURER WILL PROVIDE CALCULATIONS INDICATING ADDITIONAL SNOW LOADS AND DESIGN LOADS FOR ROOF LOCATIONS WITH GUSSETS, CROCKETS, VALLEYS LOCATIONS REQUIRING ADDITIONAL ROOF FRAMING IN ACCORDANCE WITH ALL APPLICABLE STANDARDS
- TRUSS MANUFACTURER SHALL PROVIDE DESIGN FOR COLUMNS OF SUFFICIENT STRENGTH TO SUPPORT POINT LOADS IMPOSED BY ROOF TRUSS SYSTEMS. TEMPORARY BRACING SHALL BE INSTALLED AND SHALL REMAIN IN PLACE AS REQUIRED. TRUSS MANUFACTURER TO INDICATE TEMPORARY BRACING AS REQUIRED AND CONTRACTOR SHALL INSTALL SAME.
- SHOP DRAWINGS SIGNED AND SEALED BY A STRUCTURAL ENGINEER REGISTERED IN ILLINOIS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL. PRIOR TO FABRICATION, SHOP DRAWINGS SHALL INCLUDE THE FOLLOWING ITEMS:
K. DRAFTED PLAN LAYOUTS IDENTIFYING ALL TRUSSES
L. CALCULATIONS FOR LOAD DETERMINATION ON TRUSSES, GIVING UNIFORM LOADS (PARTIAL OR OTHERWISE) AND/OR POINT LOADS
M. TRUSS CONFIGURATION DRAWINGS GIVING STRESSES ON ALL MEMBERS, REACTIONS AT SUPPORTS AND STRESSES ON ALL MEMBERS INCLUDING PLATES
N. COLUMN DESIGN FOR POINT LOADS OTHER THAN SHOWN ON CONTRACT DRAWINGS
O. PROVIDE AND INSTALL "SIMPSON", OR OTHER APPROVED EQUAL, GALVANIZED HANGERS, FRAMING ANCHORS AND FASTENERS AS REQUIRED AND INDICATED ON DRAWINGS. NAILS TO BE THOSE FURNISHED BY MANUFACTURER FOR THIS SPECIFIC USE.
- IF OWNER AUTHORIZES A NON-STRUCTURAL SUBSTITUTION FOR 7/16" O.S.B. WALL SHEATHING, CORNER BRACING SHALL BE 7/16" O.S.B. MINIMUM WALL SHEATHING 48" FROM ALL CORNERS AT 25'-0" INTERVALS
- PROVIDE "1/2" SMART TRIM MOLDED MILLWORK OR EQUAL PER ELEVATIONS. INSTALL PER MANUFACTURERS RECOMMENDATIONS
- PROVIDE SHOP FABRICATED DECORATIVE WOOD COMPONENTS MATCHING ELEVATION DETAILS. PROVIDE SHOP DRAWINGS FOR REVIEW. PROVIDE MOCK-UPS FOR APPROVAL BY OWNER.
- ALL EXTERIOR DECKS AND ASSOCIATED RAILS AND STAIRS SHALL BE PRESSURE-TREATED FRAMING AND/OR SYNTHETIC FINISH MATERIALS.
- ALL ATTIC ACCESSES TO ALL CONCEALED ATTIC SPACES SHALL MEET THE MINIMUM REQUIREMENTS OF THE BUILDING CODE
- CARPENTER SHALL VERIFY ALL FLOOR FINISHES WHEN SETTING DOOR OPENINGS
- FACE NAIL MULTI-PLY 2 X BEAMS AND HEADERS WITH THREE (3) ROWS OF 10d NAILS AT 12" O.C., STAGGERED. APPLY NAILING FROM BOTH FACES FOR THREE-PLY OR GREATER. FOR 2 X 4 AND 2 X BEAMS USE TWO (2) ROWS OF NAILS. THIS SHALL APPLY TO ALL BEAMS (PRE-ENGINEERED LUMBER AND 2 X DIMENSIONAL LUMBER).
- ALL INTERIOR NON-LOAD BEARING WOOD STUD WALLS SHALL BE CONSTRUCTED AT 16" O.C..
ALL INTERIOR LOAD-BEARING WOOD STUD WALLS SHALL BE CONSTRUCTED AT 16" O.C..



NEW ROOF PLAN
SCALE: 1/4" = 1'-0"

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ADDITION TO THE NEAL RESIDENCE 5108 DUNHAM ROAD DOWNERS GROVE, ILLINOIS	
DATE:	06/04/2026
SCALE:	AS NOTED
DRAWN BY:	JAC
PROJECT NO:	25/0001
SHEET	
A6	
OF - SHEETS	9

NEW ROOF PLAN

GENERAL ELECTRICAL NOTES

ALL WALL SWITCHES CONTROLLING LIGHT FIXTURES AND FANS SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISHED FLOOR (MEASURED TO THE CENTER OF THE SWITCH)

ALL RECEPTACLES SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 18" ABOVE FINISHED FLOOR (MEASURED FROM FLOOR TO THE CENTER OF THE RECEPTACLE) UNLESS THIS REQUIREMENT IS PROMINENTLY BY THE HEIGHT OF A WINDOW OR DESIGN FEATURE, AN ALTERNATE LOCATION CAN BE APPROVED BY THE GMP BUILDING OFFICIAL OR DULY AUTHORIZED DESIGNATED INDIVIDUAL.

ALL ELECTRICAL WORK SHALL CONFORM TO THE 2009 NEC NATIONAL ELECTRIC CODED AND THE 2001 INTERNATIONAL RESIDENTIAL CODES UNLESS OTHERWISE AS ADOPTED BY THE GOVERNING AUTHORITY, (WHICHEVER IS MORE RESTRICTIVE)

ALL CLOTHES CLOSETS HAVING A MINIMUM OF EIGHT (8) SQ. FT. SHALL HAVE A LIGHTING OUTLET INSTALLED

PROVIDE A MINIMUM OF ONE FREE PANEL SPACE ON ALL ELECTRICAL PANELS FOR FUTURE EXPANSION

ALL BEDROOM RECEPTACLES SHALL BE PROVIDED WITH ARC-FAULT CIRCUIT INTERRUPTERS PER NEC 210.12

ALL LIGHTING FIXTURES IN SHOWER AREAS, OVER TUBS AND OUTDOORS SHALL BE MARKED "SUITABLE FOR SET / DAMP LOCATIONS"

ALL 120V 15 AND 20 AMP OUTLETS IN GARAGE MUST BE GFI PROTECTED

120V AND 240V, 15 AND 20 AMP RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL BE IN AN ENCLOSURE THAT IS WATERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSTALLED

A GFCI PROTECTED 120V, 15 OR 20 AMP RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH SEPARATE PORTION OF A BASEMENT

A 120V, 15 OR 20 AMP RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, VENTILATING AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN TWENTY FIVE (25) FEET OF THE EQUIPMENT.

ARC-FAULT CIRCUIT INTERRUPTER PROTECTION SHALL BE PROVIDED FOR ALL 15 AND 20 AMP RECEPTACLES INSTALLED IN DWELLING UNIT SLEEPING ROOMS, INCLUDING LIGHTING, ALARM AND POWER OUTLETS AND BRANCH CIRCUIT SHALL BE PROVIDED SUPPLYING BATHROOM CIRCUITS

ARC-FAULT PROTECTION IS REQUIRED IN ALL ROOMS / SPACES AS LISTED HEREIN: KITCHEN, LAUNDRY, BEDROOMS, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DIN, BARROOM, RECREATION ROOM, CLOSET, HALLWAYS OR SIMILAR AREA RECEPTACLE AND LIGHTING CIRCUITS (SECTION 240.15)

ALL LOW VOLTAGE WIRING SHALL BE IN AN APPROVED RACEWAY

ALL JUNCTION BOXES IN CEILING SUPPORTING LIGHT FIXTURES SHALL ALSO BE CAPABLE OF SUPPORTING CEILING FANS IN ACCORDANCE WITH SECTIONS 314.21 (A) AND (D) AND SECTION 42.18

ALL 120V 15 AND 20 AMP OUTLETS WITHIN 6' (18") FEET OF THE EDGE OF LAUNDRY, UTILITY OR WET BAR SINKS MUST BE GFI PROTECTED

RECEPTACLES SHALL NOT BE INSTALLED FACE-UP IN WORK SURFACES / COUNTER TOPS

ALL 120V 15 AND 20 AMP OUTLETS IN UNFINISHED BASEMENTS MUST BE GFI PROTECTED

PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE CONTROLLED BY EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL, OR ANOTHER CONTROL THAT IS BUILT INTO THE FIXTURE. EXCEPTIONS ARE BATHROOMS, HALLWAYS, EXTERIOR LIGHTING FIXTURES AND LIGHTING DESIGNED FOR SAFETY AND SECURITY.

ALL PERMANENTLY INSTALLED LIGHTING FIXTURES, EXCLUDING KITCHEN APPLIANCE LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS

ALL RECEPTACLES ON 20 AMP CIRCUITS SHALL BE 20 AMP RECEPTACLES

PROVIDE A ELECTRICAL RECEPTACLE IN THE ATTIC FOR FUTURE USE WITH A MECHANICAL RADON REDUCTION SYSTEM

THE NEW 200 AMP ELECTRICAL SERVICE SHALL INCLUDE A 200 AMP DISCONNECTING MEANS LOCATED ON THE EXTERIOR OF THE PRIMARY STRUCTURE

ALL CONVENIENCE RECEPTACLES SHALL BE TAMPER-RESISTANT

ALL RECESSED LIGHTING INSTALLED WITHIN THE BUILDING THERMAL ENVELOPE SHALL BE IC-RATED AND SEALED

AT LEAST ONE (1) RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 5'4" OF OUTSIDE EDGE OF EACH BATH BASIN AND SHALL BE LOCATED ON A WALL OR PARTITION ADJACENT TO THE BASIN. ONE (1) DEDICATED 20 AMP CIRCUIT SHALL BE PROVIDED SUPPLYING BATHROOM CIRCUITS

WHERE INSTALLED IN OR ATTACHED TO A BUILDING STRUCTURE, METAL PIPING SYSTEMS, INCLUDING GAS PIPING THAT IS LIKELY TO BECOME ENERGIZED SHALL BE BONDED TO THE SERVICE EQUIPMENT ENCLOSURE. THE GROUNDING CONDUCTOR BY THE SERVICE, THE GROUNDING ELECTRODE CONDUCTOR, WHERE OF SUFFICIENT SIZE, OR TO ONE OR MORE OF THE GROUNDING ELECTRODES USED. THE BONDING JUNCTIONS SHALL BE USED IN ACCORDANCE WITH 250.10, USING THE RATING OF THE CIRCUIT THAT IS LIKELY TO ENERGIZE THE SYSTEMS. THE EQUIPMENT GROUNDING CONDUCTOR FOR THE CIRCUIT THAT IS LIKELY TO ENERGIZE THE PIPING SHALL BE PERMITTED TO BE BONDED TO THE BONDING MEANS. THE POINTS OF ATTACHMENT OF THE BONDING JUNCTIONS SHALL BE ACCESSIBLE.

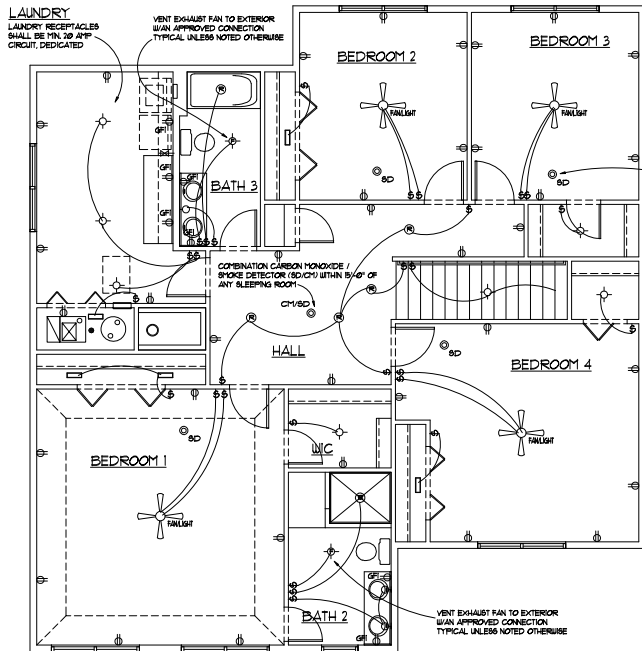
ALL ELECTRICAL AND/OR COMMUNICATION OUTLET BOXES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE AND SHALL BE MARKED "NEMA 084" OR "100" 4" IN ACCORDANCE WITH NEMA OR 4.

120 (1) DEDICATED 20 AMP CIRCUITS FOR SHALL APPLIANCES SHALL BE PROVIDED IN THE KITCHEN

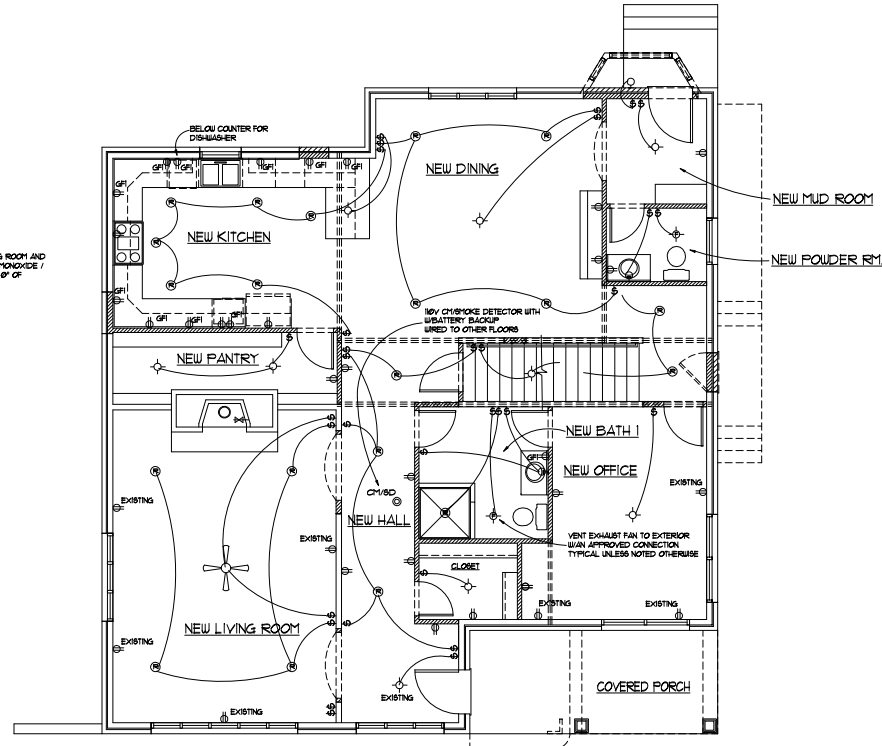
A METAL UNDERGROUND WATER PIPE SHALL BE SUPPLEMENTED BY AN ADDITIONAL ELECTRODE OF A TYPE SPECIFIED IN EMBODIMENT 1.1. THE SUPPLEMENTAL ELECTRODE SHALL BE PERMITTED TO BE BONDED TO THE GROUNDING ELECTRODE CONDUCTOR, THE NON-FLEXIBLE GROUNDING SERVICE RACEWAY, OR ANY GROUNDING SERVICE ENCLOSURE

ALL PERMANENTLY INSTALLED LIGHTING FIXTURES, EXCLUDING BATHROOMS, HALLWAYS, EXTERIOR LIGHTING FIXTURES OR LIGHTING DESIGNED FOR SAFETY OR SECURITY SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL, OR OTHER CONTROL THAT IS INSTALLED OR BUILT INTO THE FIXTURE

ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH THAT PERMIT AUTOMATIC SHUT OFF. SUCH AUTOMATIC SHUT OFF SHALL OCCUR WHEN DAYLIGHT IS PRESENT. CONTROLS SHALL OVERIDE AUTOMATIC OPERATION SHALL RETURN TO NORMAL OPERATION AFTER A MAXIMUM OF 24 HOURS.



NEW SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



NEW FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		BY
PERMIT SET	JAC	

DESIGN HOUSE
ARCHITECTURAL SERVICES, LLC

James A. Childress
Alberto Agama

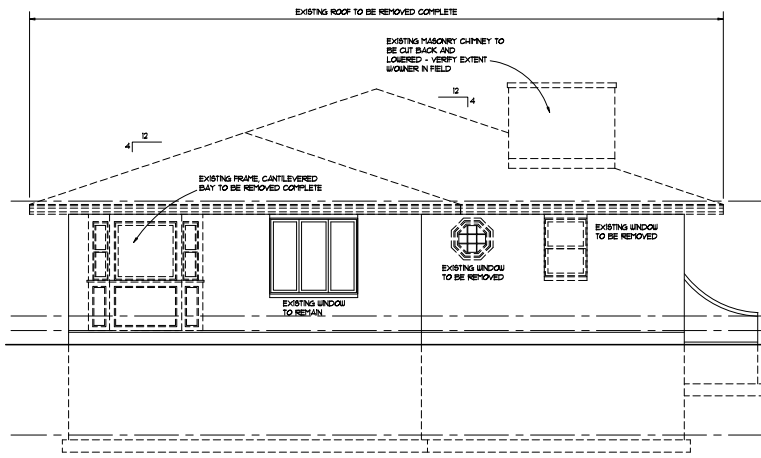
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ADDITION TO THE NEAL RESIDENCE
5708 DUNHAM ROAD
DOWNERS GROVE, ILLINOIS

DATE: 06/11/2016
SCALE: AS NOTED
DRAWN BY: JAC
PROJECT NO: 2514001
SHEET
A7
OF 8 SHEETS

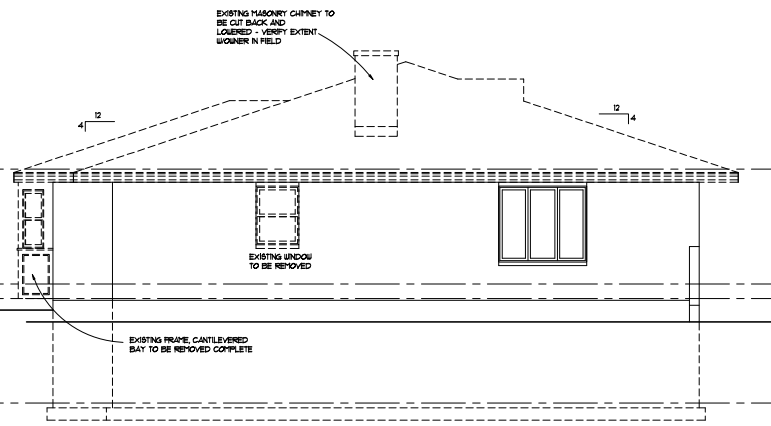
ELECTRICAL PLANS

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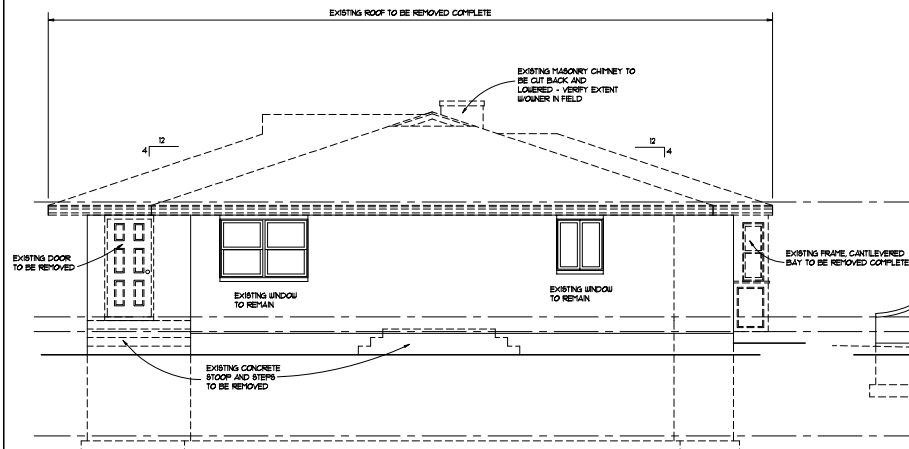
EXISTING REAR ELEVATION (WEST)

SCALE: 1/4" = 1'-0"



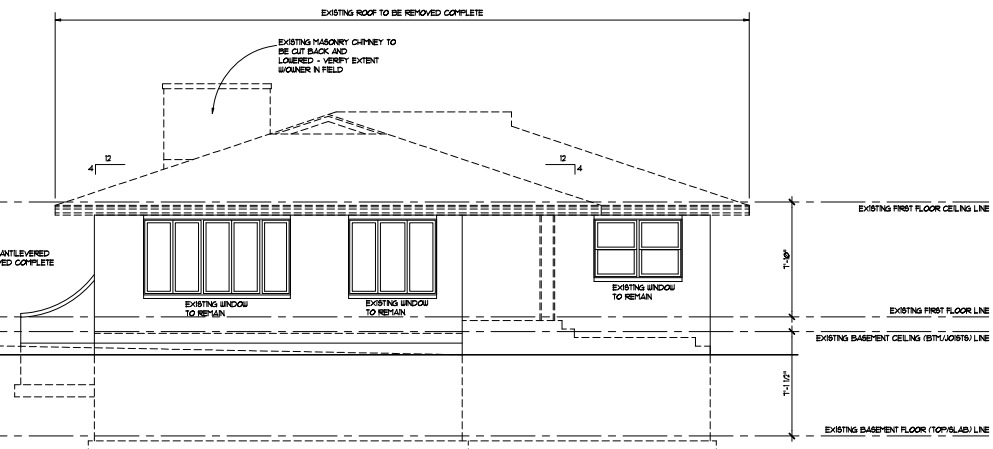
EXISTING LEFT SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



EXISTING RIGHT SIDE ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

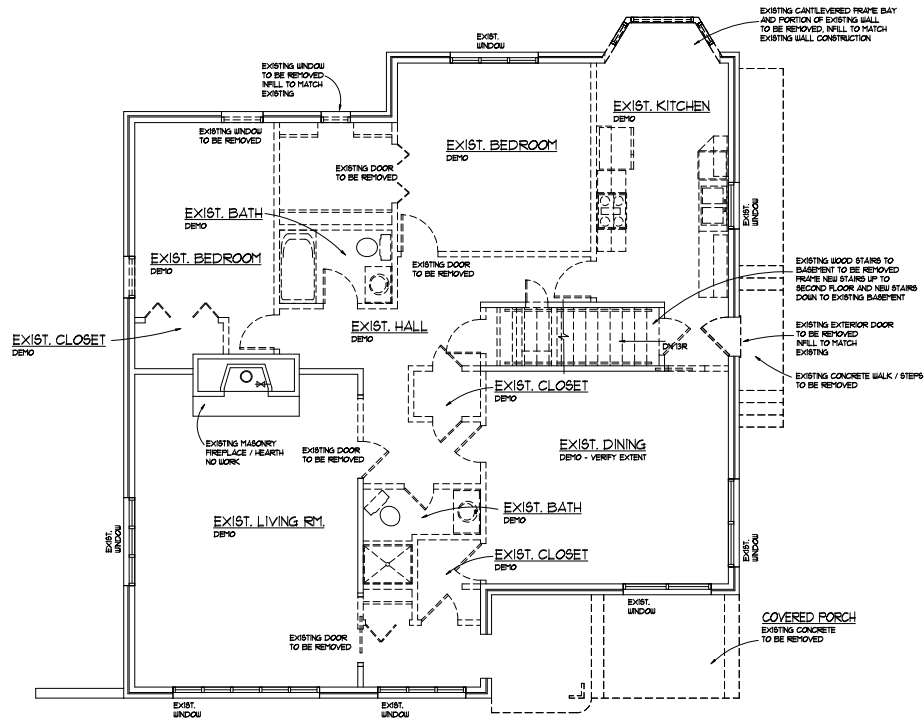
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REVISIONS	BY
PERMIT SET	JAC
DATE: 06/04/2016	
SCALE: AS NOTED	
DRAWN BY: JAC	
PROJECT NO: 254001	
SHEET	
D1	
OF 8 SHEETS	

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ADDITION TO THE NEAL RESIDENCE
5108 DUNHAM ROAD
DOWNERS GROVE, ILLINOIS

DEMO - EXTERIOR ELEVATIONS



EXISTING FIRST FLOOR PLAN - DEMO
SCALE: 1/4" = 1'-0"

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ADDITION TO THE NEAL RESIDENCE 5108 DUNHAM ROAD DOWNERS GROVE, ILLINOIS	
DATE: 06/04/2016 SCALE: AS NOTED DRAWN BY: JAC PROJECT NO: 254001 SHEET D2 OF 8 SHEETS	
EXISTING FIRST FLOOR PLAN - DEMO	



Village of Downers Grove

Planning and Zoning Commission - Report

Table 1 - Detailed information on this Planning and Zoning Commission Report.

Meeting Location	Civic Center – Betty Cheever Council Chambers
Meeting Address	850 Curtiss St., Downers Grove, IL 60515
Meeting Date	September 21, 2026 at 7:00 PM
Subject	26-PZC-0047 – 5412 Carpenter Street
Type	Zoning Map Amendment
Submitted by	Carter Moran, Planner

Request.

The petitioner is requesting a Zoning Map Amendment to rezone the subject property from R-3, Residential Detached House 3, to R-4, Residential Detached House 4.

Notice.

The application has been filed in conformance with applicable procedural and public notice requirements.

General Information.

Table 2 – Details about the petitioner's identity and location.

Petitioner Name	Petitioner Address
Andrew Andersen	5412 Carpenter Street, Downers Grove, IL 60515

Table 3 - Property ownership details for primary and additional owner(s).

Owner Name	Owner Address
Andrew Andersen	5412 Carpenter Street, Downers Grove, IL 60515

Property Information.

Table 4 - Detailed subject property summary (parcel identification, size, and zoning)

Existing Zoning	R-3, Residential Detached House 3
Existing Land Use	Single Family Residential
Property Size	11,658 square feet (0.27 acres)
PINs	09-08-311-014

Table 5 - Details regarding the surrounding properties, zoning, and land uses.

Direction	Zoning	Future Land Use
East	R-4, Residential Detached House 4	Single Family Residential
West	R-3, Residential Detached House 3	Single Family Residential
North	R-3, Residential Detached House 3	Single Family Residential
South	R-3, Residential Detached House 3	Single Family Residential

Analysis.

Submittals

This report is based on the following documents, which are on file with the Department of Community Development:

1. Petition
2. Project Narrative

3. Approval Criteria
4. Plat of Survey
5. Site Plan

Project Description

The subject property is at 5412 Carpenter Street and consists of two lots of record, located northwest of the intersection of Summit Street and Carpenter Street. The two lots measure a combined 234 foot deep by 50-foot wide. The eastern lot (Part of Lot 6) is zoned R-4, Single Family Detached House 4. The western lot (Part of Lot 12), which is the subject for the proposed zoning map amendment, is zoned R-3, Single Detached House 3.

The petitioner is requesting a map amendment to rezone the western lot of record (Part of Lot 12) to R-4, Residential Detached House 4. The petitioner intends to construct an addition to an existing garage, located on the subject property, upon an administrative lot consolidation. The construction of the garage addition will be required to meet all required Village Ordinances, including building, zoning and stormwater regulations.

Compliance with the Comprehensive Plan

The Future Land Use Map within Guiding DG Comprehensive Plan designates the subject property as Single-Family Detached Residential. This land use is characterized as those areas that consist of a detached single household per lot, organized into neighborhoods or subdivisions based on a unifying development pattern.

The Guiding DG Comprehensive Plan includes chapters on Land Use and Development and Housing and Neighborhoods which should be considered by the Planning & Zoning Commission along with this zoning map amendment request.

Land Use and Development.

- Single-family detached residential areas should consist of a detached single household per lot.

Housing and Neighborhoods.

- Encourage residential new construction, additions, and renovations complement the established character and scale of the Village's established neighborhoods
- As infill occurs over time, residential development or redevelopment should align with the scale, setbacks, height, bulk, and orientation of surrounding homes to ensure compatibility.

The petitioner's request is compliant with the Guiding DG Comprehensive Plan.

Compliance with the Zoning Ordinance

The subject property is zoned R-3, Residential Detached House 3. The petitioner is proposing the map amendment to rezone the western lot to match the eastern lot which includes the single-family home and has the zoning classification R-4, Residential Detached House 4.

The proposed R-4, Residential Detached House 4, zoning classification is appropriate for the subject property as it would meet the bulk and use regulations for the proposed zoning district. According to the Zoning Ordinance Section 28.11.020(b)(1), nonconforming lots in common ownership must be consolidated to match or come closer to the appropriate minimum lot area and lot width requirements.

Neighborhood Comment

Notice was provided to all property owners 250 feet or less from the property line in addition to posting the public hearing sign and publishing the legal notice in the Daily Herald Life. Staff did not receive any inquiries from the public.

Standards of Approval

The petitioner is requesting a Zoning Map Amendment to rezone the subject property from R-3, Residential Detached House 3, to R-4, Residential Detached House 4. The review and approval criteria for the requested entitlement are listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Planning and Zoning Commission should consider the petitioner's documentation, the staff report and the discussion at the Planning and Zoning Commission meeting in determining whether the standards for approval have been met.

Zoning Map Amendments (Rezoning), [Sec 28.12.030\(i\) Review and Approval Criteria](#)

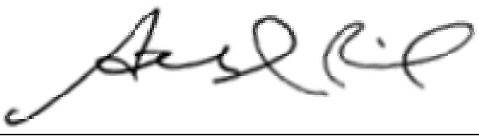
- (1) the existing use and zoning of nearby property;
- (2) the extent to which the particular zoning restrictions affect property values;
- (3) the extent to which any diminution in property value is offset by an increase in the public health, safety and welfare;
- (4) the suitability of the subject property for the zoned purposes;
- (5) the length of time that the subject property has been vacant as zoned, considering the context of land development in the vicinity;
- (6) the value to the community of the proposed use; and
- (7) the comprehensive plan.

Draft Motion.

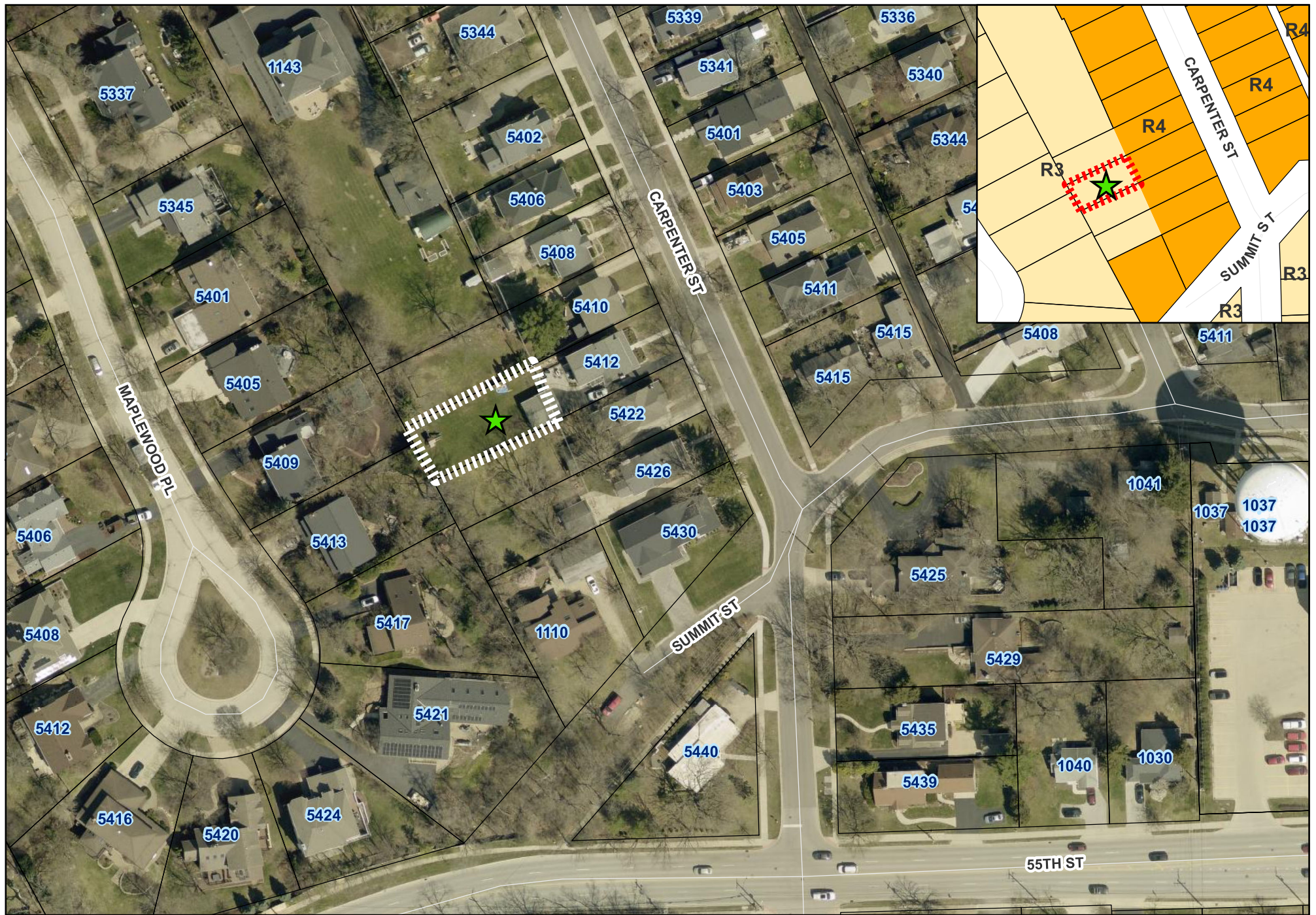
Staff will provide a recommendation at the September 21st, 2026 meeting. Should the Planning and Zoning Commission find that the request is consistent with the Comprehensive Plan and meets the requirements of the Zoning Ordinance, staff has prepared a draft motion that the Planning and Zoning Commission may make for the recommendation approval of 26-PZC-0047:

Based on the petitioner's submittal, the staff report, and the testimony presented, I find that the petitioner has met the standards of approval for a Rezoning as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Planning and Zoning Commission recommend to the Village Council approval of 26-PZC-0047, subject to the following conditions:

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development



130 65 0 130 Feet



5412 Carpenter Street - Location Map



Subject Property



Sign Location

August 20, 2026

To Whom It May Concern,

We are seeking rezoning approval to move forward with a planned finished garage addition on our residential property at 5412 Carpenter Steet, Downers Grove, IL 60515.

The proposed project will consist of a finished garage addition that will provide additional functional space for our home. The addition will include a private office, a common/recreational area, and a golf simulator. The space is intended solely for the personal use and enjoyment of our household and will remain an accessory to the existing residential property.

The reason for the rezoning request is that our property is currently subject to two different residential zoning classifications. As a result of the existing split zoning on the property, we are currently unable to proceed with the proposed garage addition as designed. The requested rezoning would establish a consistent zoning classification for the property and allow us to move forward with the planned improvement.

The proposed addition is intended to complement the existing residence and will not change the residential character or use of the property. There are no plans for commercial use, rental use, or any other use beyond the normal residential enjoyment of the property.

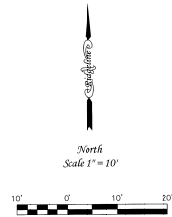
We respectfully request approval of the rezoning so that we can proceed with this residential improvement and make practical use of the property in a manner consistent with its surrounding residential character.

Thank you,

A handwritten signature in black ink, appearing to be 'Andy Andersen', with a stylized, flowing script.

Andy Andersen

Boundary, Topographic Survey and Demolition Plan



LINE TYPE LEGEND

FENCE =
CENTERLINE OF OVERHEAD WIRES =
SANITARY SEWER =
TREE OR BRUSH LINE =
WATER MAIN =

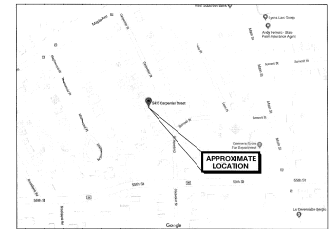
ABBREVIATION LEGEND

BC = BACK OF CURB
BOC = BACK OF COMPRESSED CURB
CL = CENTERLINE
EP = DUCTILE IRON PIPE
E = EAST
EO = EDGE OF CONCRETE
EV = EAST ELEVATION
EW = EDGE OF WATER
FTE = FINISHED FLOOR ELEVATION
G = GROUND
GF = GARAGE FLOOR ELEVATION
GUT = GUTTER
M = MEASURED DISTANCE
MT = MULTI TRUNK
N = NORTH
NLY = NORTHERLY
PVC = POLYVINYL CHLORIDE PIPE
(R) = RECORD DISTANCE
RCA = RIGHT OF WAY
S = SOUTH
SLY = SOUTHERLY
TO = TOP OF CONCRETE
TW = TOP OF FOUNDATION ELEVATION
TWW = TOP OF WALL ELEVATION
TWV = TOP OF WINDOW WELL ELEVATION
W = WEST
WLY = WESTERLY

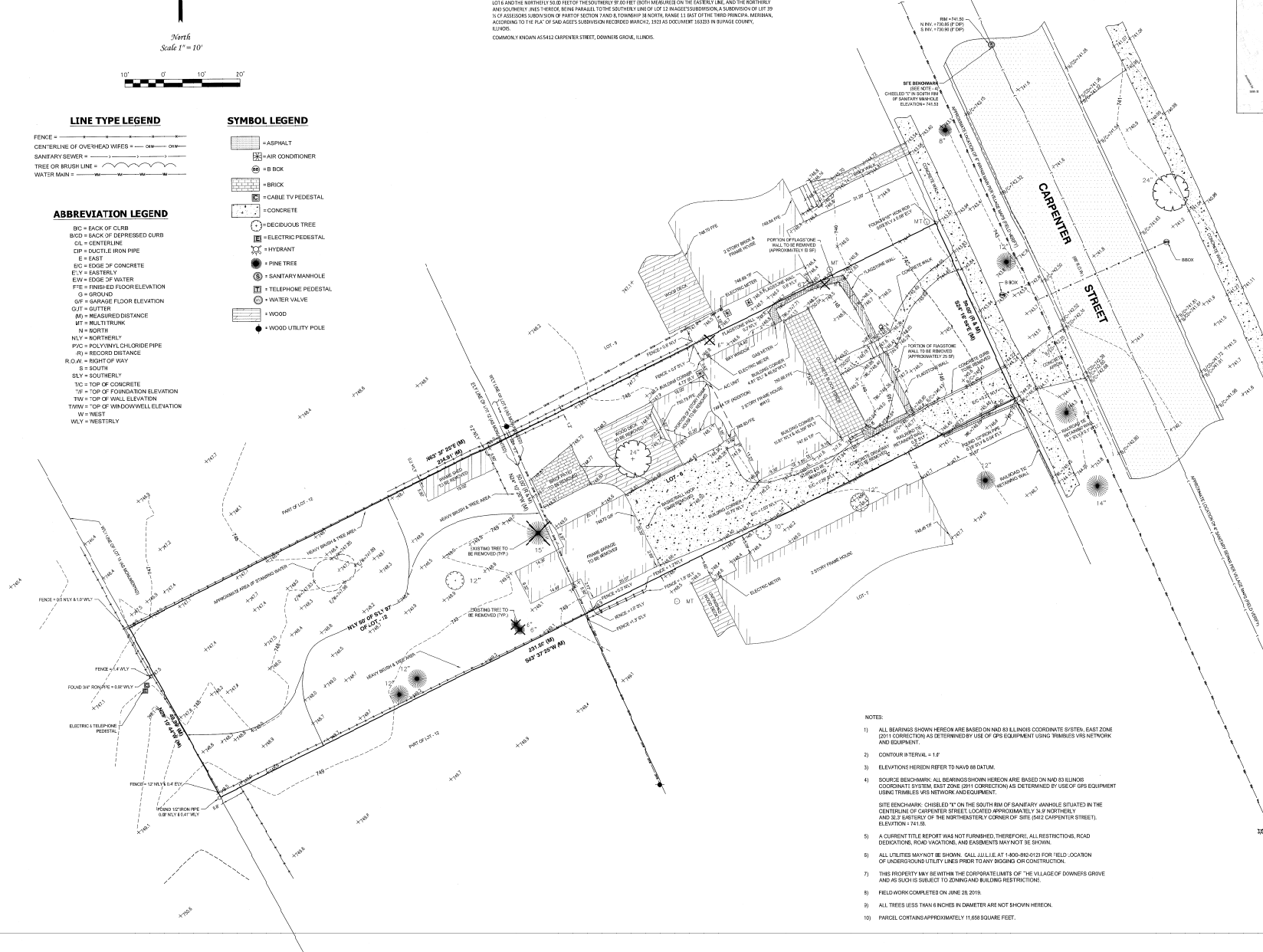
SYMBOL LEGEND

ASPHALT
AIR CONDITIONER
B BOX
BRICK
CABLE TV PEDESTAL
CONCRETE
DECIDUOUS TREE
ELECTRIC PEDESTAL
HYDRANT
PINE TREE
SANITARY MANHOLE
TELEPHONE PEDESTAL
WATER VALVE
WOOD
WOOD UTILITY POLE

LEGAL DESCRIPTION:
LOT 6 AND THE NORTHERLY 50.00 FEET OF THE SOUTHERLY 97.00 FEET (BOTH MEASURED ON THE EASTERLY LINE, AND THE NORTHERLY AND SOUTHERLY LINES THEREON, BEING PARALLEL TO THE SOUTHERLY LINE OF LOT 12, ALAGE'S SUBDIVISION, A SUBDIVISION OF LOT 39 1/4, 1/2 ACRES SUBDIVISION OF PART OF SECTION 7 AND 1/2, TOWNSHIP 14 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID AGEE'S SUBDIVISION RECORDED MARCH 12, 1933 AS DOCUMENT 18323 IN SUIPAGE COUNTY, ILLINOIS.
COMMONLY KNOWN AS 5412 CARPENTER STREET, DOWNERS GROVE, ILLINOIS.

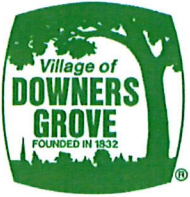


Vicinity Map
(No Scale)



- NOTES:
- ALL BEARINGS SHOWN HEREON ARE BASED ON NAD 83 ILLINOIS COORDINATE SYSTEM, EAST ZONE (2011 CORRECTION) AS DETERMINED BY USE OF GPS EQUIPMENT USING TRIMBLE VRS NETWORK AND EQUIPMENT.
 - CONTOUR INTERVAL = 1.0'
 - ELEVATIONS HEREON REFER TO NAVD 83 DATUM.
 - SOURCE BENCHMARK: ALL BEARINGS SHOWN HEREON ARE BASED ON NAD 83 ILLINOIS COORDINATE SYSTEM, EAST ZONE (2011 CORRECTION) AS DETERMINED BY USE OF GPS EQUIPMENT USING TRIMBLE VRS NETWORK AND EQUIPMENT.
 - SITE BENCHMARK: CHISELED "T" ON THE SOUTHERLY 97.00' RM OF SANITARY MANHOLE SITUATED IN THE CENTERLINE OF CARPENTER STREET, LOCATED APPROXIMATELY 8.0' NORTHERLY AND 32.0' EASTERLY OF THE NORTHEAST CORNER OF SITE (5412 CARPENTER STREET), ELEVATION 714.18.
 - A CURRENT TITLE REPORT WAS NOT FURNISHED; THEREFORE, ALL RESTRICTIONS, ROAD DEDICATIONS, ROAD VACATIONS, AND EASEMENTS MAY NOT BE SHOWN.
 - ALL UTILITIES MAYNOT BE SHOWN. CALL JULIE AT 1-800-882-0121 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES PRIOR TO ANY DIGGING OR CONSTRUCTION.
 - THIS PROPERTY MAY BE WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF DOWNERS GROVE AND AS SUCH IS SUBJECT TO ZONING AND BUILDING RESTRICTIONS.
 - FIELD WORK COMPLETED ON JUNE 28, 2019.
 - ALL TREES LESS THAN 6 INCHES IN DIAMETER ARE NOT SHOWN HEREON.
 - PARCEL CONTAINS APPROXIMATELY 11,608 SQUARE FEET.

PROJECT NO.	2019-0009
	DATE
CLIENT	PLATINUM BUILDERS
	5412 CARPENTER STREET
PROJECT LOCATION	DOWNERS GROVE, ILLINOIS
	DATE
DESIGNER	ANGELINE CONSULTANTS, LLC
	DATE
CHECKED BY	ANGELINE CONSULTANTS, LLC
	DATE
APPROVED BY	ANGELINE CONSULTANTS, LLC
	DATE



Zoning Map Amendments

Form #PZC3

Review and Approval Criteria

Address of Project Site: 5412 Carpenter Street, Downers Grove

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.030.I. Review and Approval Criteria (Zoning Map Amendments – Rezonings)

The decision to amend the zoning map is a matter of legislative discretion that is not controlled by any single standard. In making recommendations and decisions about zoning map amendments, review and decision making bodies must consider at least the following factors:

1. The existing uses and zoning of nearby property.

Residential Neighborhood

2. The extent to which the particular zoning restrictions affect property values.

Current property lies in 2 separate residential zones. Makes it difficult to do projects on them until they are combined. I'd say a neutral impact on value.

3. The extent to which any diminution in property value is offset by an increase in the public health, safety and welfare.

Adding finished square footage to my residential property should increase neighboring values.

4. The suitability of the subject property for the zoned purposes.

The property is very suitable, simply a residential home. The garage addition would be no issue if not for the double zoning.

5. The length of time that the subject property has been vacant as zoned, considering the context of land development in the vicinity.

We suspect at least as far back as the previous owner, maybe further. It is a very old part of Downers Grove.

6. The value to the community of the proposed use.

It will encourage more communal hang outs and gathering at our home which is wonderful for our neighborhood

7. The Comprehensive Plan.

We plan to add the maximum allowable square footage to the back of our garage to allow for a finished space that will include an office, common area and golf simulator.



Village of Downers Grove

Planning and Zoning Commission - Report

Table 1 - Detailed information on this Planning and Zoning Commission Report.

Meeting Location	Civic Center – Betty Cheever Council Chambers
Meeting Address	850 Curtiss St., Downers Grove, IL 60515
Meeting Date	September 21 st , 2026 at 7:00 PM
Subject	26-PZC-0039, 5120 Forest Avenue
Type	Planned Unit Development Amendment and Special Use Amendment
Submitted by	Flora León, AICP, Senior Planner

Request.

The petitioner is requesting approval of an amendment to Planned Unit Development #74 and a Special Use to construct a mixed-use 13-unit apartment and commercial building.

Notice.

The application has been filed in conformance with applicable procedural and public notice requirements.

General Information.

Table 2 – Details about the petitioner's identity and location.

Petitioner Name	Petitioner Address
Brownstone Homes, LTD	4712 Pershing Avenue Downers Grove, IL 60515

Table 3 - Property ownership details for primary and additional owner(s).

Owner Name	Owner Address
Brownstone Homes, LTD	4712 Pershing Avenue Downers Grove, IL 60515

Property Information.

Table 4 - Detailed subject property summary (parcel identification, size, and zoning)

Existing Zoning	DC/PUD #74, Downtown Core/ Planned Unit Development #74
Existing Land Use	Vacant
Property Size	0.374 acres (16,276 square feet)
PINs	09-08-301-008, -009, -030, and -031

Table 5 - Details regarding the surrounding properties, zoning, and land uses.

Direction	Zoning	Future Land Use
East	DB, Downtown Business	Downtown
West	DT/DC, Downtown Transition/ Downtown Core	Downtown
North	DC/DB, Downtown Core/Downtown Business	Downtown

Direction	Zoning	Future Land Use
South	DT/PD #35, Downtown Transition/Planned Unit Development #35	Downtown

Analysis.

Submittals.

This report is based on the following documents, which are on file with the Department of Community Development:

1. Project Narrative
2. Approval Criteria
3. Location Map
4. Plat of Survey
5. Architectural Plans
6. Elevations
7. Traffic Impact Memo

Project Description.

The petitioner is seeking approval of an amendment to Planned Unit Development #74 (P.U.D. #74) and a Special Use, to construct a mixed-use 13-unit apartment and commercial building. The property is located on the west side of Forest Avenue between Gilbert Avenue and Curtiss Street.

PUD #74 was established earlier this year to allow for the construction of a three-story, mixed-use development consisting of six (6) residential units, retail, and office units. The following table summarizes the proposed changes to the development:

Table 6 - Details regarding proposed changes to the development

Floor	Previously Approved	Proposed Amendment
Basement	11 parking Spaces	21 Parking Spaces
First	13,820 square feet of retail space 6 parking spaces	13,820 square feet of retail space 4 parking spaces
Second	9,799 square feet of office space	4,200 square feet of office space Five (5) residential units
Third	Six (6) residential units	Eight (8) residential units

With the proposed amendment, the following changes are being requested to the original approvals:

1. The number of dwelling units is increasing from six (6) residential units to thirteen (13) residential units. Because of this request, the lot area per dwelling unit will decrease from 2,713 square feet per dwelling unit to 1,252 square feet per dwelling unit.
2. The condition of approval for the required park and school donations has been updated, to reflect the increase in units. This is further detailed in the Compliance with the Subdivision and Development Ordinance section.
3. The parking garage was reconfigured to increase the number of parking spaces from seventeen (17) parking spaces to twenty-five (25) parking spaces. Eighteen (18) of those spaces will be dedicated for the residential units.
4. The balconies were modified along the western façade to accommodate the new residential units.
5. The stormwater infrastructure was modified with a relocation of the stormwater vault to under the building, instead of along the southern portion of the building.

It should be noted, that the petitioner is proposing the same exterior building

design. The proposed building will have a strong masonry base, in addition to warm brick on all four sides of the building, with cast stone and metal panels used as accent material throughout the building and cornice lines. The lower levels of the building feature extensive use of storefront windows along Gilbert Avenue, Forest Avenue, and Curtiss Street to create an open and inviting pedestrian experience. Visual interest is emphasized with building recesses and balconies across the building facades. The primary building entry faces directly onto Forest Avenue and is emphasized through the use of cast stone from the first-floor entry up to the building cornice. This entry is capped by an awning that is framed within the broader massing articulation, creating a distinct and inviting entry to the building. Secondary entries are located at the northeast and southern facades. The cast stone is partially used in a columnar manner with additional herringbone bond (decorative brick work) in between. The building top is designed to articulate the massing and complement the overall design of the building.

A total of twenty-five (25) parking spaces are provided inside a two level partially underground parking garage accessed via Gilbert Avenue. This is an increase to the original approval. The development will now provide eighteen (18) residential parking spaces, in addition to seven (7) spaces for office and retail employees. Parking is only required for the residential component of this development. The combined parking will include standard, handicap, and EV ready stalls.

Garbage collection for the apartments and restaurant and retail uses will occur on Gilbert Avenue. The proposed development will include a permanently designated 40-foot-wide loading zone along Forest Avenue to be used for deliveries, moving, ride share, and loading. The proposed development will provide two (2) on-street parking spaces on Forest Avenue. Lastly, pedestrian access for the apartments is located along the eastern and northwestern façades of the building.

Compliance with the Comprehensive Plan.

The Guiding DG Comprehensive Plan's Future Land Use Map designates the subject property as Downtown. Downtown Downers Grove is characterized by a mix of

commercial service, commercial retail, office, entertainment, civic, multi-family residential, institutional and related public facilities in a pedestrian oriented atmosphere. The type and location of land uses within Downtown and in mixed-use areas maintain a pedestrian orientation. The goals associated with each chapter are:

Focus Area Plan – Continued Investment in Downtown.

- Continue efforts to attract local businesses to Downtown to expand and diversify retail, entertainment, and dining options.
- Implement the Guiding DG Streetscapes Plan to further enhance the downtown experience, boost visitor engagement and drive spending at nearby restaurants, and businesses.
- Encourage the redevelopment of underutilized buildings and lots into mixed-use developments, which can expand the user base and foster a strong sense of place in Downtown.
- Future multi-family development should be located near significant activity centers and along major roadways as well as a component of mixed-use development within Downtown.
- Infill development and redevelopment should be pedestrian-oriented in order to complement the historic building pattern of the Downtown.
- The success of downtown can be attributed to the coordination and combination of these key features: architectural detailing, a mix of land uses, pedestrian-oriented design, appropriate building heights, streetwalls and storefronts, a compact street grid, and public spaces and gathering areas. Future development or redevelopment should take into consideration these elements.
- Continue to apply and implement the Downtown Design Guidelines.

Land Use and Development.

- Encourage multiple transportation options including walking, bicycling,

vehicles, and public transit (trains, buses, on-demand, and similar).

- Facilitate redevelopment opportunities to meet housing and economic development needs.
- Facilitate the creation and enhancement of mixed-use areas that include housing, offices, commercial and retail space, and other community amenities.
- Encourage infill development to efficiently use vacant or underutilized land for both residential and commercial uses.
- Downtown should continue to contain a mix of land uses that reinforce its unique character.
- Office uses should be strategically located near transit and along commercial corridors to support economic growth, with opportunities for mixed-use integration, including multifamily housing and small-scale commercial services
- Mixed-use developments should be targeted in Downtown.

Housing and Neighborhoods.

- Promote residential development and redevelopment of a variety of housing and dwelling unit types and densities in accordance with the Future Land Use Plan.
- Encourage residential new construction, additions, and renovations complement the established character and scale of the Village's established neighborhoods.
- Encourage projects that integrate residential, retail, and dining options.
- As infill occurs over time, residential development or redevelopment should align with the scale, setbacks, height, bulk, and orientation of surrounding homes to ensure compatibility.

Economic Development.

- Continue to encourage high-density, transit-oriented development near the three Metra Stations.
- Continue to identify and work with property owners of underutilized properties to reinvest and revitalize their properties.
- Consider incorporating a mixture of shops, restaurants, entertainment and high-density residential uses. Mixed-use developments may also include a variety of residential housing types.

Compliance with the Zoning Ordinance.

The property is zoned DC/PUD #74, Downtown Core/ Planned Unit Development #74. The bulk requirements of the proposed development in DC/PUD #74 zoning district are summarized in the following table:

Requirements

Table 7 - Zoning regulations for proposed development.

Zoning Regulation	Required	Proposed
Lot Area per Dwelling Unit	900 square feet	1,252 square feet ^
Street Setback: North property line Gilbert Avenue	0 feet	0.51 feet
Street Setback – South property line Curtiss Street	0 feet	17.85 feet
Street Setback: East property line Forest Avenue	0 feet	1.97 feet
Side Setback: West property line	0 feet	3.0 feet
Build-to-Zone: (minimum maximum)	0/5 feet	5 feet
Build-to-Zone: East property line Forest Avenue	80 percent	89 percent

Zoning Regulation	Required	Proposed
Build-to-Zone: North property line Gilbert Avenue	30 percent	87 percent
Build-to-Zone: South property line Curtiss Street	30 percent	0 percent *
Corner Built-To Zone: Gilbert Avenue/Forest Avenue	100 percent	60 percent *
Corner Built-To Zone: Curtiss Street/Forest Avenue	100 percent	15 percent *
Height: Building (minimum maximum)	24 feet (min)/ 40 feet (max)	40 feet
Parking Spaces	(1.4 per DU) 18	18 (residential parking) ^ 7 (office parking) spaces ^

* Indicates a previously approved deviation from the Zoning Ordinance Requirements

^ Indicates a change from the original approval

Signage

Signage is not part of this petition, and any signage proposed for the development shall comply with the Zoning Ordinance requirements through a separate sign permit application.

Compliance with Downtown Design Guidelines.

The Downtown Design Guidelines provide guidance for building and site design, which will assist in creating a vibrant downtown. As noted above, the design is largely unchanged, with the exception of the modification to the balconies to accommodate the additional residential units.

The guidelines are divided into seven separate sections: site design, building design, building base, building middle, building top, utility considerations, and parking facilities. Each section describes elements which support good design and provides

visual references which identify both encouraged and discouraged elements. As recommended by the Downtown Design Guidelines, the proposed development continues to incorporate the following features:

Table 8 – A summary of the Downtown Design Guidelines Review elements & their compliance.

Downtown Design Guideline Element	Summary of Compliance
Site Design	• The apparent mass and bulk of the building is reduced by structural articulation, windows or other architectural and functional elements, and by landscaping. • Pedestrian walkways are provided at all building entrances and each walkway connects to a sidewalk on Forest Avenue and a shared-use path on Gilbert Avenue.
Building Design	• The façade is visually appealing through articulation, detailing, openings and materials of each elevation. • Consistent building materials and detailing on all sides of the structure that are open to public view has been provided. • Windows line Gilbert Avenue, Forest Avenue, and Curtiss Street facades and the materials at this base level wrap around all four facades. • The Gilbert Avenue, Forest Avenue, and Curtiss Street facades each provide multiple planes which provide visually appealing façades. • The facade facing Forest Avenue stands out as a different expression with the incorporation of cast stone at both corners and along the center of the building. • The provision of balconies creates visual appeal and interest, and follow rhythmically up the vertical plane of the building.

Downtown Design Guideline Element	Summary of Compliance
Building Base	• The center and corner entries are designed as prominent features of the base through the use of cast stone in the center and herringbone bond (decorative brick work) at each corner entry. • The building's base provides storefront windows, decorative lighting, landscaping, and front entry canopies to create a friendly pedestrian space. • Front entrances are covered to provide human scale to the building and draw the eye. • A combination of cylindrical wall sconces, recessed downlights, and wall pack light fixtures are placed around the building to add visual interest while highlighting building entrances and architectural details.
Building Middle	• Horizontal expressions are established in the second floor and third floors through the use of balconies, metal awnings, and cornice features. • The middle of the building includes windows in rhythm with the base level, reflect proportionate shapes and patterns and is visually appealing through detailing, openings and materials. The middle of the proposed building meets these guidelines. • The use of brick allows the building to create a smooth transition to the single family and multi-family neighborhood directly south, west and north of the subject property. • The concrete bands above the windows help differentiate the buildings middle section while complimenting the concrete bands found at the top of the building. • The top floors are differentiated with balconies and metal awnings

Downtown Design Guideline Element	Summary of Compliance
Building Top	The guidelines note the top of the building should be an expression of form as the building meets the sky and the roof should give distinction to the entire building. The proposed cornices give distinction to the entire building.
Utility Considerations	- The design of maintenance, utility and service areas were integrated into the overall design of the building. - The guidelines note that with redevelopment, care shall be taken with screening and the location of utilities. The proposed utility equipment will be screened with landscaping.
Parking Facilities	All proposed parking is interior. Bicycle parking is proposed on the exterior of the building along Forest Avenue.

Compliance with the Subdivision and Development Ordinance.

The Subdivision Ordinance requires that developments requesting Special Use approval for multi-family developments provide park and school donations to offset the impact of new residential units. The proposed development will include thirteen (13) apartments (four (4) one-bedroom units and nine (9) two-bedroom units).

Based upon the increase in the number of units and the number of bedrooms, the total donation has been modified from the original approval. The required donations are now \$89,676.34 (\$72,713.42 to the Park District, \$12,208.64 to Elementary School District 58, and \$4,754.28 to High School District 99). Payment of these donations must be made to the Village prior to the issuance of any site development or building permits.

Engineering and Public Improvements.

The proposed improvements will match what was originally proposed with the previously approved plans, with the exception of the location of the stormwater vault. The petitioner is proposing to improve the Forest Avenue right-of-way by providing: a 40-foot-wide loading zone, new curb and gutter, two on-street parking spaces, a new sidewalk, seatwalls, a bike rack, and restoration of the remaining parkway area. The two parking spaces will have a 3-hour time limit, until 6:00PM and will help provide a buffer between the traffic and the pedestrians walking along Forest Avenue. The management company will coordinate resident move ins and outs to ensure the loading zone is available. Along Gilbert Avenue, the petitioner is proposing a 10-foot-wide shared-use path, in accordance with the Guiding DG Active Transportation Plan. Finally, along Curtiss Street the petitioner is proposing a seatwall, as recommended by the Guiding DG Streetscape Plan.

The stormwater infrastructure was modified with a relocation of the stormwater vault to under the building, instead of along the southern portion of the building. The proposed development will comply with the Village's Stormwater and Flood Plain Ordinance.

Traffic and Parking.

The traffic memorandum was updated by the petitioner. The revised trip and parking generation memorandum compared the trip generation for the proposed development, compared to the previously approved plans. The site-generated traffic projections for the thirteen (13) dwelling unit proposal show an overall reduction in daily trips (fifteen less) than the original six (6) dwelling unit proposal. Reductions during the peak hours vary from four (4) to six (6) trips. The memorandum notes that the biggest reduction in trips is a result of the reduction in office space from 9,799 to 4,200 square feet. Office uses typically generate weekday traffic during morning arrival and evening departure, resulting in higher peak-hour traffic demands. While residential uses generally produced lower and more dispersed trip patterns through the day and evening. With regard to traffic

and roadway impacts, staff concurs with the findings of the petitioner's traffic study.

The Zoning Ordinance requires eight (8) parking stalls for the thirteen (13) dwelling unit proposal, or 1.4 stalls per dwelling unit. The proposed development is providing eighteen (18) dedicated parking spaces for the residential units. The Zoning Ordinance only requires parking for the residential uses. Commercial uses in the DC zoning district are not required to provide parking. However, the petitioner is providing an additional seven (7) parking spaces in excess of the Village's parking requirements. There is also an additional 40-foot-wide loading zone proposed on Forest Avenue.

It should be noted that the subject property is strategically located next to several public parking lots and on-street parking spaces that can temporarily accommodate guests. Moreover, the Village contains an established parking lot system where overnight guests can park their vehicles in designated spaces for a nominal fee. There is capacity to accommodate future guests generated by this proposed project.

Public Safety Requirements.

The Fire Prevention Division reviewed the updated plan. A fire hydrant will be provided within 100 feet of the fire department connection. All floors will be equipped with fire alarms and will be sprinkled, as required by Village regulations.

Neighborhood Comment.

Notice was provided to all property owners 250 feet or less from the subject property in addition to posting the public hearing sign and publishing a legal notice in the *Daily Herald*. Staff did not receive any inquiries from the public, in regards to the proposed amendment to the PUD.

Standards of Approval.

The petitioner is requesting approval of a Planned Unit Development Amendment and a Special Use to construct a mixed use 13-unit apartment and commercial building in the DC/PUD #74, Downtown Core/ Planned Unit Development #74 zoning district. The review and approval criterion for each request is listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Planning and Zoning Commission should consider the petitioner's documentation, the staff report and the discussion at the Planning and Zoning Commission meeting in determining whether the standards for approval have been met.

Planned Unit Developments, [Sec 28.12.040\(c\)\(5\) Review and Approval Criteria](#)

- a. the zoning map amendment review and approval criteria of DGMC Section 28.12.030(i) in the case of new Planned Unit Development proposals;
- b. whether the proposed PUD development plan and map amendment would be consistent and in substantial compliance with the comprehensive plan, downtown design guidelines and any other adopted plans for the subject area;
- c. whether PUD development plan complies with the PUD overlay district provisions of DGMC Section 28.4.030;
- d. whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations; and
- e. whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

Special Uses, [Sec 28.12.050\(h\) Review and Approval Criteria](#)

- (1) that the proposed use is expressly authorized as a special use in the district in which it is to be located;
- (2) that the proposed use will not, in the particular case, be detrimental to the health, safety, or general welfare of the community;
- (3) that the proposed use will not be injurious to the use and enjoyment of other property in the immediate area for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood;
- (4) that the establishment of the special use will not impede the normal and orderly development and improvement of adjacent property for uses permitted in the district.

Draft Motion.

Staff will provide a recommendation at the September 21st, 2026 meeting. Should the Planning and Zoning Commission find that the request meets the standards of approval for a Planned Unit Development Amendment and Special Use, staff has prepared a draft motion that the Planning and Zoning Commission may make for the recommended approval of 26-PZC-0039:

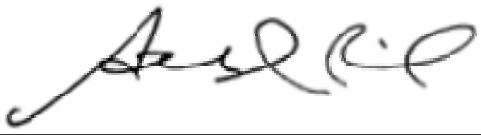
Based on the petitioner's submittal, the staff report, and the testimony presented, I find that the petitioner has met the standards of approval for a Planned Unit Development Amendment and a Special Use Amendment as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Planning and Zoning Commission recommend to the Village Council approval of 26-PZC-0039, subject to the following conditions:

1. The Planned Unit Development Amendment and Special Use Amendment shall substantially conform to the staff report, renderings, architecture plans prepared by WJDi Studio date August 28th, 2026 and a traffic

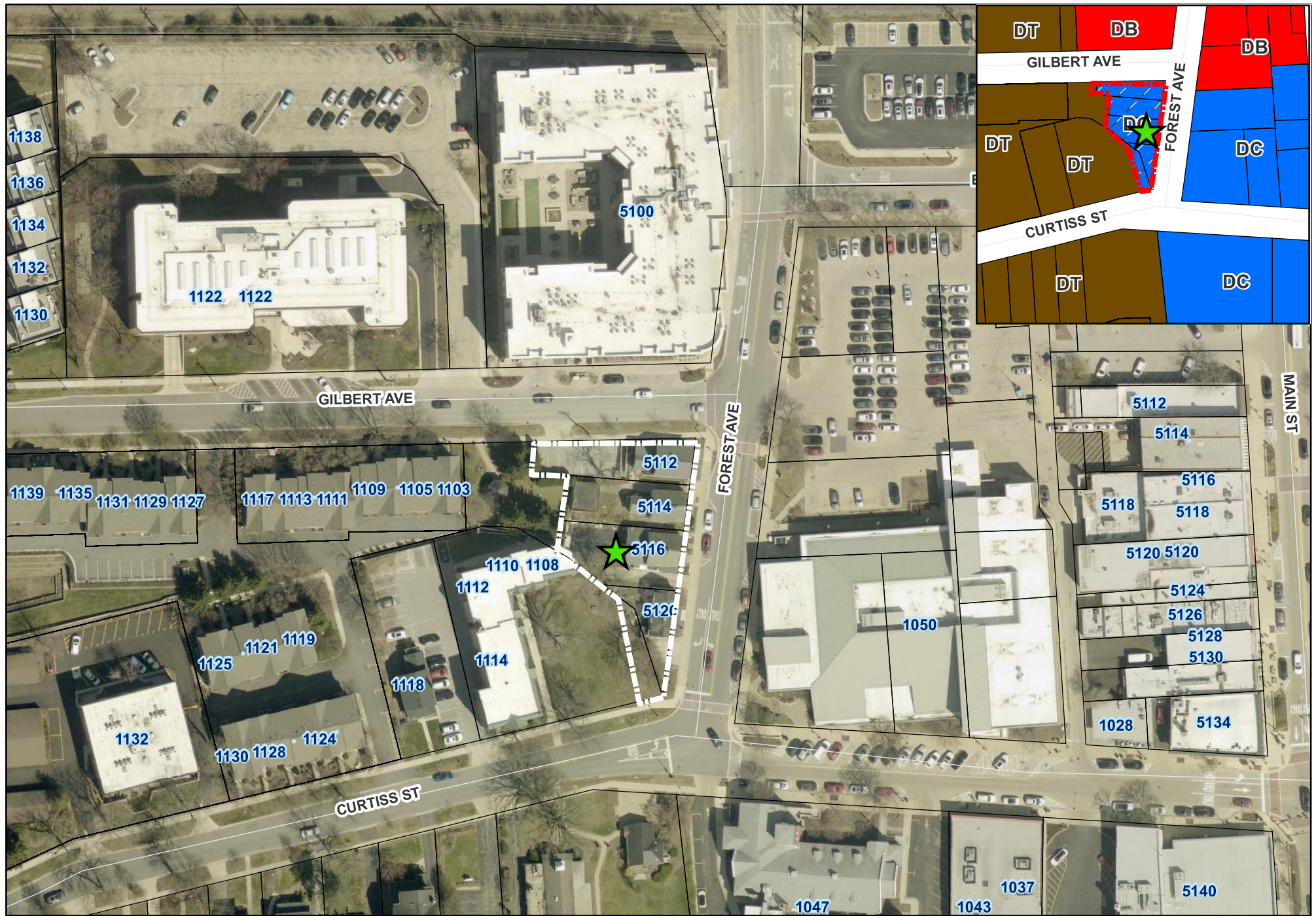
memorandum prepared by Fish Transportation Group dated August 21st, 2026 except as such plans may be modified to conform to the Village codes and ordinances.

2. Prior to issuing any site development or building permits, the petitioner shall make park and school donations in the amount of \$89,676.34 (\$72,713.42 to the Park District, \$12,208.64 to Elementary School District 58, and \$4,754.28 to High School District 99).
3. Prior to building permit issuance, the following items are required to be submitted to the Village:
 - a. A recorded lot reconfiguration
 - b. A recorded plat of lot consolidation
 - c. A recorded plat of easement
 - d. A recorded temporary construction easement
 - e. A recorded encroachment license
4. The proposed seatwall shall be updated during the building permit review to ensure it is in accordance with Guiding DG Streetscapes Plan.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development



0 50 100 Feet

5112-5120 Forest Avenue Location Map

 Subject Property
 Project Location

~~July 1, 2026~~ (Revised 8/31/26)

Forest Pointe – Planning & Zoning Narrative

Amendment to Planned Unit Development No. 74 and Special Use

On March 10, 2026, the Village of Downers Grove approved Forest Pointe through Planned Unit Development No. 74 (Ordinance No. 6184) and the associated Special Use (Ordinance No. 6186). The approvals authorized construction of a three-story mixed-use building at 5112–5120 Forest Avenue consisting of commercial space on the first floor, office space on the second floor, six residential dwelling units on the third floor, and an underground parking garage.

Since receiving approval, the project has continued to move forward through the building permit review process.. Throughout that process, the vision for Forest Pointe has remained consistent to create a high-quality mixed-use development that complements Downtown Downers Grove, strengthens its business district, and serves as a long-term investment in the community.

As construction documents have advanced and market conditions have continued to evolve, the petitioner has evaluated opportunities to improve the long-term sustainability of the project while preserving the vision approved by the Village. The amendment presented herein represents a thoughtful and modest refinement of the approved development.

The petitioner respectfully requests approval of an amendment to Planned Unit Development No. 74 and the associated Special Use to modify the approved use of a portion of the second floor.

The approved plans include approximately 12,000 square feet of office space on the second floor. The proposed amendment would convert a portion of that floor to residential use while maintaining approximately 5,000 square feet of professional office space. The amended second floor will consist of approximately 7,000 square feet of residential space and 5,000 square feet of professional office space. The amendment will introduce seven additional residential dwelling units, increasing the total residential unit count from six (6) to thirteen (13). The remainder of the approved development will remain unchanged. No modifications are proposed to the building footprint, overall height, exterior architectural appearance, underground parking garage, first-floor commercial spaces, third-floor residential units, landscaping, or site improvements.

Forest Pointe was envisioned as a destination that contributes to the vitality of Downtown Downers Grove through an appropriate blend of commercial activity, employment opportunities, and residential living. That vision remains unchanged. The proposed amendment simply adjusts the balance of uses within the building in response to current market conditions while preserving the mixed-use character that formed the basis of the original approval. Professional office space remains an important component of the project, and the amended plan intentionally retains approximately 5,000 square feet of office space to accommodate small businesses, professional firms, and service providers seeking a downtown location. At the same time, the addition of seven residential units increases the number of residents living within walking distance of downtown businesses, restaurants, retail shops, and the Metra station, further supporting the Village's long-standing vision for a vibrant, pedestrian-oriented downtown.

The requested amendment does not alter the physical characteristics of the approved development. The building footprint, height, massing, design, parking, and streets are improvement remains unchanged. The proposed amendment does not affect the building's compatibility with surrounding properties or the architectural character previously approved by the Village.

The proposed amendment also maintains adequate parking for the development. Although the residential unit count increases from six to thirteen units, the project continues to satisfy Village parking requirements with parking remaining in excess of the minimum required. (Required = 18; provided = 25) Note: the parking garage will include some tandem parking spaces that will be assigned to the same dwelling unit.

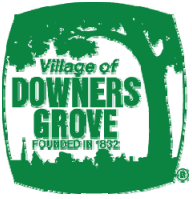
Replacing a portion of the second-floor office area with residential use is expected to reduce concentrated weekday commuter traffic associated with a fully occupied office floor. Residential traffic is generally more dispersed throughout the day and evening, resulting in a traffic pattern that is compatible with the mixed-use character of the downtown district. Overall, the amendment is expected to have little impact on the surrounding transportation network while continuing to provide sufficient on-site parking.

The proposed amendment remains consistent with the objectives of the Village's Comprehensive Plan and it strengthens the development's long-term viability while maintaining the planning principles that supported the original approval.

The proposal maintains Forest Pointe as a true mixed-use building while adapting to evolving market conditions in a manner that improves the long-term success of the project. The amendment preserves office space, increases residential opportunities, leaves the building's architecture and site design unchanged, and continues to advance the Village's goals for a vibrant, walkable downtown.

The petitioner believes that successful downtowns require flexibility to respond to changing market conditions while remaining faithful to their long-term planning objectives. The proposed amendment preserves the mixed-use character envisioned by the Village while creating additional housing opportunities that will generate year-round activity, support local businesses, and contribute to the continued vitality of Downtown Downers Grove. By retaining a meaningful amount of professional office space while introducing a limited number of additional residential units, the project strikes a balanced approach that benefits both the development and the downtown as a whole.

The petitioner respectfully requests approval of the amendment to Planned Unit Development No. 74 and the associated Special Use to permit the revised second-floor mix of office and residential uses.



Planned Unit Development

Form #PZC1

Review and Approval Criteria

Address of Project Site: 5112-5120 Forest Ave (Amendment to Forest Pointe PUD #74)

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.040.C.6. Review and Approval Criteria (Planned Unit Development)

The decision to amend the zoning map to approve a PUD plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision making bodies must consider at least the following factors:

1. The zoning map amendment review and approval criteria of Sec. 12.030.I.

See the analysis of zoning map amendment review and approval criteria in separate document.

The proposed PUD remains consistent with the goals of the comprehensive plan and the intent of the zoning ordinance.



2. Whether the proposed PUD plan and map amendment would be consistent with the Comprehensive Plan and any other adopted plans for the subject area.

The layout and design of the PUD will continue to promote safe and efficient traffic circulation, protect natural features where possible, and include measures to manage stormwater and other environmental impacts. The development will be constructed in a manner that ensures the health, safety, and welfare of residents and the community.

3. Whether PUD plan complies with the PUD overlay district provisions of Sec. 4.030.

The proposed development remains consistent with the intent and objectives of the zoning code and promotes an efficient use of land and resources. The PUD plan continues to comply with PUD overlay district provisions.

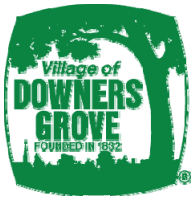


4. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.

The proposed development remains designed to provide high-quality site planning, architecture, and amenities that will enhance the community. The proposed development will result in public benefits that are greater than or at least equal to those otherwise required by existing regulations.

5. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

The proposed development has been planned to ensure compatibility with surrounding land uses, minimizing potential adverse impacts. It will protect the interests of the surrounding property owners and residents, existing and future residents, and the general public.



Special Uses

Review and Approval Criteria

Form #PZC2

Address of Project Site: 5112-5120 Forest Ave (amending Ordinance 6186)

A detailed response to all of the standards shall be provided, specifying how each standard is or is not met.

Section 28.12.050.H. Approval Criteria (Special Uses)

No special use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed special use is consistent with and in substantial compliance with all Village Council policies and plans, including, but not limited to, the Comprehensive Plan and the Downtown Design Guidelines and that the applicant has presented evidence to support each of the following conclusions:

1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located.

The proposed use remains consistent with the intent of the zoning district and complies with applicable regulations. In addition, the use is expressly authorized as a Special Use in the district.

2. That the proposed use will not, in the particular case, be detrimental to the health, safety, or general welfare of the community.

The design and operation of the proposed use will meet all applicable standards and will function in a safe and efficient manner. The proposed use will not be detrimental to the health, safety, or general welfare of the community.

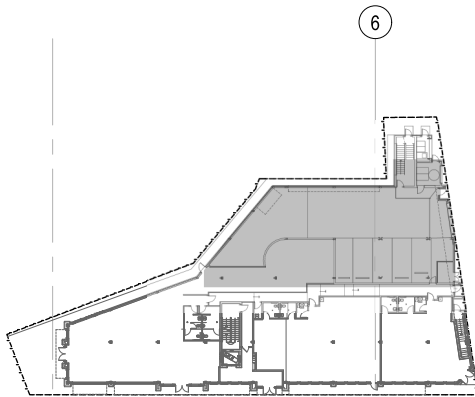
3. That the proposed use will not be injurious to the use and enjoyment of other property in the immediate area for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed use will be compatible with the character of the surrounding neighborhood and will operate in harmony with adjacent land uses. The proposed use will not be injurious to the use and enjoyment of other property in the immediate area nor substantially diminish or impair property values within the neighborhood.

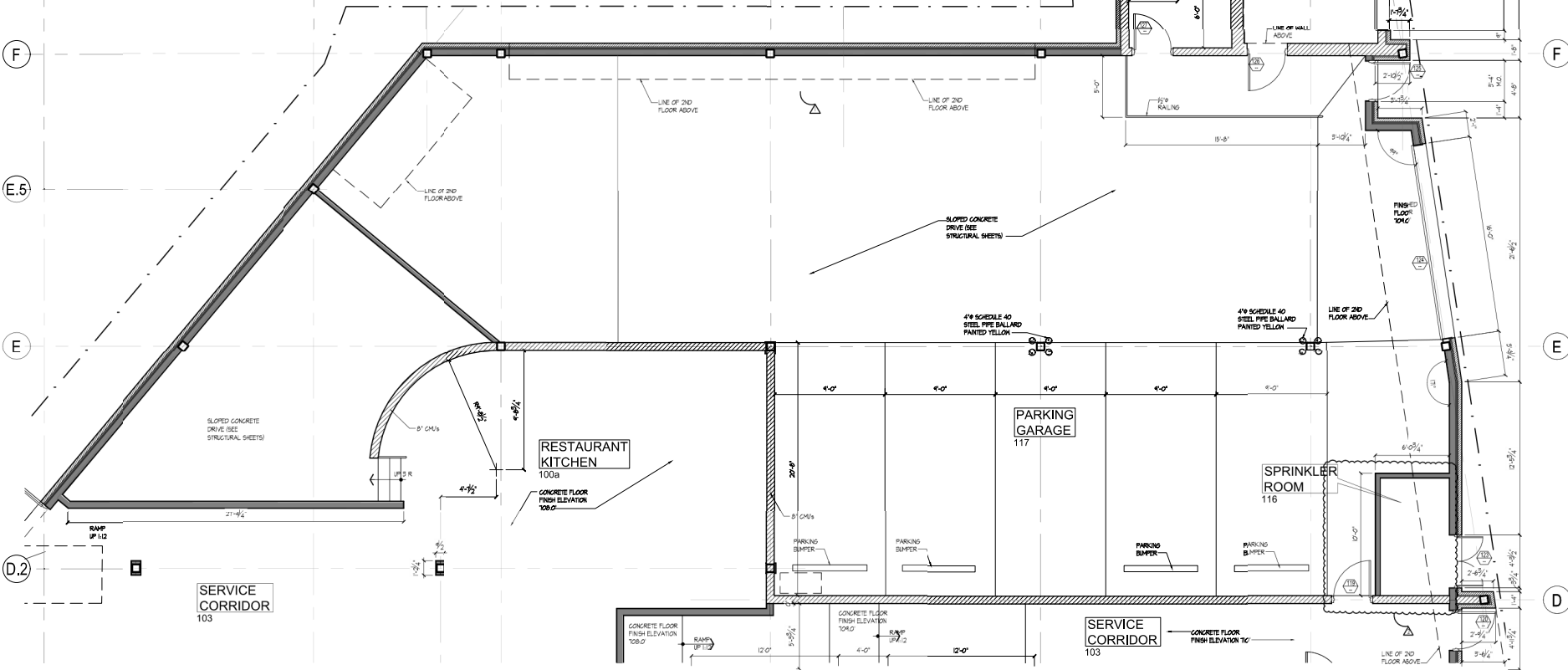
4. That the establishment of the special use will not impede the normal and orderly development and improvement of adjacent property for uses permitted in the district.

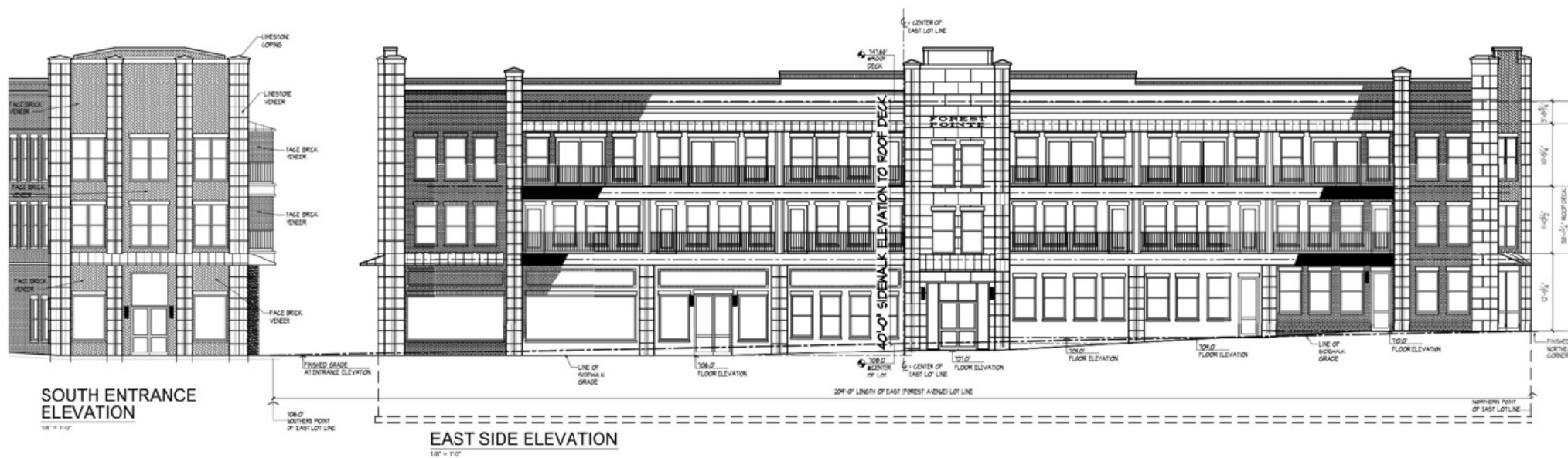
The proposed use will be integrated into the surrounding area in a way that supports long-term growth and investment. It will not impede the normal and orderly development and improvement of adjacent property.

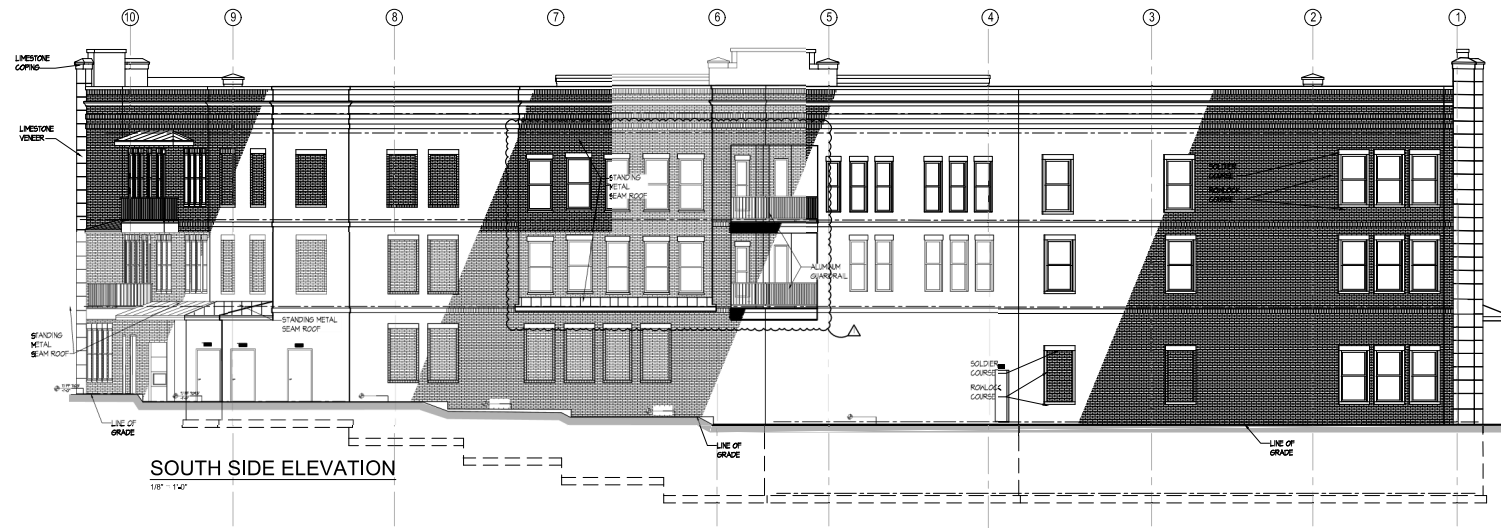


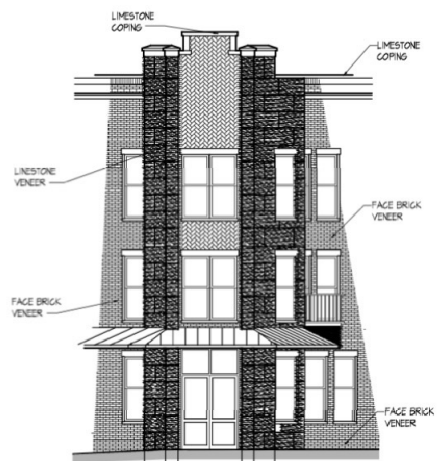


KEY PLAN
NO SCALE



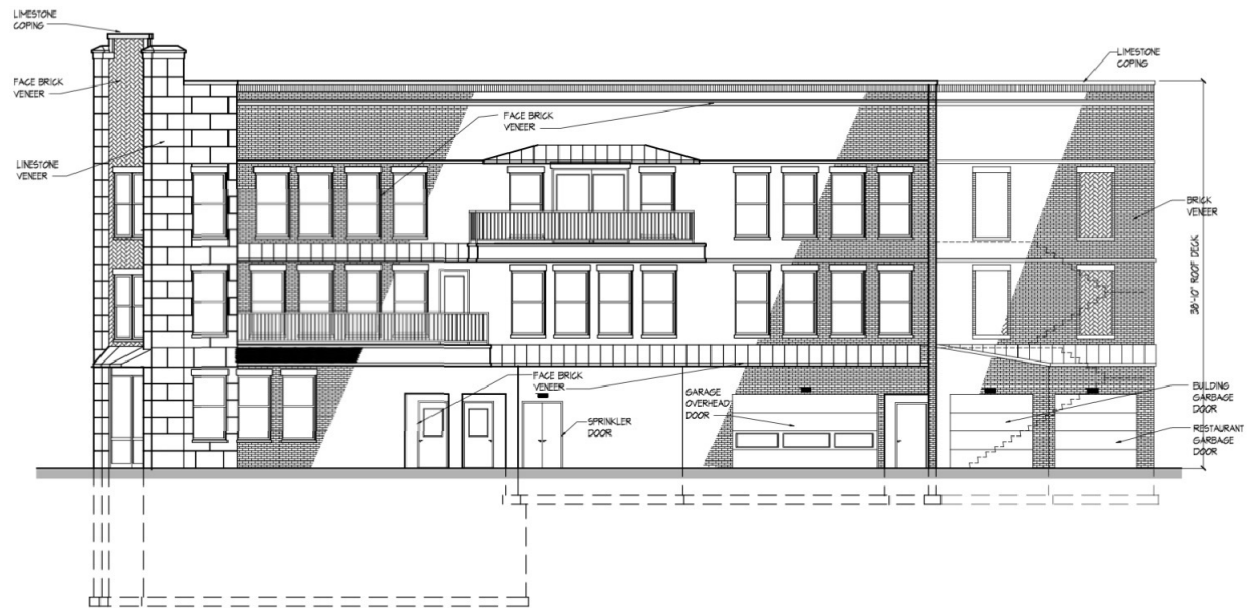






**NORTH ENTRANCE
ELEVATION**

1/8" = 1'-0"



NORTH SIDE ELEVATION

1/8" = 1'-0"



Memorandum

To: William J. Di Santo, AIA, NCARB
WJDi Studio

From: Tim Doron
Senior Transportation Consultant
Fish Transportation Group

Date: August 21, 2026

Re: Forest Pointe Development
Downers Grove, Illinois
Revised Trip and Parking Generation Memorandum

Introduction

Fish Transportation Group (FTG), was asked to compare old and new trip generation for the Forest Pointe mixed development located on the southwest corner of Forest Avenue and Gilbert Avenue in downtown Downers Grove, Illinois (Site). The Site was previously evaluated by means of a traffic impact study (TIS) submitted and approved in February 2026. Since that time the owner has requested a second amendment to the plan and made small changes to the uses contained in the building. Accordingly, the Village of Downers Grove has requested a second revised trip generation memorandum.

As proposed, the development new plan will now have three floors containing approximately 3,773 square feet of retail, 4,299 square feet of office (a reduction of 5,500 square feet from the original plan), a 3,610 square foot restaurant, and thirteen residential units (an increase in seven dwelling units from the original plan). It will also have a 25-space parking garage below grade for the use of the residential and office. A complete trip generation table comparing uses and trips is shown as Table 1.

Site Area Context

Existing transportation conditions in the vicinity of the proposed Site were documented in the original TIS based on field visits and traffic counts completed by FTG, supplemented with existing data collected from the Village of Downers Grove, DuPage County, Illinois Department of Transportation (IDOT), as well as Metra and Pace. The proximity of this Site to the Metra line is reflective in the reduced number of residential and office trips.

The new mixed-use development is proposed to be located on the southwest corner of Forest Avenue and Gilbert Avenue in downtown Downers Grove, Illinois. The northern end of the Site is located approximately 600 feet from the Metra BNSF commuter rail station and directly across Forest Avenue from the Downers Grove Library. The block bounded by Gilbert Avenue to the north, Curtiss Street to the south, Forest Avenue to the east and Carpenter Street to the west is comprised of both single-family and multi-family residential. On-street parking is permitted on Gilbert Avenue (north side) and on Forest Avenue both sides. Immediately east of the site is the Forest Avenue public lot.

Table 1. Revised Site-Generated Traffic Projections

Land Use	Size	Weekday							Saturday		
		Daily	AM Peak Hour			PM Peak Hour			Midday Peak Hour		
			In	Out	Total	In	Out	Total	In	Out	Total
Multi-family Housing (Low Rise) – Close to Rail Transit	13 Dwelling Units (previously 6 units)	61	1	3	4	3	3	6	1	2	3
High-Turnover (Sit-Down) Restaurant	3,610 SF	380	18	14	32	20	13	33	20	20	40
Strip Retail Plaza (<40k)	3,773 SF	210	8	7	15	20	19	39	13	12	25
General Office Building	4,200 SF (previously 9,799 SF)	234	20	3	23	6	29	35	2	2	4
Total Gross Trips - New Plan		885	47	27	74	49	64	113	36	36	72
Multi-modal reduction ¹		-150	-8	-5	-12	-8	-11	-19	-6	-6	-12
Total New Plan - New Trips		735	39	22	61	41	53	94	30	30	60
Total Original Plan - New Trips		750	45	22	67	42	56	98	33	31	64

¹ Based upon census data in the nearby area, a multi-modal reduction of 17% was applied to account for walking, bicycling, and transit trips.

As shown in Table 1 above there is an overall reduction in daily trips (fifteen less) than from the original plan approved in February with reductions during the peak hours varying from 4 – 6 trips. The biggest reduction in trips is a result of the reduction in office space from 9,799 to 4,200 square feet. Office uses typically generate concentrated weekday traffic during morning arrival and evening departure periods, resulting in higher peak-hour traffic demands. Residential uses, by comparison, generally produce lower and more dispersed trip patterns throughout the day and evening. The reduction is very small and should have a negligible impact on any of the surrounding streets. The increase in residential units from the original 6 units to the current planned 13 units is negligible in terms of traffic.

Parking Analysis

The previously approved development included six (6) residential units requiring eight (8) parking spaces. Under the proposed amendment, the residential parking requirement increases to eighteen (18) spaces for thirteen (13) dwelling units. The development includes a private enclosed parking garage containing twenty-five (25) parking spaces. A summary of quantities are:

- Required residential parking spaces by code: **18**
- Office parking – no spaces required
- Restaurant parking – no spaces required
- Proposed garage parking spaces: **25**
- Surplus parking spaces (over code) provided: **7**

The parking garage therefore continues to satisfy the code residential parking requirement and maintains a surplus of seven (7) parking spaces beyond the code requirement. Furthermore, because the new plan significantly reduces the amount of office space within the building, the overall parking demand associated with office employees and visitors is anticipated to decrease. Other options for longer term office employees exist in the municipal garage only short distance away. Accordingly, the proposed new plan provide more parking, and the change is expected to have a negligible effect on overall parking demand.

Conclusion

The proposed amendment increases the residential dwelling unit count from six (6) to thirteen (13) units while simultaneously greatly reducing previously approved office space. Because residential trips are generally lower in intensity and more dispersed than office-generated peak-hour trips, the change in occupancy is expected to produce a more favorable traffic outcome than the previously approved plan.

The development continues to provide more than adequate garage parking spaces, exceeding the required eighteen (18) residential parking spaces by seven (7) spaces. Additionally, the reduction in office area will reduce overall parking demand.

Based on the foregoing, the proposed amended plan is not anticipated to create adverse traffic or parking impacts and is expected to remain compatible with the transportation and parking resources serving the development.